

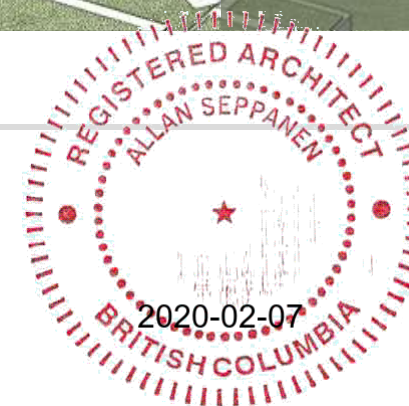


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RODGERS CREEK AREA 6 - LOT 3

Road 'G', West Vancouver - Proposed DP Amendment - February 08, 2020



SAUNDERS
ARCHITECTURE



Rev. 2020.02.06

PROPOSED DP AMENDMENT RATIONALE:

In order to improve construction efficiency, strata maintenance fees and unit diversity the following changes to the Approved DP 18-096 submitted August 8, 2018 are proposed:

1. Reduction of floor to floor height of height from 11'-0" to 10'-0", from an over-height luxury condo ceiling height to a conventional tower floor to floor height.

2. Increase in number of floors on the Tower from 10 to 11.

With the decrease in floor to floor height, the overall height of the 11 storey tower is the same as it was previously.

3. Increase in number of floors on the mid-rise from 6 to 7 (height of mid-rise does not including lobb/entry level).

- two additional units are situated on Level 7 on the West side of the building, the East side of the building remains at 6 storeys.
- With the decrease in floor to floor height, the roof over L6 is 3'-0" lower than the original proposal, and the roof over Level 7 is 8'-6" higher than the original 6 storey building.
- The finished road grade behind the midrise rises higher towards the West, where the additional massing is concentrated, minimizing any impact to view from the homes to the North of the site.
- Refer to page 4 and drawing DP301. Note that no part of the building extends above the finished grade of Chippendale Rd.

4. Increase the total number of units provided by 8.

- 3 units have been added to the Tower, with the addition of one typical floor plate.
- 3 units have been added on level 3, taking the place of areas that were formerly amenity spaces. We feel that with the large community amenity building on the East part of site, there was redundancy in services provided. The units proposed include 2 studio units, and one 2 bedroom with at-grade access.
- 2 units have been added over level 6 of the midrise.

5. The amount of resident parking, visitor parking & bike storage has been increased to meet required numbers for the additional suites and the below grade parking garage has expanded to the West on Level P3, & to the East on Levels P3 & P2 to accommodate.

- All of the areas noted are below grade & therefore do not impact the overall impression of the building.

6. Small changes to the area of some units to improve efficiency.

We feel that these changes allow for more housing diversity on the site, without compromising views for neighbours, or the character & aesthetic of the building

PROJECT STATISTICS:

PROPOSED DEVELOPMENT PERMIT AMENDMENT

CIVIC ADDRESS:	Road "G" West Vancouver
LOCATION:	Lot 3, Area 6 of Rodgers Creek
ZONING:	CD-3
SITE AREA:	2.66 Ac / 1.07 Ha
FAR (PROPOSED):	0.9
SITE COVERAGE:	28%
BUILDING HEIGHT:	11 Storeys
CONSTRUCTION:	Concrete
BUILDING AREA (FAR):	104588 sf

RESIDENTIAL UNITS:

Units <1001sf (min 30%)=20	29 Provided
Units 1000-2100sf (36+7TH)	43
Units >2100sf	0
TOTAL	72

SAFER HOMES (20%) 14

BELOW GRADE PARKING: 153 Residential Stalls (includes 1 HC)
14 Visitor Stalls (includes 1 HC and 1 Carshare EV space)
8 Amenity Parking (including 1 HC stall)

BICYCLE PARKING: 149 Residential Spaces
10 Visitor Spaces

APPROVED DEVELOPMENT PERMIT

CIVIC ADDRESS: Road "G" West Vancouver
LOCATION: Lot 3, Area 6 of Rodgers Creek
ZONING: CD-3
SITE AREA: 2.66 Ac / 1.07 Ha
FAR (PROPOSED): 0.78
SITE COVERAGE: 28%
BUILDING HEIGHT: 10 Storeys
CONSTRUCTION: Concrete
BUILDING AREA (FAR): 90690 sf

RESIDENTIAL UNITS:

Units <1001sf (min 30%)=17 28 Provided (Including 11 for Lot 1)
Units 1000-2100sf (29+7TH) 36
Units >2100sf 0
TOTAL 64

SAFER HOMES (20%) 12

BELOW GRADE PARKING: 111 Residential Stalls (includes 2 HC)
13 Visitor Stalls (includes 1 HC and 1 Carshare EV space)
8 Amenity Parking (including 1 HC stall)

BICYCLE PARKING: 130 Residential Spaces
10 Visitor Spaces



view of courtyard entry and autocourt between buildings

1148'-6" t.o. elevator penthouse

1132'-8" t.o. parapet

10 storeys @ 11 ft
floor to floor height

APPROVED DP



approved Development Permit elevation with key heights

1108'-0" t.o. elevator penthouse

1099'-0" t.o. roof parapet

6 storey apartment bldg

1148'-6" t.o. elevator penthouse

1132'-8" t.o. parapet

11 storeys @ 10 ft
floor to floor height

PROPOSED AMMENDMENT



proposed DP Amendment elevation with key heights

1115'-0" t.o. elevator penthouse

1107'-6" t.o. roof

7 storey apartment bldg

Levels 4 and 5 floor to floor height
reduced from 11 ft to 10 ft

— red outline indicates the approved Development Permit silhouette for comparison purposes

FORM AND MASSING

FORM AND MASSING

The proposed DP amendment does not have significant impact on the overall form and massing. The addition of one storey to the residential tower, combined with the reduced floor to floor height does not change the overall height and form.

The addition of a partial storey to the mid-rise building supports the height transition between the 11 storey tower and adjacent 3 storey amenity building and the proposal's relationship to the slope of Chippendale Rd.



PROPOSED AMMENDMENT



APPROVED D.P.

*comparison of the proposed DP amendment 11 storey tower (left) with 10 ft floor to floor height compared to the approved DP 10 storey tower (right) with 11 ft floor to floor height
note: the proposed DP amendment does not increase the overall tower height*



illustrates the transition in height with in the development and the relationship to the sloping Chippendale Road

FORM AND MASSING

ARCHITECTURAL RATIONALE

The proposed DP amendment does not impact the architectural rationale.

The proposed DP amendment includes 72 units ranging from 53.97 sm/581 sf one-bedroom apartments to a 165.82 sm/1785 sf unit with 3-bedrooms and a Den. There are a variety of unit configurations, including seven units with lock-off suites.



