

- GENERAL NOTES:**
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 - IF ANY DISCREPANCIES IN THE DOCUMENTS ARE FOUND, REQUEST THE CONSULTANT TO CLARIFY THE DISCREPANCIES PRIOR TO COMMENCING ANY RELATED WORK.
 - NOTIFY THE CONSULTANT IMMEDIATELY AND REQUEST A REVIEW IF ANY PRE-EXISTING DAMAGE OUTSIDE THE CONTRACT IS DISCOVERED. DO NOT COMMENCE ANY RELATED WORK OR NEARBY WORK WITHOUT CONSULTANT'S KNOWLEDGE.
 - EXCAVATION REQUIRED FOR WORK. CONTRACTOR TO REVIEW SITE CONDITIONS AND DRAWINGS TO VERIFY ACTUAL EXTENT.
 - PROPERTY LINE, SETBACKS AND RIGHT OF WAYS ARE REFERENCED FROM ORIGINAL DRAWINGS OR SURVEY PLAN. IT IS SHOWN FOR REFERENCE ONLY.

NO.	DESCRIPTION	DATE
3	REVISIONS PER DISTRICT DESIGN REVIEW COMMITTEE	2020-09-02
2	PROPOSED GENERATOR FOR LUC AMENDMENT	2020-01-19
1	ISSUED FOR DISTRICT'S DESIGN REVIEW COMMITTEE	2020-02-13
-	ISSUED FOR CLIENT REVIEW	2019-09-27

PROJECT TITLE
**SUNNYSIDE MANOR
BUILDING ENVELOPE REMEDIATION
AND ENERGY CONSERVATION
IMPLEMENTATION**

1495 ESQUIMALT AVE., WEST VANCOUVER, BC

DRAWING TITLE
OVERALL SITE PLAN

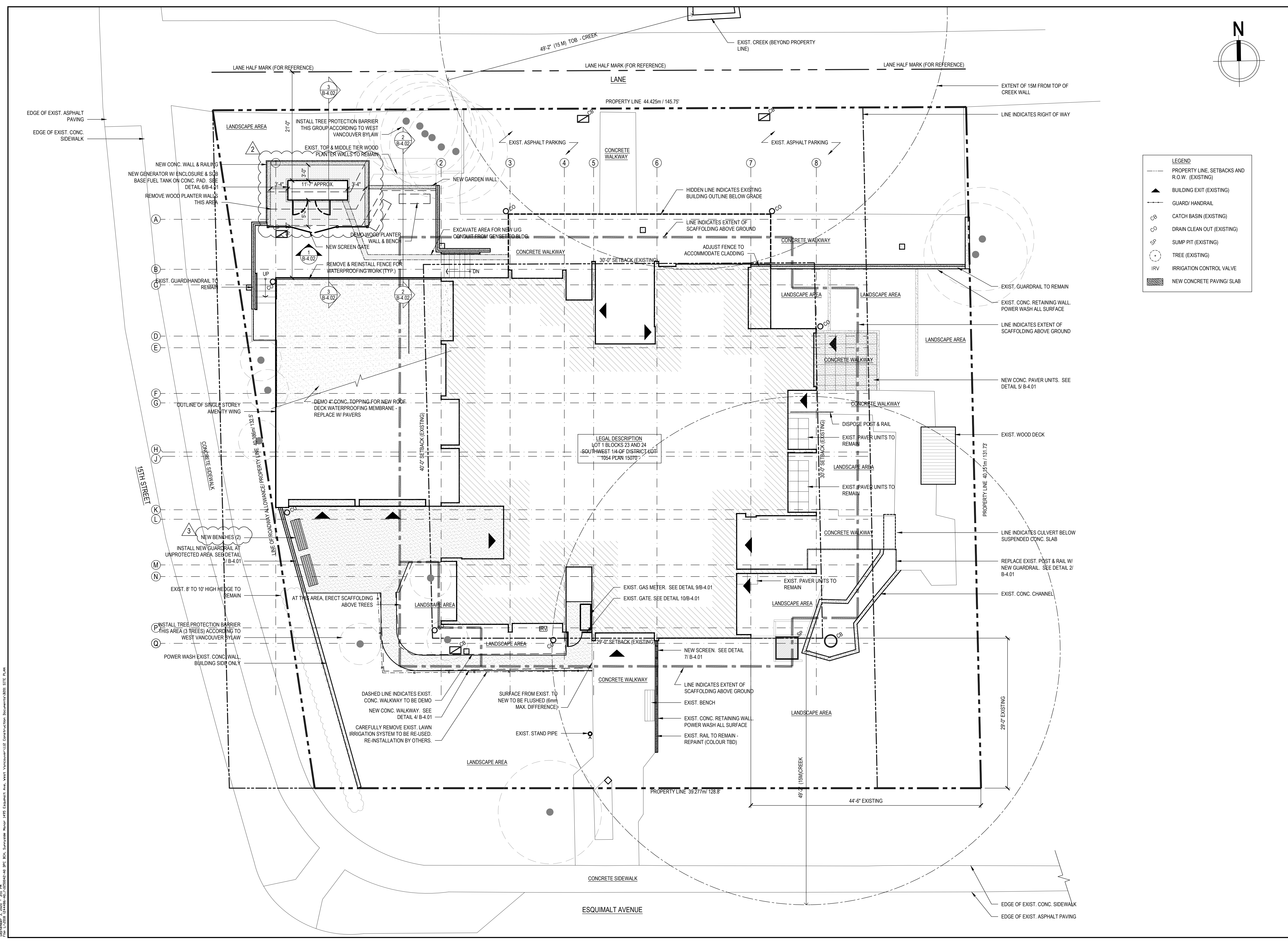
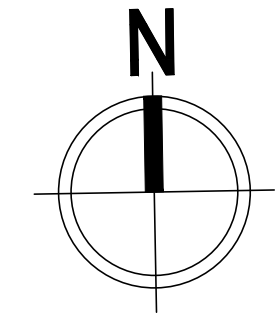
PROJECT NUMBER
VAN-00250042-A0

DRAWN	DESIGN	CHECKED
GG	DPC	DPC

DESIGN DATE
APRIL 1, 2019

DRAWING SCALE
1/8" = 1'-0"

DRAWING NUMBER



LEGEND

---	PROPERTY LINE, SETBACKS AND R.O.W. (EXISTING)
▲	BUILDING EXIT (EXISTING)
— —	GUARD/HANDRAIL
⊗	CATCH BASIN (EXISTING)
⊙	DRAIN CLEAN OUT (EXISTING)
⊖	SUMP PIT (EXISTING)
⊙	TREE (EXISTING)
⊙	IRV
■	NEW CONCRETE PAVING/ SLAB

September 3, 2020 - 3:05 PM
 File: U:\0311\244846-00\244846-00_0311_Sunnyside Manor 1495 Esquimalt Ave., West Vancouver\1495 Construction Documents\0311_Site Plan

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5. CONTRACTOR TO FINALIZE JOINT AND FLASHING LAYOUT WITH CONSULTANT PRIOR TO INSTALLATION.
6. A.C.M. PANEL LAYOUT MAY REQUIRE ADJUSTMENTS BASED ON MANUFACTURER'S MAXIMUM DIMENSION.

NO.	DESCRIPTION	DATE
3	REVISIONS PER DISTRICT DESIGN REVIEW COMMITTEE	2020-09-02
2	NOT USED	-
1	ISSUED FOR DISTRICT'S DESIGN REVIEW COMMITTEE	2020-02-13
-	ISSUED FOR CLIENT REVIEW	2019-09-27

