

January 5, 2018

Mayor and Council
District of West Vancouver
750-17th Street
West Vancouver, BC

RE: 303 Marine Drive – Temporary Events and Information Building

Dear Mayor and Council,

Darwin Properties is pleased to submit to you the Development Permit application for the Temporary Events and Information Building at 303 Marine Drive, to be considered under the Temporary Use Permit Policy.

As there is a concurrent Rezoning and Development Permit Application in-stream for 303 Marine Drive (RZ and DP # 17-077), Darwin would like to acknowledge the sensitivity around this Temporary Building Application. We would like to assure Council that in no way, does the approval of this Temporary Building presume the approval of Rezoning #17-077. As Darwin is a significant land owner on the North Shore, the Temporary Building is intended to be used as a central location for the public to obtain information or attend events related to Darwin's various projects on the North Shore. Should the overall Rezoning application for 303 Marine Drive (#17-077) be approved, the Temporary Building would also be used for marketing and sales activity of that project.

We look forward to continuing our work with Mayor, Council, and Staff on our projects within the District of West Vancouver.

Sincerely,



Kaylen Crosse

Development Manager
Darwin Properties (Canada) Ltd.

Cc. Jim Bailey, Director of Planning
Lisa Berg, Senior Community Planner

CONTACT LIST

OWNER

DARWIN CONSTRUCTION LTD.

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404-197 Forester Street
NORTH VANCOUVER, BC V7H 0A6
TEL: (604) 929-7944
FAX: (604) 929-5475
EMAIL: kaylen@darwin.ca

ARCHITECTURAL

CHRIS DIKEAKOS ARCHITECTS INC.

CONTACT: RICHARD BERNSTEIN
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BURNABY, BC V5C 6N5
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EMAIL: RICHARD.B@DIKEAKOS.COM

LANDSCAPE ARCHITECT

ECKFORD TYACKE + ASSOCIATES

CONTACT: GERRY ECKFORD
1690 WEST SECOND AVENUE,
VANCOUVER, BC, V6J 1H5
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FAX: (604) 684-0577
EMAIL: gerry@etala.ca

DRAWING LIST	
Sheet Number	Sheet Name
A001	COVER SHEET
A100	SITE PLAN
A200	LEVEL 1 FLOOR PLAN
A201	ROOF PLAN
A202	CRAWL SPACE PLAN
A300	BUILDING ELEVATIONS
A301	BUILDING ELEVATIONS
A400	BUILDING SECTIONS
A401	BUILDING SECTIONS
L1	LANDSCAPE PLAN



PROJECT DATA

303 Marine Drive, West Vancouver, British Columbia

A. **Project:** One Storey Temporary Information and Events Building

B. **Legal Description:** LOT 15, DISTRICT LOT 790, PLAN 4918

E. **Site Coverage Calculations:**

Gross Site Area	53,331 sq.ft.
Building Footprint Area	5,685 sq.ft.
Site Coverage Percentage	10.7%

F. **Floor Space Ratio (FSR) Calculation:**

Site / Use	Gross Site Area	Proposed Total FSR	Proposed Area
Residential	53,331 Sq. Ft.	0.11	5,685 sq.ft.

I. **Parking Statistics**

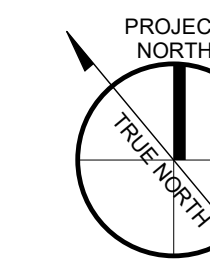
Provided Parking
8

K. **Height**

Maximum Height (Screening)	17'-8"
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KEY PLAN

N.T.S.



NO. REVISION DATE

ISSUED FOR: DEVELOPMENT PERMIT RE-SUBMISSION DATE: 2018.01.08



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ARCHITECTS INC.

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PROJECT:
TEMPORARY INFORMATION AND EVENTS BUILDING
303 Marine Drive
District of North Vancouver

CLIENT:
DARWIN

CONSULTANT:

SCALE: 1/2" = 1'-0" SEAL:

DATE: Jan 8 2018

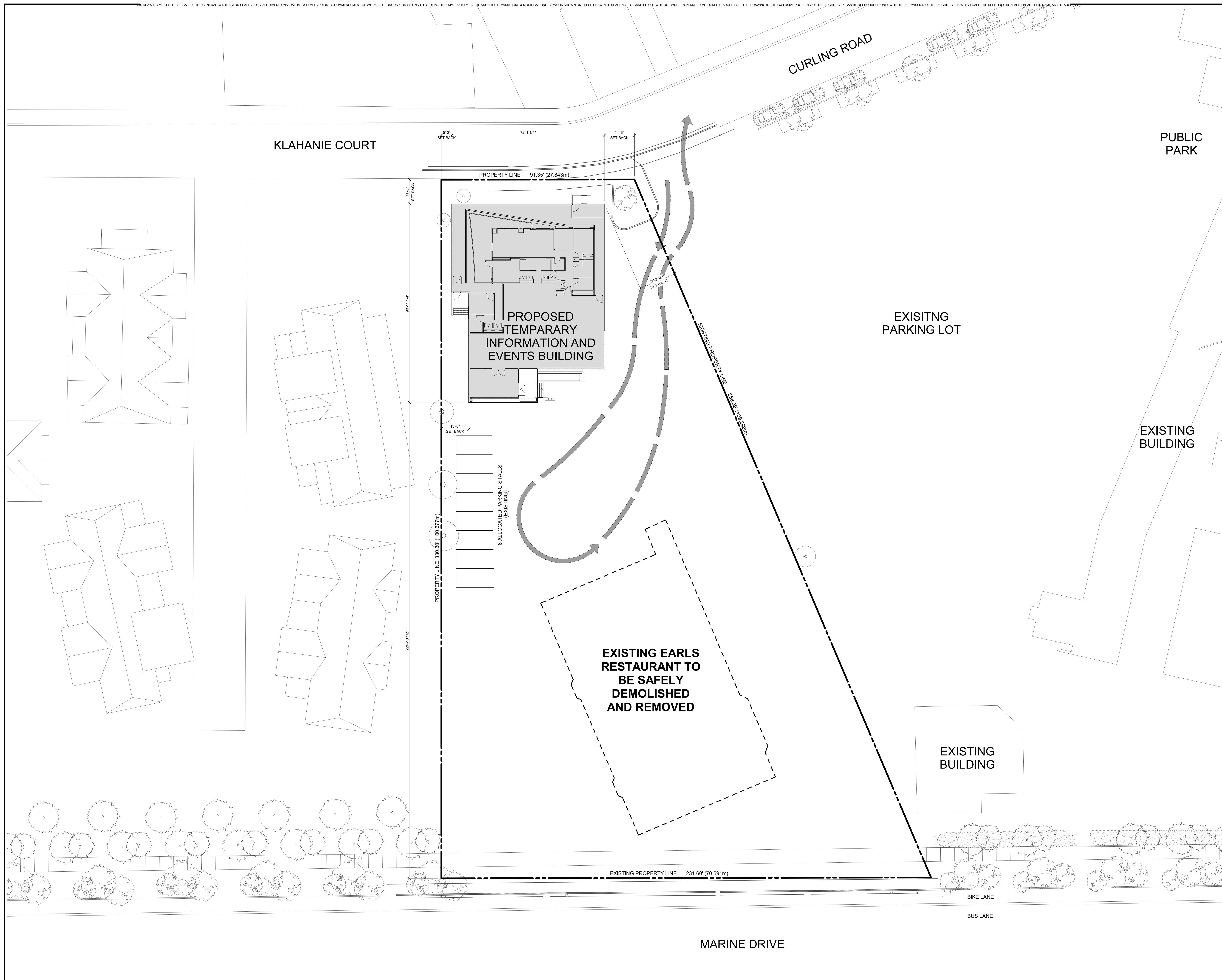
JOB NO.:

SHEET TITLE:

COVER SHEET

DRAWING NO.: A001 REVISION No: -

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KEY PLAN
N.T.S.

PROJECT NORTH

NO.	REVISION	DATE
REVISIONS:		
ISSUED FOR:	DATE	
DEVELOPMENT PERMIT RE-SUBMISSION	2018.01.08	

CDN
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ARCHITECTS INC.
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PROJECT:
TEMPORARY INFORMATION AND EVENTS BUILDING
303 Marine Drive
District of North Vancouver