PROPOSED DP AMENDMENT DRAWINGS



1712 - DP AMENDMENT DRAWINGS - 2020.02.06

DP AMENDMENT LIST

DP001	Cover
DP002	Project Statistics
DP201	Level 00/P3
DP202	Level 01/P2
DP204	Level 3
DP209	Level 08 - 11
DP301	South Elevation
DP302	Elevations

ARCHITECT:

 355 Kingsway
 Vancouver, B.C.
 Canada V5T 3J7
 T: 604.736.8959
 E: info@rwa.ca
 W: www.rwa.ca

NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1.	PRELIMINARY DP SUBMISSION	2018.08.08	.	.	.	.	.
2.	ISSUED FOR DRC	2018.10.25	.	.	.	.	.
3.	RE-ISSUED FOR DP	2019.01.10	.	.	.	.	.
4.	RE-ISSUED FOR DP	2019.02.08	.	.	.	.	.
5.	DP REVISION	2019.07.17	.	.	.	.	.

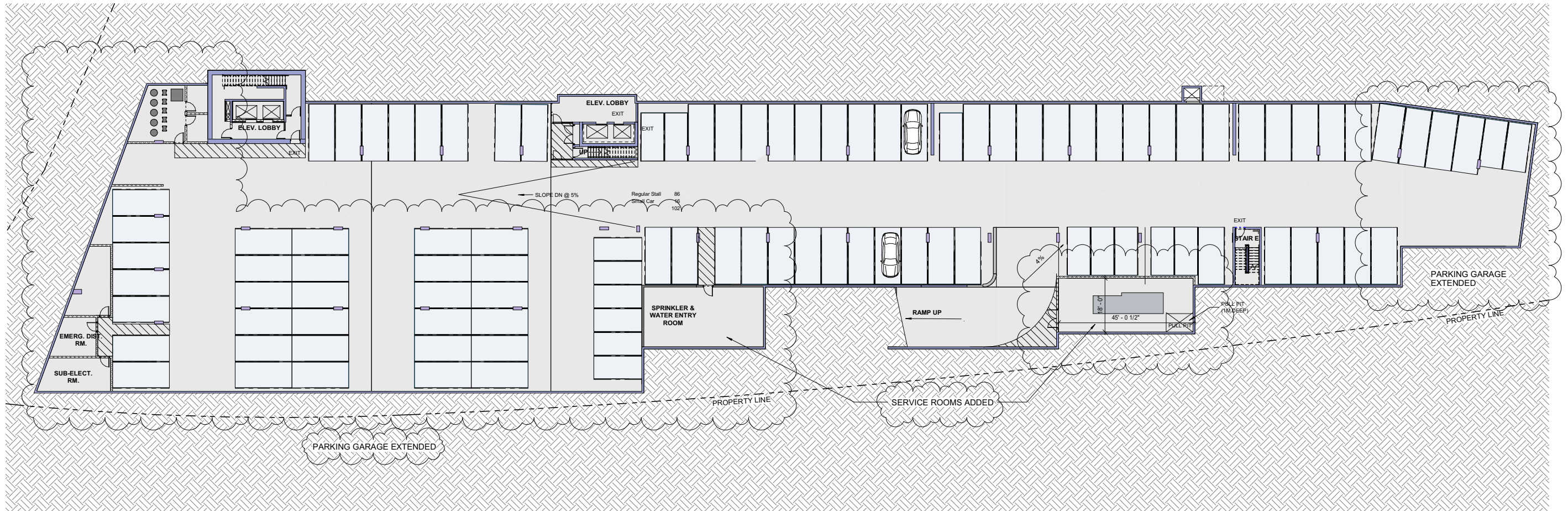
CLIENT:
British Pacific Properties
 1001 - 100 Park Royal South,
 West Vancouver, B.C., V7T 1A2

PROJECT TITLE:
Hawksley
 Area 6 Lot 3
 3271/3281 Uplands Place
 West Vancouver, B.C.

DRAWING TITLE:
Cover

DATE: 2020-02-06 10:54:38 AM
 DRAWN BY: Author
 JOB NO.: 1712
 REVISION:

SHEET NO.
DP001



1 DP Level 00/P3
1/16" = 1'-0"

1712 - DP AMENDMENT DRAWINGS - 2020.02.06

ARCHITECT:
RWA
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 355 Kingsway
 Vancouver BC
 Canada V5T 3J7
 T: 604.736.8959
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NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
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2.	ISSUED FOR DRC	2018.10.25
3.	RE-ISSUED FOR DP	2019.01.10
4.	RE-ISSUED FOR DP	2019.02.08
5.	DP REVISION	2019.07.17	.	.	.	.	.

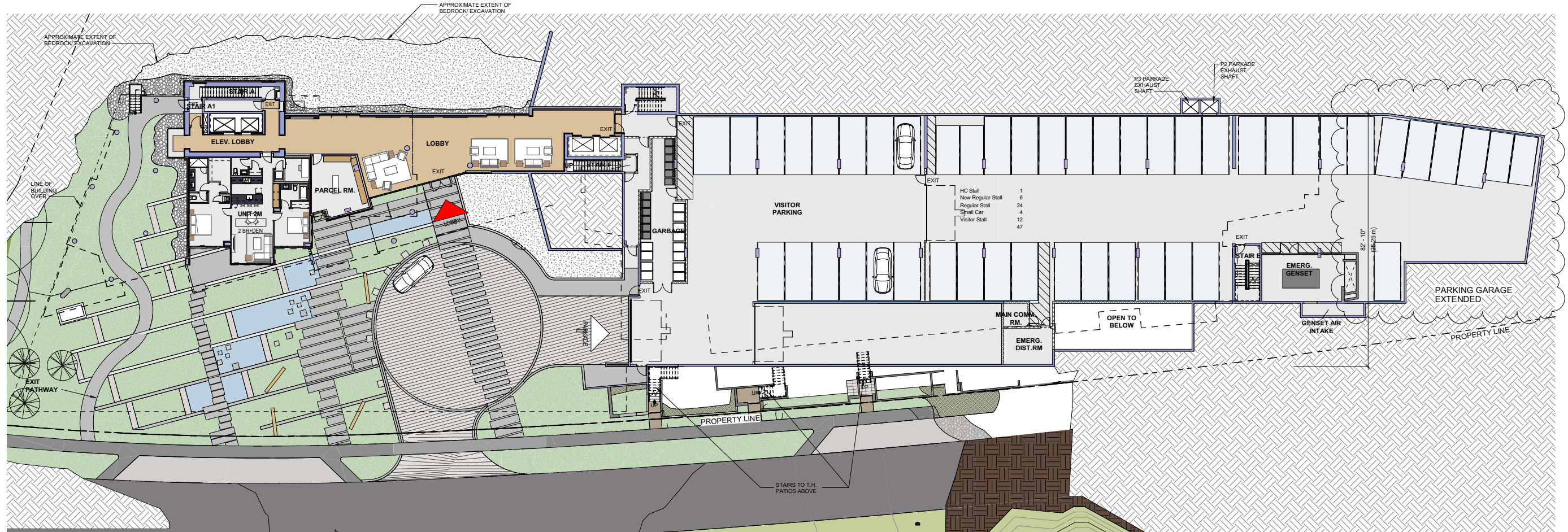
CLIENT:
British Pacific Properties
 1001 - 100 Park Royal South,
 West Vancouver, B.C., V7T 1A2

PROJECT TITLE:
Hawksley
 Area 6 Lot 3
 3271/3281 Uplands Place
 West Vancouver, B.C.