ISSUED AND REVISION

SEAL

PROJECT TITLE

**SUNNYSIDE MANOR
BUILDING ENVELOPE REMEDIATION
AND ENERGY CONSERVATION
IMPLEMENTATION**

1495 ESQUIMALT AVE., WEST VANCOUVER, BC

DRAWING TITLE

**NORTH ELEVATION
(BACK LANE)**

PROJECT NUMBER

VAN-00250042-A0

DRAWN

GG

DESIGN

DPC

CHECKED

DPC

DESIGN DATE

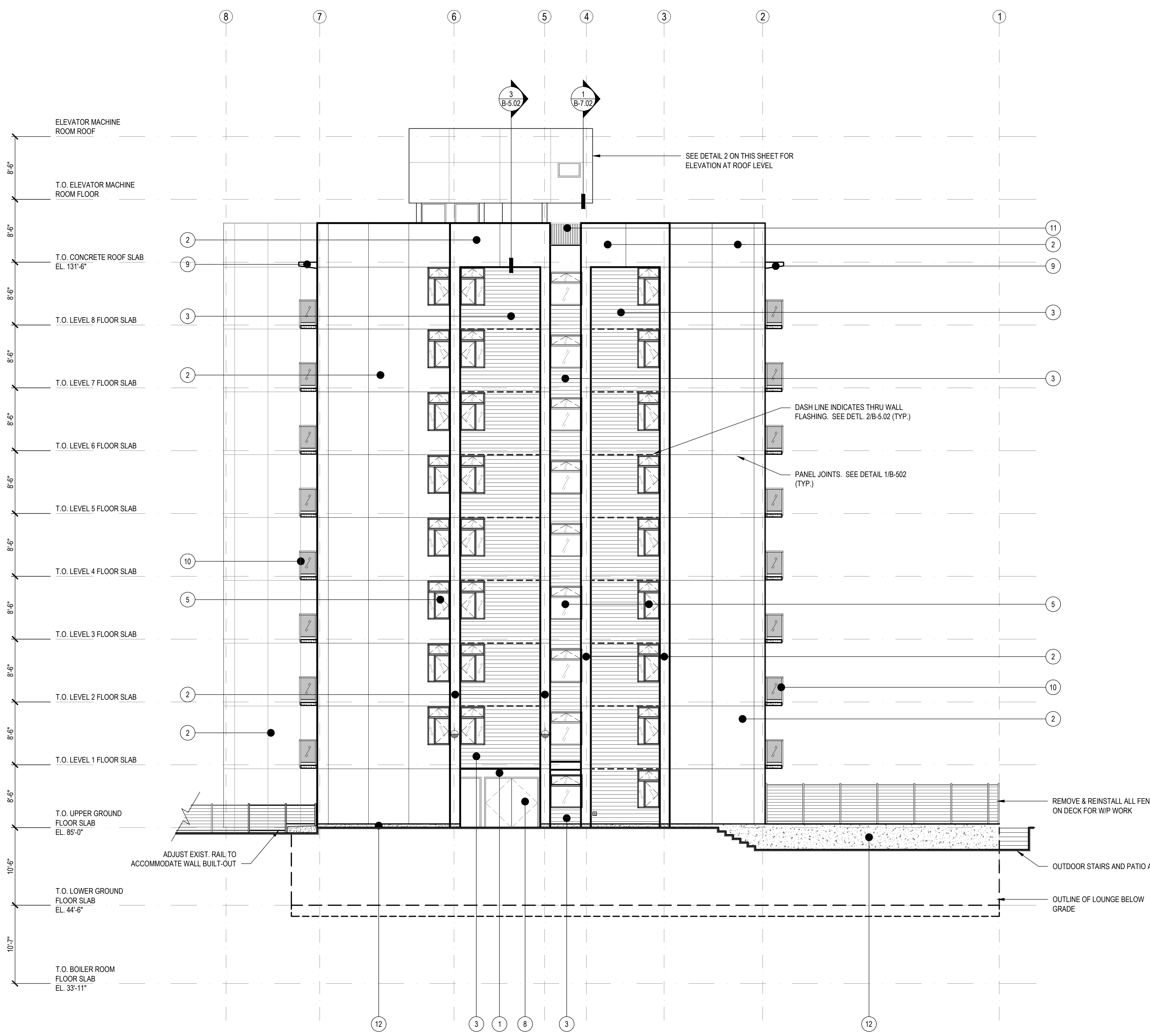
APRIL 1, 2019

DRAWING SCALE

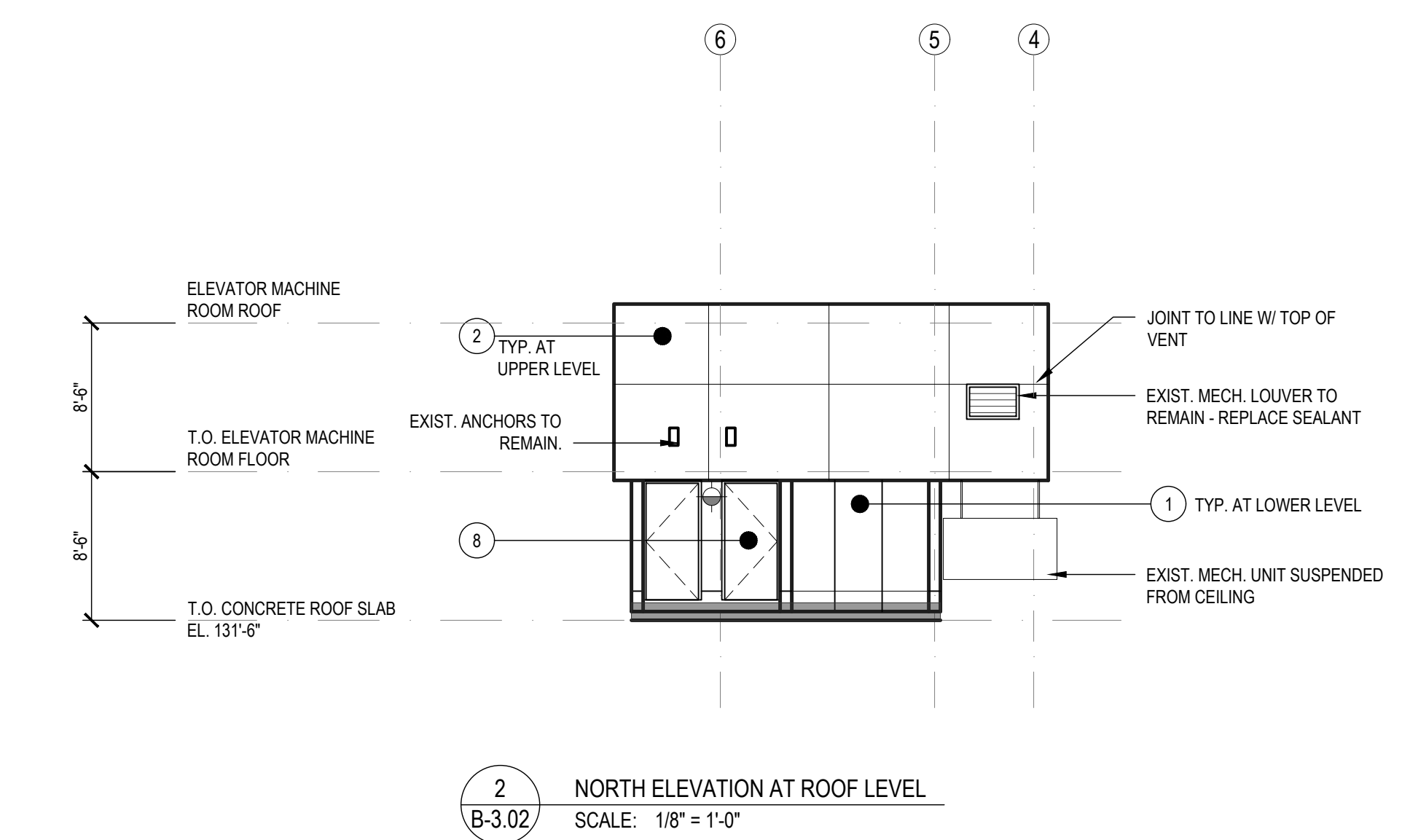
1/8" = 1'0"

