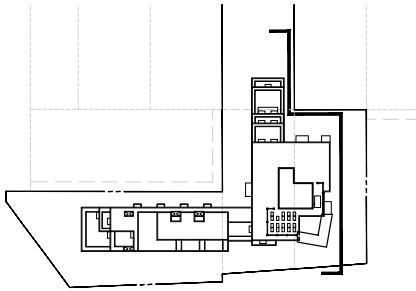


- EXTERIOR MATERIAL FINISH LEGEND
- ① PREFINISHED METAL PANEL - WHITE
 - ② PERFORATED METAL SCREEN
 - ③ PRE-FINISHED METAL PANEL - GREY
 - ④ HOOD GRAIN SOFFIT
 - ⑤ HOOD-LIKE PRIVACY SCREEN
 - ⑥ ALUMINUM WINDOW FRAME - CHARCOAL
 - ⑦ ALUMINUM WINDOW FRAME - GREY
 - ⑧ SPANDREL PANEL - CHARCOAL
 - ⑨ SPANDREL PANEL - HOOD GRAIN
 - ⑩ SPANDREL GLASS - GREY
 - ⑪ PAINTED STEEL STRUCTURE - CHARCOAL
 - ⑫ BRICK - EARTH TONE BROWN
 - ⑬ PRE-FINISHED ALUMINUM & CLEAR GLASS GUARDRAIL
 - ⑭ METAL CLADDING - HOOD TONE VARIOUS COLOURS
 - ⑮ GULLAM CANOPY STRUCTURE WITH GLASS
 - ⑯ HEAVY TIMBER (APPROX. 8"x12")



dys architecture
 260 - 1770 Burrard Street Vancouver BC V6J 3G7
 tel 604.669.7710 www.dysarchitecture.com

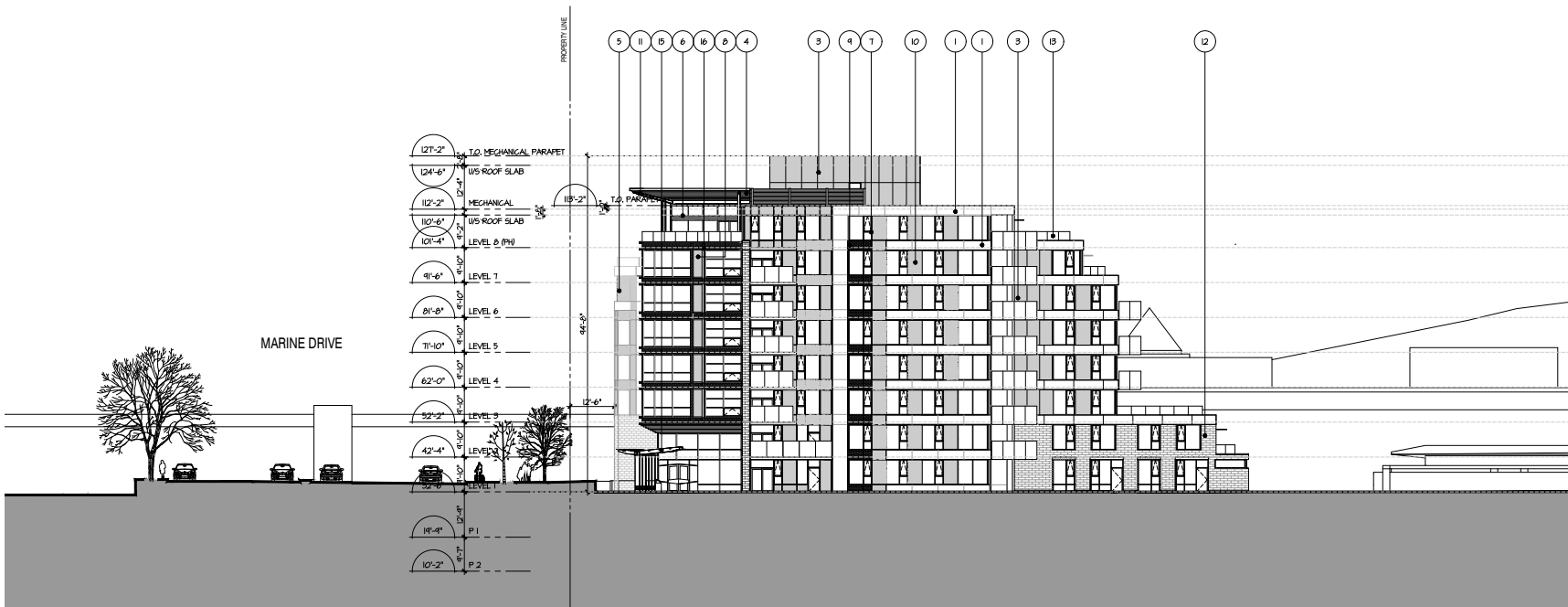
CLIENT



EXECUTIVE
 GROUP DEVELOPMENT

NO. | DATE | ISSUE
 01 | 2018.05.17 | ISSUED FOR DRG
 02 | 2018.11.19 | ISSUED FOR PCM
 03 | 2019.03.28 | RESPONSE TO MEMORANDUM

NO. | DATE | REVISION



PROJECT
EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL

657 Marine Drive
 West Vancouver BC

ELEVATION EAST
(6TH STREET)

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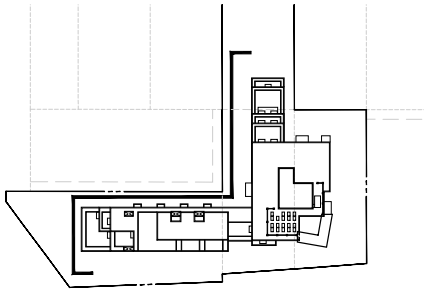
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PROJECT A215294
 DRAWN JL/SS CHECKED NC

SCALE 1/16"=1'-0"
 DATE NOV. 19, 2018

A3.02

- EXTERIOR MATERIAL FINISH LEGEND
- ① PREFINISHED METAL PANEL - WHITE
 - ② PERFORATED METAL SCREEN
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 tel 604.669.7710 www.dysarchitecture.com

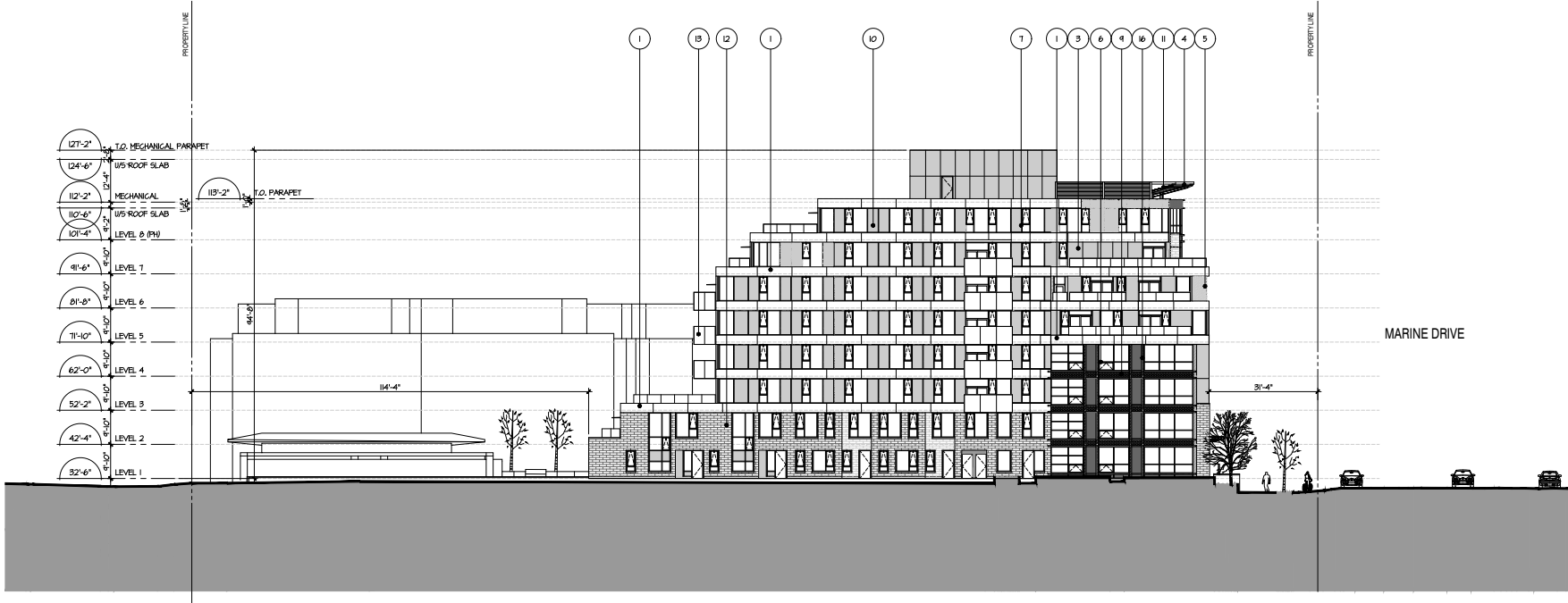
CLIENT



**EXECUTIVE
 GROUP DEVELOPMENT**

NO. | DATE | ISSUE
 01 | 2018.05.17 | ISSUED FOR DRG
 02 | 2018.11.19 | ISSUED FOR PCM
 03 | 2019.03.28 | RESPONSE TO MEMORANDUM

NO. | DATE | REVISION



PROJECT
**EXECUTIVE PARC
 MARINE+TAYLOR RESIDENTIAL**

657 Marine Drive
 West Vancouver BC

ELEVATION WEST

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PROJECT A215294
 DRAWN JL/SS CHECKED NC

SCALE 1/16"=1'-0"
 DATE NOV. 19, 2018

A3.03

- EXTERIOR MATERIAL FINISH LEGEND
- ① PREFINISHED METAL PANEL - WHITE
 - ② PERFORATED METAL SCREEN
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CLIENT



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NO. | DATE | REVISION

PROJECT
EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL

657 Marine Drive
 West Vancouver BC

ELEVATION NORTH
(CLYDE)

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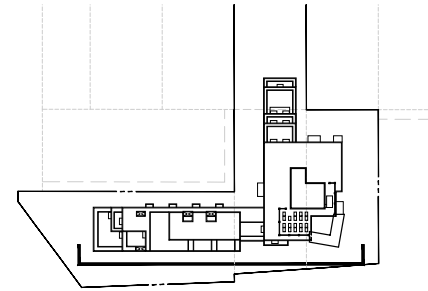
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PROJECT A215294
 DRAWN JL/SS CHECKED NC

SCALE 1/16"=1'-0"
 DATE NOV. 19, 2018



A3.04



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CLIENT



EXECUTIVE
 GROUP DEVELOPMENT

NO.	DATE	ISSUE
01	2018.05.17	ISSUED FOR DRC
02	2018.11.19	ISSUED FOR PCM
03	2019.03.28	RESPONSE TO MEMORANDUM

NO. | DATE | REVISION



PROJECT

**EXECUTIVE PARC
 MARINE+TAYLOR RESIDENTIAL**

657 Marine Drive
 West Vancouver BC

**ELEVATION SOUTH
 (MARINE)**

COLOUR ELEVATION

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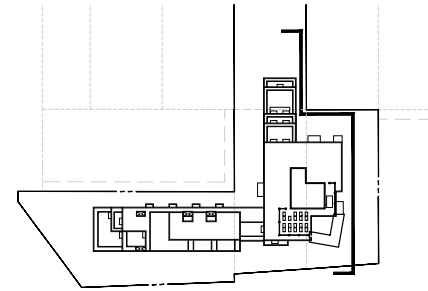
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 DRAWN JL/SS CHECKED NC

SCALE 1/16"=1'-0"
 DATE NOV. 19, 2018



A3.05



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CLIENT



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NO. | DATE | REVISION



PROJECT

**EXECUTIVE PARC
 MARINE+TAYLOR RESIDENTIAL**

657 Marine Drive
 West Vancouver BC

**ELEVATION EAST
 (6TH STREET)**

COLOUR ELEVATION

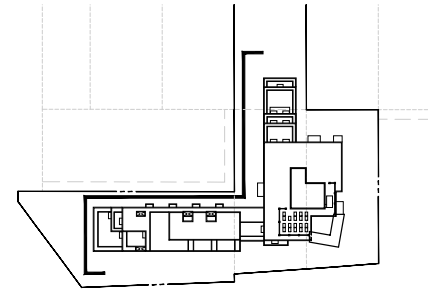
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 DRAWN JL/SS CHECKED NC

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 DATE NOV. 19, 2018

A3.06



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NO. | DATE | REVISION



PROJECT

**EXECUTIVE PARC
 MARINE + TAYLOR RESIDENTIAL**

657 Marine Drive
 West Vancouver BC

ELEVATION WEST

COLOUR ELEVATION

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 DRAWN JL/SS CHECKED NC

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 DATE NOV. 19, 2018

A3.07



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PROJECT
EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL

657 Marine Drive
 West Vancouver BC

ELEVATION NORTH
(CLYDE)

COLOUR ELEVATION

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A3.08

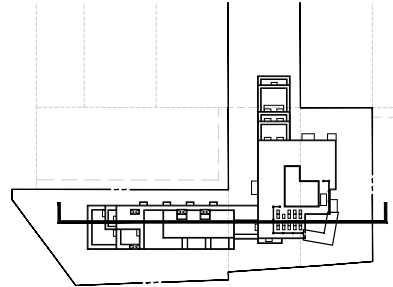
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PROJECT
EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL

657 Marine Drive
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SECTION B-B

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 DATE NOV. 19, 2018



A4.02

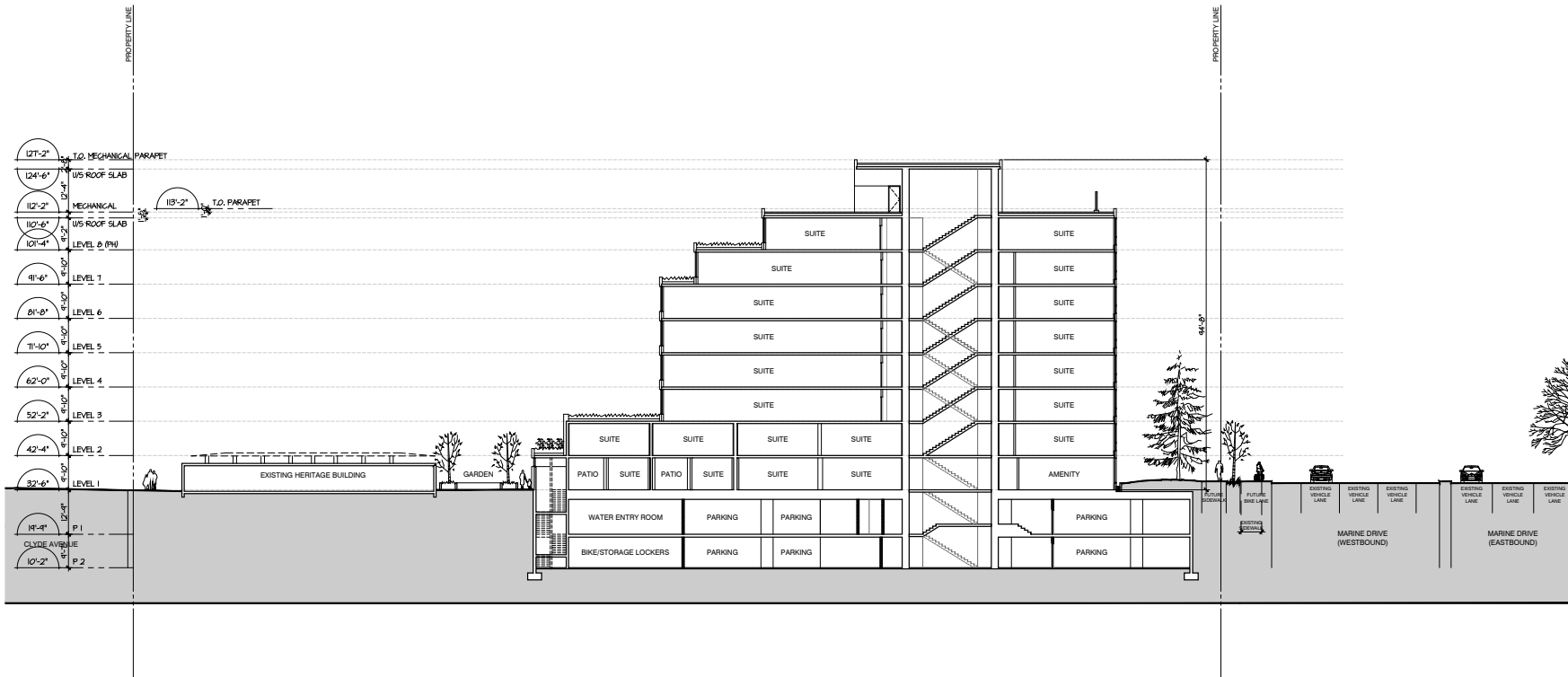
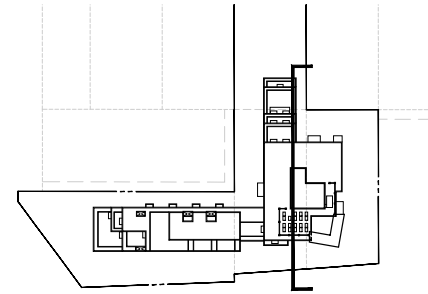
CLIENT