DRAWING TITLE:
Level 00/P3

DATE: 2020-02-06 10:54:43 AM
 DRAWN BY: Author
 JOB NO: 1712
 REVISION:

SHEET NO:
DP201



1 DP Level 01/P2
1/16" = 1'-0"

1712 - DP AMENDMENT DRAWINGS - 2020.02.06

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NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1.	PRELIMINARY DP SUBMISSION	2018.08.08
2.	ISSUED FOR DRC	2018.10.25	.	.	.	.	.
3.	RE-ISSUED FOR DP	2019.01.10	.	.	.	.	.
4.	RE-ISSUED FOR DP	2019.02.08	.	.	.	.	.
5.	DP REVISION	2019.07.17	.	.	.	.	.

CLIENT:
British Pacific Properties
 1001 - 100 Park Royal South,
 West Vancouver, B.C., V7T 1A2

PROJECT TITLE:
Hawksley
 Area 6 Lot 3
 3271/3281 Uplands Place
 West Vancouver, B.C.

DRAWING TITLE:
Level 01/P2

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 JOB NO: 1712
 REVISION:

SHEET NO:
DP202



1712 - DP AMENDMENT DRAWINGS - 2020.02.06

1 DP Level 03
1/16" = 1'-0"

ARCHITECT:

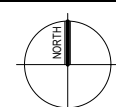
 355 Kingsway
 Vancouver BC
 Canada V5T 3J7
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 E: info@rwa.ca
 W: www.rwa.ca

NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1.	PRELIMINARY DP SUBMISSION	2018.08.08					
2.	ISSUED FOR DRC	2018.10.25					
3.	RE-ISSUED FOR DP	2019.01.10					
4.	RE-ISSUED FOR DP	2019.02.08					
5.	DP REVISION	2019.07.17					

CLIENT:
British Pacific Properties
 1001 - 100 Park Royal South,
 West Vancouver, B.C., V7T 1A2

