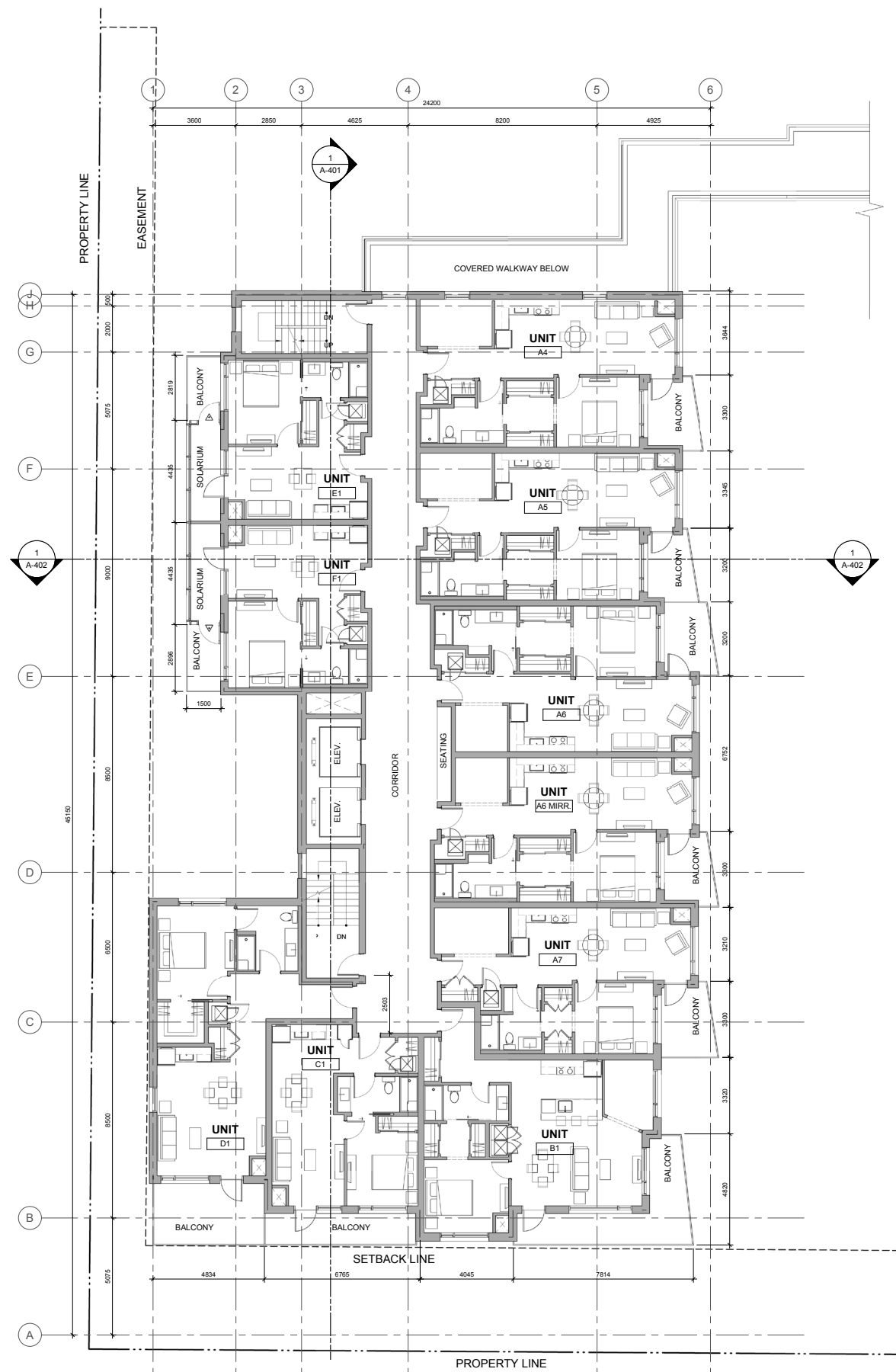
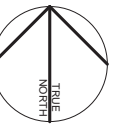