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PROJECT
EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL

657 Marine Drive
 West Vancouver BC

SECTION A-A

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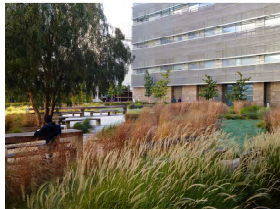
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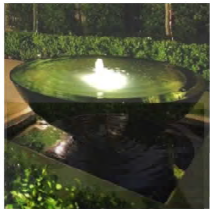
SCALE 1/16"=1'-0"
 DATE NOV. 19, 2018



A4.01



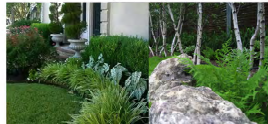
CUSTOM TABLES AND BENCHES IN PARKETTE



CENTRAL COURTYARD SOUTH OF HERITAGE OFFICE BUILDING



LINEAR PAVING PATTERNS FOR PARK SPACE AND ENTRY WALKWAY



EVERGREEN GRASSES, FERNS AND SHRUBS W/BOULDERS IN MEWS PLANTERS

PARKETTE
Feature stone fin walls project through the landscape giving a strong sense of place. Accessible ramp is provided from the South whilst steps provide another entry from the West. Tables and benches look out over the feature planting of perennials and grasses, and the feature striped paving. Trees planted to the North help screen the adjacent building.

Coordinate streetscape sidewalk, boulevard planting and curb detailing with Dist or W. Van.



STONE WALL - FIN WALLS PROJECTING INTO LANDSCAPING



ORNAMENTAL PLANTING

Coordinate streetscape sidewalk, boulevard planting and curb detailing with Dist or W. Van.

Re-instate heritage - feeling of new gardens on North side of heritage building using formal plantings. Repave area using exposed aggregate concrete surfacing to reflect original paving materials.

ZEN GARDENS
Reinstate original gravel & boulder zen gardens at north and south entry to the building

COURTYARD
A rectangular fountain in a modern Japanese style activates this courtyard resting spot. Planting adds to the gentle textures and style of the area and benches provide resting places with view of the water

Central artwork gives focal point to sunny seating area

Metal beam pergolas with climbing plants and decorative screens buffer the concrete parkade wall's visual impact. Vine maples planting where space allows.

Unit paver patios at grade with low picket style fencing to create private areas, planted with shade tolerant evergreen shrubs, grasses, and ferns. Feature boulders beneath flowering trees add drama to the gardens.

Seating area below pergola

Flush grill over mech room below

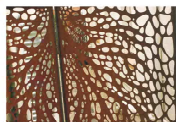
ENTRY AREA
Striped paving helps signify the community facility access area. Artwork gives a focal point.

Steps to upper level

Lock Block wall at base of parkade to raise grade of park space above street level.

Picket security fence and lockable gate at private entry areas

STREET FACING UNITS
Decorative screening helps define the boundary from public sidewalk to private units. Patterns and images on the screens add artistic detailing. Plants by feature walls give colour interest.



LASER CUT STEEL SCREENS ALONG MARINE DRIVE

ENTRY AREA
Shade tolerant planting provides a welcoming entry walkway into the development. The planting of bulbs adds seasonal interest and surprise.

Lawn boulevard with tall narrow red maple street trees

DECORATIVE LIGHTING SOUTH OF OFFICE BLDG



MEETING AREA
In the context of the courtyard area moveable tables and chairs provide a space for meetings. Shaded by trees, decorative lighting creates an intimate ambience.

Privacy gate

Contemporary dark grey concrete bird bath to match and compliment courtyard water feature. Send shop drawings for approval by Landscape Architect.

Bollard-type pathway lighting

6' non-climbable fence around

AMENITY PLAYSPACE
A feature playboat is proposed alongside boulders and logs for a natural play aesthetic. Safety surfacing indicating islands and water frames the play elements, table and seats.

Unit paver pathway at perimeter of tower for pedestrian circulation and maintenance access

Trellis structure to support climbing vines above ramp down to parkade

Picket style security fence with lockable gate

ENTRY PLAZA
Feature paving marks this lobby plaza and entrance. Waterfeature with falling water adds soothing sounds to the space, screening out traffic noise. Low concrete bollards define vehicular access, and bike racks are provided near building.

Pole mounted lighting at park space and roadways

Long ramp up to Marine Drive - connect bottom of ramp to plaza with new conc. sidewalk.

Tall conifer planting - Douglas fir - to frame corner of high rise tower from street



NATURAL PLAY ELEMENTS



BOULDERS AND STRIPED PAVING AT LOBBY ENTRY



WATER FEATURE AT ENTRY WITH RETAINING WALL AT STREET

Revisions:	Heritage area revisions
Feb 4 19	Heritage area revisions
Dec. 5. 2016	Issue For Public Consultation Meeting
May 9 2016	Issue For ORC
May 8 2016	For Review
April 27 2016	For Review
Nov 17 2017	For Review
July 7 2017	For Review
July 20 2017	For Review
June 9 2017	For Review
June 3. 2016	For Municipal Review
April 7 2016	For Review

Revisions:
Jonathan Losce Ltd.
Landscape Architecture

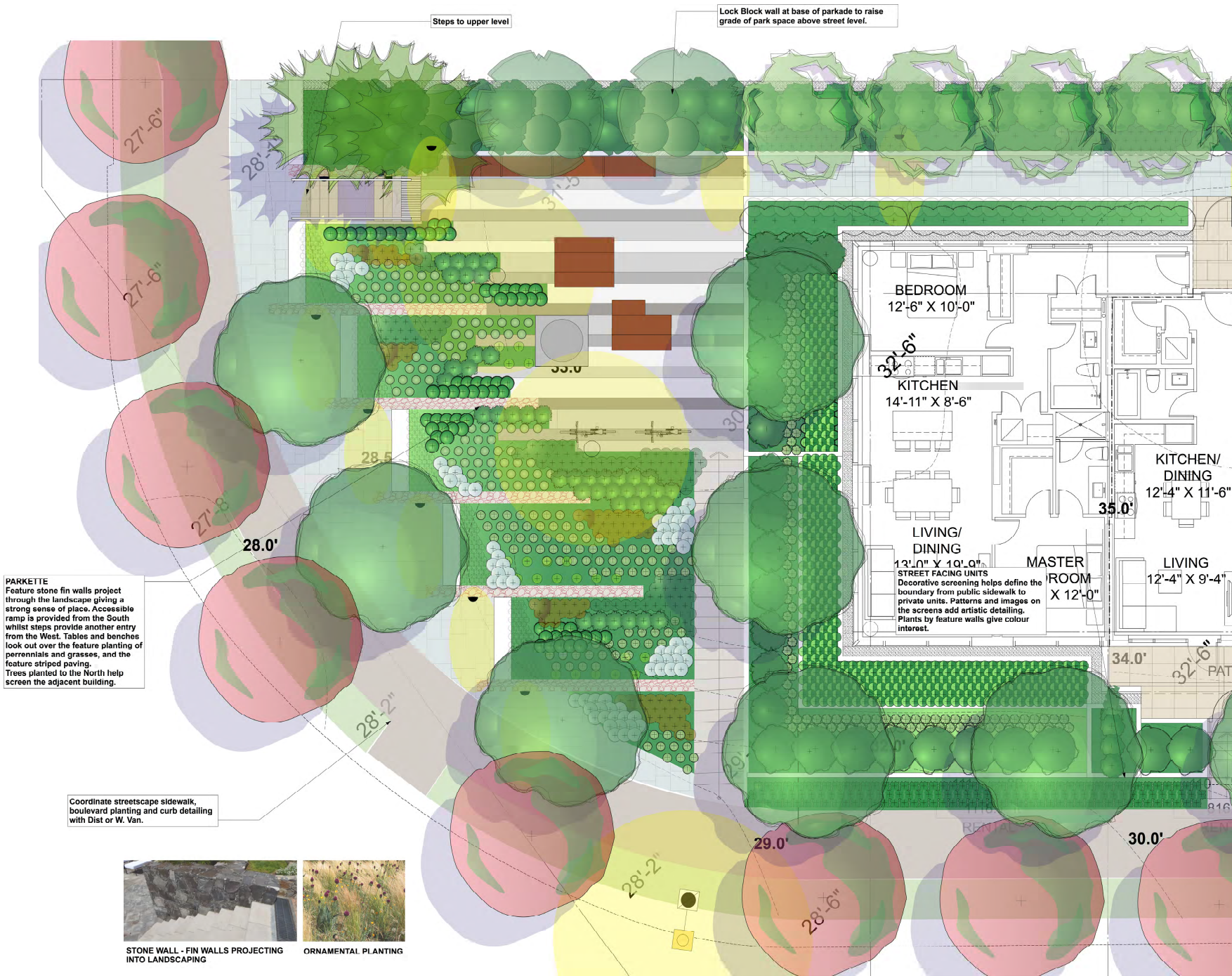
#102 - 1001 W. 2nd Ave.
Vancouver, B.C. V6J 1K3
Tel: 604-689-1933
E-mail: info@jonathanlosce.com

Project:
Residential Development
Clyde & 6th Street
West Vancouver, B.C.

Sheet Title:
Illustrative Landscape Plan

Scale:
1:500
Date:
Project No:
2016-00

L-1



Steps to upper level

Lock Block wall at base of parkade to raise grade of park space above street level.

PARKETTE
 Feature stone fin walls project through the landscape giving a strong sense of place. Accessible ramp is provided from the South whilst steps provide another entry from the West. Tables and benches look out over the feature planting of perennials and grasses, and the feature striped paving. Trees planted to the North help screen the adjacent building.

Coordinate streetscape sidewalk, boulevard planting and curb detailing with Dist or W. Van.



STONE WALL - FIN WALLS PROJECTING INTO LANDSCAPING



ORNAMENTAL PLANTING

BEDROOM
 12'-6" X 10'-0"

KITCHEN
 14'-11" X 8'-6"

LIVING/
 DINING
 13'-0" X 10'-0"

MASTER ROOM
 X 12'-0"

KITCHEN/
 DINING
 12'-4" X 11'-6"

LIVING
 12'-4" X 9'-4"

STREET FACING UNITS
 Decorative screening helps define the boundary from public sidewalk to private units. Patterns and images on the screens add artistic detailing. Plants by feature walls give colour interest.

Feb 4 19	Heritage area revisions
Dec 5, 2018	Issue For Public Consultation Meeting
May 9 2018	Issue For DRG
May 8 2018	For Review
April 22 2018	For Review
Nov 17 2017	For Review
July 7 2017	For Review
July 6 2017	For Review
June 9 2017	For Review
June 3, 2016	For Municipal Review
April 7 2016	For Review

Revisions:
Jonathan Losee Ltd.
 Landscape Architecture

8100 - 1661 W 7th Ave
 Vancouver, B.C. V6J 1Y3
 Tel: 604-666-1053
 E-mail: info@jonathanlosee.com

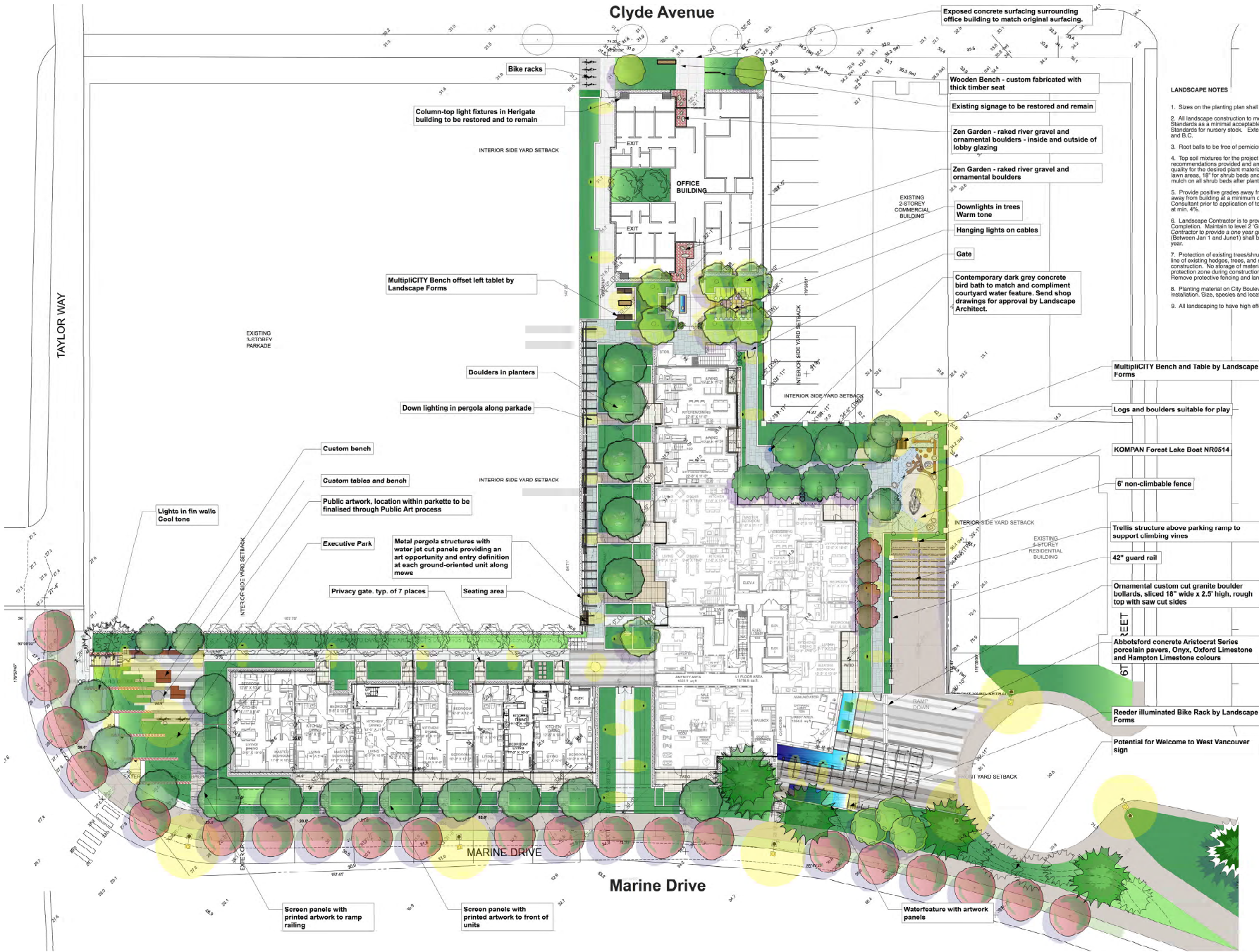
Project:
Residential Development
 Clyde & 6th Street
 West Vancouver, B.C.