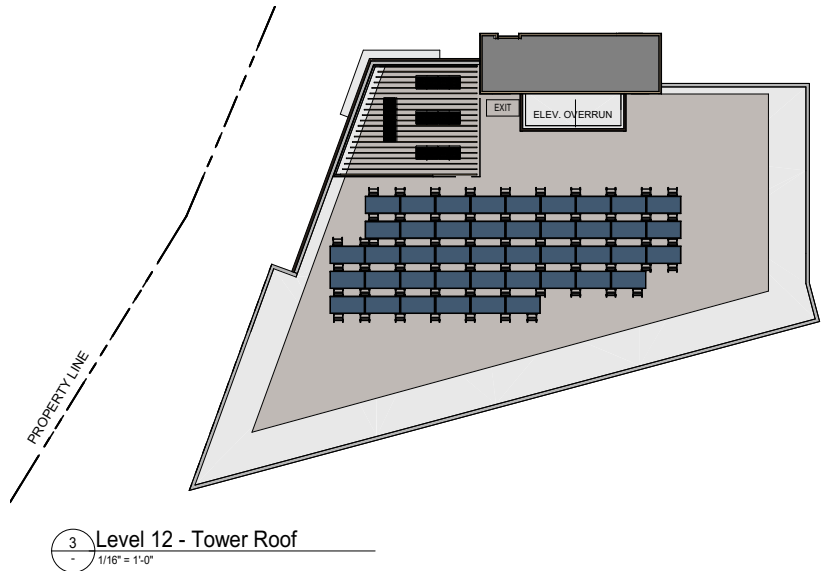
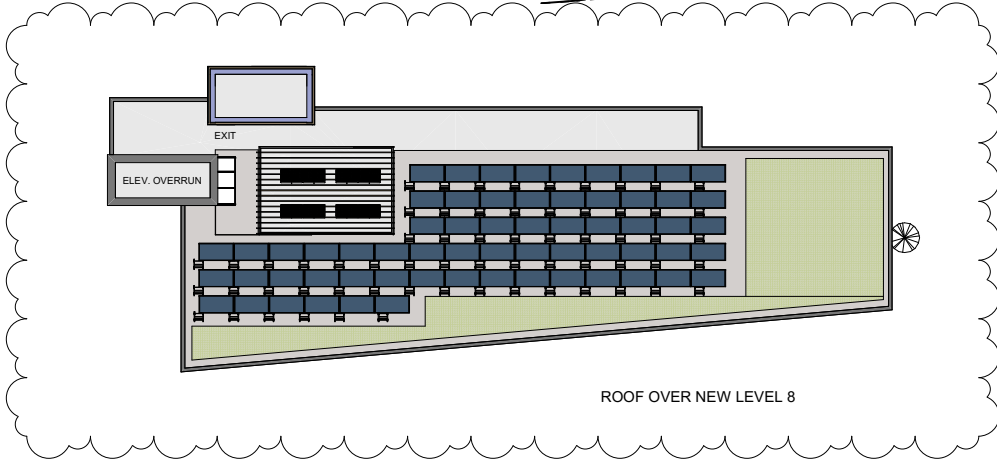
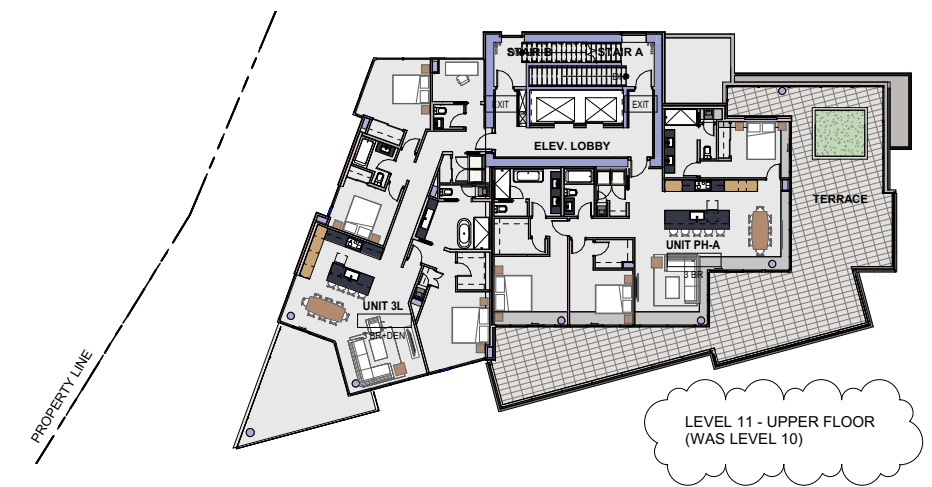
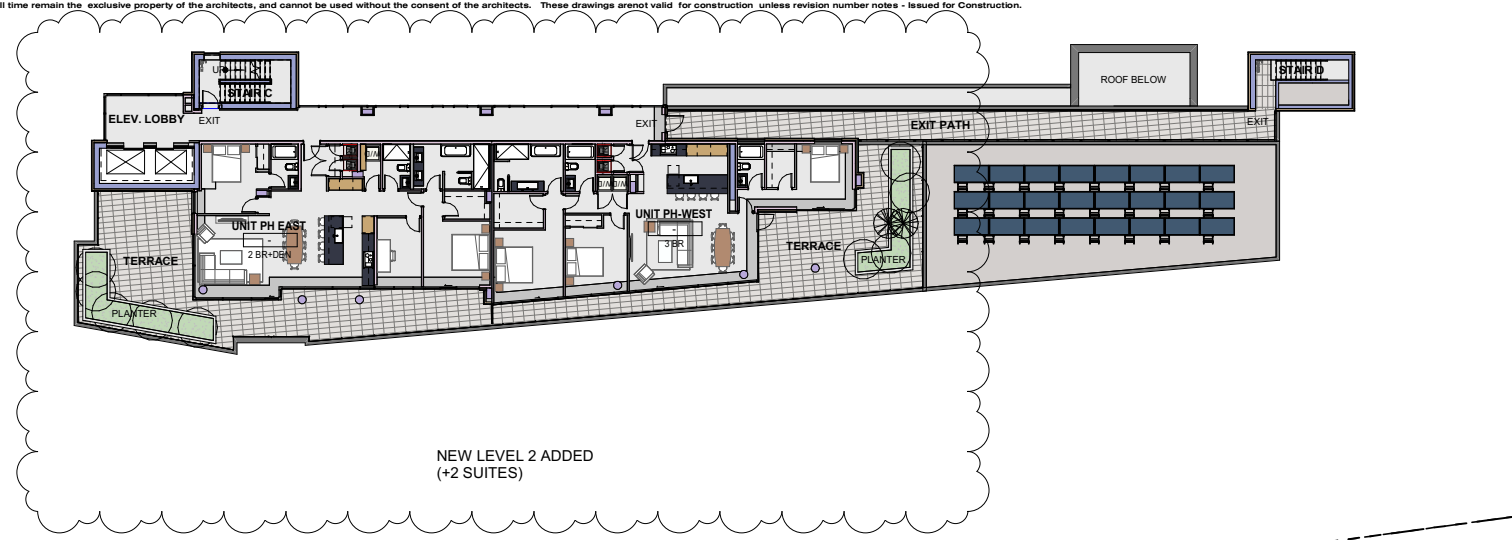
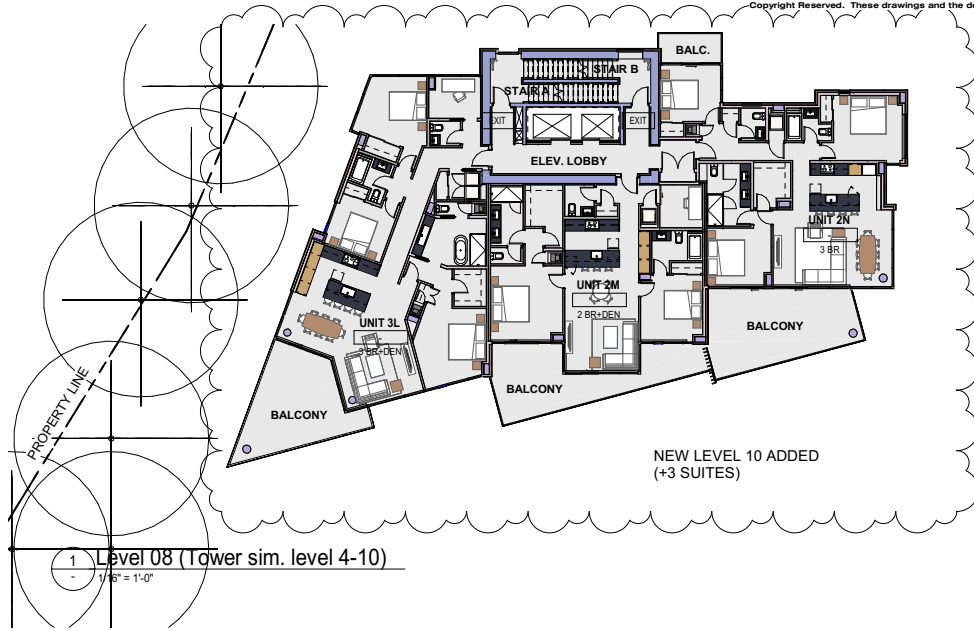
PROJECT TITLE:
Hawksley
 Area 6 Lot 3
 3271/3281 Uplands Place
 West Vancouver, B.C.

DRAWING TITLE:
Level 3



DATE: 2020-02-06 10:54:55 AM
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JOB NO.: 1712
REVISION:

SHEET NO.:
DP204



1712 - DP AMENDMENT DRAWINGS - 2020.02.06

NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1.	PRELIMINARY DP SUBMISSION	2018.08.08	.	.	.	.	.
2.	ISSUED FOR DRC	2018.10.25	.	.	.	.	.
3.	RE-ISSUED FOR DP	2019.01.10	.	.	.	.	.
4.	RE-ISSUED FOR DP	2019.02.08	.	.	.	.	.
5.	DP REVISION	2019.07.17	.	.	.	.	.