DRAWING NUMBER

B-3.01



1
B-2.03
NORTH ELEVATION (BACK LANE)
SCALE: 1/8" = 1'-0"



SYMBOL LEGEND

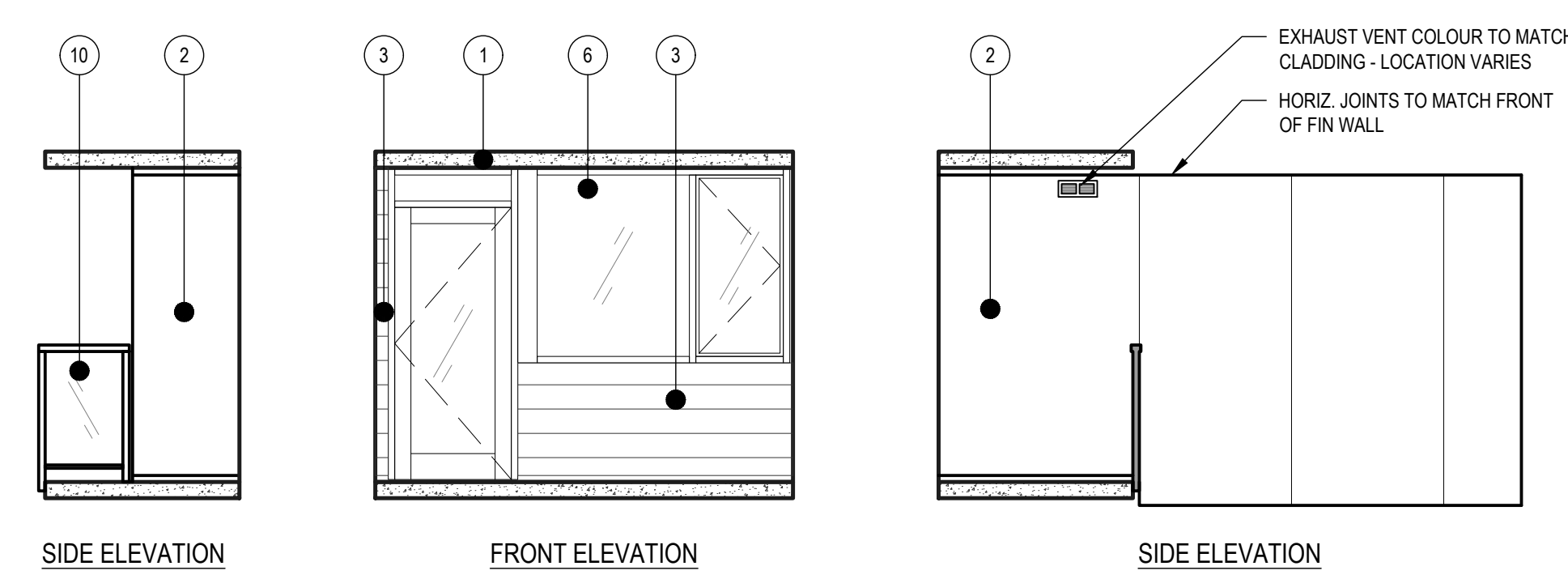
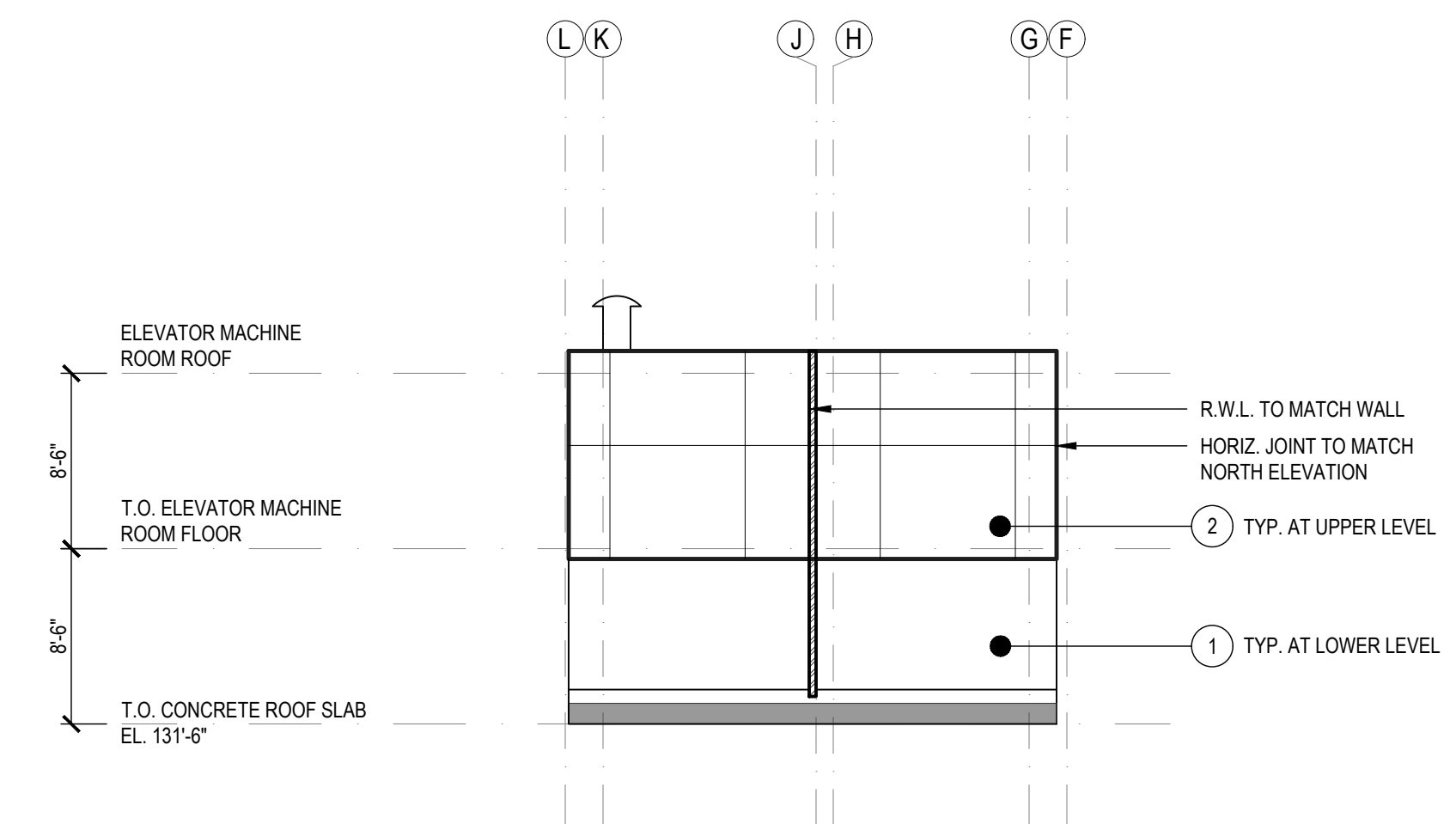
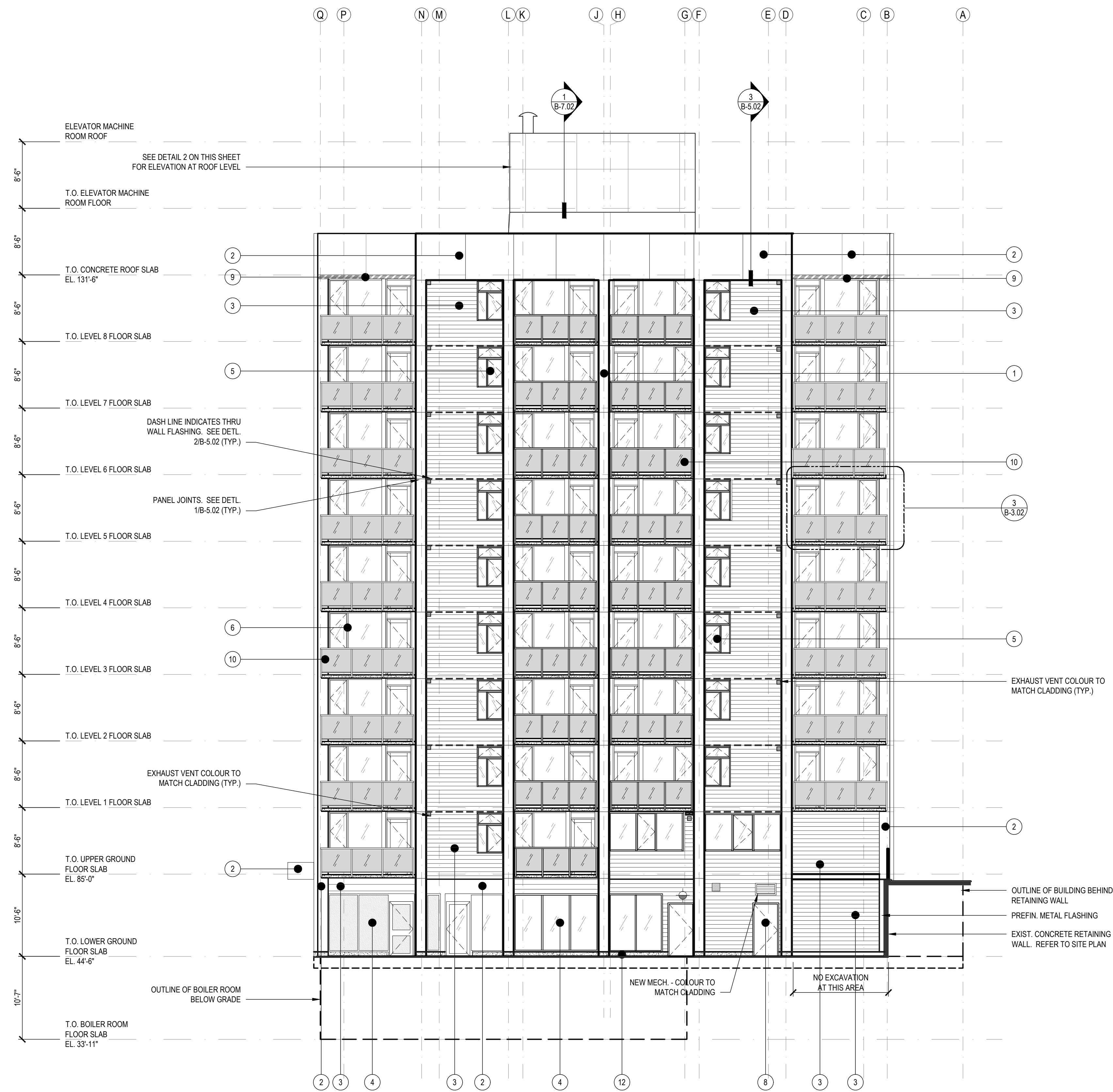
	WALL HYDRANT
	LIGHT FIXTURE - COLOUR TO MATCH CLADDING
	LOUVER/ HOOD - COLOUR TO MATCH CLADDING
	THROUGH WALL FLASHING - COLOUR TO MATCH CLADDING

EXTERIOR FINISH LEGEND

ID TAG	MATERIAL	COLOUR
1	PAINTED CONCRETE	"GREY" TO MATCH COMPOSITE PANEL
2	COMPOSITE METAL PANEL	SUNRISE SILVER METALLIC COOL
3	HORIZONTAL PROFILE ARCHITECTURAL METAL CLADDING	CUSTOM COLOUR "DARK BLUE"
4	ALUMINUM CURTAINWALL SYSTEM	LIGHT GREY
5	THERMALLY BROKEN ALUMINUM WINDOWS	LIGHT GREY
6	THERMALLY BROKEN ALUMINUM WINDOW AND DOOR SYSTEM	LIGHT GREY
7	METAL ROOF PANEL	GREY
8	METAL DOOR	CUSTOM COLOUR TBD
9	METAL CANOPY	GREY
10	ALUMINUM RAILING W/ OBSCURE GLASS PANEL INFILL	LIGHT GREY
11	ALUMINUM RAILING	LIGHT GREY
12	CONCRETE FACED INSULATION	STANDARD CONCRETE GREY
13	ALUMINUM SOFFIT PANEL	GREY

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SYMBOL LEGEND

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PROJECT TITLE
SUNNYSIDE MANOR BUILDING ENVELOPE REMEDIATION AND ENERGY CONSERVATION IMPLEMENTATION