Sheet Title:
Illustrative Landscape
Plan - Enlarged Park Plan

Scale:
 1"=50'
 Date:
 Project No.
 2018-02

L-1a

Clyde Avenue



LANDSCAPE NOTES

1. Sizes on the planting plan shall be considered minimum sizes.
2. All landscape construction to meet the current edition of the British Columbia Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extend search for plant material to Washington, Oregon, California, and B.C.
3. Root balls to be free of pernicious weeds.
4. Top soil mixtures for the project shall be tested for particle size, Ph, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Off slab, min. soil depths are 6" for lawn areas, 18" for shrub beds and ground cover plantings. Install 2 inches of composted organic mulch on all shrub beds after planting and rake smooth.
5. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Slope towards lawn basins at min. 4%.
6. Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 "Groomed" as per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (Between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
7. Protection of existing trees/shrubs to remain. Install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing and landscape as directed.
8. Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
9. All landscaping to have high efficiency irrigation system to IABC standards.

Exposed concrete surfacing surrounding office building to match original surfacing.

Wooden Bench - custom fabricated with thick timber seat

Existing signage to be restored and remain

Zen Garden - raked river gravel and ornamental boulders - inside and outside of lobby glazing

Zen Garden - raked river gravel and ornamental boulders

Downlights in trees Warm tone

Hanging lights on cables

Gate

Contemporary dark grey concrete bird bath to match and compliment courtyard water feature. Send shop drawings for approval by Landscape Architect.

Column-top light fixtures in Heritage building to be restored and to remain

MultiCITY Bench offset left table by Landscape Forms

Boulders in planters

Down lighting in pergola along parkade

Custom bench

Custom tables and bench

Public artwork, location within parkette to be finalised through Public Art process

Executive Park

Metal pergola structures with water jet cut panels providing an art opportunity and entry definition at each ground-oriented unit along mews

Privacy gate, typ. of 7 places

Seating area

Lights in fn walls Cool tone

MultiCITY Bench and Table by Landscape Forms

Logs and boulders suitable for play

KOMPAN Forest Lake Boat NR0514

6' non-climbable fence

Trellis structure above parking ramp to support climbing vines

42" guard rail

Ornamental custom cut granite boulder bollards, sliced 18" wide x 2.5' high, rough top with saw cut sides

Abbotsford concrete Aristocrat Series porcelain pavers, Onyx, Oxford Limestone and Hampton Limestone colours

Reeder illuminated Bike Rack by Landscape Forms

Potential for Welcome to West Vancouver sign

Screen panels with printed artwork to ramp railing

Screen panels with printed artwork to front of units

Waterfeature with artwork panels

Feb 4 19	Heritage area revisions
Dec 5, 2018	Issue For Public Consultation Meeting
May 9 2010	Issue For DRC
Apr 17 2018	For Review
Nov 17 2017	For Review
July 7 2017	For Review
July 6 2017	For Review
June 9 2017	For Review
June 3 2016	For Municipal Review
April 7 2016	For Review

Revisions:

Jonathan Losee Ltd.
Landscape Architecture

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PROJECT:
**Residential Development
Clyde & 6th Street
West Vancouver, B.C.**

SHEET TITLE:
Material Plan

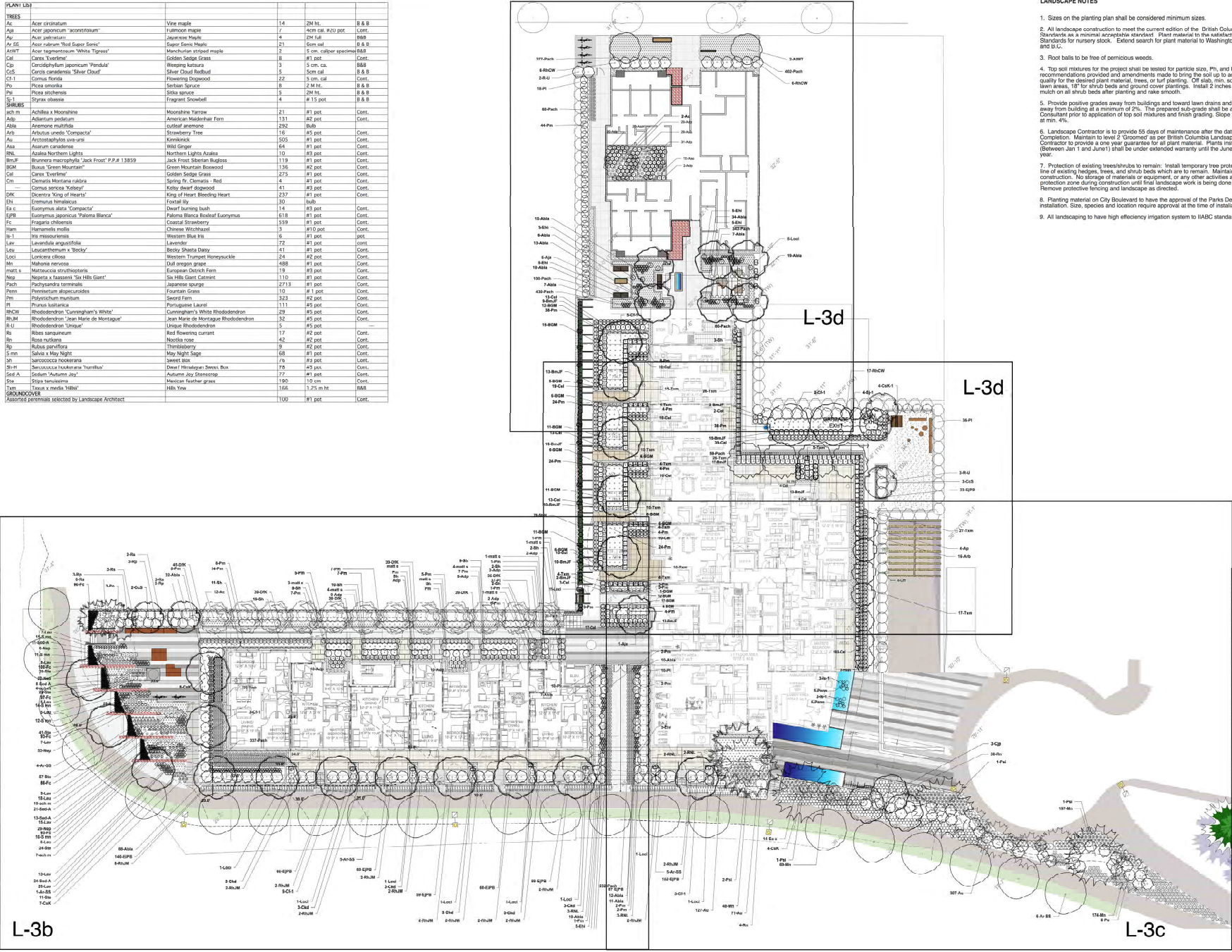
Scale:
1:200
Date:
Project No.
2018-02

L-2

PLANT LIST			
TREES			
Ac	Acer crinitatum	Vine maple	14
Ac	Acer japonicum 'scolentorum'	Hurricane maple	17
Ac	Acer palmatum	Japanese Maple	4
Ac	Acer rubrum 'Red Spire Scone'	Spice Spice Maple	21
Ac	Acer tegmentosum 'White Tigris'	Manchurian striped maple	2
Ca	Carax 'Lindley'	Golden Sedge Grass	8
Ca	Cercidiphyllum japonicum 'Pendula'	Weeping Katsura	3
Ca	Cercis canadensis 'Silver Cloud'	Silver Cloud Redbud	5
Co	Cornus florida	Flowering Dogwood	22
Co	Cornus sericea	Serbian Spice	8
Co	Cornus stolonifera	Sweet Spice	5
Co	Cornus stolonifera	Fragrant Snowbell	4
SHRUBS			
Ar	Achillea x Moonshine	Moonshine Yarrow	21
Ad	Adiantum pedatum	American Maidenhair Fern	131
Al	Azalea multifida	Local Azalea	292
Ar	Arbutus unedo 'Compacta'	Strawberry Tree	16
Ar	Arctostaphylos uva-ursi	Kinnikinnick	505
As	Asarum canadense	Wild Ginger	64
As	Azalea Northern Lights	Northern Lights Azalea	10
Br	Brunella macrophylla 'Jack Frost' P.P.# 13859	Jack Frost Sheeran Bugloss	119
Br	Buxus 'Green Mountain'	Green Mountain Boxwood	136
Ca	Cercis 'Evelyn'	Golden Sedge Grass	273
Ch	Chamaecrista nana	Spring Fox Chamisa - Red	41
Co	Cornus sericea 'Kelsey'	Kelsey dwarf dogwood	41
Co	Dicentra 'King of Hearts'	King of Heart Bleeding Heart	237
Di	Dryas hercynica	Footpad Lily	30
Di	Erythronium alba 'Compacta'	Dwarf burning bush	14
Di	Erythronium japonicum 'Pisima Blanca'	Pisima Blanca Bootfoot Erythronium	618
Fr	Fragaria chiloensis	Coastal Strawberry	539
Ham	Hammamelis mollis	Chinese Witchhazel	3
He	Hebe maconensis	Western Blue Hebe	6
Lav	Lavandula angustifolia	Lavender	72
Lav	Leucanthemum x 'Becky'	Becky Shasta Daisy	41
Lo	Lonicera ciliosa	Western Trumpet Honeysuckle	24
Ma	Mahonia nervosa	Duff Oregon grape	488
Ma	Mammocarpus struthoceras	European Cornish Fern	19
Na	Nepeta x faassoni 'Six Hills Giant'	Six Hills Giant Catmint	110
Pa	Paederota terminalis	Japanese spurge	2713
Pen	Pentstemon alpestris	Fourteen Stars	10
Ph	Polystichum munibum	Sand Fern	343
Ph	Phoradendron laurel	Paraguay Laurel	111
Rh	Rhododendron 'Cunningham's White'	Cunningham's White Rhododendron	29
Rh	Rhododendron 'Jean Marie de Montague'	Jean Marie de Montague Rhododendron	32
Rh	Rhododendron 'Vireoid'	Unique Rhododendron	5
Ri	Ribes sanguineum	Red flowering currant	17
Ri	Ribes nuda	Norfolk rose	42
Ri	Rubus parviflorus	Thimbleberry	9
S	Salix x May Night	May Night Sage	68
S	Sarcococca hookeriana	Sweet spig	19
S	Sarcococca hookeriana 'hardleaf'	Dwarf Himalayan Sweet Box	75
S	Sedum 'Autumn Joy'	Autumn Joy Sedemum	77
S	Silene spaldingii	Heavier Feather grass	190
T	Taxus x media 'Hill'	Hill Yew	166
GRASSES			
	Assorted perennials selected by Landscape Architect		100

LANDSCAPE NOTES

- Sizes on the planting plan shall be considered minimum sizes.
- All landscape construction to meet the current edition of the British Columbia Landscape Standards as a minimal acceptable standard. Plant material to be selected from the Landscape Standards for nursery stock. Extend search for plant material to Washington, Oregon, California, and B.C.
- Root balls to be free of serious weeds.
- Top soil mixture for the project shall be tested for particle size, Ph, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or soil planting. Off site, min. soil depths are 6" for lawn areas, 18" for shrub beds and ground cover plantings. Install 2 inches of composted organic mulch on all shrub beds after planting and rake smooth.
- Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Slope towards lawn basins at min. 4%.
- Landscape Contractor to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 'Groomed' as per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
- Protection of existing trees/shrubs to remain. Install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing and landscape as directed.
- Planting material on City Boulevard will have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
- All landscaping to have high efficiency irrigation system to IAABC standards.



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June 3 2016	For Municipal Review
April 7 2016	For Review

Revisions:

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Landscape Architecture

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PROJECT:

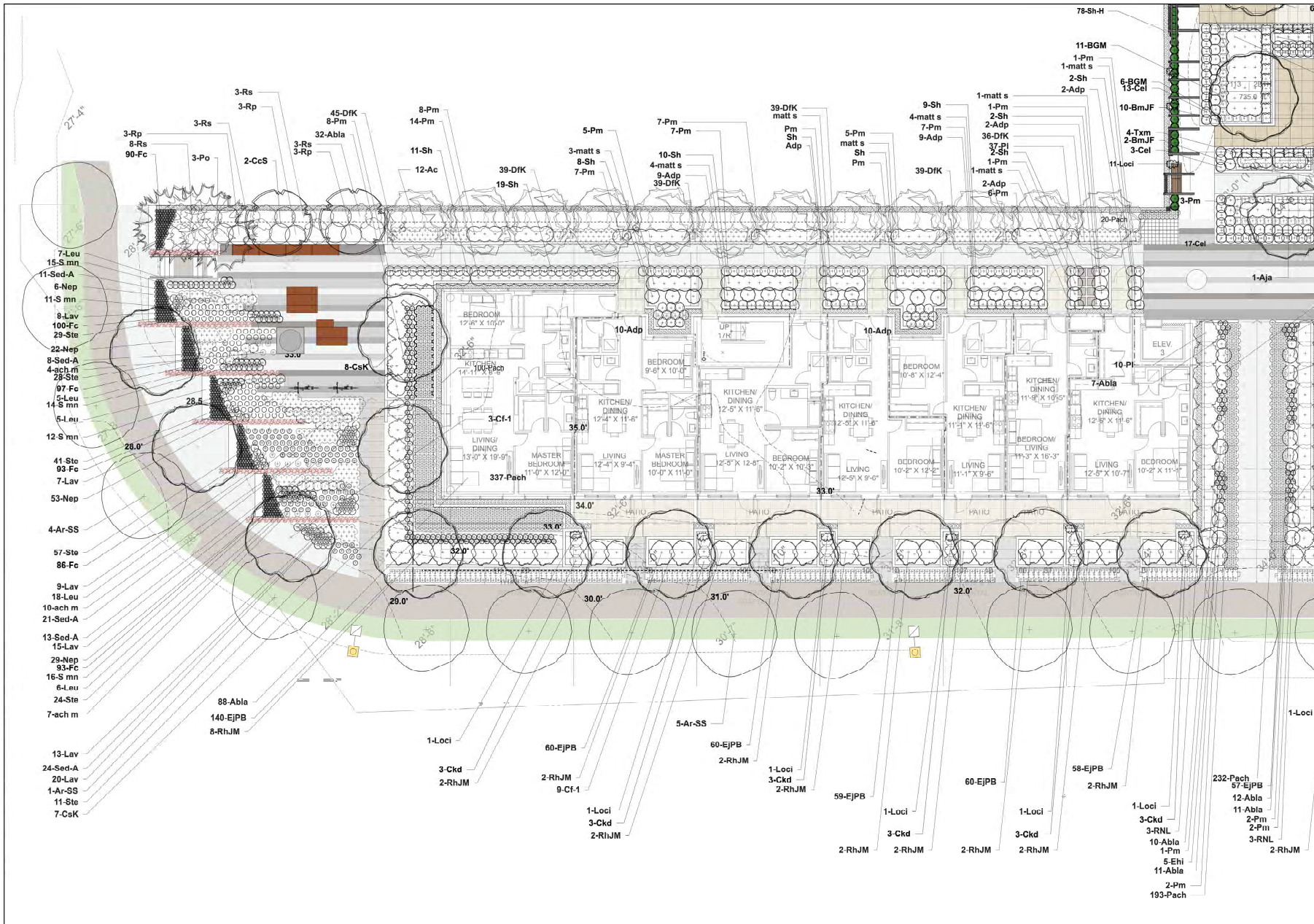
Residential Development
Clyde & 6th Street
West Vancouver, B.C.

SHEET TITLE:

Planting Plan Sheet
Layout

Scale: 1:200
Date:
Project No. 2018-02

L-3a



Feb 4 19	Heritage area revisions
Dec 5, 2018	Issue For Public Consultation Meeting
May 9 2010	Issue For DRC
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July 7 2017	For Review
July 6 2017	For Review
June 9 2017	For Review
June 3 2016	For Municipal Review
April 7 2016	For Review

Revisions:

 **Jonathan Lusee Ltd.**
Landscape Architecture

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Project:

Residential Development
Clyde & 6th Street
West Vancouver, B.C.