1 Apartment South Elevation
1/16" = 1'-0"

KEYNOTE LEGEND

1.1	ARCHITECTURAL CONCRETE - BOARDFORMED
1.2	ARCHITECTURAL CONCRETE - PAINTED
1.3	ARCHITECTURAL CONCRETE COLUMN - LIGHT SANDBLAST
2.1	CEMENTITIOUS PANEL CLADDING
3.1	CURTAIN WALL - DOUBLE GLAZED
3.3	CURTAIN WALL - DOOR
3.4	WINDOW WALL - DOUBLE GLAZED
3.5	WINDOW WALL - INSULATED SPANDREL PANEL
5.1	ALUMINUM + GLASS GUARDRAIL (52")
5.7	PRE-FINISHED METAL GATE
5.9	METAL LOUVER - VERT 2'X10" PRE-FINISHED METAL PICKETS
7.2	MECHANICAL ENCLOSURE
8.1	SOLAR VOLTAIC ARRAY
9.6	EXIT PATH/STAIR

1712 - DP AMENDMENT DRAWINGS - 2020.02.06

ARCHITECT:

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 Vancouver BC
 Canada V5T 3J7
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 E: info@rwa.ca
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NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1.	PRELIMINARY DP SUBMISSION	2018.08.08
2.	ISSUED FOR DRC	2018.10.25	.	.	.	.	.
3.	RE-ISSUED FOR DP	2019.01.10	.	.	.	.	.
4.	RE-ISSUED FOR DP	2019.02.08	.	.	.	.	.
5.	DP REVISION	2019.07.17	.	.	.	.	.

CLIENT:
British Pacific Properties
 1001 - 100 Park Royal South,
 West Vancouver, B.C., V7T 1A2

PROJECT TITLE:
Hawksley
 Area 6 Lot 3
 3271/3281 Uplands Place
 West Vancouver, B.C.

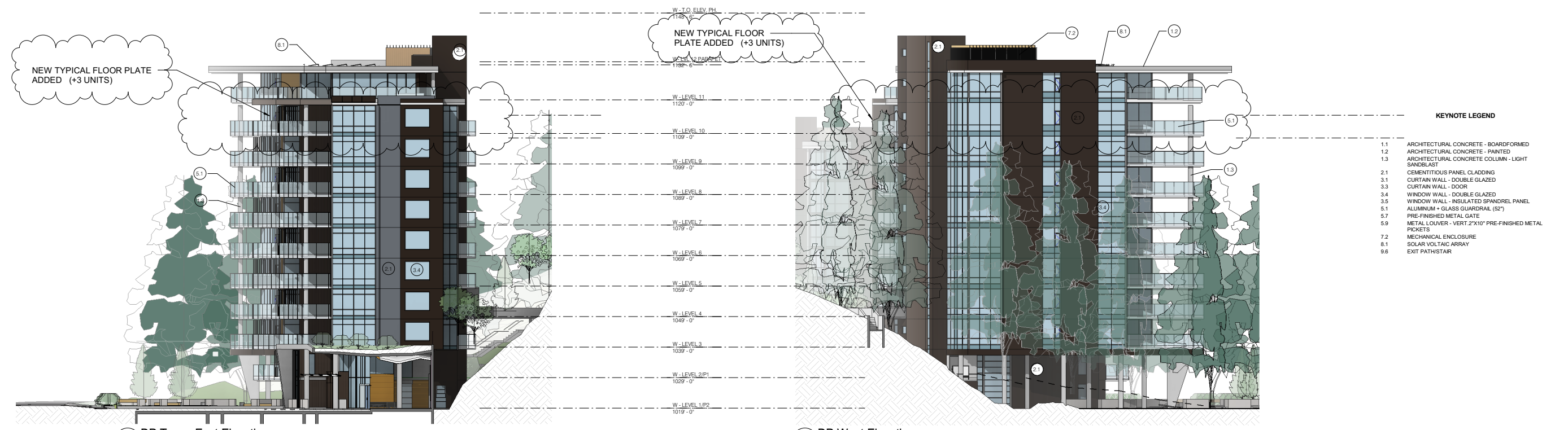
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South Elevation

DATE: 2020-02-06 10:55:38 AM
DRAWN BY: Author
JOB NO.: 1712
REVISION:

SHEET NO.:
DP301



1 DP North Elevation
1/16" = 1'-0"



2 DP Tower East Elevation
1/16" = 1'-0"

3 DP West Elevation
1/16" = 1'-0"

KEYNOTE LEGEND

1.1	ARCHITECTURAL CONCRETE - BOARDFORMED
1.2	ARCHITECTURAL CONCRETE - PAINTED
1.3	ARCHITECTURAL CONCRETE COLUMN - LIGHT SANDBLAST
2.1	CEMENTITIOUS PANEL CLADDING
3.1	CURTAIN WALL - DOUBLE GLAZED
3.3	CURTAIN WALL - DOOR
3.4	WINDOW WALL - DOUBLE GLAZED
3.5	WINDOW WALL - INSULATED SPANDREL PANEL
5.1	ALUMINUM + GLASS GUARDRAIL (52")
5.7	PRE-FINISHED METAL GATE
5.9	METAL LOUVER - VERT. 2"x10" PRE-FINISHED METAL PICKETS
7.2	MECHANICAL ENCLOSURE
8.1	SOLAR VOLTAIC ARRAY
9.6	EXIT PATHSTAIR

ARCHITECT:

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NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1.	PRELIMINARY DP SUBMISSION	2018.08.08					
2.	ISSUED FOR DRC	2018.10.25					
3.	RE-ISSUED FOR DP	2019.01.10					
4.	RE-ISSUED FOR DP	2019.02.08					
5.	DP REVISION	2019.07.17					

CLIENT:
 British Pacific
 Properties
 1001 - 100 Park Royal South,
 West Vancouver, B.C., V7T 1A2

PROJECT TITLE:
 Hawksley
 Area 6 Lot 3
 3271/3281 Uplands Place
 West Vancouver, B.C.

DRAWING TITLE:
 Elevations

DATE: 2020-02-06 10:56:35 AM
DRAWN BY: Author
JOB NO.: 1712
REVISION:

SHEET NO.:
 DP302

APPROVED DP DRAWINGS



Drawing List

A001	Cover
A002	Project Statistics
A101	Site Plan
A102	Partial Site Plan-West
A103	Partial Site Plan-East
A201	Level 00/P3
A202	Level 01/P2
A203	Level 02/P1
A204	Level 3
A205	Level 4
A206	Level 5
A207	Level 6
A208	Level 7
A209	Level 8 (Typ.) Level 10
A300	South Elevation Bldg and Amenity
A301	South Elevation
A302	Elevations
A401	Cross Section A-A
A402	Cross Section B-B
A403	Section C-C

1712 - DP RESUBMISSION 2019.02.08

ARCHITECT:



305 Kingway
Vancouver BC
Canada V5T 3J7

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W www.rwa.ca

NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1.	PRELIMINARY DP SUBMISSION	2018.08.08					
2.	ISSUED FOR DRC	2018.10.26					
3.	RE-ISSUED FOR DP	2019.01.10					
4.	RE-ISSUED FOR DP	2019.02.08					