1495 ESQUIMALT AVE., WEST VANCOUVER, BC

DRAWING TITLE
EAST ELEVATION

PROJECT NUMBER
VAN-00250042-A0

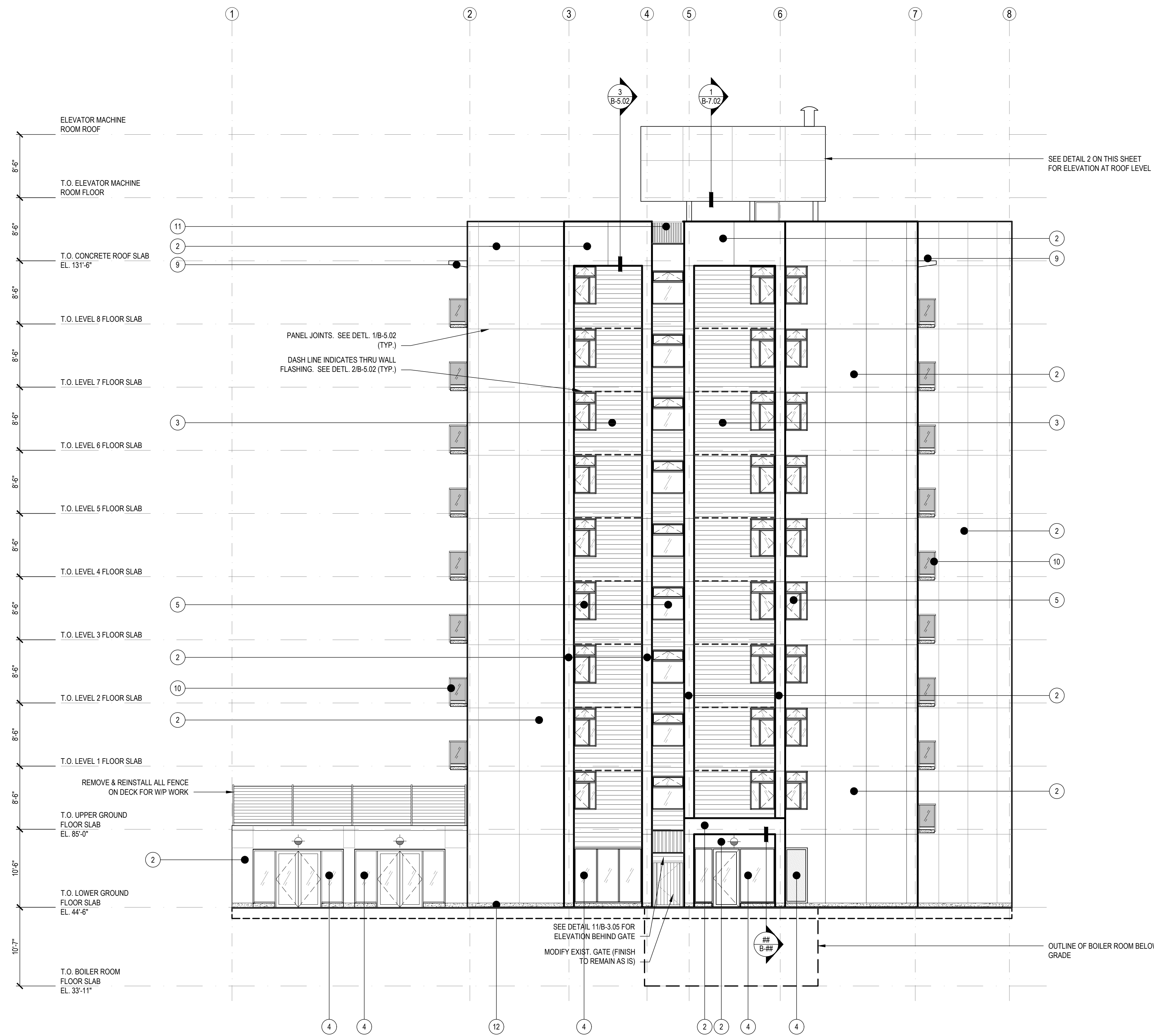
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GG	DPC	DPC

DESIGN DATE
APRIL 1, 2019

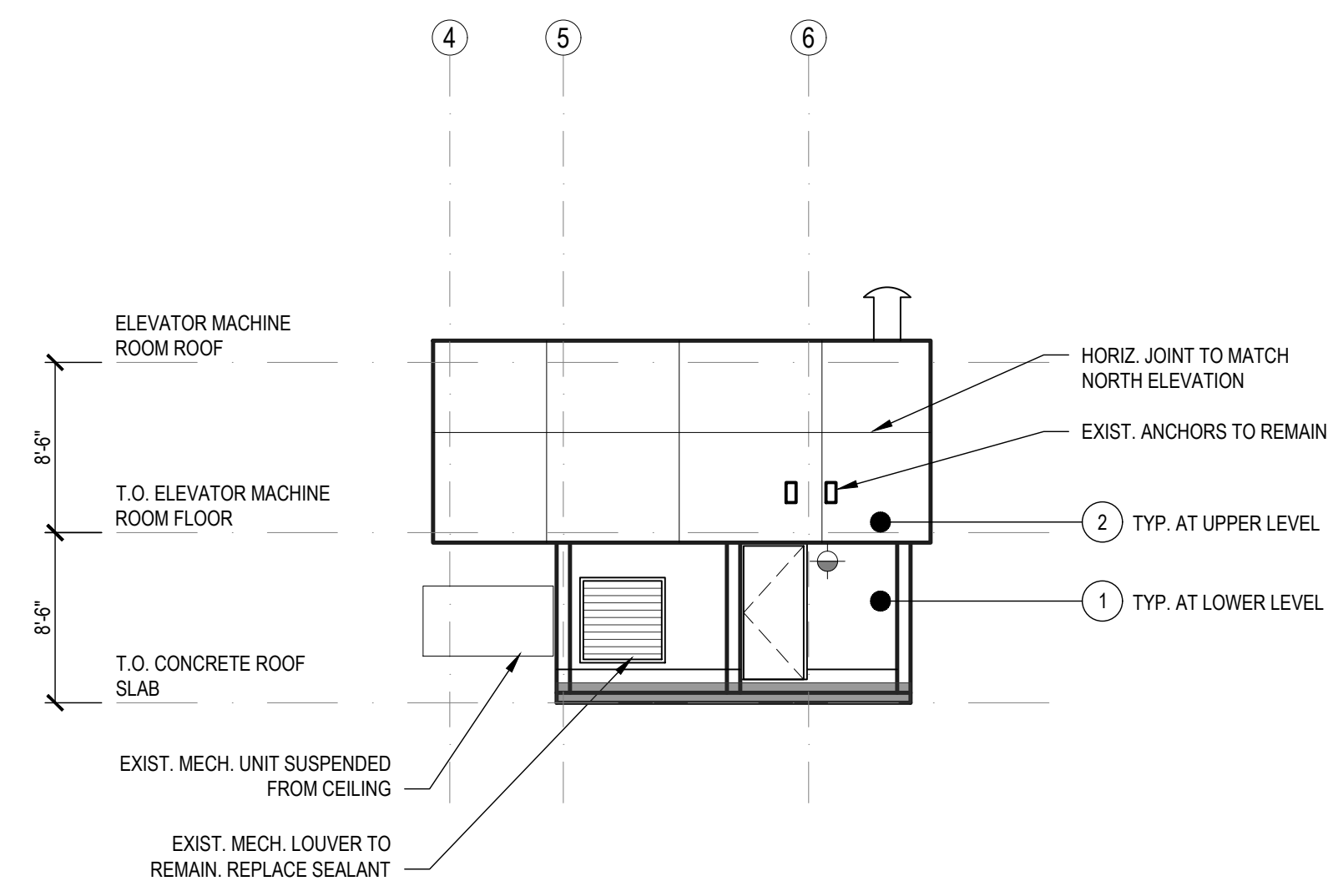
DRAWING SCALE
1/8" = 1'0"

DRAWING NUMBER
B-3.02

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1 SOUTH ELEVATION (ESQUIMALT AVE)
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION AT ROOF LEVEL
SCALE: 1/8" = 1'-0"

SYMBOL LEGEND

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PROJECT TITLE
SUNNYSIDE MANOR BUILDING ENVELOPE REMEDIATION AND ENERGY CONSERVATION IMPLEMENTATION

1495 ESQUIMALT AVE., WEST VANCOUVER, BC

DRAWING TITLE
SOUTH ELEVATION (ESQUIMALT AVENUE)