Sheet Title:

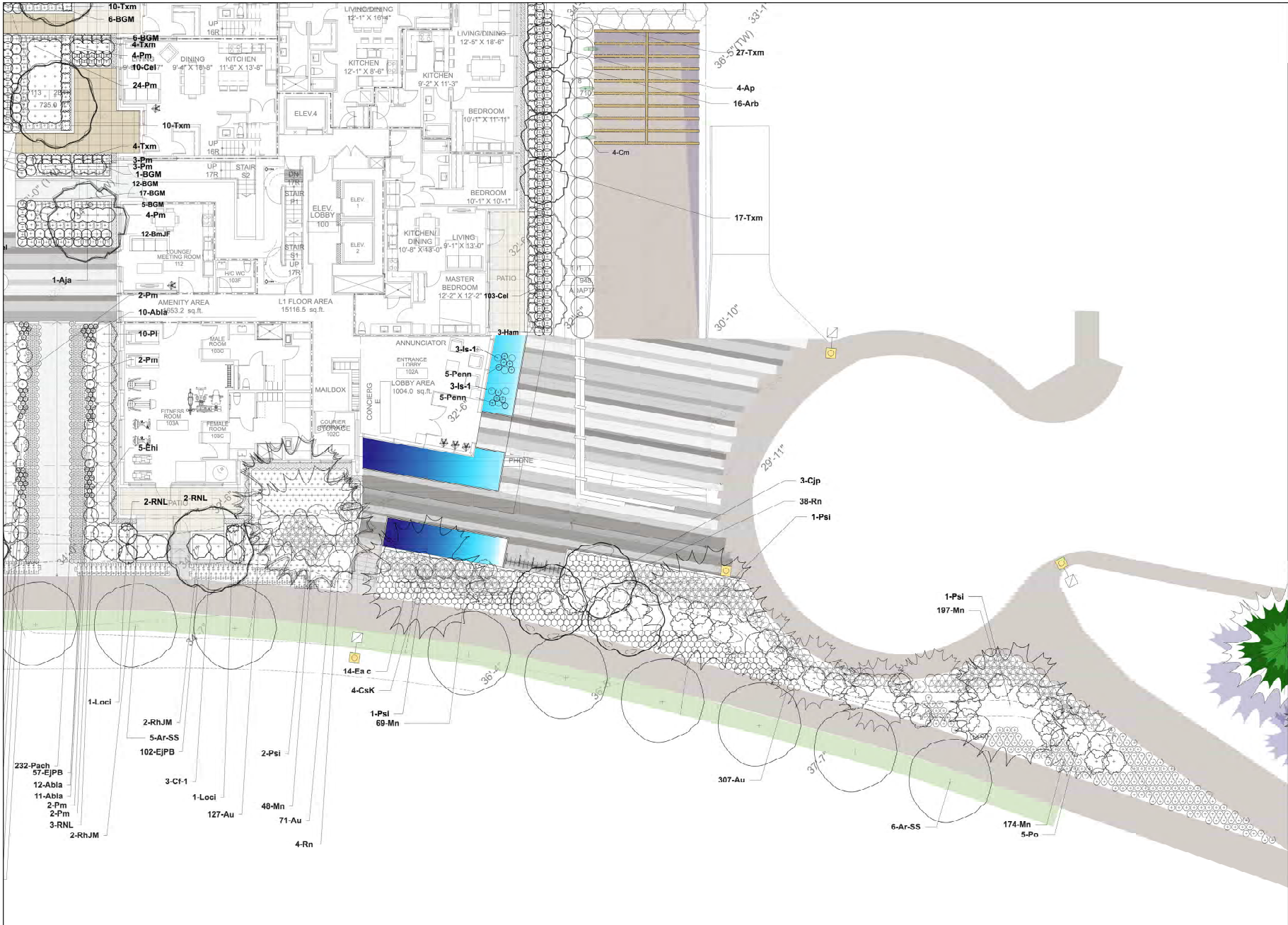
Planting Plan

Scale:
1:200

Date:

Project No.
2018-03

L-3b



Feb 4 19	Heritage area revisions
Dec 5, 2018	Issue For Public Consultation Meeting
May 9 2018	Issue For DRC
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April 27 2018	For Review
Nov 17 2017	For Review
July 7 2017	For Review
July 6 2017	For Review
June 9 2017	For Review
June 3 2016	For Municipal Review
April 7 2016	For Review

Revisions:

Jonathan Losee Ltd.
Landscape Architecture

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PROJECT:

Residential Development
Clyde & 6th Street
West Vancouver, B.C.

SHEET TITLE:

Planting Plan

Scale:
1:200

Date:

Project No.
2018-03

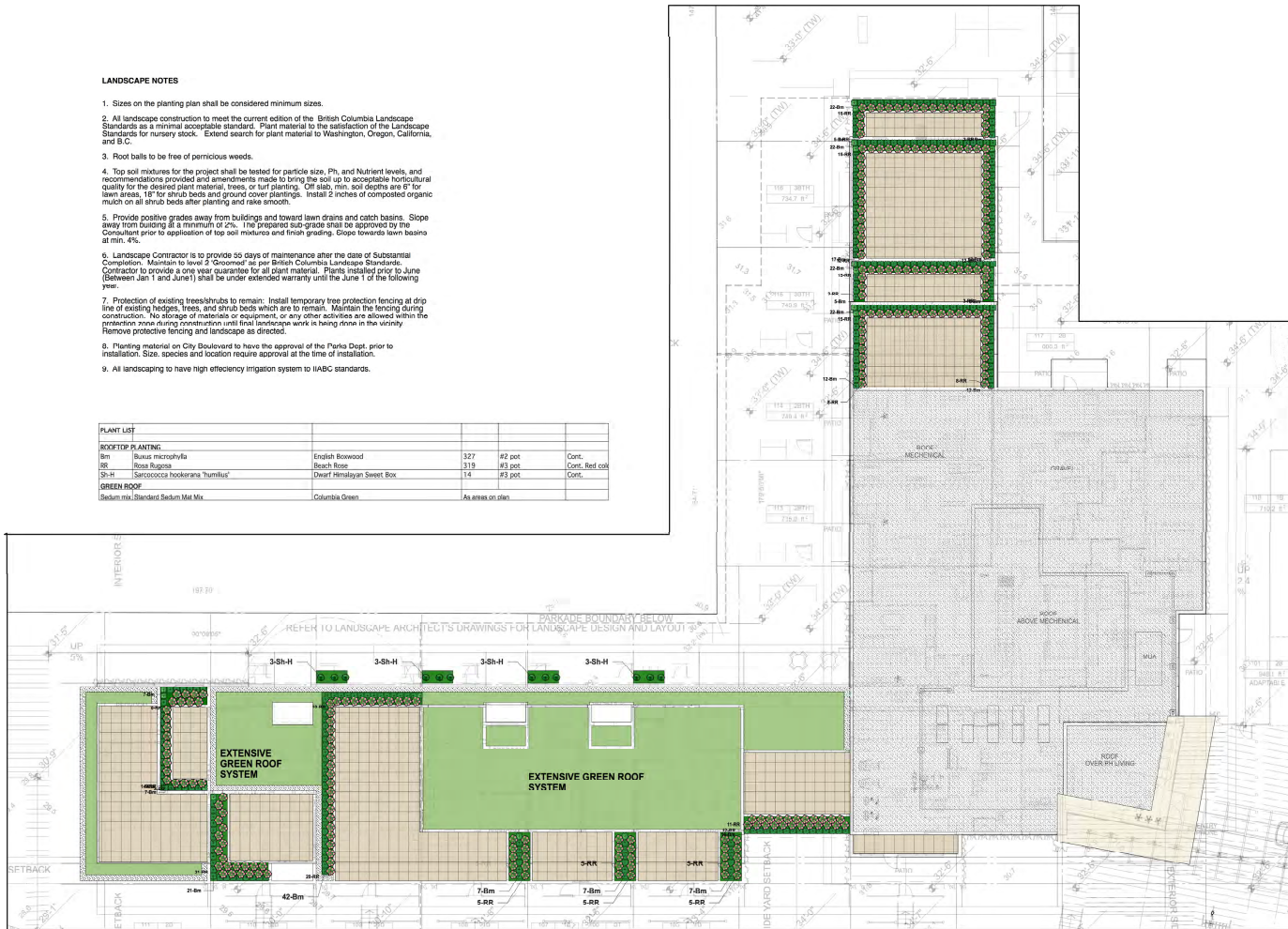
L-3c



LANDSCAPE NOTES

- Sizes on the planting plan shall be considered minimum sizes.
- All landscape construction to meet the current edition of the British Columbia Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extend search for plant material to Washington, Oregon, California, and B.C.
- Root balls to be free of pernicious weeds.
- Top soil mixtures for the project shall be tested for particle size, Ph, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Off slab, min. soil depths are 6" for lawn areas, 12" for shrub beds and ground cover plantings. Install 2 inches of composted organic mulch on all shrub beds after planting and rake smooth.
- Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. The proposed sub-grade shall be approved by the Consultant prior to application of top soil mixture and finish grading. Slope towards lawn basins at min. 4%.
- Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 "Greened" as per British Columbia Landscape Standards. Contractor to provide a one-year warranty for all plant material. Plants installed prior to June (Between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
- Protection of existing trees/shrubs to remain. Install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing and landscape as directed.
- Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
- All landscaping to have high efficiency irrigation system to IABC standards.

PLANT LIST					
ROOFTOP PLANTING					
Bm	Buxus microphylla	English Boxwood	327	#2 pot	Cont.
RS	Rosa Rugosa	Rosa Rose	319	#3 pot	Cont. Red col.
SH-H	Sarcococca hookeriana 'humilis'	Dwarf Himalayan Sweet Box	14	#3 pot	Cont.
GREEN ROOF					
	Segetes mix (Standard Sedum Mat Mix)	Columbia Green			As areas on site



Feb 4 10	Heritage area revisions
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April 7 2016	For Review

Revisions:

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Project:
**Residential Development
Clyde & 6th Street
West Vancouver, B.C.**

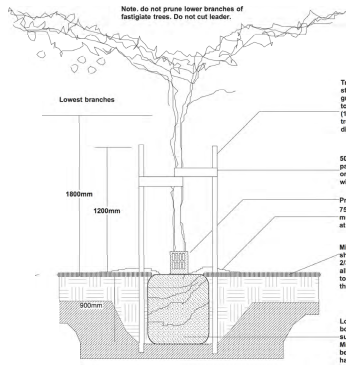
Sheet Title:
Rooftop Plan

Scale:
1:150

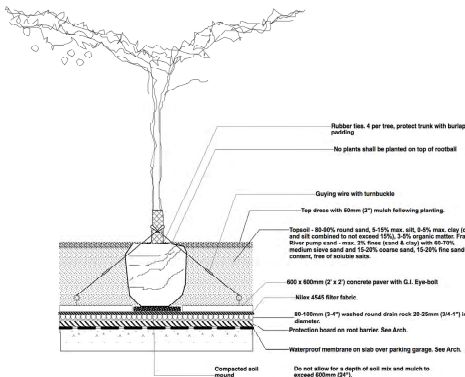
Date:

Project No.
2018-03

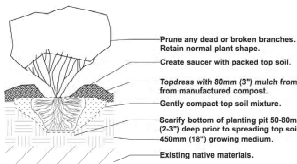
L-4



1 Tree planting on grade
Scale: 1:20

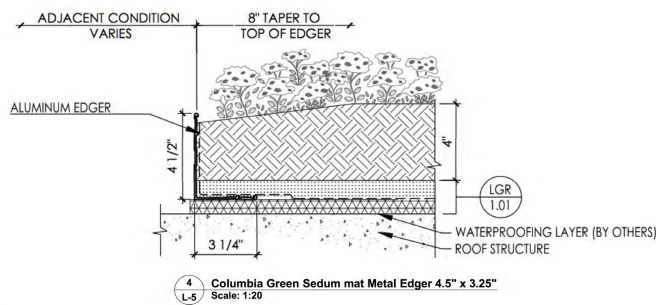


2 Tree planting on slab
Scale: 1:20

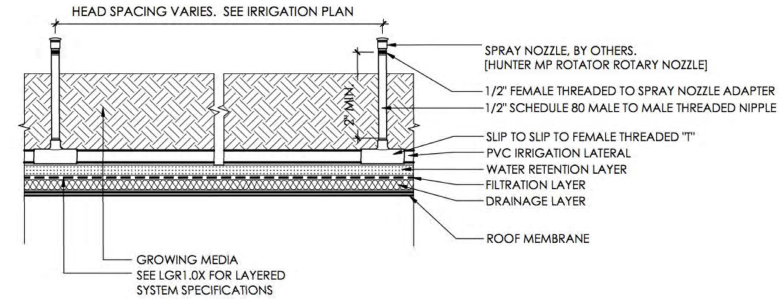


- NOTES:**
1. Min. container size and root spread to BC S/LA/B/C/N/T/A landscape standards for Nursery Stock - current edition.
 2. Prune all damaged, diseased, or weak limbs and roots.
 3. Do not allow roots to dry out during installation process, water plant roots well prior to planting and water immediately following planting.

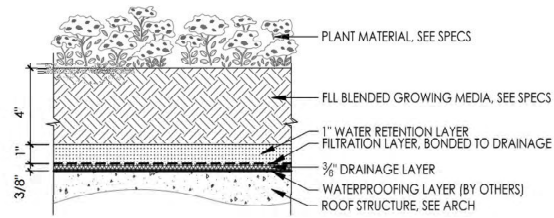
3 Shrub planting
Scale: 1:20



4 Columbia Green Sedum mat Metal Edge 4.5\"/>



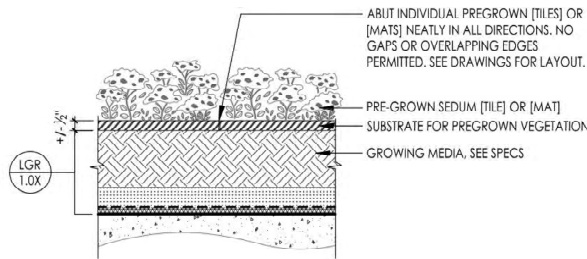
7 Columbia Green Sedum mat Spray Irrigation
Scale: 1:20



5 Columbia Green Sedum mat 4\"/>

NOTE:

1. SYSTEM COMPONENTS ARE SHOWN AT NOMINAL SIZE. COMPRESSION WILL OCCUR AT RETENTION LAYER BASED ON AMOUNT [HEIGHT/VOLUME] OF GROWING MEDIA PLACED ON SYSTEM. MAXIMUM COMPRESSION $\frac{1}{2}$ \"/>



6 Columbia Green Sedum mat Planting Method: Sedum Tile/Mat
Scale: 1:20

Feb 4 18	Heritage area revisions
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July 6 2017	For Review
June 9 2017	For Review
June 3, 2016	For Municipal Review
April 7 2016	For Review

Revisions:

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Project:
Residential Development
Clyde & 6th Street
West Vancouver, B.C.

Sheet Title:
Landscape Details

Scale:
as noted

Date:
2016-02

Project No:
2016-02

L-5



1 Reeder illuminated Bike Rack by Landscapeforms
L-5c/ NTS



3 MultiPLICITY Bench and Table by Landscape Forms or equal
L-5c/ NTS



5 Bollard Light GEORGE by Rotorgroup or approved equivalent
L-5c/ NTS



7 Boca 613 in-wall light
L-5c/ NTS



8 Custom wood and metal bench in parkette
L-5c/ NTS



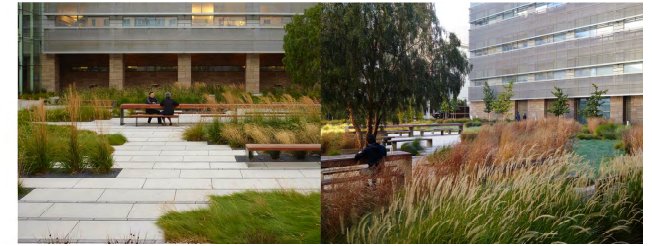
2 KOMPAN Forest Lake Boat NR0514
L-5c/ NTS



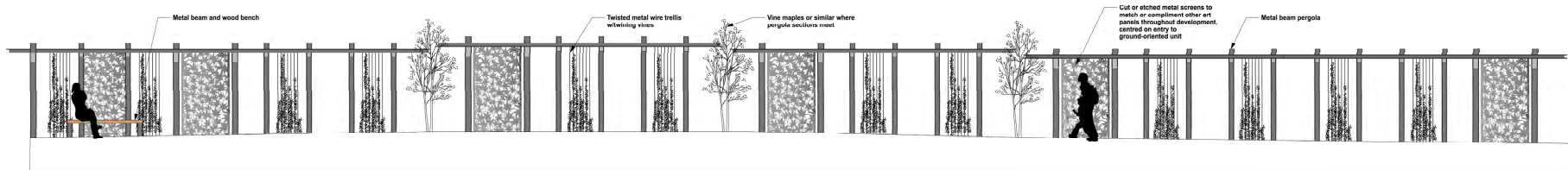
4 MultiPLICITY Bench offset left tablet by Landscape Forms or equal
L-5c/ NTS



6 Cambria 213 by Lumec in trees and overhead wires
L-5c/ NTS



9 Custom wood and metal table and bench in parkette
L-5c/ NTS



10 Metal beam pergola structures with water jet cut art panels and climbing vines in Mews
L-5c/ NTS

Date	Revision
Feb 4 18	Heritage area revisions
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April 7 2016	For Review

Revisions:

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Project:
Residential Development
Clyde & 6th Street
West Vancouver, B.C.