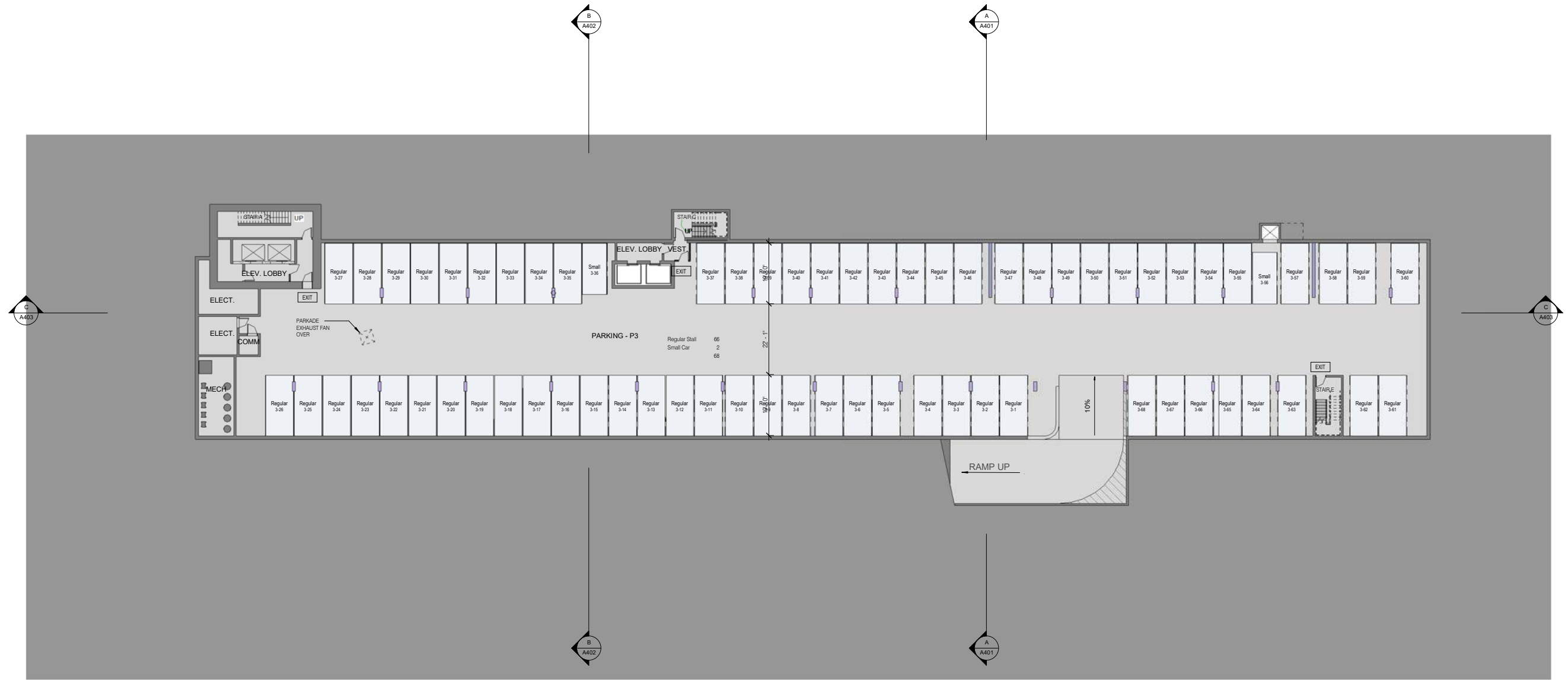
CLIENT:
British Pacific Properties
1001 - 100 Park Royal South,
West Vancouver, B.C., V7T 1A2

PROJECT TITLE:
BPP Area 6, Lot 3
3271/3281 Uplands Place,
West Vancouver, B.C.