PROJECT NUMBER
VAN-00250042-A0

DRAWN	DESIGN	CHECKED
GG	DPC	DPC

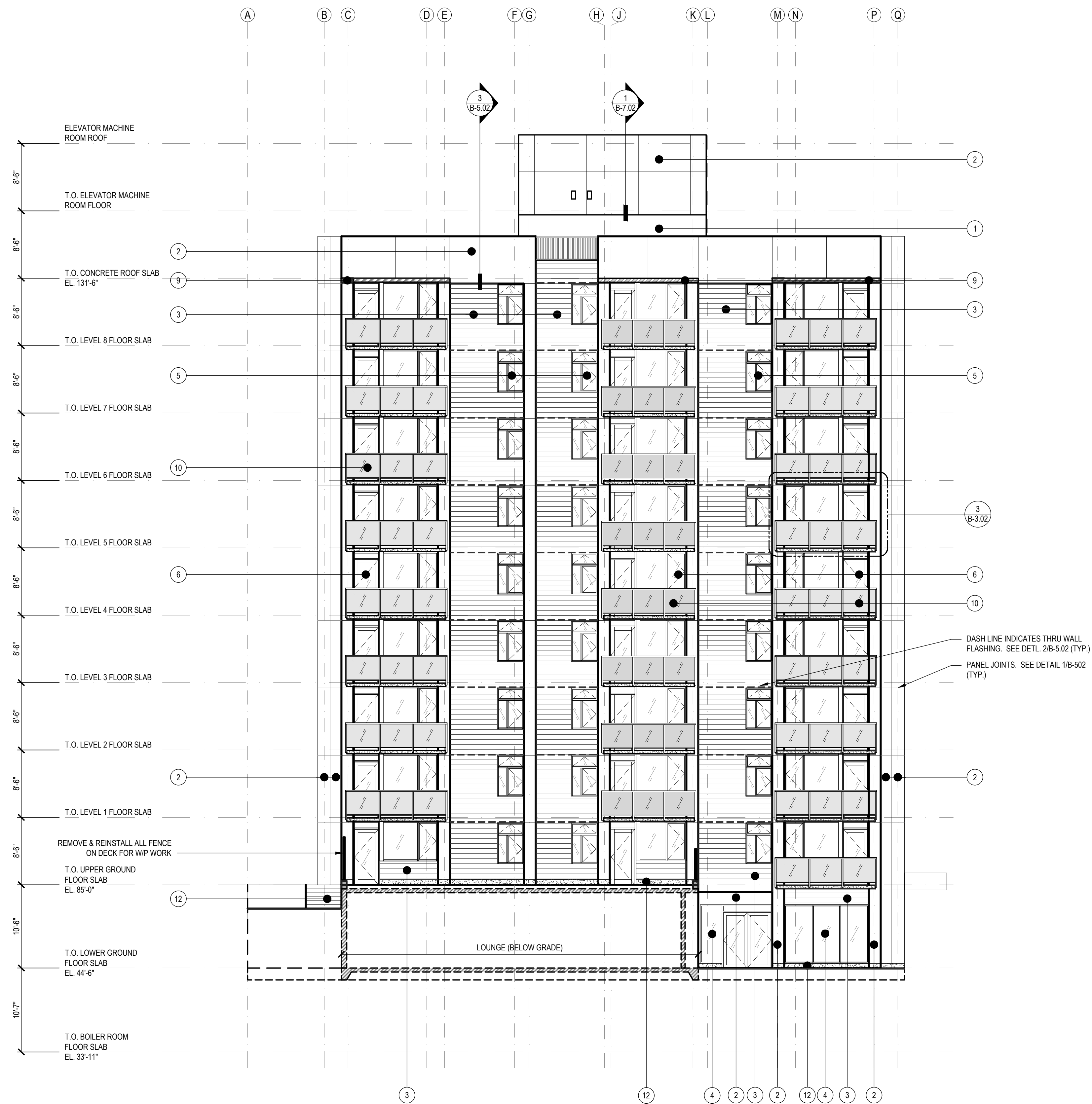
DESIGN DATE
APRIL 1, 2019

DRAWING SCALE
1/8" = 1'0"

DRAWING NUMBER
B-3.03

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DASH LINE INDICATES THRU WALL FLASHING. SEE DETAIL 2B-5.02 (TYP.)
PANEL JOINTS. SEE DETAIL 1B-5.02 (TYP.)

SYMBOL LEGEND

	WALL HYDRANT
	LIGHT FIXTURE - COLOUR TO MATCH CLADDING
	LOUVER HOOD - COLOUR TO MATCH CLADDING
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EXTERIOR FINISH LEGEND

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1 WEST ELEVATION (15TH STREET)
B-2.03 SCALE: 1/8" = 1'-0"

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3	ISSUED FOR DISTRICT'S DESIGN REVIEW COMMITTEE	2020-09-02
2	NOT USED	-
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PROJECT TITLE
**SUNNYSIDE MANOR
BUILDING ENVELOPE REMEDIATION
AND ENERGY CONSERVATION
IMPLEMENTATION**

1495 ESQUIMALT AVE., WEST VANCOUVER, BC

DRAWING TITLE
**WEST ELEVATION
(15TH STREET)**

PROJECT NUMBER
VAN-00250042-A0

DRAWN	DESIGN	CHECKED
GG	DPC	DPC

DESIGN DATE
APRIL 1, 2019

DRAWING SCALE
1/8" = 1'0"

DRAWING NUMBER

B-3.04

CURRENT CONDITION:
EXISTING UNPROTECTED OPENING WITH MORE THAN 600mm/ 23.5" ELEVATION DIFFERENCE.

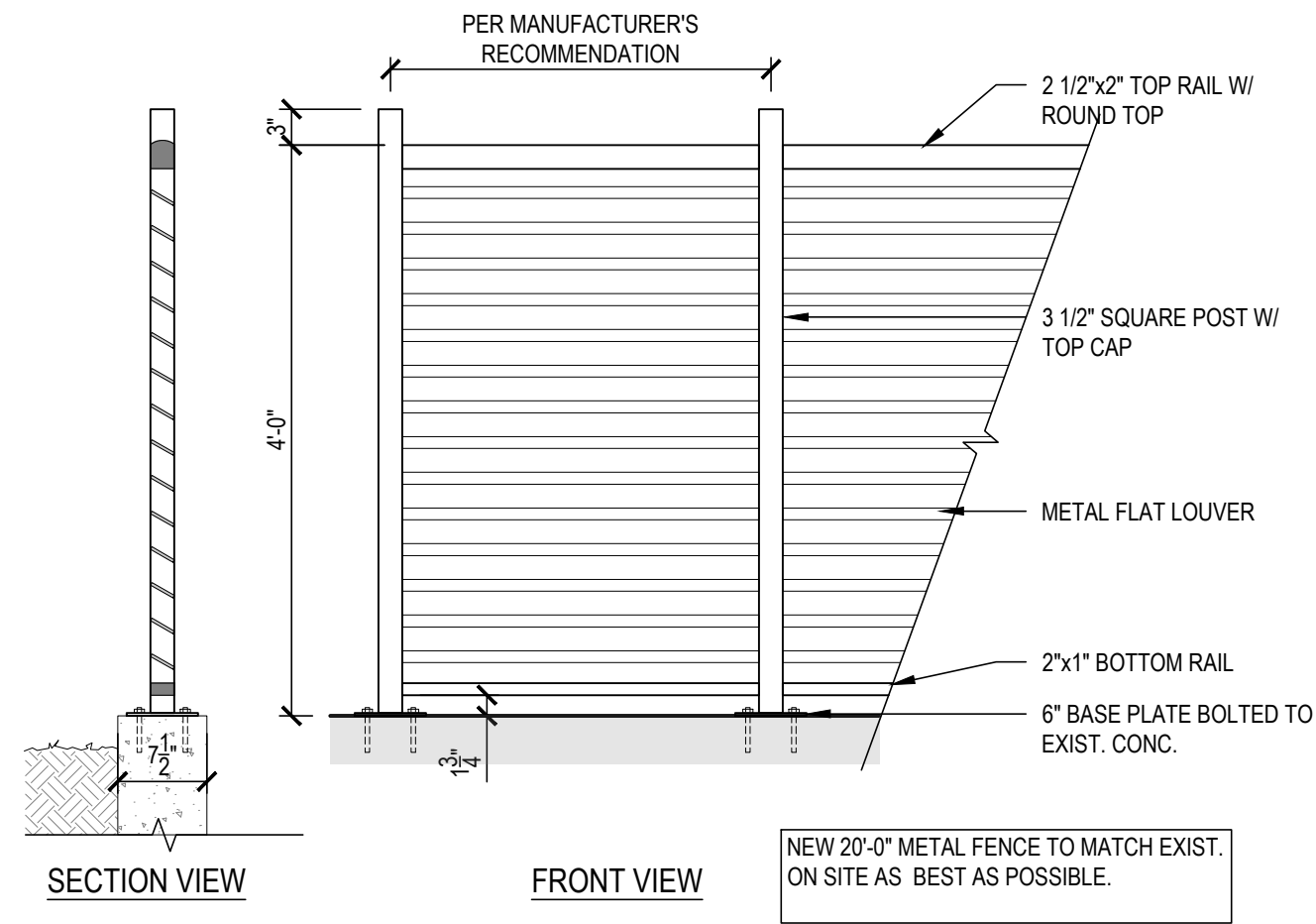
PROPOSED IMPROVEMENT:
INSTALL GUARDRAIL MOUNTED ON EXISTING CONCRETE WALL TO PREVENT FALL HAZARD AND TO COMPLY TO B.C. BUILDING CODE FOR GUARDS.



VIEW FROM SIDEWALK

VIEW FROM PATIO

1 15TH STREET - GUARDRAIL
B-2.01 SCALE: N.T.S.



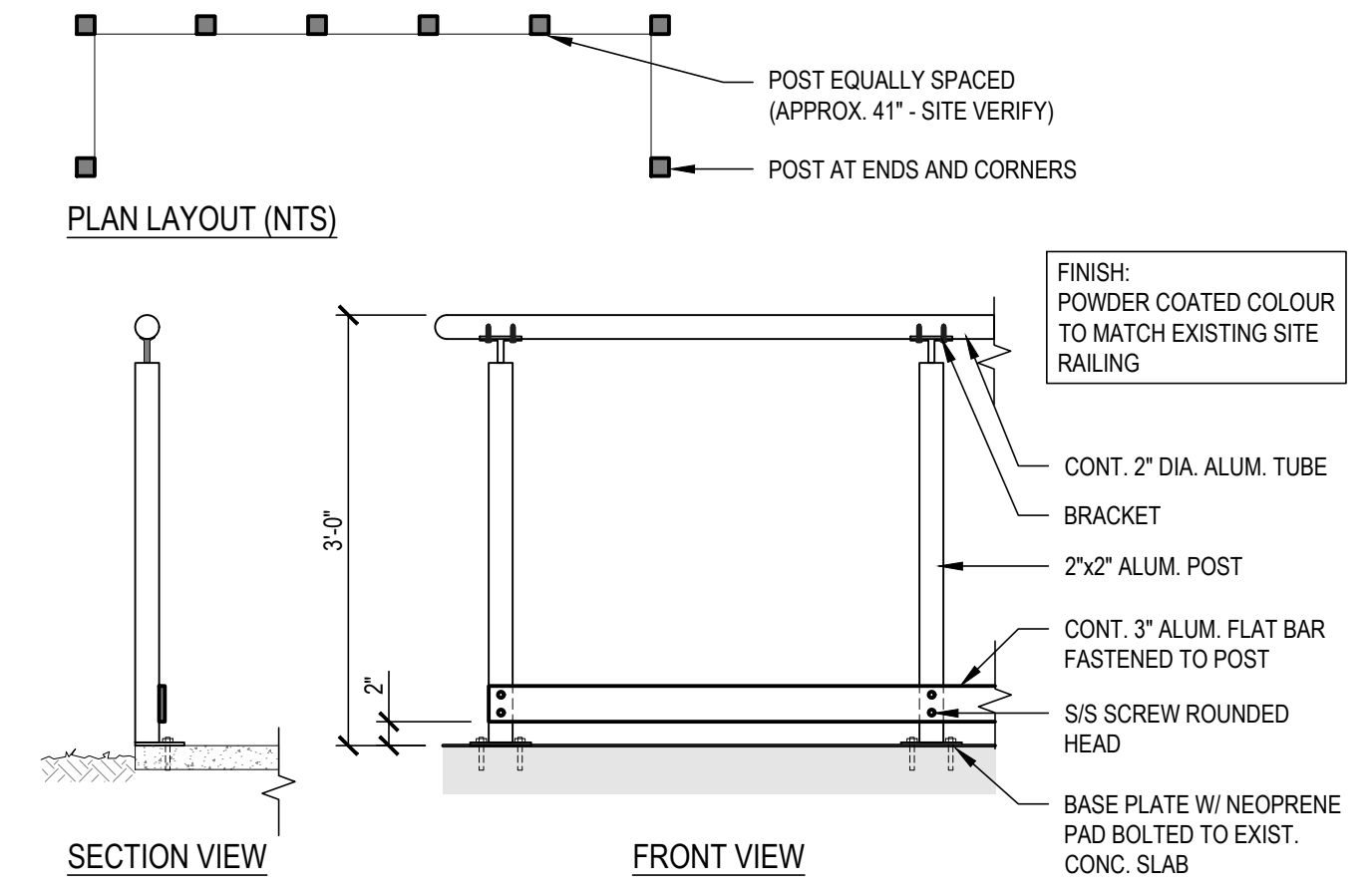
CURRENT CONDITION:
EXISTING WOOD POST IS ROTTED AT BASE AND OVERALL AGED.