Sheet Title:
Landscape Details

Scale:
as noted
Date:
Project No:
2016-00

L-5c



EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL 657 Marine Drive - West Vancouver BC

NORTH SHORE ADVISORY COMMITTEE ON DISABILITY ISSUES

EXECUTIVE GROUP DEVELOPMENT ■ **dys** architecture

No. A215294
RESPONSE TO MEMO - MARCH 28, 2019



February 25, 2019

Lisa Berg
Senior Community Planner
District of West Vancouver
750 17th Street, West Vancouver
V7V 3T3

Re: Response to the Advisory Committee on Disability Issues Recommendations – 657 & 675 Marine Drive and 660 Clyde Avenue

Dear Lisa,

In response to the Advisory Committee on Disability Issues (ACDI) Development and Inclusion Report, dated July 26, 2018, and the subsequent comments that were provided via email on November 22, 2018, Executive Park Limited Partnership summarizes below to undertake and incorporate these ACDI recommendations:

Tower:

- Automatic door openers will be added at the following locations:
 - P2 – P202 3 vestibule doors
 - P1 – Garbage Room, P102 Vestibule 2 doors, Commercial access to Elevator 3
 - L1 – Main Entry Vestibule 2 doors, Aperture Entrance, Fitness Room, Lounge, H/C WC, Lobby Door to Units 117/118
- Room numbers and titles for amenities will be displayed with clear fonts, with a sufficiently large size and with good contrast
- A visual alarm system will be installed at minimum to compliment all the locations where automatic door openers will be added
- Mail box recommendations that they be made available at a lowered level and to have tactile raised letters/numbers with high contrast will be taken to Canada Post for review and approval, and will be incorporated consistent with Canada Post mail box guidelines

Adaptable Units:

- The accessible parking spaces will be matched to adaptable units
 - P2 – Stalls 43 & 49
- Parking spaces whose location provides additional space for loading, but do not meet the width requirements will be designated as “accessible” and will be referenced as “adaptable”. These adaptable parking spaces will be matched to adaptable units
 - P2 – Stalls 37, 51, 52, 80, 86 & 89
 - P1 – Stalls 28 & 33

- The adaptable units with balconies are proposed to have level access by way of a swing door
 - Units – 218, 318, 418, 518, 618 & 718
- The provision will be made for retractable cabinet doors at sink locations
- The provision will be made for side opening wall ovens with a pull out board underneath, provided a comparable unit to the marketed design appliances is available
- The provision will be made for 8 units to have side-by-side front loading washers and dryers, as the current layouts will not be significantly altered
 - Rental Units – 109 & 209
 - Market Units – 101, 203, 303, 403, 503 & 603
- There are no pocket doors presently proposed in the adaptable units - no provisions need to be made for pocket door hardware
- The provision will be made to rough in for a double drain, where required, to accommodate for any future conversions

Elevators:

- Automated floor verbal announcements will be installed in all the elevators

Public Realm:

- Tactile Walking Surface Indicators (TWSI) will be added at the top and bottom of the exterior stairs, colour to be coordinated with the District’s standard specification
- At the 1 accessible public washroom, and the 2 Fitness Room change rooms, the most accessible hand dryers (Dyson), soap dispensers (automated), faucets (automated) and toilet flush options (handle) will be incorporated
- Gym to incorporate roll in showers, and if required, with a collapsible water dam
- A curb detail will be incorporated at the water features
- The play area surface treatment will allow for wheelchair and walker access
- Curb cut treatments will be incorporated as noted to comply with the City of Vancouver standards, unless superseded by a District of West Vancouver standard

We appreciate the input and recommendations provided by the Advisory Committee on Disability Issues, as they will enhance the overall development.

Regards,

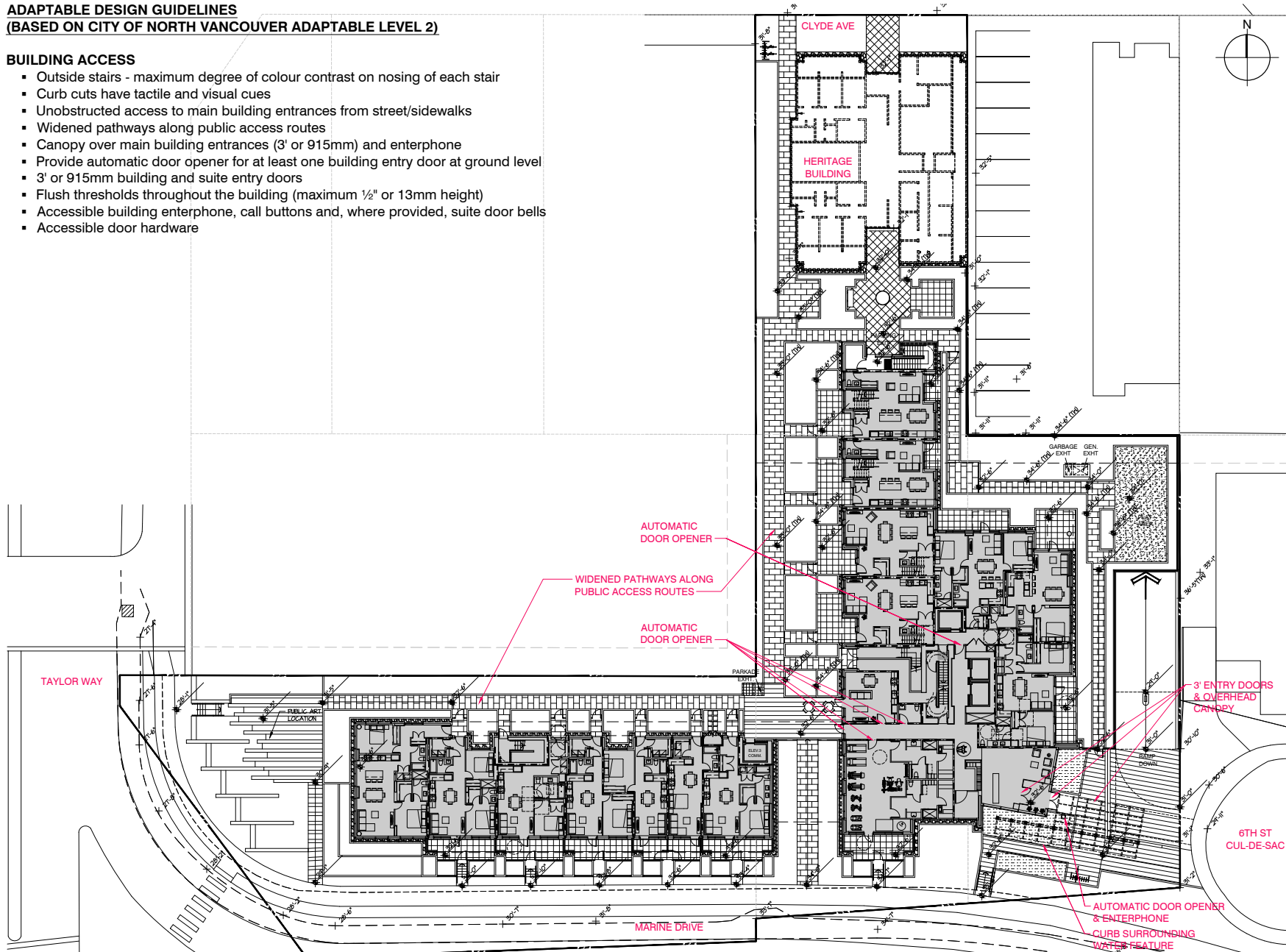
Greg Santa
Development Manager

8TH FLOOR, 1080 HOWE STREET, VANCOUVER, BC CANADA V6Z 2T1 TEL: 604 642 5252 FAX: 604 642 5255
WWW.EXECUTIVEGROUPDEVELOPMENT.COM

**ADAPTABLE DESIGN GUIDELINES
(BASED ON CITY OF NORTH VANCOUVER ADAPTABLE LEVEL 2)**

BUILDING ACCESS

- Outside stairs - maximum degree of colour contrast on nosing of each stair
- Curb cuts have tactile and visual cues
- Unobstructed access to main building entrances from street/sidewalks
- Widened pathways along public access routes
- Canopy over main building entrances (3' or 915mm) and enterphone
- Provide automatic door opener for at least one building entry door at ground level
- 3' or 915mm building and suite entry doors
- Flush thresholds throughout the building (maximum 1/2" or 13mm height)
- Accessible building enterphone, call buttons and, where provided, suite door bells
- Accessible door hardware



dys architecture
260 - 1770 Burrard Street Vancouver BC V6J 3G7
tel 604.669.7710 www.dysarchitecture.com

CLIENT



**EXECUTIVE
GROUP DEVELOPMENT**

NO. | DATE | ISSUE
01 | 2018.06.07 | ISSUED FOR ACUI
02 | 2018.11.19 | ISSUED FOR PCM
03 | 2019.03.28 | RESPONSE TO MEMORANDUM

NO. | DATE | REVISION

PROJECT

**EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL**

657 Marine Drive
West Vancouver BC

SITE PLAN

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Written dimensions shall have precedence over related dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall be informed of any variations from the dimensions and conditions shown on the drawings. Final drawings shall be submitted to dys architecture for review before proceeding with construction.

PROJECT A215294
DRAWN JL CHECKED NC
SCALE 1/16"=1'-0"
DATE NOV. 19, 2018

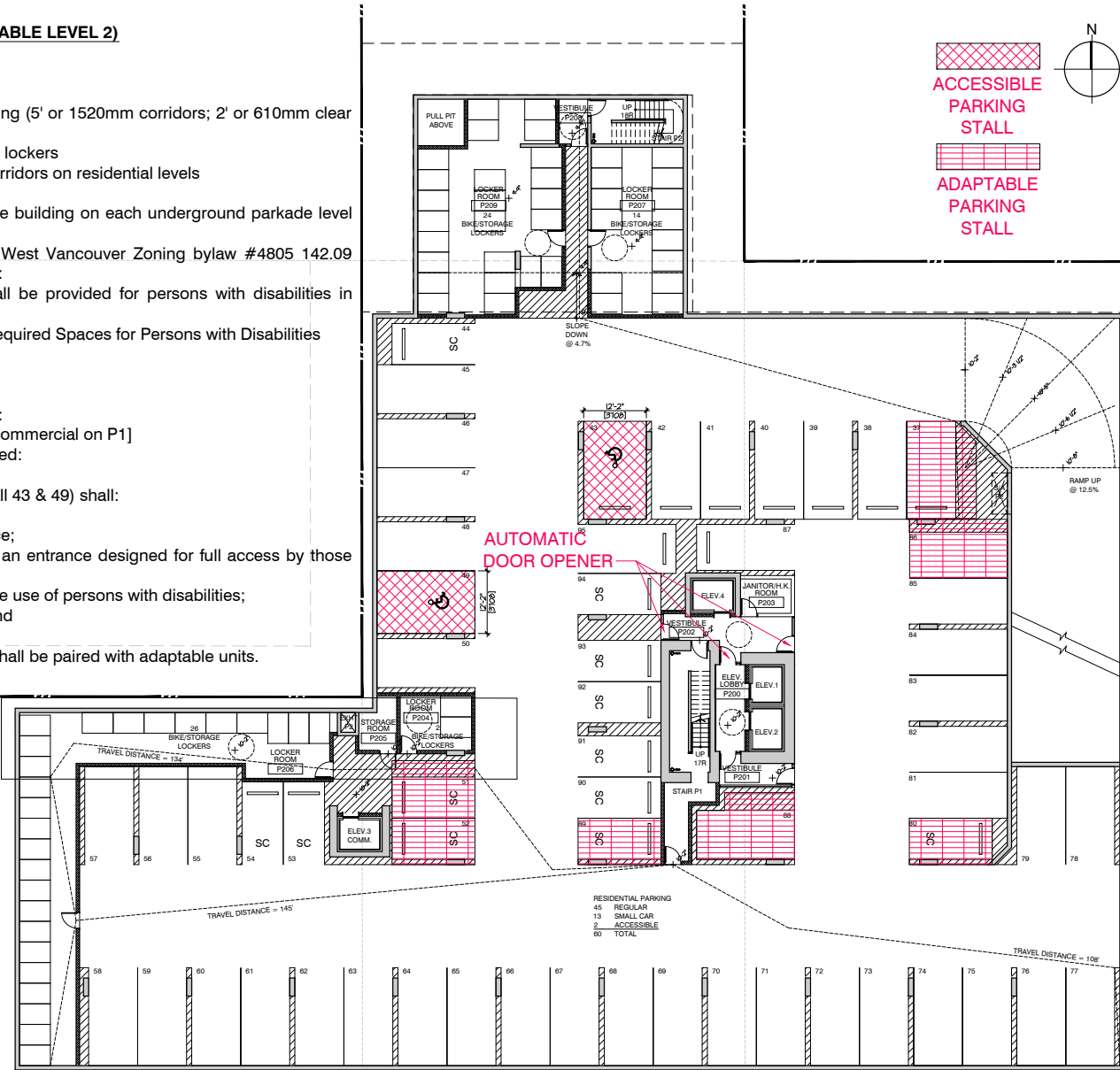
A0.01

**ADAPTABLE DESIGN GUIDELINES
(BASED ON CITY OF NORTH VANCOUVER ADAPTABLE LEVEL 2)**

BUILDING ACCESS

- Unobstructed internal access:
 - from parking levels containing accessible parking (5' or 1520mm corridors; 2' or 610mm clear wall space adjacent to door latch)
 - garbage and recycling receptacles and storage lockers
 - no stairs within building circulation including corridors on residential levels
 - accessible storage lockers for each unit
- Automatic door opener for doors leading into the building on each underground parkade level where disability parking is provided
- Disability Parking provided in accordance with West Vancouver Zoning bylaw #4805 142.09 Provision for Parking for Persons with Disabilities:
 - A portion of the required parking spaces shall be provided for persons with disabilities in accordance with the following table:

Total Required Parking Spaces	Required Spaces for Persons with Disabilities
76-125	2
 - Total parking spaces proposed: 95 [residential] 9 [visitor] 8 [commercial]
 - Total disability parking spaces proposed: 2 [residential on P2] 1 [visitor on P1] 1 [commercial on P1]
 - Total "enhanced" parking spaces proposed: 4 [residential on P2] 2 [residential on P1]
- Parking spaces for persons with disabilities (stall 43 & 49) shall:
 - be at least 3.7 metres wide;
 - have a firm, slip resistant and level surface;
 - be located close, and be accessible, to an entrance designed for full access by those with a disability;
 - be clearly identified as being solely for the use of persons with disabilities;
 - be accessed through private property; and
 - be paired with adaptable units.
- Enhanced spaces for persons with disabilities shall be paired with adaptable units.
- Elevators with verbal announcements



CLIENT



EXECUTIVE GROUP DEVELOPMENT

NO. | DATE | ISSUE
01 | 2018.06.07 | ISSUED FOR ACDI
02 | 2018.11.19 | ISSUED FOR PCM
03 | 2019.03.28 | RESPONSE TO MEMORANDUM

NO. | DATE | REVISION

PROJECT

**EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL**

657 Marine Drive
West Vancouver BC

**PARKING PLAN
LEVEL P2**

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PROJECT A215294
DRAWN JL CHECKED NC