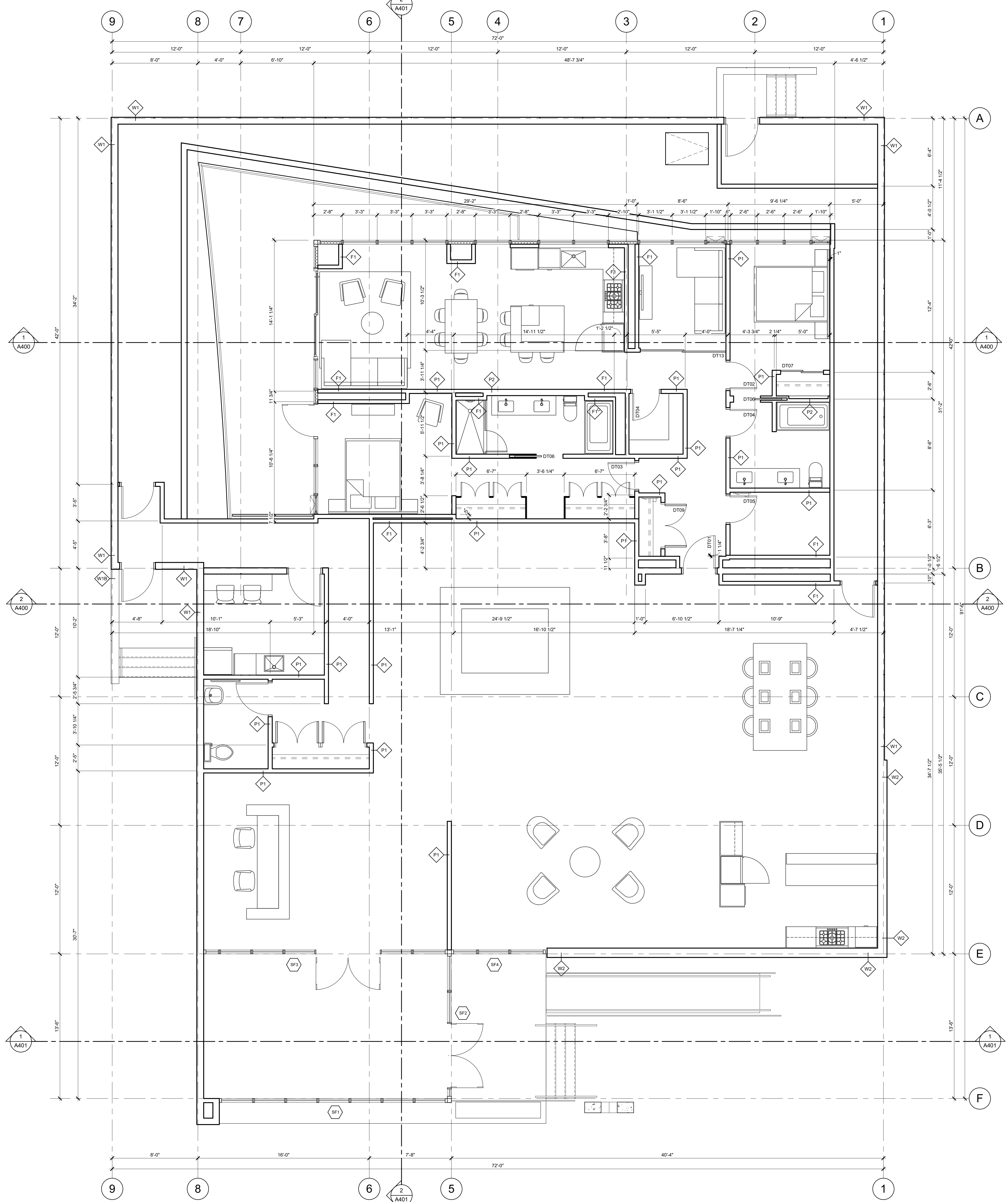
CLIENT:
DARWIN

CONSULTANT:

SCALE: 1/16" = 1'-0"
DATE: 01/02/18
JOB NO.:

SHEET TITLE:
SITE PLAN

DRAWING NO.: **A100** REVISION No. **-**



WALL ASSEMBLIES

- W1 TYPICAL EXTERIOR WALL - FIBRECEMENT PANEL
7/16" FIBRECEMENT WALL PANELS
3/4" x 3" PT VERTICAL WOOD STRAPPING @ 16" O.C.
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R22 BATT INSULATION
6 MIL SHEET POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD
- W1A TYPICAL CRAWLSPACE SKIRT - FIBRECEMENT PANEL
7/16" FIBRECEMENT WALL PANELS
3/4" x 3" PT VERTICAL WOOD STRAPPING @ 16" O.C.
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
- W1B SIMILAR TO W1A, BUT WITH FIBRECEMENT PANELS TO EACH SIDE OF THE STUDS
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7/16" FIBRECEMENT WALL PANELS
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
1/2" PLYWOOD SHEATHING
2 LAYERS 30 MIN. BUILDING PAPER
7/16" FIBRECEMENT WALL PANELS
- W2 EXTERIOR WALL - STONE CLADDING
NOMINAL 3" THICK "NATURAL PURPLE" PIZZARRA SLATE
1" AIR SPACE
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R22 BATT INSULATION
6 MIL SHEET POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD
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NOMINAL 3" THICK "NATURAL PURPLE" PIZZARRA SLATE
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2X6 WOOD STUDS @ 16" O.C.
1/2" PLYWOOD SHEATHING
2 LAYERS 30 MIN. BUILDING PAPER
7/16" FIBRECEMENT WALL PANELS
- P1 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
3/8" STEEL STUDS @ 16" O.C.
OR: 2X4 WOOD STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD
- P2 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
6" STEEL STUDS @ 16" O.C.
OR: 2X6 WOOD STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD
- P3 TYPICAL CRAWL SPACE WALL
1/2" GYPSUM WALL BOARD
2x6 WOOD STUDS @ 16" O.C.
- F1 INTERIOR FURRING
1/2" GYPSUM WALL BOARD
3/8" STEEL STUDS @ 16" O.C.
OR: 2X4 WOOD STUDS @ 16" O.C.

FLOOR ASSEMBLIES

- FL1 TYPICAL FLOOR
FINISHED FLOOR MATERIAL
MINIMUM 5/8" PLYWOOD FLOOR SHEATHING
R32 BATT INSULATION
2X10 WOOD FLOOR JOISTS @ MAXIMUM 16" O.C.
2"x2" 30 GAUGE WIRE MESH TO US OF JOISTS
- FL2 TYPICAL CONCRETE STAIRS/RAMP
CAST IN PLACE CONCRETE
COMPACTED FILL OR VOID FORM MATERIAL

ROOF ASSEMBLIES

- R1 ROOF FLOOR
2 PLY SBS ROOFING MEMBRANE
PROTECTION BOARD BY ROOFING MEMBRANE
SLOPED EXPANDED POLYSTYRENE INSULATION
MINIMUM THICKNESS OF INSULATION IS TO BE 6"
1/2" PLYWOOD ROOF SHEATHING
2X10 WOOD ROOF JOISTS @ MAXIMUM 16" O.C.
1/2" GYPSUM WALL BOARD

EXTERIOR FINISHES

- 1 FIBRECEMENT PANELS
JAMES HARDY HARD PANEL
PAINTED FINISH: BENJAMIN MOORE OC-65 "CHANTILLY LACE"
- 2 DOUBLE GLAZED SEALED UNITS: CLEAR
6MM CLEAR GLASS, LOW E (2), AIR, 4MM CLEAR GLASS
- 3 DOUBLE GLAZED SEALED UNITS: TINTED
6MM CLEAR GLASS, LOW E (2), AIR, 4MM CLEAR GLASS
- 4 SINGLE PANE SPANDREL GLASS: GREY
6MM CLEAR GLASS BACK ROLLED WITH OPACICOAT 300 "NAME"
- 5 ALUMINUM WINDOW WALL FRAME: GREY
POWDER COATED FINISH: DURACORON "NAME"
- 6 GUARDRAIL
POWDER COATED ALUMINUM EXTRUSIONS
CLEAR TEMPORED GLASS PANELS
- 7 LAMINATED FRAMELESS CLEAR GLASS GUARD
- 8 ALUMINUM PANEL SOFFIT: WOOD GRAIN PRINTED
MAYNE CONTING: XXXXXX "NAME"
- 9 STONE VANNER
NATURAL PIZZARRA SLATE "NATURAL PURPLE"

KEY PLAN
N.T.S.

PROJECT NORTH	
NO. REVISION	DATE
ISSUED FOR:	
DEVELOPMENT PERMIT RE-SUBMISSION	2018.01.08



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PROJECT:
TEMPORARY INFORMATION AND EVENTS BUILDING
303 Marine Drive
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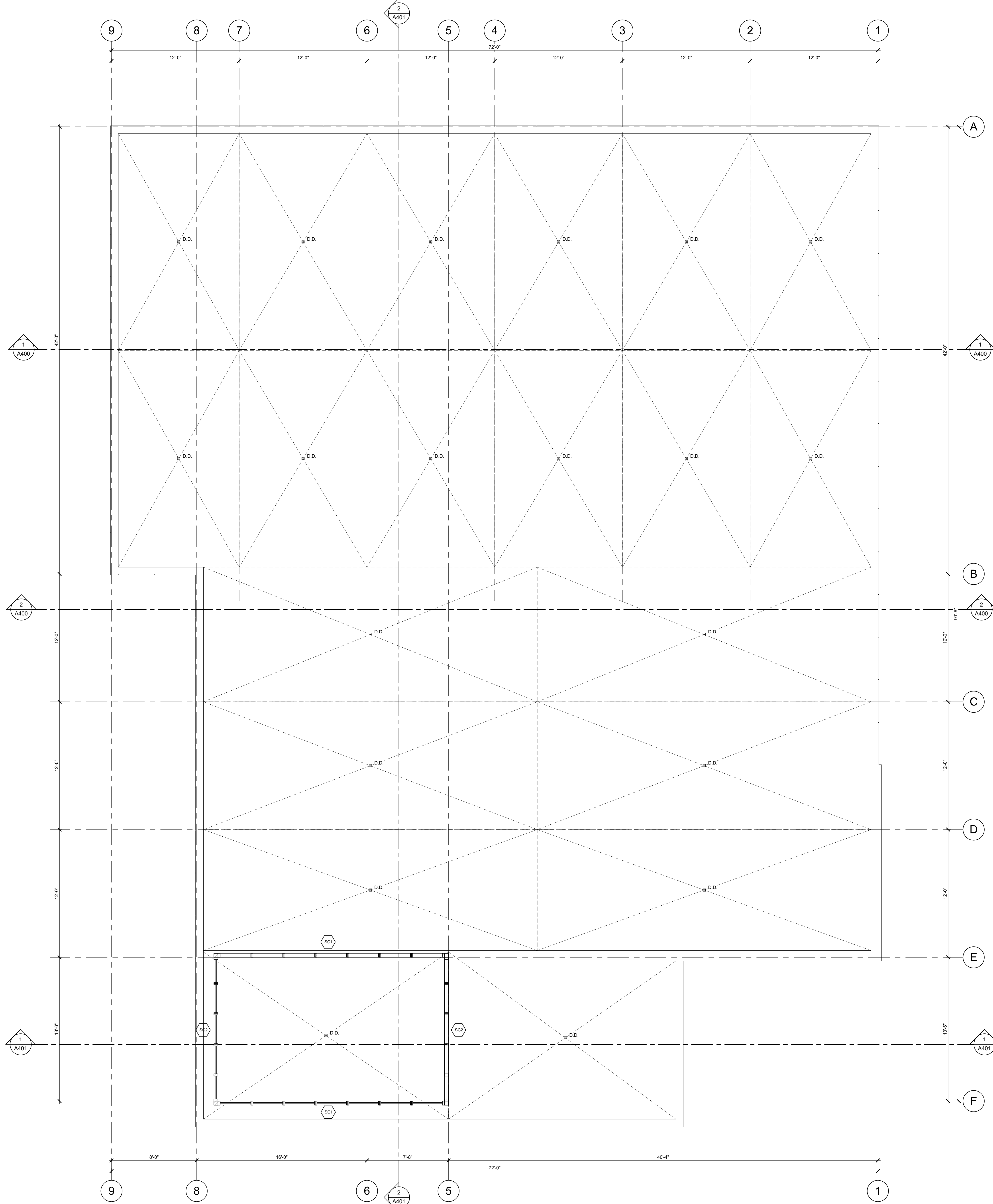
CLIENT:
DARWIN