DRAWING TITLE:
Cover

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REVISION

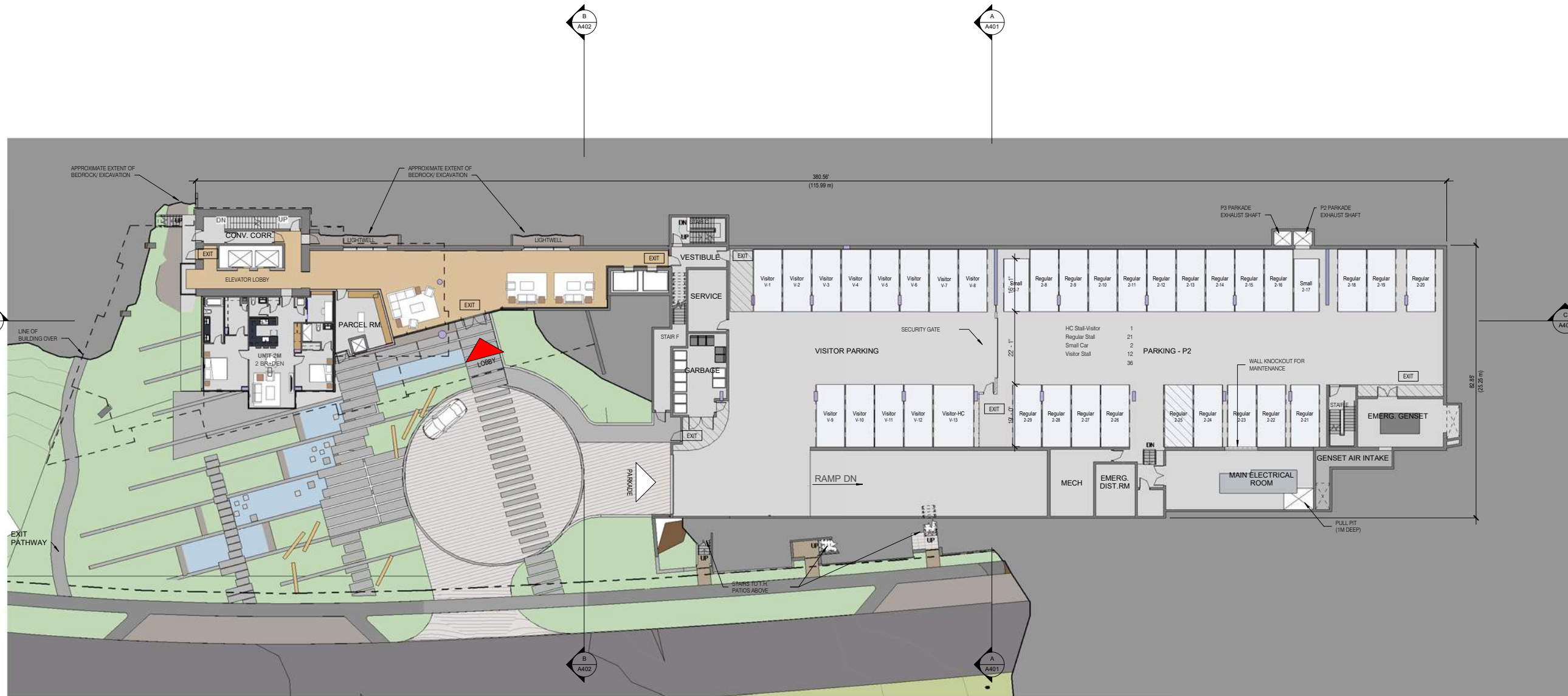
SHEET NO.
A001



1 Level 00/P3
1/16" = 1'-0"

1712 - RE-ISSUED FOR DP 2019.01.10

NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1.	PRELIMINARY DP SUBMISSION	2018.08.08					
2.	ISSUED FOR DRC	2018.10.28					
3.	RE-ISSUED FOR DP	2019.01.10					



1 Level 01/P2
1/16" = 1'-0"

1712 - RE-ISSUED FOR DP 2019.01.10

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 Vancouver, BC
 Canada V5T 3J7
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NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1.	PRELIMINARY DP SUBMISSION	2018.08.08					
2.	ISSUED FOR DRC	2018.10.28					
3.	RE-ISSUED FOR DP	2019.01.10					

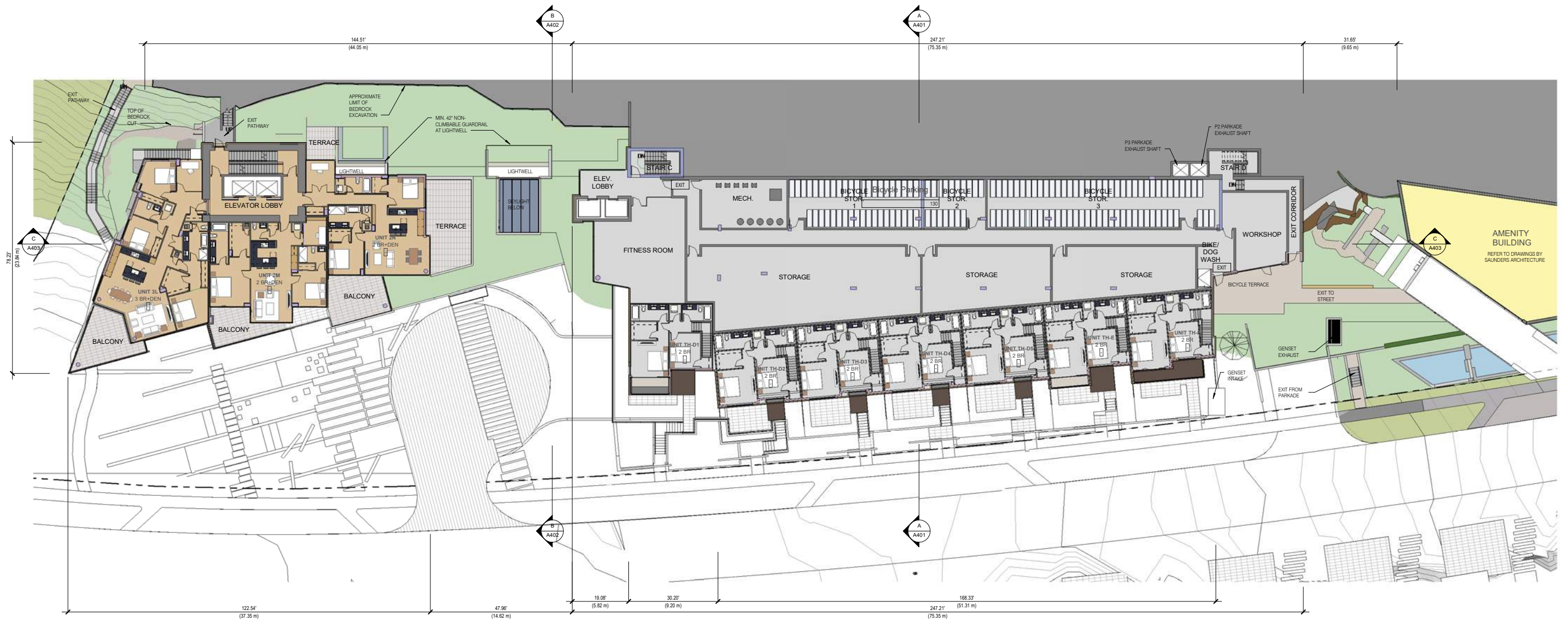
CLIENT:
British Pacific Properties
 1001 - 100 Park Royal South,
 West Vancouver, B.C., V7T 1A2

PROJECT TITLE:
BPP Area 6, Lot 3
 3271/3281 Uplands Place,
 West Vancouver, B.C.

DRAWING TITLE:
Level 01/P2

DATE: 2019-01-10 3:04:15 PM
DRAWN BY: Author
JOB NO.: 1712
REVISION:

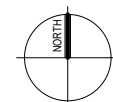
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A202