SCALE 3/32"=1'-0"
DATE NOV. 19, 2018

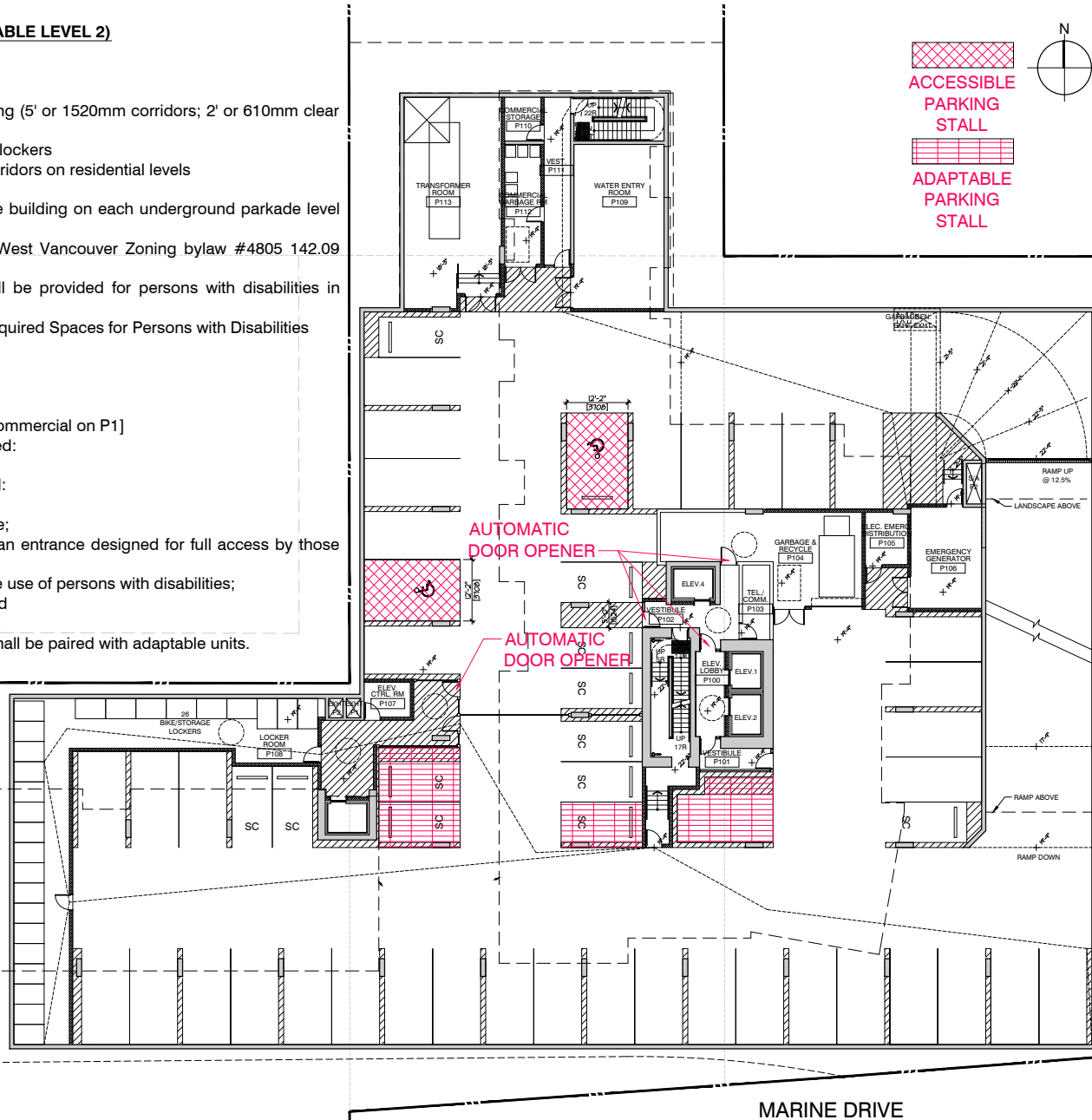
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**ADAPTABLE DESIGN GUIDELINES
(BASED ON CITY OF NORTH VANCOUVER ADAPTABLE LEVEL 2)**

BUILDING ACCESS

- Unobstructed internal access:
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 - garbage and recycling receptacles and storage lockers
 - no stairs within building circulation including corridors on residential levels
 - accessible storage lockers for each unit
- Automatic door opener for doors leading into the building on each underground parkade level where disability parking is provided
- Disability Parking provided in accordance with West Vancouver Zoning bylaw #4805 142.09 Provision for Parking for Persons with Disabilities:
 - A portion of the required parking spaces shall be provided for persons with disabilities in accordance with the following table:

Total Required Parking Spaces	Required Spaces for Persons with Disabilities
76-125	2
Total parking spaces proposed:	
95 [residential] 9 [visitor] 8 [commercial]	
Total disability parking spaces proposed:	
2 [residential on P2] 1 [visitor on P1] 1 [commercial on P1]	
Total "enhanced" parking spaces proposed:	
4 [residential on P2] 2 [residential on P1]	
 - Parking spaces for persons with disabilities shall:
 - (a) be at least 3.7 metres wide;
 - (b) have a firm, slip resistant and level surface;
 - (c) be located close, and be accessible, to an entrance designed for full access by those with a disability;
 - (d) be clearly identified as being solely for the use of persons with disabilities;
 - (e) be accessed through private property; and
 - (f) be paired with adaptable units.
 - Enhanced spaces for persons with disabilities shall be paired with adaptable units.
- Elevators with verbal announcements



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EXECUTIVE GROUP DEVELOPMENT

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03 | 2019.03.28 | RESPONSE TO MEMORANDUM

NO. | DATE | REVISION

PROJECT

**EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL**

657 Marine Drive
West Vancouver BC

**PARKING PLAN
LEVEL P1**

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PROJECT A215294
DRAWN JL CHECKED NC

SCALE 3/32"=1'-0"
DATE NOV. 19, 2018

A0.03

ADAPTABLE DESIGN GUIDELINES
(BASED ON CITY OF NORTH VANCOUVER ADAPTABLE LEVEL 2)

BUILDING ACCESS

- Outside stairs - maximum degree of colour contrast on nosing of each stair
- Curb cuts have tactile and visual cues
- Unobstructed access to main building entrances from street/sidewalks
- Unobstructed internal access:
 - no stairs within building circulation including corridors on residential levels
- Canopy over main building entrances (3' or 915mm) and enterphone
- Provide automatic door opener for at least one building entry door at ground level
- 3' or 915mm building and suite entry doors
- Area dedicated for side-by-side washer and dryer
- Flush thresholds throughout the building (maximum 1/2" or 13mm height)
- Accessible building enterphone, call buttons and, where provided, suite door bells

COMMON AREAS

- Accessible mailboxes for all AD Level 2 units, and 5' or 1520mm turning radius in front
- Barrier free shower design
- Alarm systems to comply with BCBC Adaptable Housing Guidelines Level 2

CIRCULATION

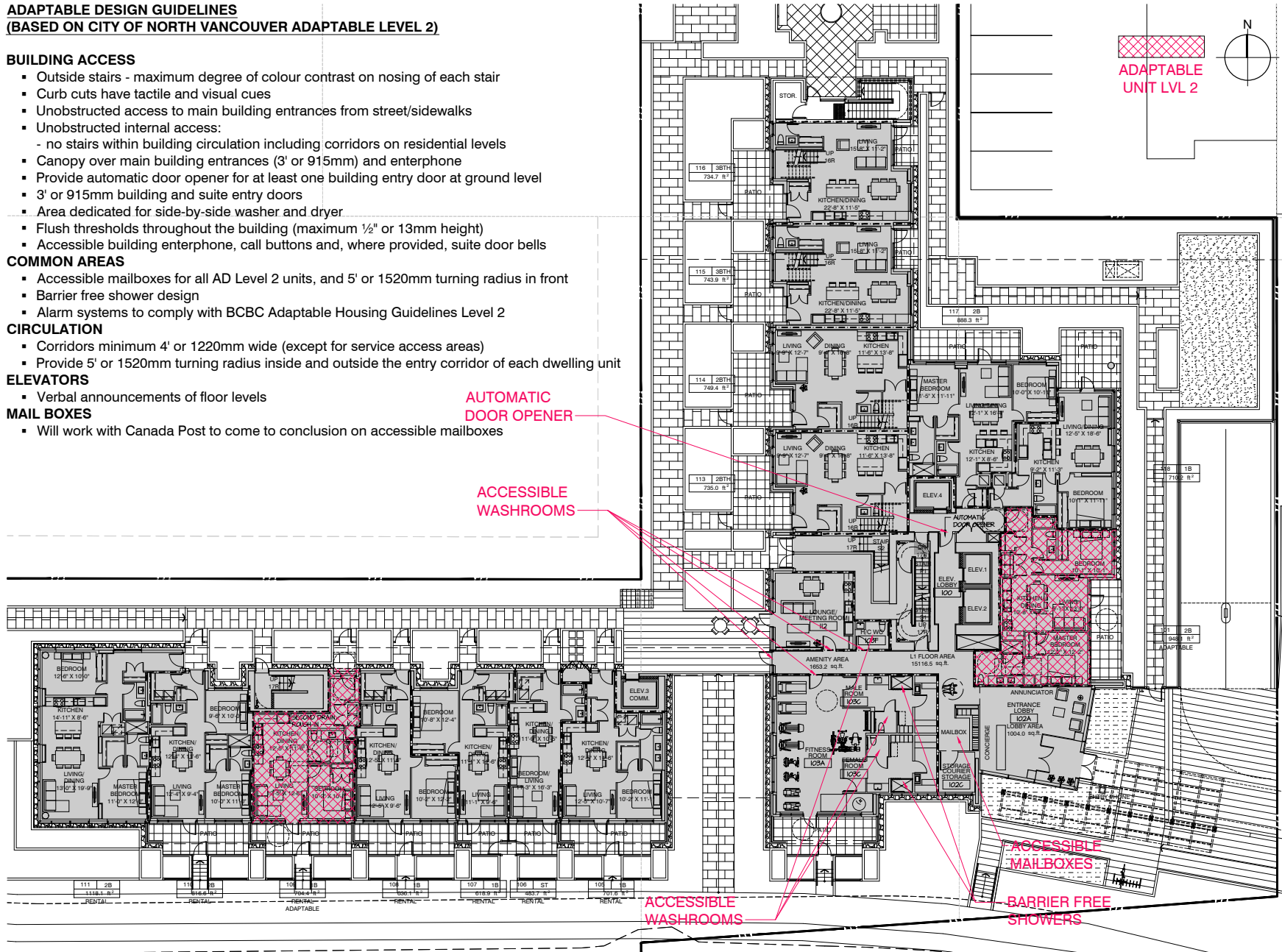
- Corridors minimum 4' or 1220mm wide (except for service access areas)
- Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit

ELEVATORS

- Verbal announcements of floor levels

MAIL BOXES

- Will work with Canada Post to come to conclusion on accessible mailboxes



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**ADAPTABLE DESIGN GUIDELINES
(BASED ON CITY OF NORTH VANCOUVER ADAPTABLE LEVEL 2)**

BUILDING ACCESS

- Unobstructed internal access:
 - no stairs within building circulation including corridors on residential levels
 - 3' or 915mm building and suite entry doors
- Flush thresholds throughout the building (maximum 1/2" or 13mm height)

CIRCULATION

- Corridors minimum 4' or 1220mm wide (except for service access areas)
- Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit

SUITE CIRCULATION

- Provide wiring for an automatic door opener for the suite entry door
- Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)
- Floor area for side-by-side washer-dryer accommodated in multiple suites

DOORS

- Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening

PATIOS & BALCONIES

- Minimum one door 2' - 10" or 860mm clear door opening
- Minimum one patio or balcony doorsill with maximum 1/2" or 13mm threshold
- Minimum 5' or 1520mm turning radius on patio /balcony
- Adaptable units to have level slabs for universal access to suite patios & balconies

WINDOWS

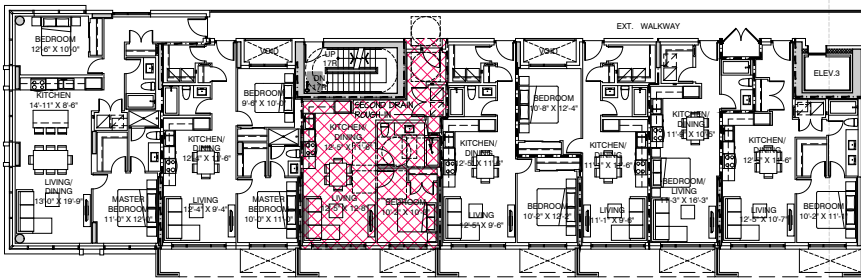
- Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
- Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'- 6" or 750mm above the floor

KITCHEN

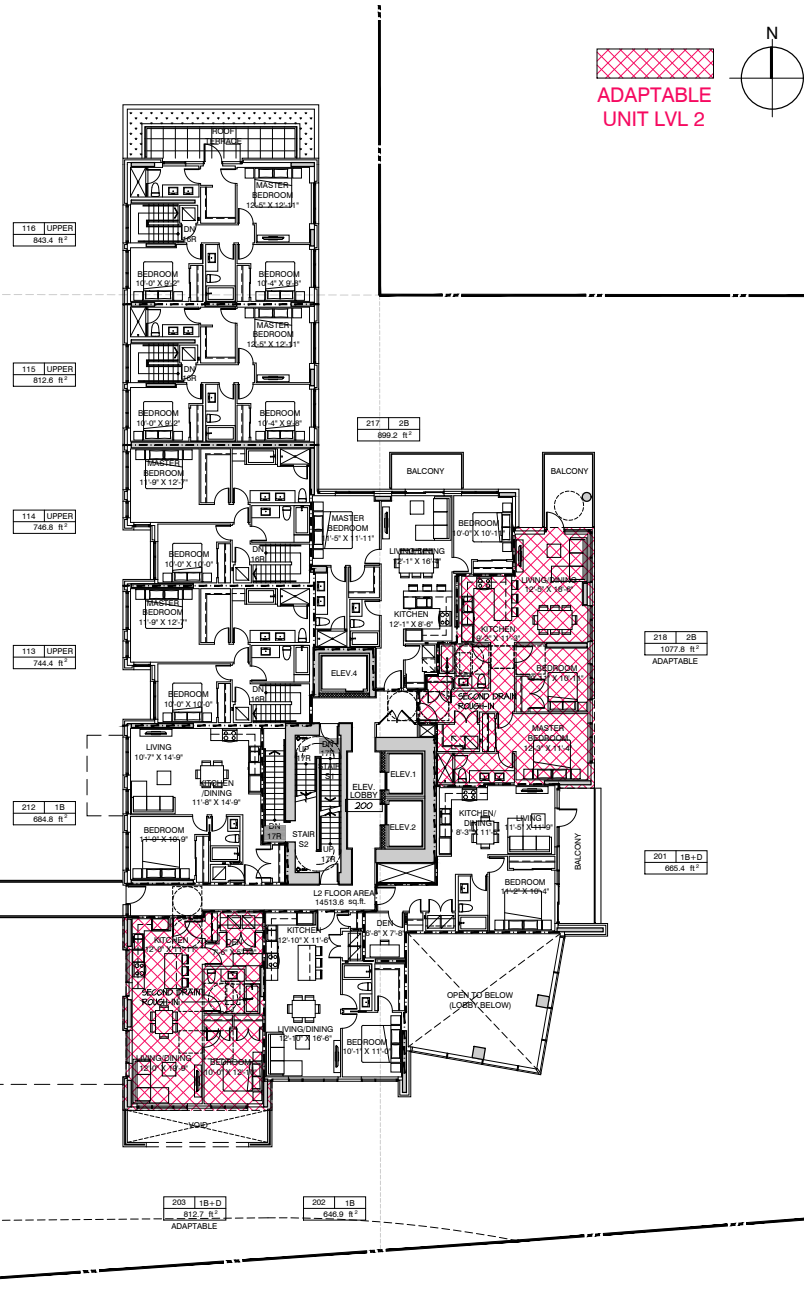
- Continuous counter between sink and stove
- Retractable cabinet doors to be considered in unit design