CONSULTANT:

SCALE: 1/4" = 1'-0" SEAL:
DATE: DEC 18, 2017
JOB NO.:

SHEET TITLE:
LEVEL 1 FLOOR PLAN

DRAWING NO.: **A200** REVISION No: -



WALL ASSEMBLIES

- W1 TYPICAL EXTERIOR WALL - FIBRECEMENT PANEL
7/16" FIBRECEMENT WALL PANELS
3/4" x 3" PT VERTICAL WOOD STRAPPING @ 16" O.C.
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R22 BATT INSULATION
6 MIL SHEET POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD
- W1A TYPICAL CRAWLSPACE SKIRT - FIBRECEMENT PANEL
7/16" FIBRECEMENT WALL PANELS
3/4" x 3" PT VERTICAL WOOD STRAPPING @ 16" O.C.
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
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7/16" FIBRECEMENT WALL PANELS
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
1/2" PLYWOOD SHEATHING
2 LAYERS 30 MIN. BUILDING PAPER
7/16" FIBRECEMENT WALL PANELS
- W2 EXTERIOR WALL - STONE CLADDING
NOMINAL 3" THICK "NATURAL PURPLE" PIZZARRA SLATE
1" AIR SPACE
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R22 BATT INSULATION
6 MIL SHEET POLY VAPOUR BARRIER
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2X6 WOOD STUDS @ 16" O.C.
1/2" PLYWOOD SHEATHING
2 LAYERS 30 MIN. BUILDING PAPER
7/16" FIBRECEMENT WALL PANELS
- P1 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
3.5" STEEL STUDS @ 16" O.C.
OR: 2X4 WOOD STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD
- P2 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
6" STEEL STUDS @ 16" O.C.
OR: 2X6 WOOD STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD
- P3 TYPICAL CRAWL SPACE WALL
1/2" GYPSUM WALL BOARD
2x6 WOOD STUDS @ 16" O.C.
- F1 INTERIOR FURRING
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3.5" STEEL STUDS @ 16" O.C.
OR: 2X4 WOOD STUDS @ 16" O.C.

FLOOR ASSEMBLIES

- FL1 TYPICAL FLOOR
FINISHED FLOOR MATERIAL
MINIMUM 3/4" PLYWOOD FLOOR SHEATHING
R32 BATT INSULATION
2X10 WOOD FLOOR JOISTS @ MAXIMUM 16" O.C.
2"x2" 30 GAUGE WIRE MESH TO US OF JOISTS
- FL2 TYPICAL CONCRETE STAIRS/RAMP
CAST IN PLACE CONCRETE
COMPACTED FILL OR VOID FORM MATERIAL

ROOF ASSEMBLIES

- R1 ROOF FLOOR
2 PLY SBS ROOFING MEMBRANE
PROTECTION BOARD BY ROOFING MEMBRANE
SLOPED EXPANDED POLYSTYRENE INSULATION
MINIMUM THICKNESS OF INSULATION IS TO BE 6"
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EXTERIOR FINISHES

- 1 FIBRECEMENT PANELS
JAMES HARDI - HARDIPANEL
PAINTED FINISH: BENJAMIN MOORE OC-65 "CHANTILLY LACE"
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6MM CLEAR GLASS, LOW E (2), AIR, 4MM CLEAR GLASS
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6MM CLEAR GLASS, LOW E (2), AIR, 4MM CLEAR GLASS
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6MM CLEAR GLASS BACK ROLLED WITH OPAQICOCAT 300 "NAME"
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POWDER COATED FINISH: DURACORON "NAME"
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POWDER COATED ALUMINUM EXTRUSIONS
CLEAR TEMPORED GLASS PANELS
- 7 LAMINATED FRAMELESS CLEAR GLASS GUARD
- 8 ALUMINUM PANEL SOFFIT: WOOD GRAIN PRINTED
MAYNE CONTINGS: XXXXXX "NAME"
- 9 STONE VANNER
NATURAL PIZZARRA SLATE "NATURAL PURPLE"

KEY PLAN
N.T.S.

PROJECT NORTH	
NO. REVISION	DATE
ISSUED FOR:	
DEVELOPMENT PERMIT RE-SUBMISSION	2018.01.08

CDN
CHRIS DIKEAKOS
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TEMPORARY INFORMATION AND EVENTS BUILDING
303 Marine Drive
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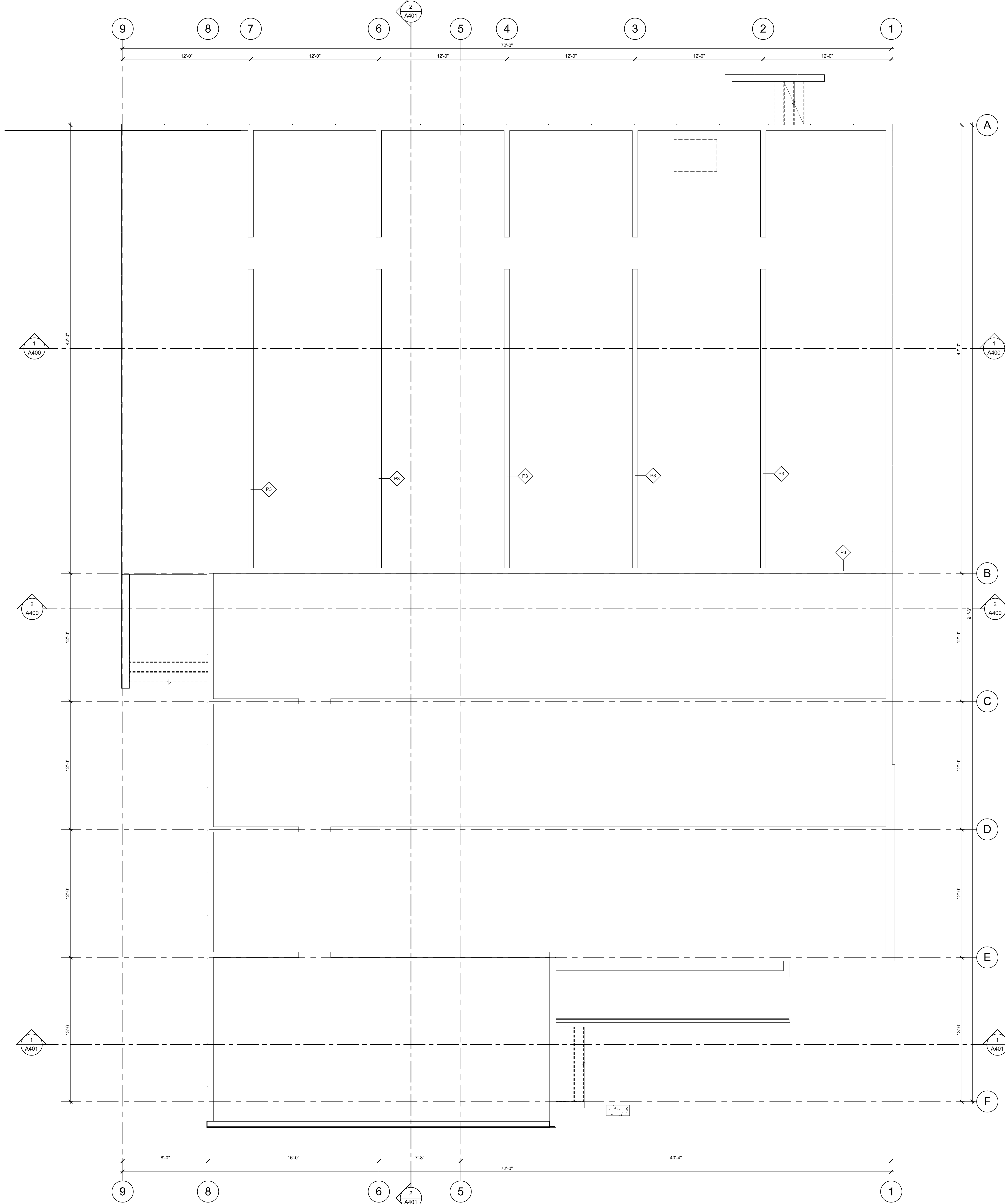
CLIENT:
DARWIN

CONSULTANT:

SCALE: 1/4" = 1'-0" SEAL:
DATE: 01/02/18
JOB NO.:

SHEET TITLE:
ROOF PLAN

DRAWING NO.: **A201** REVISION No: **-**



WALL ASSEMBLIES

- W1 TYPICAL EXTERIOR WALL - FIBRECEMENT PANEL
7/16" FIBRECEMENT WALL PANELS
3/4" x 3" PT VERTICAL WOOD STRAPPING @ 16" O.C.
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- P2 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
6" STEEL STUDS @ 16" O.C.
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FLOOR ASSEMBLIES

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KEY PLAN
N.T.S.