PROPOSED IMPROVEMENT:
INSTALL NEW MODERN HANDRAIL TO COMPLEMENT BUILDING. BUILD NEW RAILING FOR BETTER SUPPORT AND MANEUVERABILITY BY RESIDENT (MAJORITY SENIORS).



EXISTING

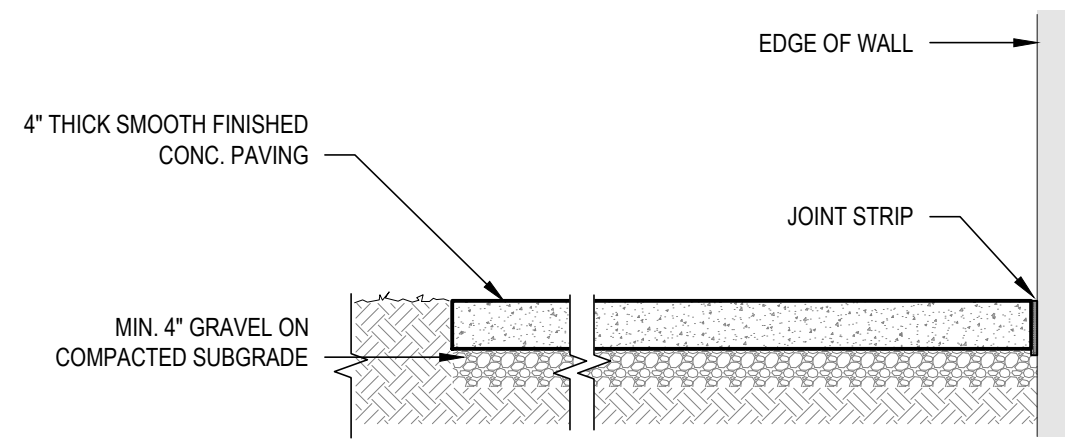
2 EAST ELEVATION - GUARDRAIL
B-2.01 SCALE: N.T.S.



DEMO EXIST. CONC. SLAB AND POUR NEW SLAB. REFER TO SITE PLAN FOR EXTENT.

CURRENT CONDITION:
EXISTING SLAB IS OUTDATED, CRACKING AND COLLECTS WATER/ PONDING. SURFACE IS SLIPPERY.

PROPOSED IMPROVEMENT:
POUR CONCRETE PAVING TO PROMOTE BETTER DRAINAGE AND MAINTENANCE.

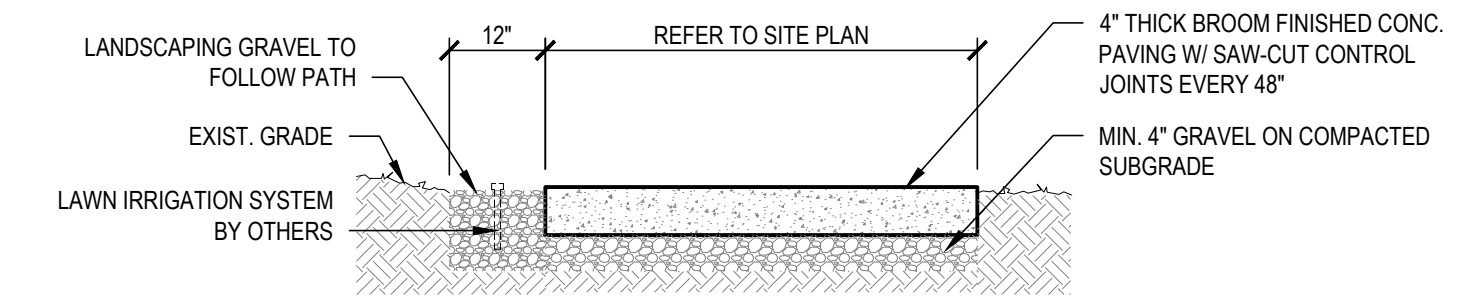


CURRENT CONDITION:
EXISTING SLAB IS OUTDATED AND CRACKING. DUE TO SETTLEMENT AND ROOT GROWTH, SLAB HAS BECOME UNEVELED AND HEAVING. PONDING AND SLIPPERY SURFACE.

PROPOSED IMPROVEMENT:
POUR NEW CONCRETE WIDER TO ACCOMMODATE RESIDENT USING MOBILITY-ASSISTANCE (E.G. CANE, SCOOTER).



DEMO SLAB AND POUR NEW CONCRETE SLAB

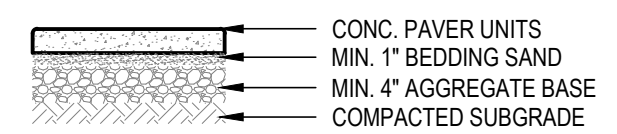


4 SOUTH ELEVATION WALKWAY
B-2.01 SCALE: N.T.S.

3 COMMON PATIO DECK
B-2.01 SCALE: N.T.S.

CURRENT CONDITION:
DUE TO SETTLEMENT, CONCRETE PAVERS HAVE BECOME UNEVELED. PAVER UNITS ARE CRACKED AND SCALING, CREATING TRIPPING HAZARD.

PROPOSED IMPROVEMENT:
REPLACE DETERIORATED PAVER UNITS ON PROPER SUB-BASE TO ACHIEVE LEVELLED SURFACE.



REPLACE PAVERS WITH NEW

CURRENT CONDITION:
EXISTING GENERATOR IS LOCATED INSIDE THE BUILDING AND DOES NOT MEET CURRENT DEMAND OR REQUIREMENTS. THE NEW GENERATOR WILL BE LOCATED OUTSIDE.

PROPOSED IMPROVEMENT:
LOCATE GENERATOR AWAY FROM BUILDING ACCORDING TO CODE REQUIREMENTS AND AWAY FROM CREEK. INSTALL FENCING FOR AESTHETICS. GENERATOR IS EQUIPPED WITH ENCLOSURE ON SUB BASE AND SECONDARY CONTAINMENT TANK.

NEW GENERATOR (N.T.S.). REFER TO SITE PLAN FOR LOCATION

DISPOSE WOOD RETAINING WALLS AND PLANTERS



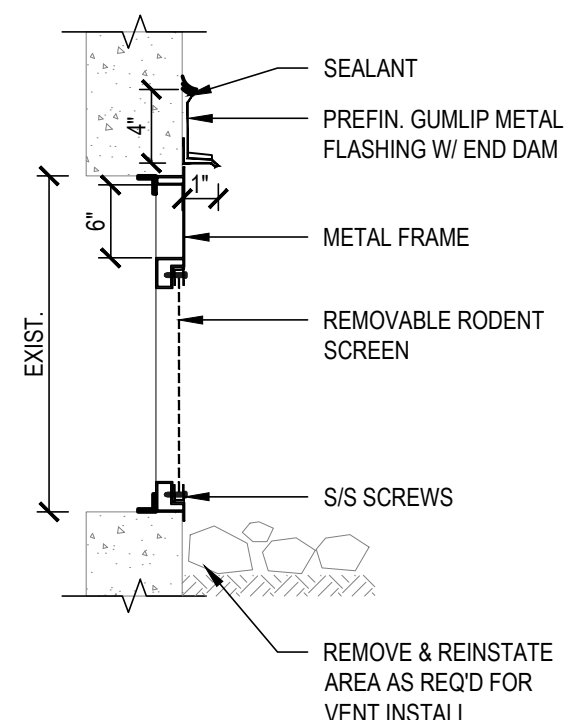
TOP & MIDDLE TIER WOOD PLANTER WALL TO REMAIN. REFER TO SITE PLAN FOR EXTENT.