1 Level03
1/16" = 1'-0"

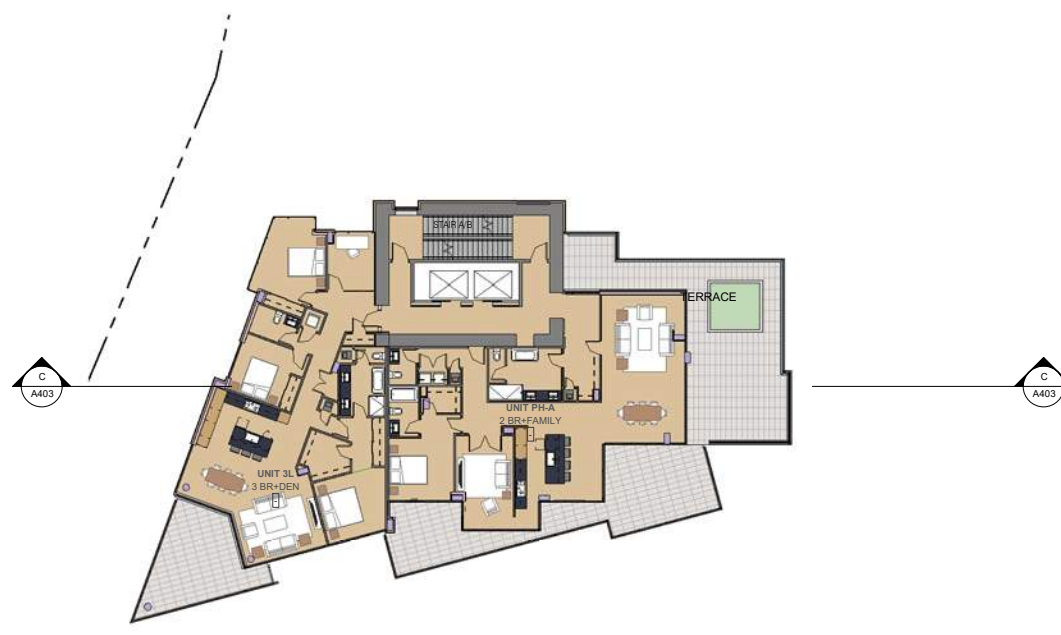
1712 - RE-ISSUED FOR DP 2019.01.10

NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1.	PRELIMINARY DP SUBMISSION	2018.08.08					
2.	ISSUED FOR DRG	2018.10.28					
3.	RE-ISSUED FOR DP	2019.01.10					





1 Level 08 (Typical Floor)
1/16" = 1'-0"



3 Level 10 - Penthouse
1/16" = 1'-0"

1712 - RE-ISSUED FOR DP 2019.01.10

ARCHITECT:

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 Vancouver BC
 Canada V5T 3J7
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NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1.	PRELIMINARY DP SUBMISSION	2018.08.08					
2.	ISSUED FOR DRC	2018.10.28					
3.	RE-ISSUED FOR DP	2019.01.10					

CLIENT:
British Pacific Properties
 1001 - 100 Park Royal South,
 West Vancouver, B.C., V7T 1A2

PROJECT TITLE:
BPP Area 6, Lot 3
 3271/3281 Uplands Place,
 West Vancouver, B.C.

DRAWING TITLE:
**Level 8 (Typ.)
 Level 10**

DATE: 2019-01-10 3:04:52 PM
 DRAWN BY: Author
 JOB NO: 1712
 REVISION:

SHEET NO.
A209



1 Apartment South Elevation
1/16" = 1'-0"

KEYNOTE LEGEND

- 1.1 ARCHITECTURAL CONCRETE - BOARDFORMED
- 1.2 ARCHITECTURAL CONCRETE - PAINTED
- 1.3 ARCHITECTURAL CONCRETE COLUMN - LIGHT SANDBLAST
- 1.4 SUSPENDED CONCRETE WALKWAY C/W GLASS GUARDRAILS (MIN. 42")
- 2.1 CEMENTITIOUS PANEL CLADDING
- 2.2 CEMENTITIOUS CLADDING OKOSKIN
- 3.1 ALUMINUM CURTAIN WALL - DOUBLE GLAZED
- 3.4 ALUMINUM WINDOW WALL - DOUBLE GLAZED
- 4.2 DOOR - WOOD FINISH
- 4.3 OVERHEAD GARAGE DOOR
- 5.1 ALUMINUM + GLASS GUARDRAIL (52")
- 5.7 PRE-FINISHED METAL GATE
- 5.8 PRE-FINISHED METAL BREAKSHAPE
- 5.9 METAL LOUVER - VERT 2'X10' PRE-FINISHED METAL PICKETS
- 7.2 MECHANICAL ENCLOSURE
- 8.1 SOLAR VOLTAC ARRAY
- 9.2 VEGETATED GREEN WALL - SEE LS
- 9.5 SUSPENDED CONCRETE BRIDGE C/W TEMPERED GLASS GUARDRAILS
- 9.6 EXIT PATH/STAIR

1712 - RE-ISSUED FOR DP 2019.01.10

ARCHITECT:

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NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1.	PRELIMINARY DP SUBMISSION	2018.08.08					
2.	ISSUED FOR DRC	2018.10.28					
3.	RE-ISSUED FOR DP	2019.01.10					

CLIENT:
British Pacific Properties
 1001 - 100 Park Royal South,
 West Vancouver, B.C., V7T 1A2

PROJECT TITLE:
BPP Area 6, Lot 3
 3271/3281 Uplands Place,
 West Vancouver, B.C.

DRAWING TITLE:
South Elevation

DATE: 2019-01-10 3:06:41 PM
 DRAWN BY: Author
 JOB NO: 1712
 REVISION:

SHEET NO.
A301



1 North Elevation
1/16" = 1'-0"



2 Tower East Elevation
1/16" = 1'-0"



3 West Elevation
1/16" = 1'-0"

- KEYNOTE LEGEND
- 1.1 ARCHITECTURAL CONCRETE - BOARDFORMED
 - 1.2 ARCHITECTURAL CONCRETE - PAINTED
 - 1.3 ARCHITECTURAL CONCRETE COLUMN - LIGHT SANDBLAST
 - 1.4 SUSPENDED CONCRETE WALKWAY C/W GLASS GUARDRAILS (MIN. 42")
 - 2.1 CEMENTITIOUS PANEL CLADDING
 - 2.2 CEMENTITIOUS CLADDING OKOSKIN
 - 3.1 ALUMINUM CURTAIN WALL - DOUBLE GLAZED
 - 3.4 ALUMINUM WINDOW WALL - DOUBLE GLAZED
 - 4.2 DOOR - WOOD FINISH
 - 4.3 OVERHEAD GARAGE DOOR
 - 5.1 ALUMINUM + GLASS GUARDRAIL (52")
 - 5.7 PRE-FINISHED METAL GATE
 - 5.8 PRE-FINISHED METAL BREAKSHAPE
 - 5.9 METAL LOUVER - VERT 2'X10' PRE-FINISHED METAL PICKETS
 - 7.2 MECHANICAL ENCLOSURE
 - 8.1 SOLAR VOLTAGE ARRAY
 - 9.2 VEGETATED GREEN WALL - SEE LS
 - 9.5 SUSPENDED CONCRETE BRIDGE C/W TEMPERED GLASS GUARDRAILS
 - 9.6 EXIT PATH/STAIR

1712 - RE-ISSUED FOR DP 2019.01.10

ARCHITECT:

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NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1.	PRELIMINARY DP SUBMISSION	2018.08.08					
2.	ISSUED FOR DRC	2018.10.28					
3.	RE-ISSUED FOR DP	2019.01.10					

CLIENT:
British Pacific Properties
1001 - 100 Park Royal South,
West Vancouver, B.C., V7T 1A2

PROJECT TITLE:
BPP Area 6, Lot 3
3271/3281 Uplands Place,
West Vancouver, B.C.

DRAWING TITLE:
Elevations

DATE	2019-01-10 3:44:04 PM
DRAWN BY:	Author
JOB NO.:	1712
REVISION	

SHEET NO.
A302