PROJECT NORTH	
NO. REVISION	DATE
ISSUED FOR:	
DEVELOPMENT PERMIT RE-SUBMISSION	2018.01.08



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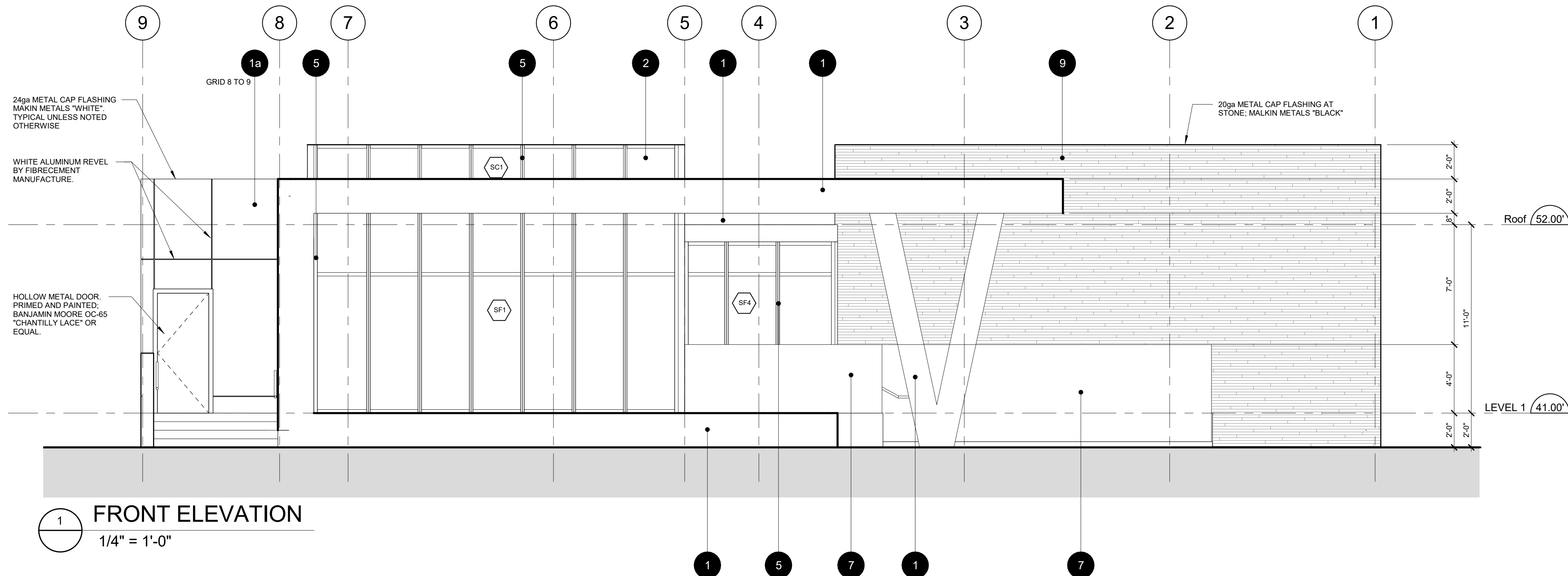
CLIENT:
DARWIN

CONSULTANT:

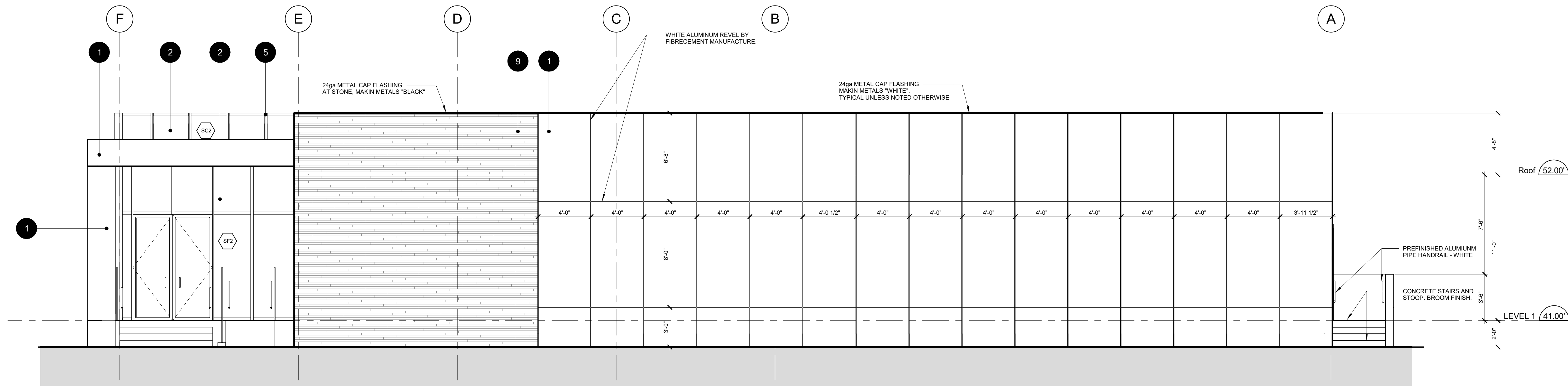
SCALE: 1/4" = 1'-0" SEAL:
DATE: 01/02/18
JOB NO.:

SHEET TITLE:
CRAWL SPACE PLAN

DRAWING NO.: **A202** REVISION No: -



1 FRONT ELEVATION
1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
1/4" = 1'-0"

WALL ASSEMBLIES

- W1 TYPICAL EXTERIOR WALL - FIBRECEMENT PANEL
7/16" FIBRECEMENT WALL PANELS
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R22 BATT INSULATION
6 MIL SHEET POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD
- W2A PARAPET - STONE CLADDING
NOMINAL 3" THICK "NATURAL PURPLE" PIZZARRA SLATE
1" AIR SPACE
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
1/2" PLYWOOD SHEATHING
2 LAYERS 30 MIN. BUILDING PAPER
7/16" FIBRECEMENT WALL PANELS
- P1 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
3.5" STEEL STUDS @ 16" O.C.
OR: 2X4 WOOD STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD
- P2 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
6" STEEL STUDS @ 16" O.C.
OR: 2X6 WOOD STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD
- P3 TYPICAL CRAWL SPACE WALL
1/2" GYPSUM WALL BOARD
2x6 WOOD STUDS @ 16" O.C.
- F1 INTERIOR FURRING
1/2" GYPSUM WALL BOARD
3.5" STEEL STUDS @ 16" O.C.
OR: 2X4 WOOD STUDS @ 16" O.C.

FLOOR ASSEMBLIES

- FL1 TYPICAL FLOOR
FINISHED FLOOR MATERIAL
MINIMUM 3/4" PLYWOOD FLOOR SHEATHING
R22 BATT INSULATION
2X10 WOOD FLOOR JOISTS @ MAXIMUM 16" O.C.
2"x2" 30 GAUGE WIRE MESH TO US OF JOISTS
- FL2 TYPICAL CONCRETE STAIRS/RAMP
CAST INPLACE CONCRETE
COMPACTED FILL OR VOID FORM MATERIAL

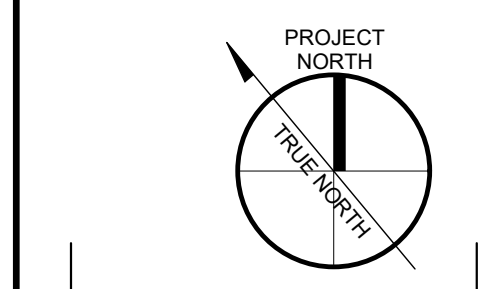
ROOF ASSEMBLIES

- R1 ROOF FLOOR
2 PLY SBS ROOFING MEMBRANE
PROTECTION BOARD BY ROOFING MEMBRANE
SLOPED EXPANDED POLYSTYRENE INSULATION
MINIMUM THICKNESS OF INSULATION IS TO BE 6"
1/2" PLYWOOD ROOF SHEATHING
2X10 WOOD ROOF JOISTS @ MAXIMUM 16" O.C.
1/2" GYPSUM WALL BOARD

EXTERIOR FINISHES

- 1 FIBRECEMENT PANELS
JAMES HARDY - HARD PANEL
PAINTED FINISH - BENJAMIN MOORE OC-65 "CHANTILLY LACE"
- 2 DOUBLE GLAZED SEALED UNITS, CLEAR
6MM CLEAR GLASS, LOW E (2), AIR, 4MM CLEAR GLASS
- 3 DOUBLE GLAZED SEALED UNITS, TINTED
6MM CLEAR GLASS, LOW E (2), AIR, 4MM CLEAR GLASS
- 4 SINGLE PANE SPANDRIL GLASS, GREY
6MM CLEAR GLASS BACK ROLLED WITH OPACICOAT 300 "NAME"
- 5 ALUMINUM WINDOW WALL FRAME, GREY
POWDER COATED FINISH, DURACRON "NAME"
- 6 GUARDRAIL
POWDER COATED ALUMINUM EXTRUSIONS
CLEAR TEMPORED GLASS PANELS
- 7 LAMINATED FRAMELESS CLEAR GLASS GUARD
- 8 ALUMINUM PANEL SOFFIT, WOOD GRAIN PRINTED
MAYNE CONTING, XXXXXX "NAME"
- 9 STONE VANNER
NATURAL PIZZARRA SLATE "NATURAL PURPLE"

KEY PLAN
N.T.S.



NO.	REVISION	DATE
ISSUED FOR:		
DEVELOPMENT PERMIT RE-SUBMISSION		2018.01.08

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ARCHITECTS INC.