DISPOSE WOOD BENCHES

DISPOSE BOTTOM TIER WOOD PLANTER

6 GENERATOR AREA
B-2.01 SCALE: N.T.S.

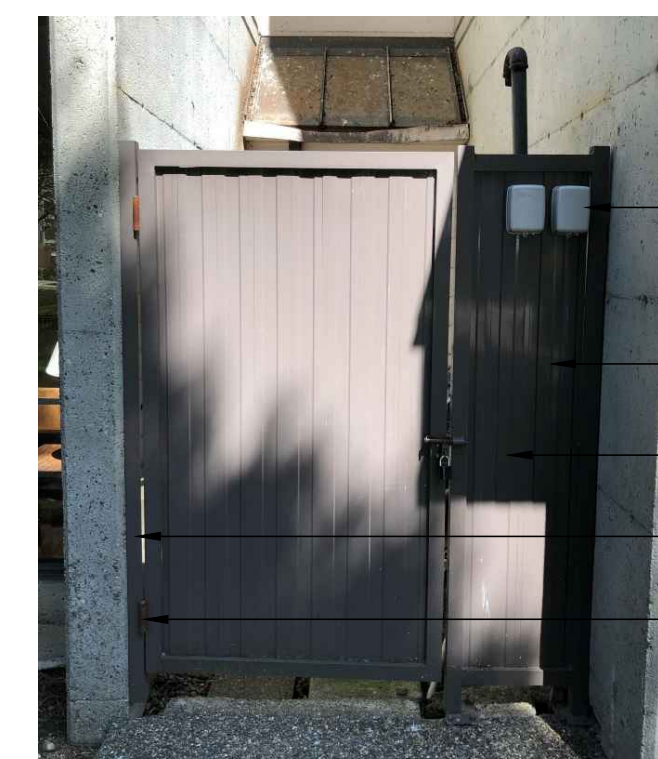
5 EAST ELEVATION - PATIO SLAB
B-2.01 SCALE: N.T.S.



RODENT SCREEN:
FLATTENED EXPANDED METAL 1/2" SWD. 1" WIDE U-CHANNEL ALL AROUND W/ STAINLESS SCREW FASTENED TO METAL FRAME.

8 NOT USED
SCALE: N.T.S.

9 NOT USED
SCALE: N.T.S.



MOVE BOXES. LOCATION TO BE CONFIRMED ON SITE.

MODIFY PANEL TO SUIT WALL BUILD OUT

REMOVE & REINSTALL ASSEMBLY FOR WALL BUILT OUT.

ADD BASE PLATE FOR FLOOR MOUNT.

REPLACE HINGES (2) W/ NEW TO MATCH

10 SOUTH ELEVATION - GATE
B-2.01 SCALE: N.T.S.

-	NOT USED	-
-	NOT USED	-

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ISSUED AND REVISION		

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SUNNYSIDE MANOR
BUILDING ENVELOPE REMEDIATION
AND ENERGY CONSERVATION
IMPLEMENTATION

1495 ESQUIMALT AVE., WEST VANCOUVER, BC

DRAWING TITLE
SITE CONTEXT
AND DETAILS

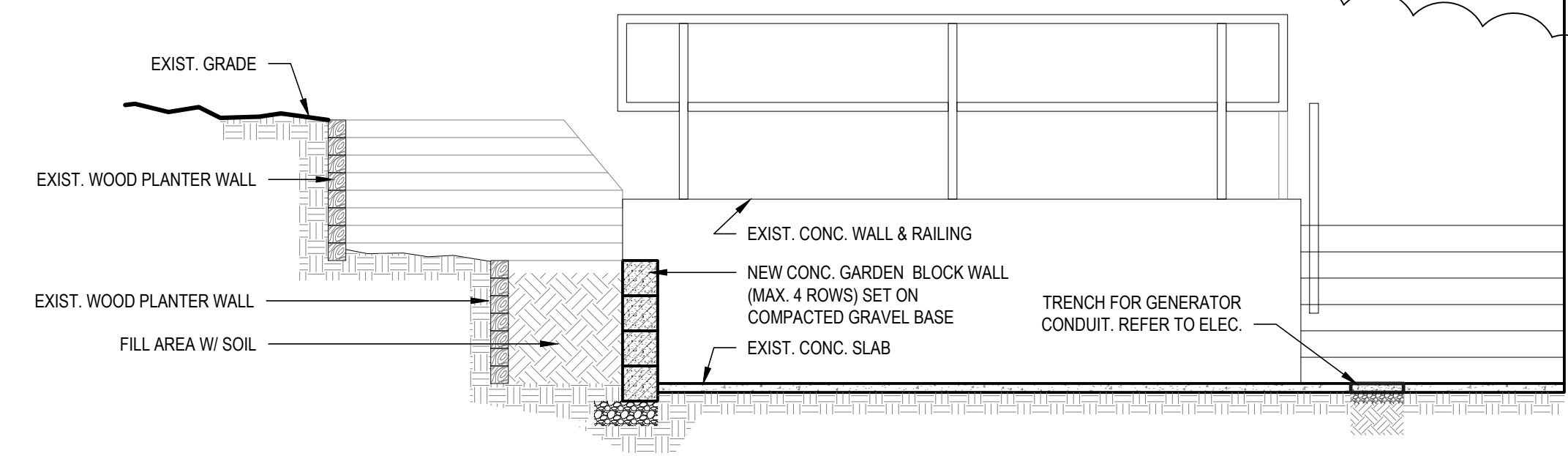
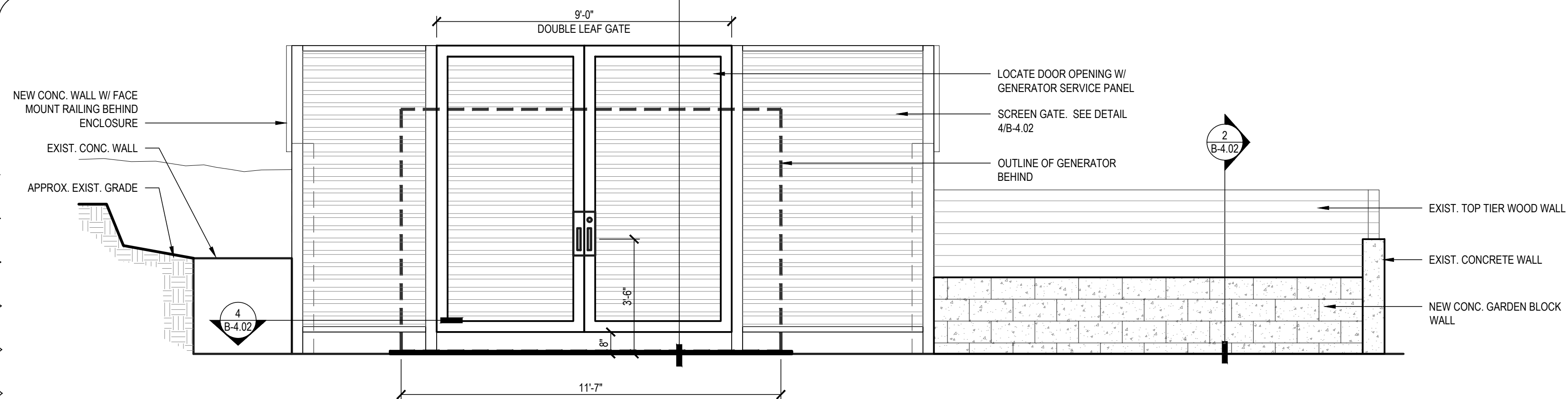
PROJECT NUMBER
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DESIGN DATE	DRAWING SCALE
APRIL 1, 2019	AS NOTED

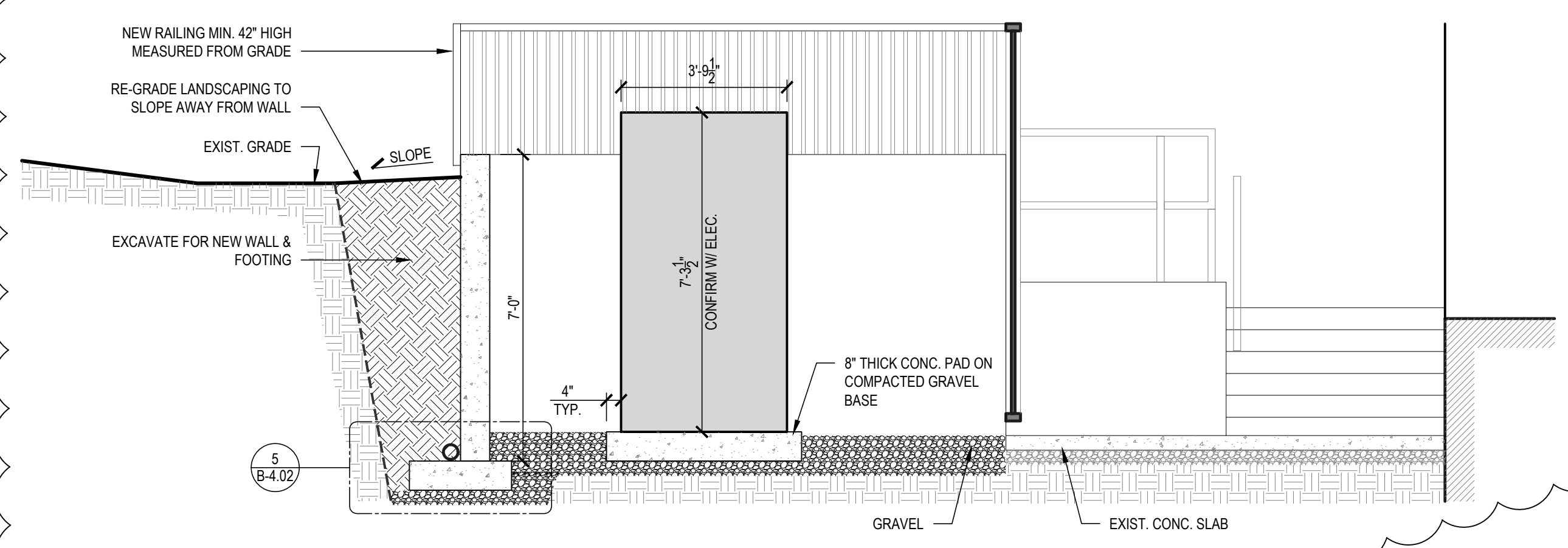
DRAWING NUMBER

PROVIDE FOLLOWING GATE HARDWARE:
- HINGES: CORROSION RESISTANT COMMERCIAL GRADE WITH STAINLESS STEEL FINISH. (APPROVED MANUFACTURER: STANLEY, MCKINNEY OR APPROVED EQUAL).
- STOPS: HEAVY DUTY CANE BOLT ON INACTIVE LEAF. GATE STOPS W/ INTEGRATED RUBBER BUFFER (TWO PER GATE).
- LOCKS: HIGH GRADE DEADBOLT C/W 6-PIN CYLINDER.
- HANDLE: HEAVY DUTY PULL HANDLE WITH FACE PLATE IN STAINLESS STEEL FINISH. BACK TO BACK ON BOTH LEAF.