MIN. ONE BATHROOM

- Toilet located adjacent to wall (min 3' or 915mm length)
- Provide turning radius within bathroom (may result from removal of vanity cabinet)
- 3' or 915mm clearance along full length of tub**
- Tub control valve placed at outer edge of tub, with tub spout remaining in central position



211 2B 1118.1 R ² RENTAL	210 2B 816.6 R ² RENTAL	209 1B 704.4 R ² ADAPTABLE	208 1B 636.1 R ² RENTAL	207 1B 618.9 R ² RENTAL	206 ST 483.7 R ² RENTAL	205 1B 701.6 R ² RENTAL	203 1B-D 812.7 R ² ADAPTABLE	202 1B 648.9 R ²
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ADAPTABLE
UNIT LVL 2



CLIENT



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PROJECT
**EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL**

657 Marine Drive
West Vancouver BC

**FLOOR PLAN
LEVEL 2**

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PROJECT A215294
DRAWN JL CHECKED NC

SCALE 3/32"=1'-0"
DATE NOV. 19, 2018

A0.05

**ADAPTABLE DESIGN GUIDELINES
(BASED ON CITY OF NORTH VANCOUVER ADAPTABLE LEVEL 2)
BUILDING ACCESS**

- Unobstructed internal access:
 - no stairs within building circulation including corridors on residential levels
 - 3' or 915mm building and suite entry doors
- Flush thresholds throughout the building (maximum 1/2" or 13mm height)

CIRCULATION

- Corridors minimum 4' or 1220mm wide (except for service access areas)
- Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit

SUITE CIRCULATION

- Provide wiring for an automatic door opener for the suite entry door
- Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)
- Floor area for side-by-side washer-dryer accommodated in multiple suites

DOORS

- Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening

PATIOS & BALCONIES

- Minimum one door 2' - 10" or 860mm clear door opening
- Minimum one patio or balcony doorsill with maximum 1/2" or 13mm threshold
- Minimum 5' or 1520mm turning radius on patio /balcony
- Adaptable units to have level slabs for universal access to suite patios & balconies

WINDOWS

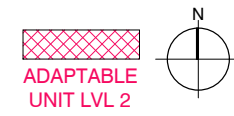
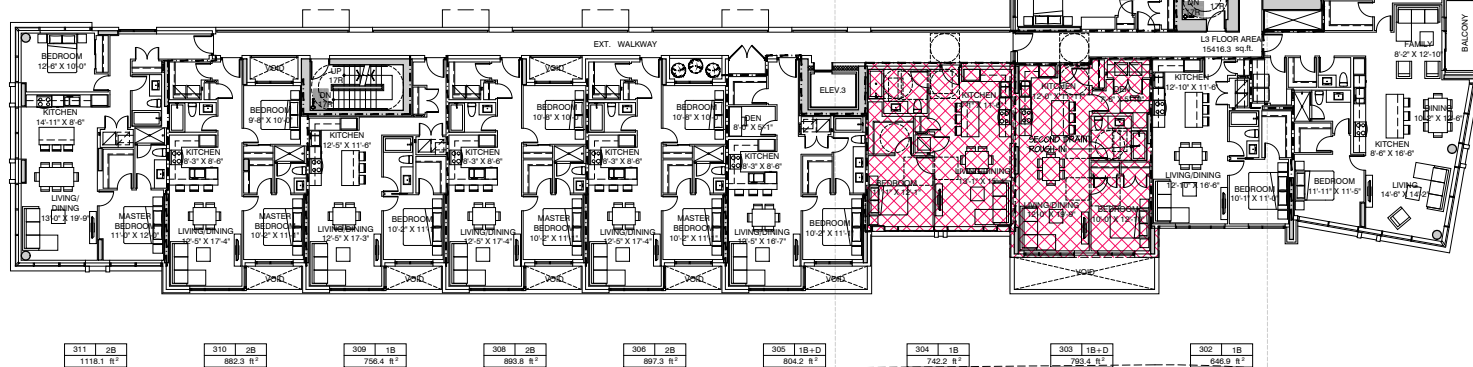
- Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
- Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'- 6" or 750mm above the floor

KITCHEN

- Continuous counter between sink and stove
- Retractable cabinet doors to be considered in unit design

MIN. ONE BATHROOM

- Toilet located adjacent to wall (min 3' or 915mm length)
- Provide turning radius within bathroom (may result from removal of vanity cabinet)
- 3' or 915mm clearance along full length of tub
- Tub control valve placed at outer edge of tub, with tub spout remaining in central position



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**PROJECT
EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL**

657 Marine Drive
West Vancouver BC

**FLOOR PLAN
LEVEL 3**

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PROJECT A215294
DRAWN JL CHECKED NC
SCALE 3/32"=1'-0"
DATE NOV. 19, 2018

**ADAPTABLE DESIGN GUIDELINES
(BASED ON CITY OF NORTH VANCOUVER ADAPTABLE LEVEL 2)
BUILDING ACCESS**

- Unobstructed internal access:
 - no stairs within building circulation including corridors on residential levels
- 3' or 915mm building and suite entry doors
- Flush thresholds throughout the building (maximum 1/2" or 13mm height)

CIRCULATION

- Corridors minimum 4' or 1220mm wide (except for service access areas)
- Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit

SUITE CIRCULATION

- Provide wiring for an automatic door opener for the suite entry door
- Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)
- Floor area for side-by-side washer-dryer accommodated in multiple suites

DOORS

- Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening

PATIOS & BALCONIES

- Minimum one door 2' - 10" or 860mm clear door opening
- Minimum one patio or balcony doorsill with maximum 1/2" or 13mm threshold
- Minimum 5' or 1520mm turning radius on patio /balcony
- Adaptable units to have level slabs for universal access to suite patios & balconies

WINDOWS

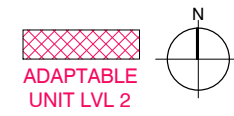
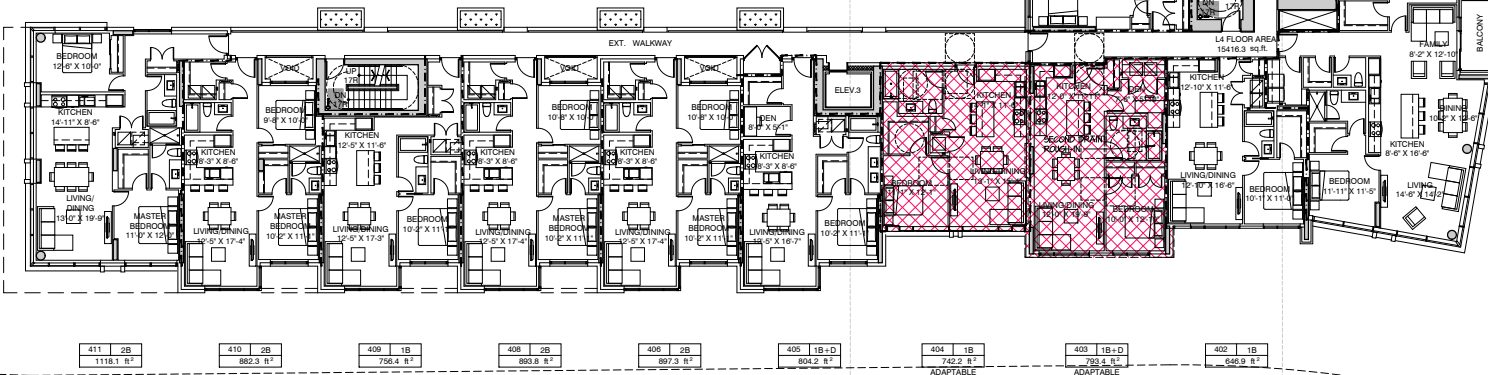
- Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
- Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'- 6" or 750mm above the floor

KITCHEN

- Continuous counter between sink and stove
- Retractable cabinet doors to be considered in unit design

MIN. ONE BATHROOM

- Toilet located adjacent to wall (min 3' or 915mm length)
- Provide turning radius within bathroom (may result from removal of vanity cabinet)
- 3' or 915mm clearance along full length of tub
- Tub control valve placed at outer edge of tub, with tub spout remaining in central position



EXECUTIVE GROUP DEVELOPMENT

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PROJECT
**EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL**

657 Marine Drive
West Vancouver BC

**FLOOR PLAN
LEVEL 4**

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PROJECT A215294
DRAWN JL CHECKED NC
SCALE 3/32"=1'-0"
DATE NOV. 19, 2018

**ADAPTABLE DESIGN GUIDELINES
(BASED ON CITY OF NORTH VANCOUVER ADAPTABLE LEVEL 2)**

BUILDING ACCESS

- Unobstructed internal access:
 - no stairs within building circulation including corridors on residential levels
- 3' or 915mm building and suite entry doors
- Flush thresholds throughout the building (maximum 1/2" or 13mm height)

CIRCULATION

- Corridors minimum 4' or 1220mm wide (except for service access areas)
- Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit

SUITE CIRCULATION

- Provide wiring for an automatic door opener for the suite entry door
- Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)
- Floor area for side-by-side washer-dryer accommodated in multiple suites

DOORS

- Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening

PATIOS & BALCONIES

- Minimum one door 2' - 10" or 860mm clear door opening
- Minimum one patio or balcony doorsill with maximum 1/2" or 13mm threshold
- Minimum 5' or 1520mm turning radius on patio /balcony
- Adaptable units to have level slabs for universal access to suite patios & balconies

WINDOWS

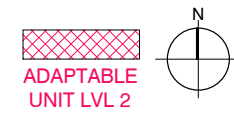
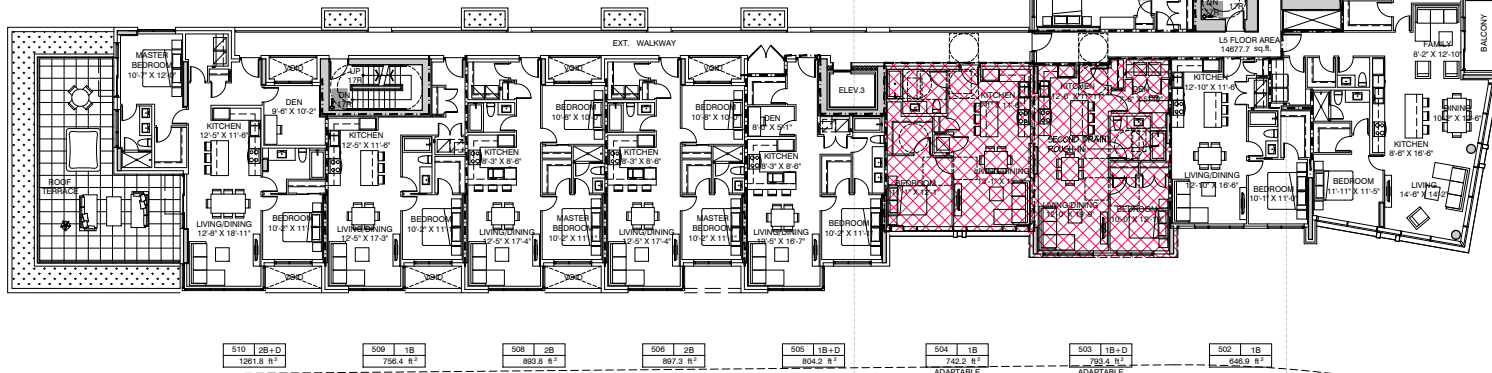
- Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
- Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'- 6" or 750mm above the floor

KITCHEN

- Continuous counter between sink and stove
- Retractable cabinet doors to be considered in unit design

MIN. ONE BATHROOM

- Toilet located adjacent to wall (min 3' or 915mm length)
- Provide turning radius within bathroom (may result from removal of vanity cabinet)
- 3' or 915mm clearance along full length of tub
- Tub control valve placed at outer edge of tub, with tub spout remaining in central position



**EXECUTIVE
GROUP DEVELOPMENT**

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PROJECT
**EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL**

657 Marine Drive
West Vancouver BC

**FLOOR PLAN
LEVEL 5**

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PROJECT A215294
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SCALE 3/32"=1'-0"
DATE NOV. 19, 2018

**ADAPTABLE DESIGN GUIDELINES
(BASED ON CITY OF NORTH VANCOUVER ADAPTABLE LEVEL 2)**

BUILDING ACCESS

- Unobstructed internal access:
 - no stairs within building circulation including corridors on residential levels
 - 3' or 915mm building and suite entry doors
- Flush thresholds throughout the building (maximum 1/2" or 13mm height)

CIRCULATION

- Corridors minimum 4' or 1220mm wide (except for service access areas)
- Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit

SUITE CIRCULATION

- Provide wiring for an automatic door opener for the suite entry door
- Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)
- Floor area for side-by-side washer-dryer accommodated in multiple suites

DOORS

- Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening

PATIOS & BALCONIES

- Minimum one door 2' - 10" or 860mm clear door opening
- Minimum one patio or balcony doorsill with maximum 1/2" or 13mm threshold
- Minimum 5' or 1520mm turning radius on patio /balcony
- Adaptable units to have level slabs for universal access to suite patios & balconies

WINDOWS

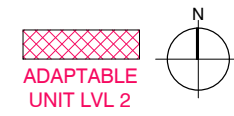
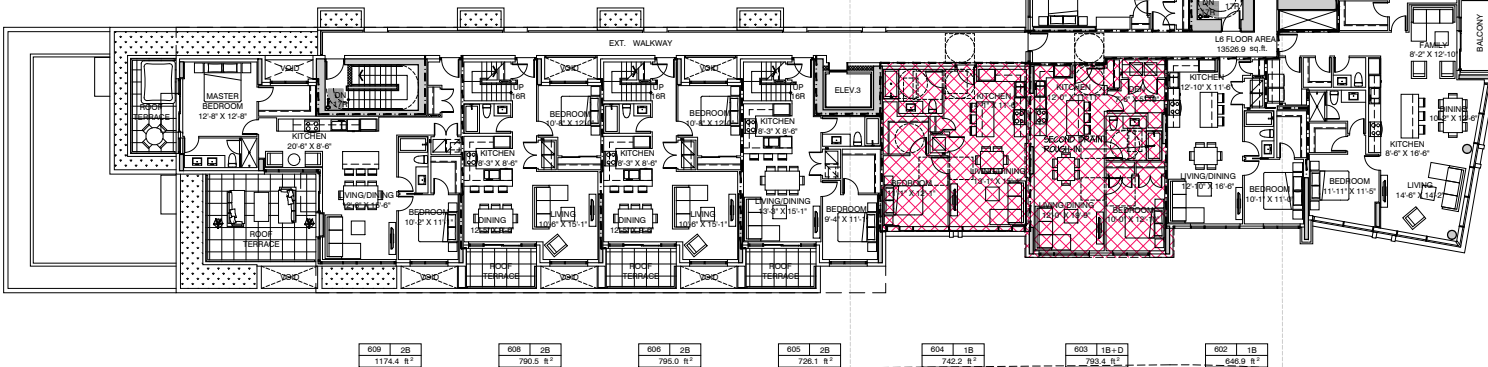
- Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
- Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'- 6" or 750mm above the floor

KITCHEN

- Continuous counter between sink and stove
- Retractable cabinet doors to be considered in unit design

MIN. ONE BATHROOM

- Toilet located adjacent to wall (min 3' or 915mm length)
- Provide turning radius within bathroom (may result from removal of vanity cabinet)
- **3' or 915mm clearance along full length of tub**
- Tub control valve placed at outer edge of tub, with tub spout remaining in central position



dys architecture
260 - 1770 Burrard Street Vancouver BC V6J 3G7
tel 604.669.7710 www.dysarchitecture.com



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PROJECT
**EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL**

657 Marine Drive
West Vancouver BC

**FLOOR PLAN
LEVEL 6**

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PROJECT A215294
DRAWN JL CHECKED NC
SCALE 3/32"=1'-0"
DATE NOV. 19, 2018

**ADAPTABLE DESIGN GUIDELINES
(BASED ON CITY OF NORTH VANCOUVER ADAPTABLE LEVEL 2)**

BUILDING ACCESS

- Unobstructed internal access:
 - no stairs within building circulation including corridors on residential levels
- 3' or 915mm building and suite entry doors
- Flush thresholds throughout the building (maximum 1/2" or 13mm height)

CIRCULATION

- Corridors minimum 4' or 1220mm wide (except for service access areas)
- Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit