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PROJECT:
TEMPORARY INFORMATION AND EVENTS BUILDING
303 Marine Drive
District of North Vancouver

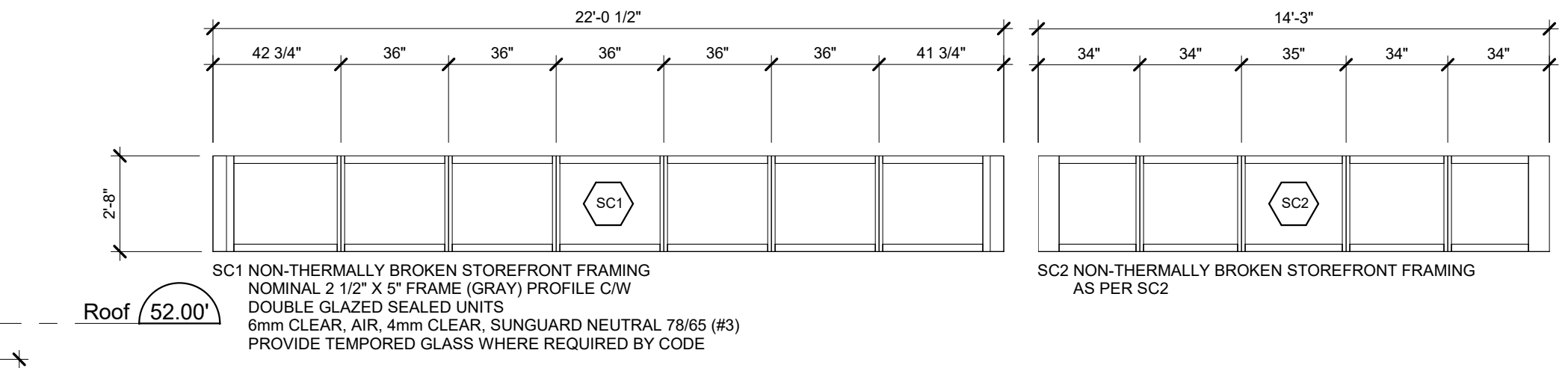
CLIENT:
DARWIN

CONSULTANT:

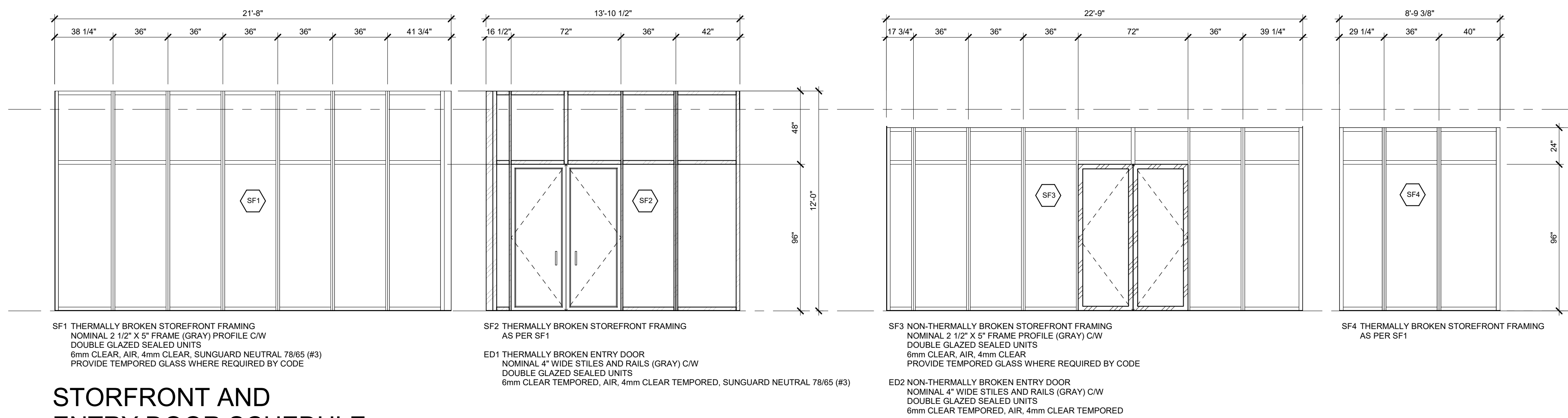
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DATE: 11/16/14
JOB NO.:

SHEET TITLE:
BUILDING ELEVATIONS

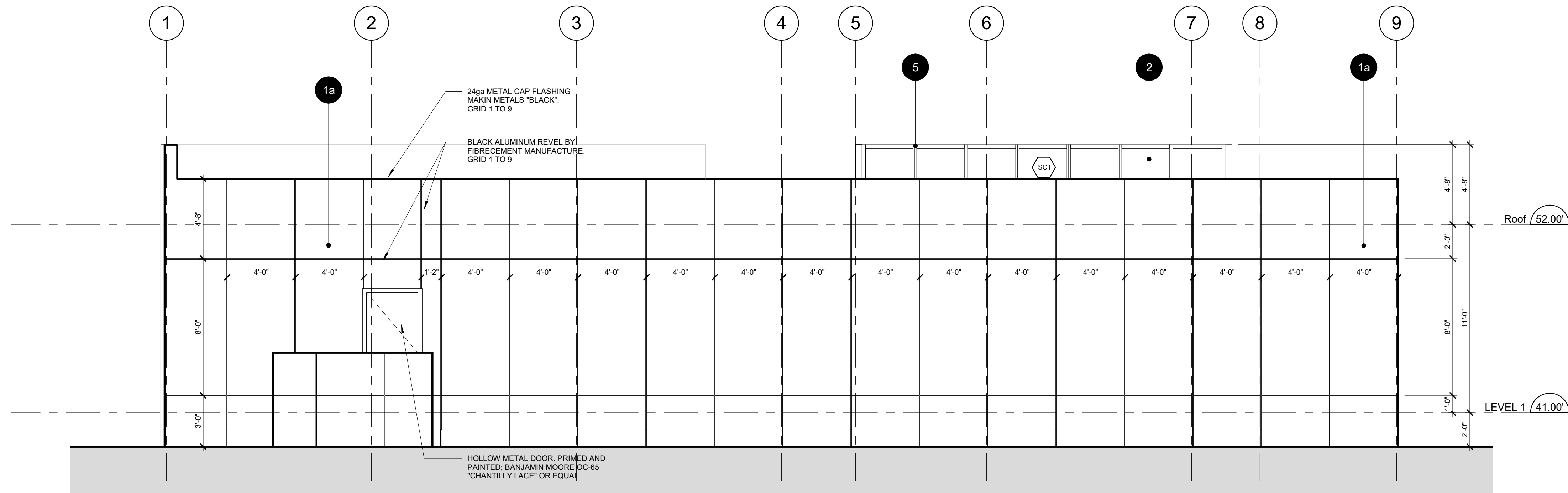
DRAWING NO.: **A300** REVISION No: -



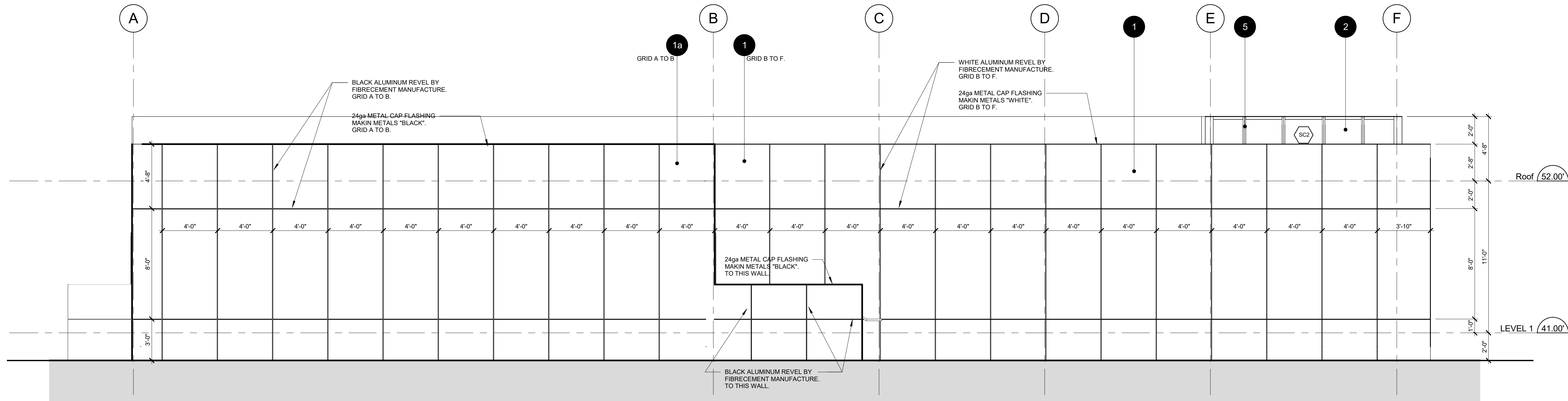
ROOF SCREEN SCHEDULE



STOREFRONT AND ENTRY DOOR SCHEDULE



1 REAR ELEVATION
1/4" = 1'-0"



2 LEFT SIDE ELEVATION
1/4" = 1'-0"

WALL ASSEMBLIES

- W1 TYPICAL EXTERIOR WALL - FIBRECEMENT PANEL
7/16" FIBRECEMENT WALL PANELS
3/4" X 3" PT VERTICAL WOOD STRAPPING @ 16" O.C.
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R22 BATT INSULATION
6 MIL SHEET POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD
- W1A TYPICAL CRAWLSPACE SKIRT - FIBRECEMENT PANEL
7/16" FIBRECEMENT WALL PANELS
3/4" X 3" PT VERTICAL WOOD STRAPPING @ 16" O.C.
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
- W1B SIMILAR TO W1A, BUT WITH FIBRECEMENT PANELS TO EACH SIDE OF THE STUDS
- W1C TYPICAL PARAPET - FIBRECEMENT PANELS
7/16" FIBRECEMENT WALL PANELS
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
1/2" PLYWOOD SHEATHING
2 LAYERS 30 MIN. BUILDING PAPER
7/16" FIBRECEMENT WALL PANELS
- W2 EXTERIOR WALL - STONE CLADDING
NOMINAL 3" THICK "NATURAL PURPLE" PIZZARRA SLATE
1" AIR SPACE
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R22 BATT INSULATION
6 MIL SHEET POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD
- W2A PARAPET - STONE CLADDING
NOMINAL 3" THICK "NATURAL PURPLE" PIZZARRA SLATE
1" AIR SPACE
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
1/2" PLYWOOD SHEATHING
2 LAYERS 30 MIN. BUILDING PAPER
7/16" FIBRECEMENT WALL PANELS
- P1 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
3.5" STEEL STUDS @ 16" O.C.
OR: 2X4 WOOD STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD
- P2 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
6" STEEL STUDS @ 16" O.C.
OR: 2X6 WOOD STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD
- P3 TYPICAL CRAWL SPACE WALL
1/2" GYPSUM WALL BOARD
2x6 WOOD STUDS @ 16" O.C.
- F1 INTERIOR FURRING
1/2" GYPSUM WALL BOARD
3.5" STEEL STUDS @ 16" O.C.
OR: 2X4 WOOD STUDS @ 16" O.C.