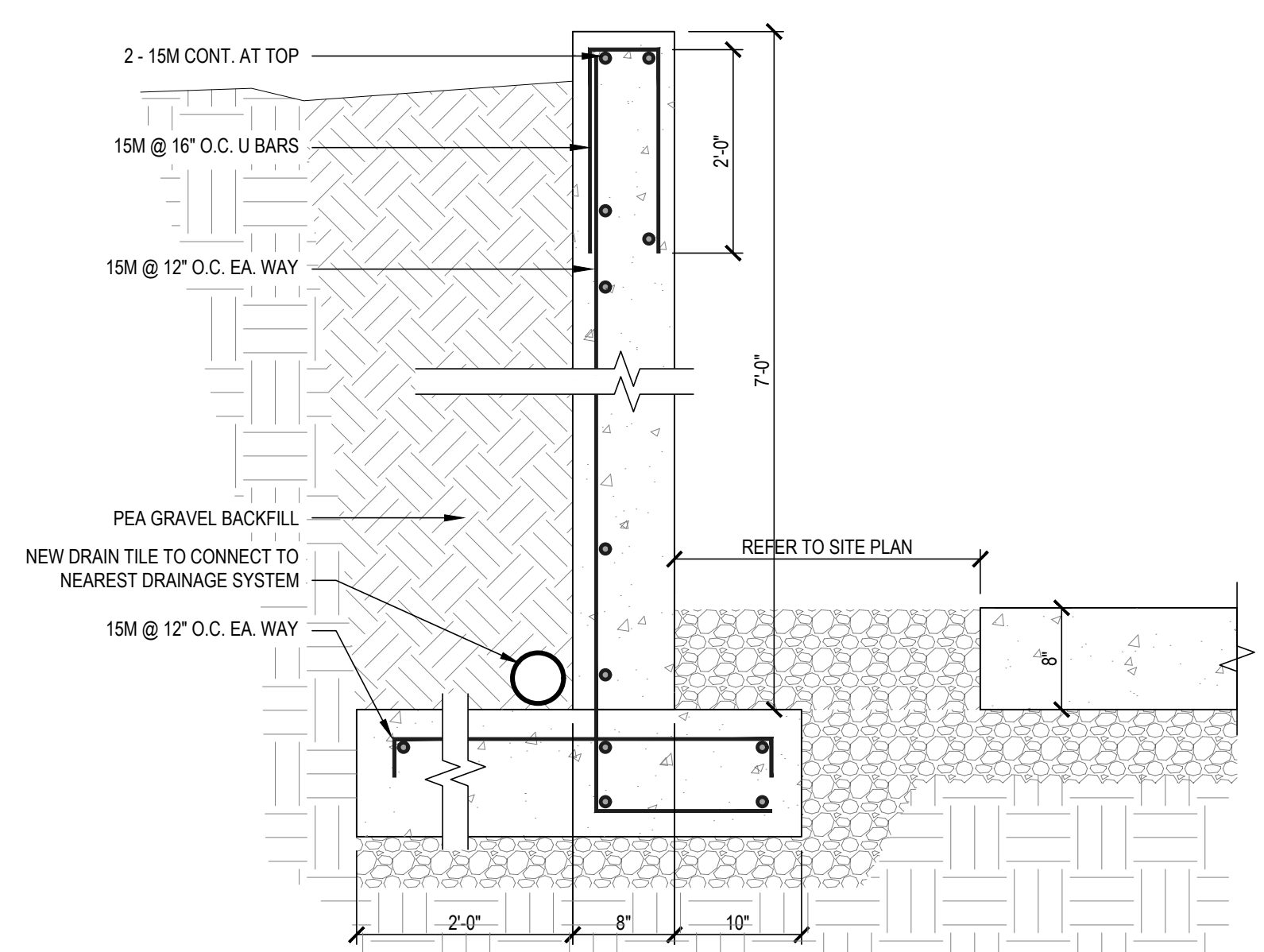


1
B-2.01 GENERATOR AREA
SCALE: 3/8" = 1'-0"

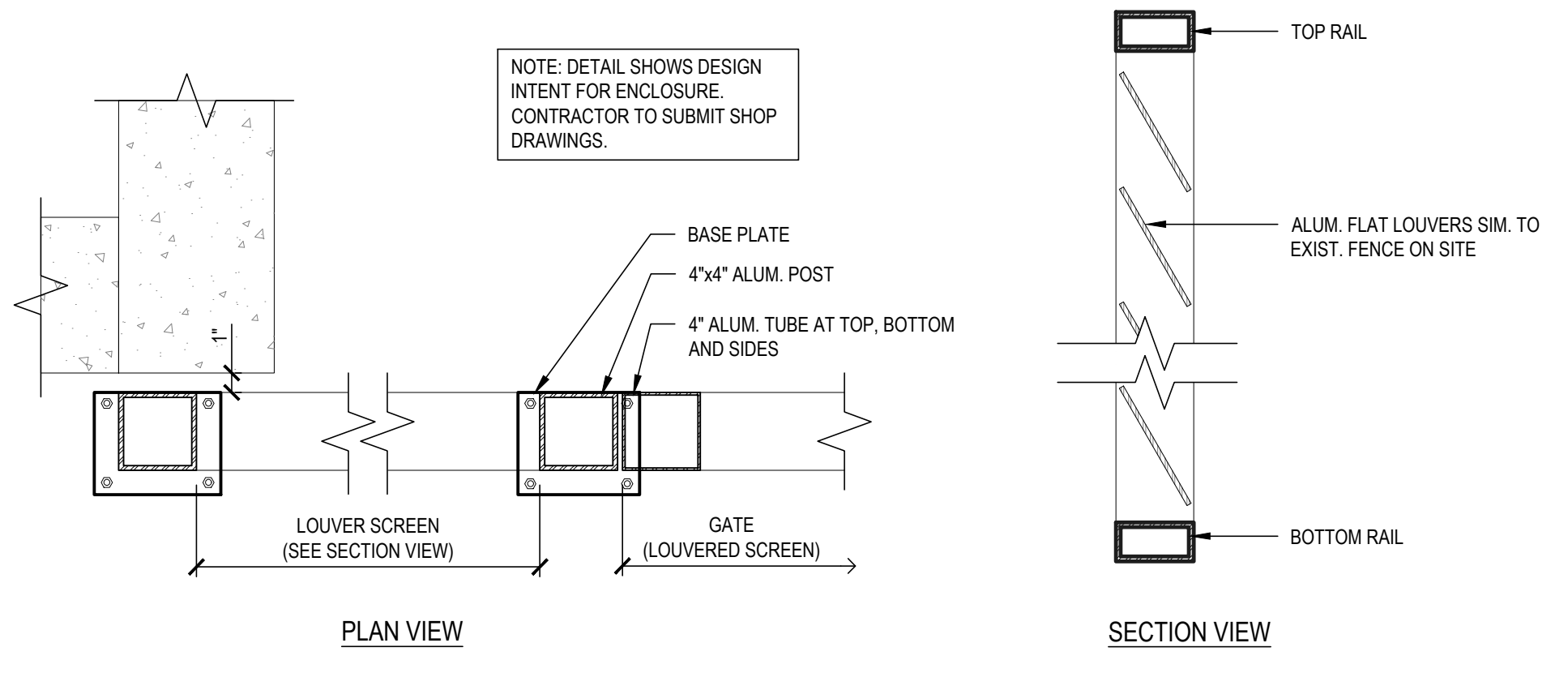
2
B-4.02 SECTION THROUGH PLANTER AREA
SCALE: 3/8" = 1'-0"



3
B-4.02 SECTION THROUGH GENERATOR AREA
SCALE: 3/8" = 1'-0"



5
B-4.02 CONCRETE WALL FOOTING DETAIL
SCALE: 1" = 1'-0"



4
B-4.02 GENERATOR ENCLOSURE DETAILS
SCALE: 1/2" = 1'-0"

3	NOT USED	-
2	PROPOSED GENERATOR FOR LUC AMENDMENT	2020-01-19
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SEAL		

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SUNNYSIDE MANOR BUILDING ENVELOPE REMEDIATION AND ENERGY CONSERVATION IMPLEMENTATION
1495 ESQUIMALT AVE., WEST VANCOUVER, BC
DRAWING TITLE
GENERATOR AREA AND GENERATOR GATE SECTION AND DETAILS

PROJECT NUMBER VAN-00250042-A0		
DRAWN GG	DESIGN DPC	CHECKED DPC
DESIGN DATE APRIL 1, 2019	DRAWING SCALE AS NOTED	
DRAWING NUMBER		

B-4.02