SUITE CIRCULATION

- Provide wiring for an automatic door opener for the suite entry door
- Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)
- Floor area for side-by-side washer-dryer accommodated in multiple suites

DOORS

- Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening

PATIOS & BALCONIES

- Minimum one door 2' - 10" or 860mm clear door opening
- Minimum one patio or balcony doorsill with maximum 1/2" or 13mm threshold
- Minimum 5' or 1520mm turning radius on patio /balcony
- Adaptable units to have level slabs for universal access to suite patios & balconies

WINDOWS

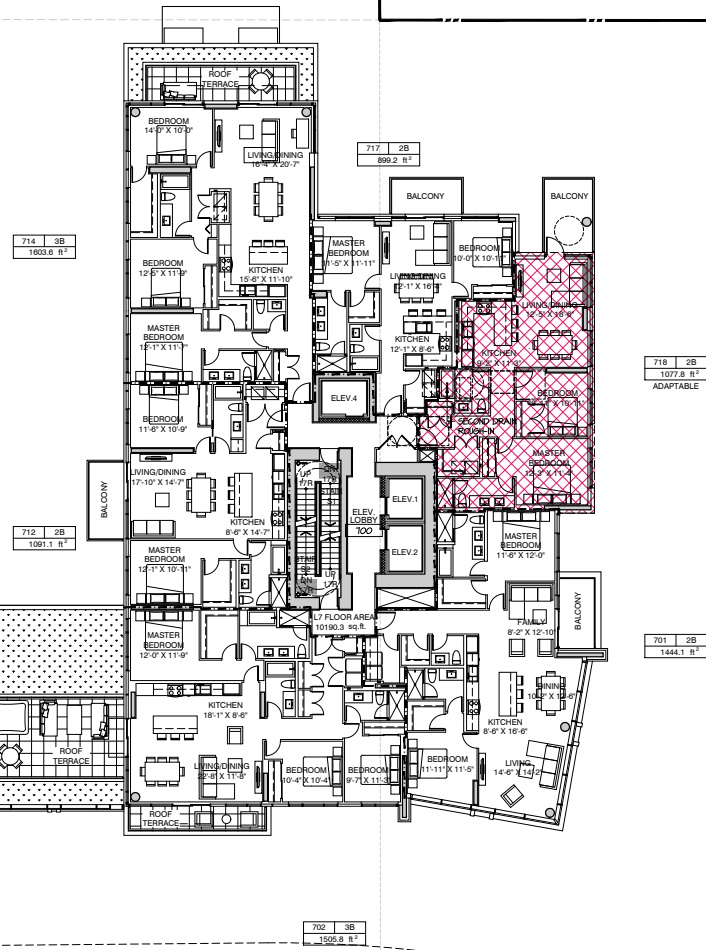
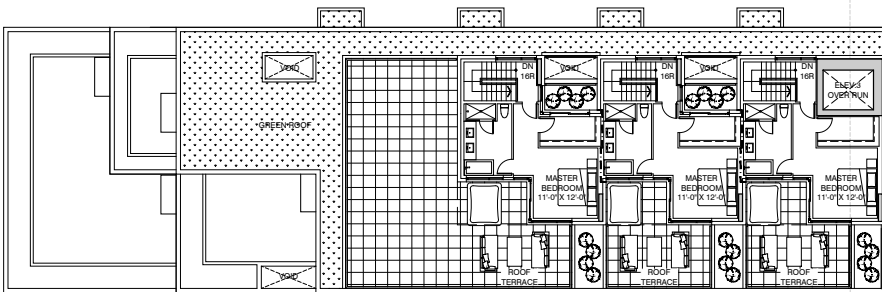
- Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
- Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'- 6" or 750mm above the floor

KITCHEN

- Continuous counter between sink and stove
- Retractable cabinet doors to be considered in unit design

MIN. ONE BATHROOM

- Toilet located adjacent to wall (min 3' or 915mm length)
- Provide turning radius within bathroom (may result from removal of vanity cabinet)
- 3' or 915mm clearance along full length of tub
- Tub control valve placed at outer edge of tub, with tub spout remaining in central position



ADAPTABLE
UNIT LVL 2



CLIENT



**EXECUTIVE
GROUP DEVELOPMENT**

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PROJECT

**EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL**

657 Marine Drive
West Vancouver BC

**FLOOR PLAN
LEVEL 7**

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PROJECT A215294
DRAWN JL CHECKED NC

SCALE 3/32"=1'-0"
DATE NOV. 19, 2018

A0.10

**ADAPTABLE DESIGN GUIDELINES
(BASED ON CITY OF NORTH VANCOUVER
ADAPTABLE LEVEL 2)**

BUILDING ACCESS

- 3' or 915mm suite entry doors
- Flush thresholds throughout the building (maximum 1/2" or 13mm height)

CIRCULATION

- Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit

SUITE CIRCULATION

- Provide wiring for an automatic door opener for the suite entry door
- Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)
- Floor area for side-by-side washer-dryer accommodated in multiple suites

DOORS

- Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening

PATIOS & BALCONIES

- Minimum one door 2' - 10" or 860mm clear door opening
- Minimum one patio or balcony doorsill with maximum 1/2" or 13mm threshold
- Minimum 5' or 1520mm turning radius on patio /balcony
- Adaptable units to have level slabs for universal access to suite patios & balconies

WINDOWS

- Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
- Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'- 6" or 750mm above the floor

KITCHEN

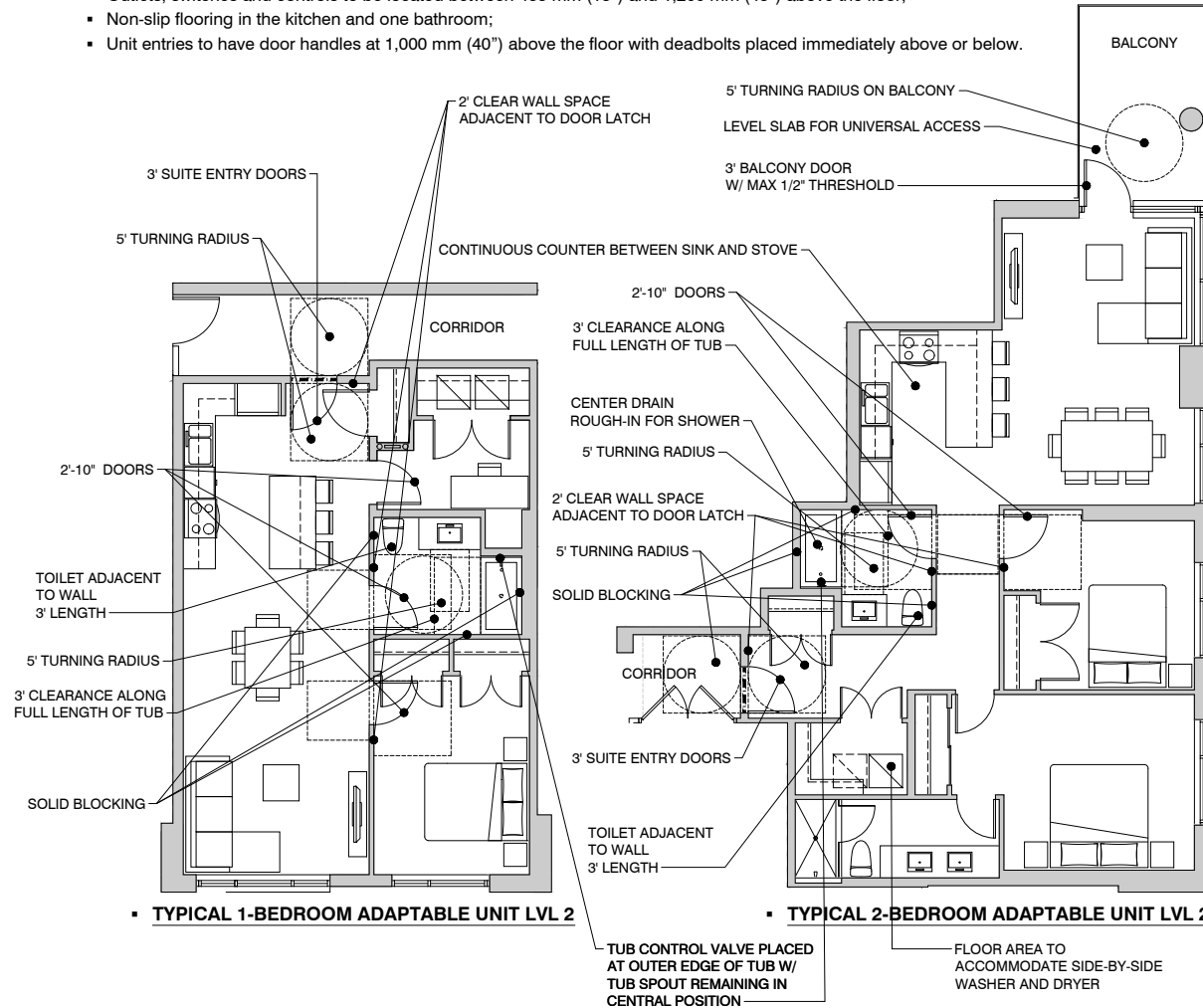
- Continuous counter between sink and stove
- Retractable cabinet doors to be considered in unit design

MIN. ONE BATHROOM

- Toilet located adjacent to wall (min 3' or 915mm length)
- Provide turning radius within bathroom (may result from removal of vanity cabinet)
- 3' or 915mm clearance along full length of tub
- Tub control valve placed at outer edge of tub, with tub spout remaining in central position
- Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars
- Adjustable height shower head or hand-held shower head on adjustable bracket

The proposed project will provide 18 residential units (20% of total) that will meet Level 2 of the City of North Vancouver's Adaptable Design Guidelines. In addition, the remaining residential units in the project will feature basic adaptable design elements to allow for future needs:

- In one bathroom, solid blocking provided in walls of tub / shower and toilet areas and behind towel bars;
- Pressure balanced tub / shower valves;
- One bedroom is have a clear opening door width of not less than 800 mm (31.5");
- Bedrooms to have a telephone jack;
- Windows to have easily grasped and operated mechanism for opening and locking;
- Kitchens to have lever handle faucets and cabinet handles which can be easily used with an open hand (for example "D" or "J" cabinet handles);
- Kitchens designed so that the range and sink are adjacent or with a continuous counter in between;
- Adjustable shelves in cabinets;
- Outlets, switches and controls to be located between 455 mm (18") and 1,200 mm (48") above the floor;
- Non-slip flooring in the kitchen and one bathroom;
- Unit entries to have door handles at 1,000 mm (40") above the floor with deadbolts placed immediately above or below.



CLIENT



**EXECUTIVE
GROUP DEVELOPMENT**

NO. | DATE | ISSUE
01 | 2018.06.07 | ISSUED FOR ACDI
02 | 2018.11.19 | ISSUED FOR PCM
03 | 2019.03.28 | RESPONSE TO MEMORANDUM

NO. | DATE | REVISION

PROJECT
**EXECUTIVE PARC
MARINE+TAYLOR RESIDENTIAL**

657 Marine Drive
West Vancouver BC

**TYPICAL UNIT PLANS
ADAPTABLE LEVEL 2**

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall be informed of any variations from the dimensions and conditions shown on the drawings. These drawings shall be submitted to dys architecture for review before proceeding with installation.

PROJECT A215294
DRAWN JL CHECKED NC

SCALE 1/4"=1'-0"
DATE NOV. 19, 2018

A0.10



EXECUTIVE[®]
GROUP OF COMPANIES

March 19, 2019

Lisa Berg
Senior Community Planner
District of West Vancouver
750 17th Street, West Vancouver
V7V 3T3

**Re: 2019 Locals First Program – 657 & 675 Marine Drive and 660 Clyde Avenue
Executive Parc**

Dear Lisa,

Executive Park Limited Partnership will be developing 89 Market and Rental Homes known as the “Executive Parc”, conveniently located near the corner of Marine Drive and Taylor Way – the gateway to West Vancouver.

In recognition of the District of West Vancouver’s preference for local residents and employees to have first priority on new multi-family housing being developed in the District, Executive is introducing a Locals First Program that will give Locals a first priority to purchase or rent homes at Executive Parc.

Under the Locals First Program, Executive defines a “Local” as a resident, an employee or a business operator who lives and/or works on the North Shore, specifically within the District of West Vancouver, the District of North Vancouver and the City of North Vancouver. Accordingly, Executive offers the following Locals First Program for Market Homes and Rental Homes:

Locals First – Market Homes

With several home options to choose from, sales of all homes at Executive Parc will be offered exclusively to Locals for the first 30 days of marketing.

The 30 day opportunity commences on the day following the filing of Executive Parc’s Disclosure Statement. In order to qualify under the Locals First Program, the Purchaser will need to provide a current proof of residence or workplace, or sufficient proof that he or she will be moving to or working in a North Shore Municipality.

The Purchaser will be required to declare, in writing, that he or she qualifies as a Local under this Program.

Such Purchaser will be limited to one home only during this period of exclusivity.

Locals First – Rental Homes

Executive will dedicate 21 homes for the life of the building as rental suites, and these rental homes at Executive Parc will be offered exclusively to Locals during the first 30 days that Executive begins accepting lease applications.

Renters need not be a North Shore resident prior to applying, but will need to substantiate that they will be employed or operating a business on the North Shore by the commencement of their lease period in order to qualify as a Local.

The tenant residing in the rental suite must be the named Local on the tenancy agreement.

We appreciate the opportunity to put forward this Locals First Program, and look forward to its successful implantation.

Regards,

Greg Santa
Development Manager

8TH FLOOR, 1080 HOWE STREET, VANCOUVER, BC CANADA V6Z 2T1 TEL: 604 642 5252 FAX: 604 642 5255
WWW.EXECUTIVEGROUPDEVELOPMENT.COM



March 22, 2019

District of West Vancouver
Planning & Development
Attn: Lisa Berg

SUBJECT: BC ENERGY STEP CODE COMPLIANCE
ADDRESS: 677 MARINE DRIVE, WEST VANCOUVER

We have been retained as the Building Envelope and Energy Consultant for the development at the above noted address. The energy targets are aligned with requirements of the BC Building Code 2018 - BC Energy Step Code (BS-ESC). The energy performance metrics are: TEDI (Thermal Energy Demand Intensity) and TEUI (Total Energy Use Intensity).

We have developed an energy model and executed a variety of design scenarios and energy conservation measures to comply with the BC-ESC. As the project is at preliminary design stage and detailed designs of building envelope, mechanical, and electrical systems are not available yet, we established the basis of design for such systems to comply with the TEDI and TEUI targets (Step 2 and Step 3 were studied preliminarily).

Based on the preliminary energy modelling results, the following represents our strategy to comply with BC-ESC. The details related to each strategy are functions of the required Step metrics (Step 1-4) and will be obtained and provided at Building Permit that envelope/mechanical/electrical designs are available for detailed modelling.

- **High Thermal Performance Envelope:** A combination of high efficiency window wall and curtain wall, appropriate exterior insulation on concrete and steel framing walls, and high thermal performance roofs and exposed floors will be considered in the detailed design of building envelope. Improved detailing at interfaces will be used to enhance the overall thermal performance of the building.
- **Air Tight Building:** Depending upon the Step requirement, an enhanced air barrier commissioning may be taken to achieve air tight building design beyond the minimum BC Building Code 2018. This will contribute to further reduction of TEDI and TEUI of the building.
- **Window to Wall Ratio (WWR):** An appropriate WWR will be obtained to create a balance between liveability, daylight usage, solar heat gain, and thermal losses through windows and framings.
- **High Efficiency Heat Recovery Ventilators (HRVs):** High efficiency HRVs will be considered for all suites and amenity spaces to provide high quality ventilation and reduce heating demand. This will significantly reduce the TEDI and TEUI measures related to ventilation requirements in the building.
- **High Efficiency HVAC system:** High efficiency boilers (condensing) or heat pumps will be considered for space heating to reduce TEUI in the building. High efficiency boilers will be considered for service water heating in the building that significantly reduces TEUI in the building.

Should you require any additional information, please contact our office.

Regards,
BC BUILDING SCIENCE LTD.

Prepared by: Farshid Bagheri, Ph.D., P.Eng.

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