FLOOR ASSEMBLIES

- FL1 TYPICAL FLOOR
FINISHED FLOOR MATERIAL
MINIMUM 3/4" PLYWOOD FLOOR SHEATHING
R32 BATT INSULATION
2X10 WOOD FLOOR JOISTS @ MAXIMUM 16" O.C.
2"X2" 30 GAUGE WIRE MESH TO US OF JOISTS
- FL2 TYPICAL CONCRETE STAIRS/RAMP
CAST IN PLACE CONCRETE
COMPACTED FILL OR VOID FORM MATERIAL

ROOF ASSEMBLIES

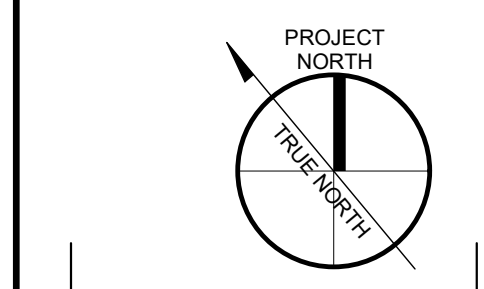
- R1 ROOF FLOOR
2 PLY SBS ROOFING MEMBRANE
PROTECTION BOARD BY ROOFING MEMBRANE
SLOPED EXPANDED POLYSTYRENE INSULATION
MINIMUM THICKNESS OF INSULATION IS TO BE 6"
1/2" PLYWOOD ROOF SHEATHING
2X10 WOOD ROOF JOISTS @ MAXIMUM 16" O.C.
1/2" GYPSUM WALL BOARD

EXTERIOR FINISHES

- 1 FIBRECEMENT PANELS
JAMES HARDI: HARDIPANEL
PAINTED FINISH: BENJAMIN MOORE OC-65 "CHANTILLY LACE"
- 2 DOUBLE GLAZED SEALED UNITS: CLEAR
6MM CLEAR GLASS, LOW E (2), AIR, 4MM CLEAR GLASS
- 3 DOUBLE GLAZED SEALED UNITS: TINTED
6MM CLEAR GLASS, LOW E (2), AIR, 4MM CLEAR GLASS
- 4 SINGLE PANE SPANDRAL GLASS: GREY
6MM CLEAR GLASS BACK ROLLED WITH OPACICOAT 300 "NAME"
- 5 ALUMINUM WINDOW WALL FRAME: GREY
POWDER COATED FINISH: DUKACRON "NAME"
- 6 GUARDRAIL
POWDER COATED ALUMINUM EXTRUSIONS
CLEAR TEMPORED GLASS PANELS
- 7 LAMINATED FRAMELESS CLEAR GLASS GUARD
- 8 ALUMINUM PANEL SOFFIT: WOOD GRAIN PRINTED
MAYNE CONTINGS, XXXXXX "NAME"
- 9 STONE VENNER
NATURAL PIZZARRA SLATE "NATURAL PURPLE"

KEY PLAN

N.T.S.



NO.	REVISION	DATE
1	ISSUED FOR:	DATE
2	DEVELOPMENT PERMIT RE-SUBMISSION	2018.01.08

CDN
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PROJECT:
TEMPORARY INFORMATION AND EVENTS BUILDING
303 Marine Drive
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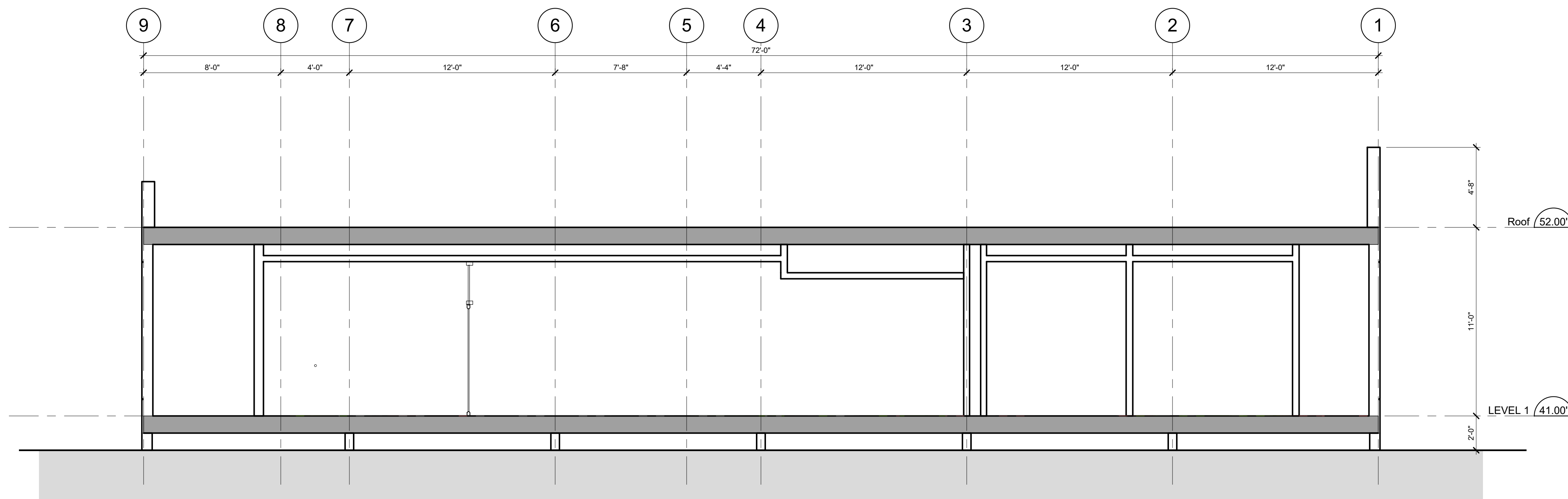
CLIENT:
DARWIN

CONSULTANT:

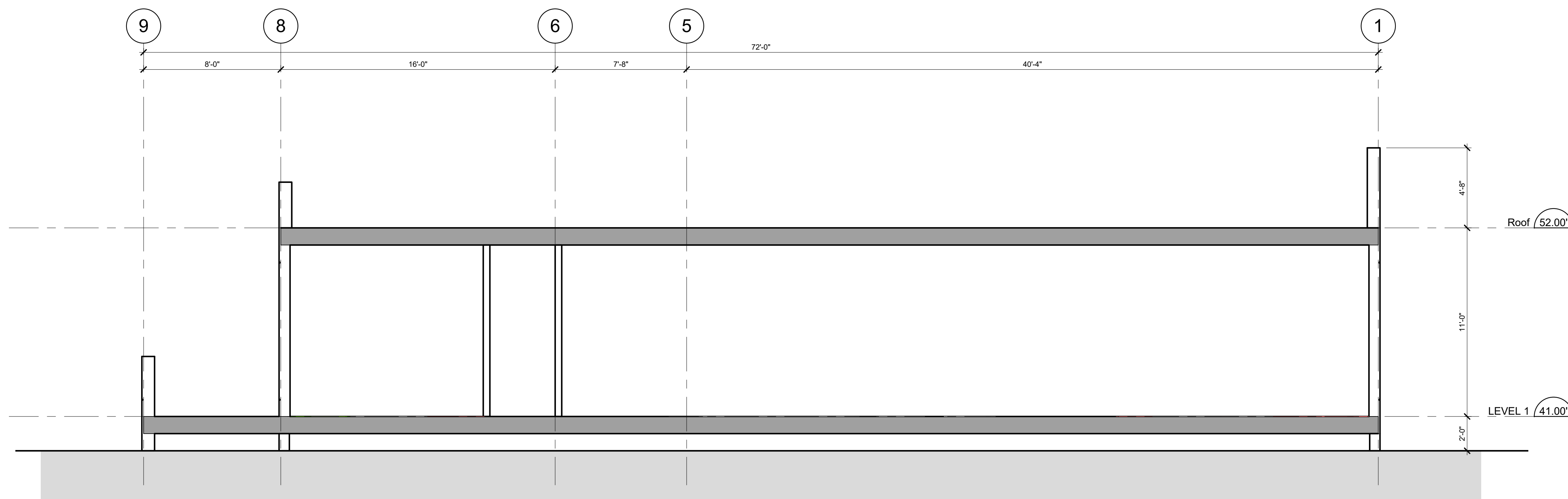
SCALE: 1/4" = 1'-0" SEAL:
DATE: 12/22/17
JOB NO.:

SHEET TITLE:
BUILDING ELEVATIONS

DRAWING NO.: **A301** REVISION No: **-**



1 BUILDING SECTION 1
A200 1/4" = 1'-0"



2 BUILDING SECTION 2
A200 1/4" = 1'-0"

WALL ASSEMBLIES

- W1 TYPICAL EXTERIOR WALL - FIBRECEMENT PANEL
7/16" FIBRECEMENT WALL PANELS
3/4" x 3" PT VERTICAL WOOD STRAPPING @ 16" O.C.
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R22 BATT INSULATION
6 MIL SHEET POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD
- W1A TYPICAL CRAWLSPACE SKIRT - FIBRECEMENT PANEL
7/16" FIBRECEMENT WALL PANELS
3/4" x 3" PT VERTICAL WOOD STRAPPING @ 16" O.C.
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
- W1B SIMILAR TO W1A, BUT WITH FIBRECEMENT PANELS TO EACH SIDE OF THE STUDS
- W1C TYPICAL PARAPET - FIBRECEMENT PANELS
7/16" FIBRECEMENT WALL PANELS
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
1/2" PLYWOOD SHEATHING
2 LAYERS 30 MIN. BUILDING PAPER
7/16" FIBRECEMENT WALL PANELS
- W2 EXTERIOR WALL - STONE CLADDING
NOMINAL 3" THICK "NATURAL PURPLE" PIZZARRA SLATE
1" AIR SPACE
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R22 BATT INSULATION
6 MIL SHEET POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD
- W2A PARAPET - STONE CLADDING
NOMINAL 3" THICK "NATURAL PURPLE" PIZZARRA SLATE
1" AIR SPACE
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
1/2" PLYWOOD SHEATHING
2 LAYERS 30 MIN. BUILDING PAPER
7/16" FIBRECEMENT WALL PANELS
- P1 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
3 5/8" STEEL STUDS @ 16" O.C.
OR: 2X4 WOOD STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD
- P2 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
6" STEEL STUDS @ 16" O.C.
OR: 2X6 WOOD STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD
- P3 TYPICAL CRAWL SPACE WALL
1/2" GYPSUM WALL BOARD
2x6 WOOD STUDS @ 16" O.C.
- F1 INTERIOR FURRING
1/2" GYPSUM WALL BOARD
3 5/8" STEEL STUDS @ 16" O.C.
OR: 2X4 WOOD STUDS @ 16" O.C.

FLOOR ASSEMBLIES

- FL1 TYPICAL FLOOR
FINISHED FLOOR MATERIAL
MINIMUM 3/4" PLYWOOD FLOOR SHEATHING
R22 BATT INSULATION
2X10 WOOD FLOOR JOISTS @ MAXIMUM 16" O.C.
2"x2" 30 GAUGE WIRE MESH TO US OF JOISTS
- FL2 TYPICAL CONCRETE STAIR/RAMP
CAST IN PLACE CONCRETE
COMPACTED FILL OR VOID FORM MATERIAL

ROOF ASSEMBLIES

- R1 ROOF FLOOR
2 PLY SBS ROOFING MEMBRANE
PROTECTION BOARD BY ROOFING MEMBRANE
SLOPED EXPANDED POLYSTYRENE INSULATION
MINIMUM THICKNESS OF INSULATION IS TO BE 6"
1/2" PLYWOOD ROOF SHEATHING
2X10 WOOD ROOF JOISTS @ MAXIMUM 16" O.C.
1/2" GYPSUM WALL BOARD

EXTERIOR FINISHES

- 1 FIBRECEMENT PANELS
JAMES HARDI: HARDIPANEL
PAINTED FINISH: BENJAMIN MOORE OC-65 "CHANTILLY LACE"
- 2 DOUBLE GLAZED SEALED UNITS: CLEAR
6MM CLEAR GLASS, LOW E (2), AIR, 4MM CLEAR GLASS
- 3 DOUBLE GLAZED SEALED UNITS: TINTED
6MM CLEAR GLASS, LOW E (2), AIR, 4MM CLEAR GLASS
- 4 SINGLE PANE SPANDREL GLASS: GREY
6MM CLEAR GLASS BACK ROLLED WITH OPACICOAT 300 "NAME"
- 5 ALUMINUM WINDOW WALL FRAME: GREY
POWDER COATED FINISH: DURACORON "NAME"
- 6 GUARDRAIL
POWDER COATED ALUMINUM EXTRUSIONS
CLEAR TEMPORED GLASS PANELS
- 7 LAMINATED FRAMELESS CLEAR GLASS GUARD
- 8 ALUMINUM PANEL SOFFIT: WOOD GRAIN PRINTED
MAYNE CONTING: XXXXXX "NAME"
- 9 STONE VENER
NATURAL PIZZARRA SLATE "NATURAL PURPLE"

KEY PLAN

N.T.S.

NO. REVISION	DATE
REVISIONS: ISSUED FOR: _____ DATE: _____ DEVELOPMENT PERMIT RE-SUBMISSION 2018.01.08	

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PROJECT:
TEMPORARY INFORMATION AND EVENTS BUILDING
303 Marine Drive
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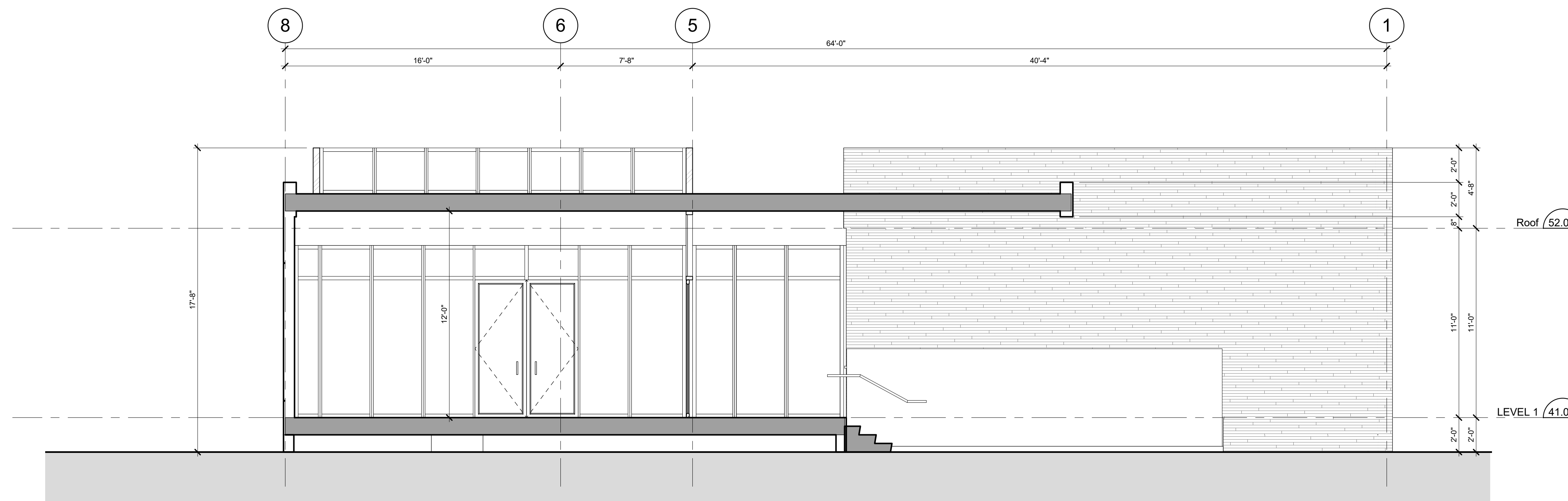
CLIENT:
DARWIN

CONSULTANT:

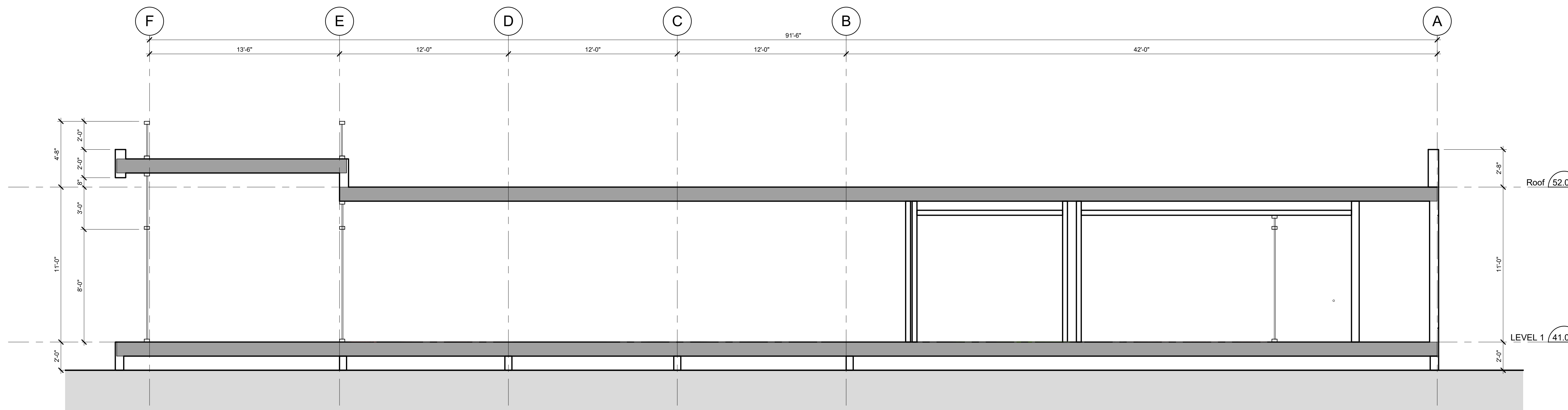
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DATE: 11/10/14
JOB NO.:

SHEET TITLE:
BUILDING SECTIONS

DRAWING NO.: **A400** REVISION No: **-**



BUILDING SECTION 3
1
A200 1/4" = 1'-0"



BUILDING SECTION 4
2
A200 1/4" = 1'-0"

WALL ASSEMBLIES

- W1 TYPICAL EXTERIOR WALL - FIBRECEMENT PANEL
7/16" FIBRECEMENT WALL PANELS
3/4" X 3" PT VERTICAL WOOD STRAPPING @ 16" O.C.
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R22 BATT INSULATION
6 MIL SHEET POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD
- W1A TYPICAL CRAWLSPACE SKIRT - FIBRECEMENT PANEL
7/16" FIBRECEMENT WALL PANELS
3/4" X 3" PT VERTICAL WOOD STRAPPING @ 16" O.C.
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
- W1B SIMILAR TO W1A, BUT WITH FIBRECEMENT PANELS TO EACH SIDE OF THE STUDS
- W1C TYPICAL PARAPET - FIBRECEMENT PANELS
7/16" FIBRECEMENT WALL PANELS
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
1/2" PLYWOOD SHEATHING
2 LAYERS 30 MIN. BUILDING PAPER
7/16" FIBRECEMENT WALL PANELS
- W2 EXTERIOR WALL - STONE CLADDING
NOMINAL 3" THICK "NATURAL PURPLE" PIZZARRA SLATE
1" AIR SPACE
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R22 BATT INSULATION
6 MIL SHEET POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD
- W2A PARAPET - STONE CLADDING
NOMINAL 3" THICK "NATURAL PURPLE" PIZZARRA SLATE
1" AIR SPACE
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1/2" PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
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2 LAYERS 30 MIN. BUILDING PAPER
7/16" FIBRECEMENT WALL PANELS
- P1 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
3.5" STEEL STUDS @ 16" O.C.
OR: 2X4 WOOD STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD
- P2 INTERIOR PARTITION
1/2" GYPSUM WALL BOARD
6" STEEL STUDS @ 16" O.C.
OR: 2X6 WOOD STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD
- P3 TYPICAL CRAWL SPACE WALL
1/2" GYPSUM WALL BOARD
2x6 WOOD STUDS @ 16" O.C.
- F1 INTERIOR FLOORING
1/2" GYPSUM WALL BOARD
3.5" STEEL STUDS @ 16" O.C.
OR: 2X4 WOOD STUDS @ 16" O.C.

FLOOR ASSEMBLIES

- FL1 TYPICAL FLOOR
FINISHED FLOOR MATERIAL
MINIMUM 3/4" PLYWOOD FLOOR SHEATHING
R22 BATT INSULATION
2X10 WOOD FLOOR JOISTS @ MAXIMUM 16" O.C.
2" X 2" 30 GAUGE WIRE MESH TO US OF JOISTS
- FL2 TYPICAL CONCRETE STAIRS/RAMP
CAST IN PLACE CONCRETE
COMPACTED FILL OR VOID FORM MATERIAL

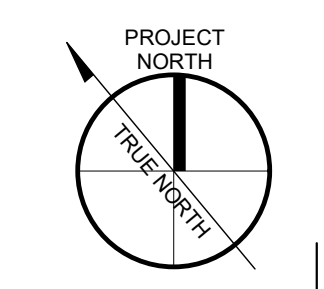
ROOF ASSEMBLIES

- R1 ROOF FLOOR
2 PLY SBS ROOFING MEMBRANE
PROTECTION BOARD BY ROOFING MEMBRANE
SLOPED EXPANDED POLYSTYRENE INSULATION
MINIMUM THICKNESS OF INSULATION IS TO BE 6"
1/2" PLYWOOD ROOF SHEATHING
2X10 WOOD ROOF JOISTS @ MAXIMUM 16" O.C.
1/2" GYPSUM WALL BOARD

EXTERIOR FINISHES

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JAMES HARDI - HARDIPANEL
PAINTED FINISH: BENJAMIN MOORE OC-65 "CHANTILLY LACE"
- 2 DOUBLE GLAZED SEALED UNITS: CLEAR
6MM CLEAR GLASS, LOW E (2), AIR, 4MM CLEAR GLASS
- 3 DOUBLE GLAZED SEALED UNITS: TINTED
6MM CLEAR GLASS, LOW E (2), AIR, 4MM CLEAR GLASS
- 4 SINGLE PANE SPANDRAL GLASS: GREY
6MM CLEAR GLASS BACK ROLLED WITH OPACICOAT 300 "NAME"
- 5 ALUMINUM WINDOW WALL FRAME: GREY
POWDER COATED FINISH: DURACORON "NAME"
- 6 GUARDRAIL
POWDER COATED ALUMINUM EXTRUSIONS
CLEAR TEMPORED GLASS PANELS
- 7 LAMINATED FRAMELESS CLEAR GLASS GUARD
- 8 ALUMINUM PANEL, SOFFIT: WOOD GRAIN PRINTED
MAYNE CONTINGS, XX-XXXX "NAME"
- 9 STONE VENNER
NATURAL PIZZARRA SLATE "NATURAL PURPLE"

KEY PLAN
N.T.S.



NO.	REVISION	DATE
REVISIONS:		
ISSUED FOR:		DATE
DEVELOPMENT PERMIT RE-SUBMISSION		2018.01.08

CDN
CHRIS DIKEAKOS
ARCHITECTS INC.

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TEMPORARY INFORMATION AND EVENTS BUILDING
303 Marine Drive
District of North Vancouver

CLIENT:
DARWIN

CONSULTANT:

SCALE: 1/4" = 1'-0" SEAL:
DATE: 12/28/17
JOB NO.:

SHEET TITLE:
BUILDING SECTIONS

DRAWING NO.: **A401** REVISION No: **-**

Revision No.	Date	Revision Notes
A	17-9-19	Issued for DP
B	17-12-08	Re-Issued for DP
C	18-1-8	DP Re-Submission

Issue No.	Date	Issue Notes
A	17-9-19	Issued for DP
B	17-12-08	Re-Issued for DP
C	18-1-8	DP Re-Submission

Professional Seal



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Project
Sentinel Temporary Information and Events Building
303 Marine Drive
West Vancouver BC

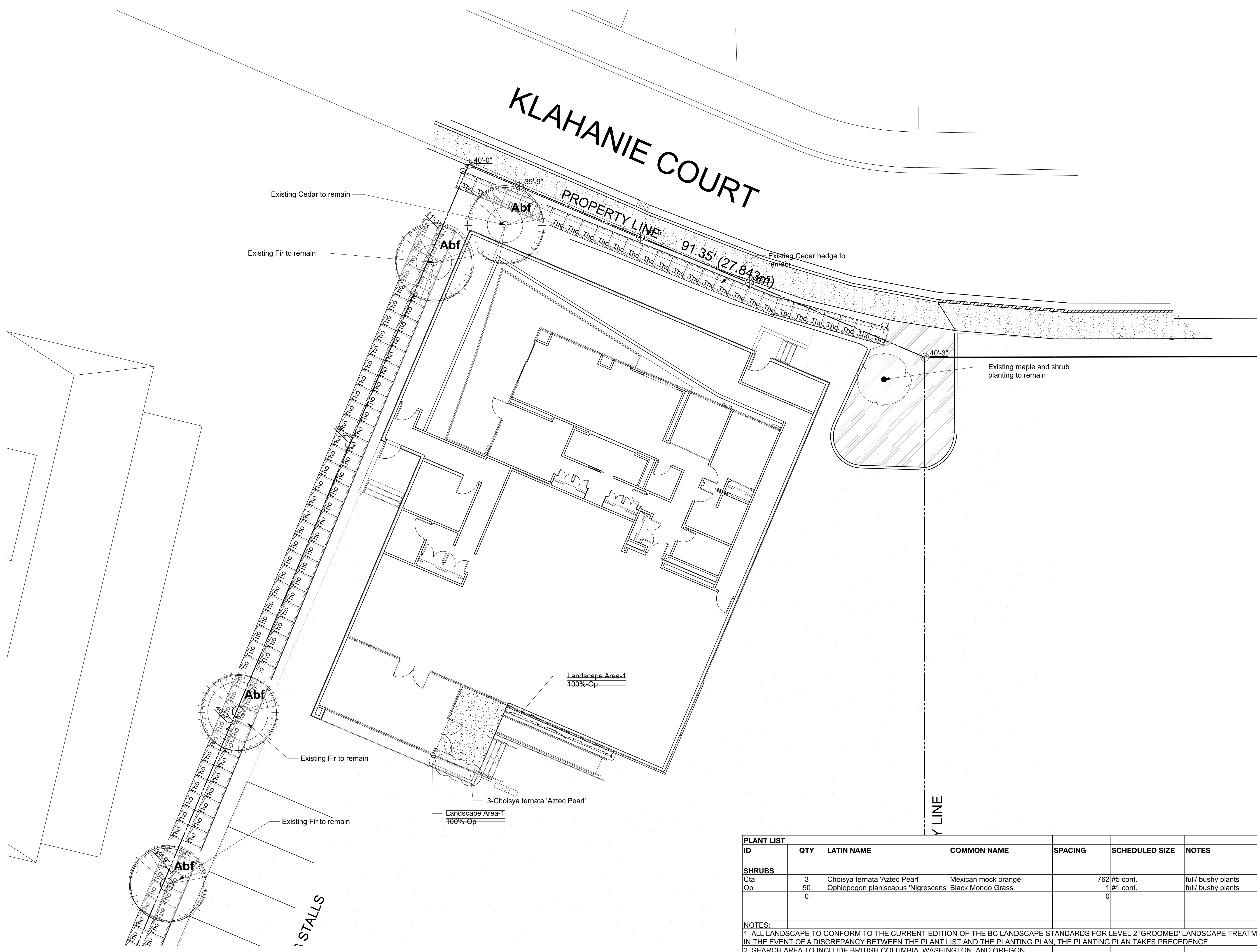
Drawing Title
Landscape Plan

Legal

Project Manager	Project ID
GE	21741
Scale	1/8" = 1'-0"
Date	2018.09.18

L-1
of
1

Plot Date:
18-1-14
21741 Sentinel Sales Centre_Master_2017.09.13.vwx



ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES
SHRUBS						
Cta	3	Choisya ternata 'Aztec Pearl'	Mexican mock orange		762 #5 cont.	full/ bushy plants
Op	50	Ophiopogon planiscapus 'Nigrescens'	Black Mondo Grass		1 #1 cont.	full/ bushy plants
	0				0	

NOTES:
1 ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE BC LANDSCAPE STANDARDS FOR LEVEL 2 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.
2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON AND OREGON

1 LANDSCAPE PLAN
Scale: 1/8" = 1'-0"

2 PLANT LIST

Revision No.	Date	Revision Notes
A	17-9-19	Issued for DP
B	17-12-08	Re-Issued for DP

Issue No.	Date	Issue Notes
A	17-9-19	Issued for DP
B	17-12-08	Re-Issued for DP

Professional Seal



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Project
Sentinel Temporary Information and Events Building
303 Marine Drive
West Vancouver BC

Drawing Title
Landscape Plan

Legal

Project Manager	Project ID
GE	21741
Drawn By	Scale
GE	1/8" = 1'-0"
Reviewed By	Drawing No.
	L-1
Date	of
2018.09.18	1

Plot Date:
17-12-22
21741 Sentinel Sales Centre_Master_2017.09.13.vwx



ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES
SHRUBS						
Cia	3	Choyisa ternata 'Aztec Pearl'	Mexican mock orange	2'6"	#5 cont.	full/ bushy plants
Op	70	Ophiopogon planiscapus 'Nigrescens'	Black Mondo Grass	8"	#1 cont.	full/ bushy plants
	0				0'	

NOTES:
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