PROPOSED LEVEL 04 PLAN

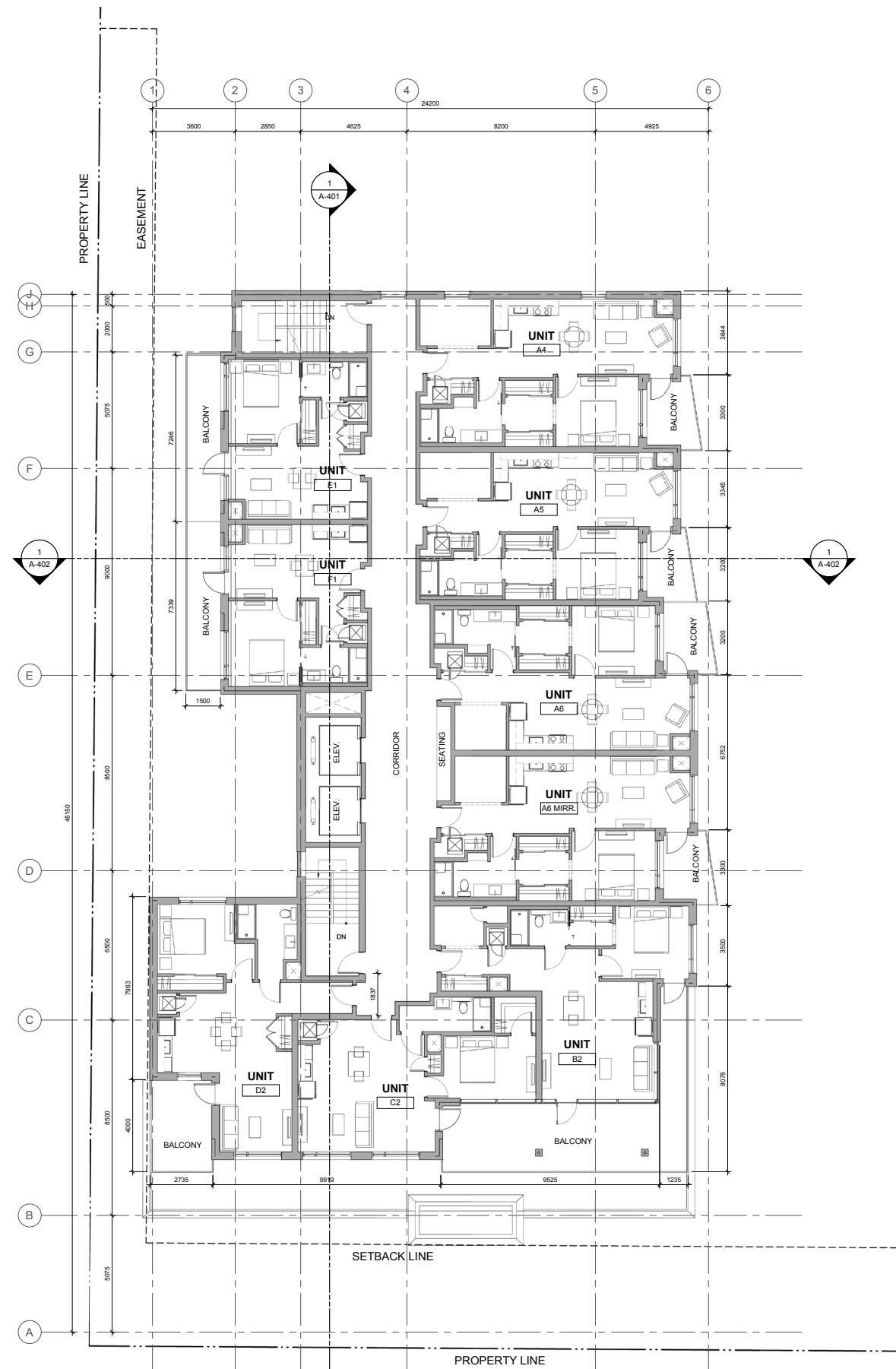
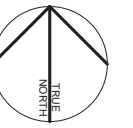
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A204

PROPOSED LEVEL 05 PLAN

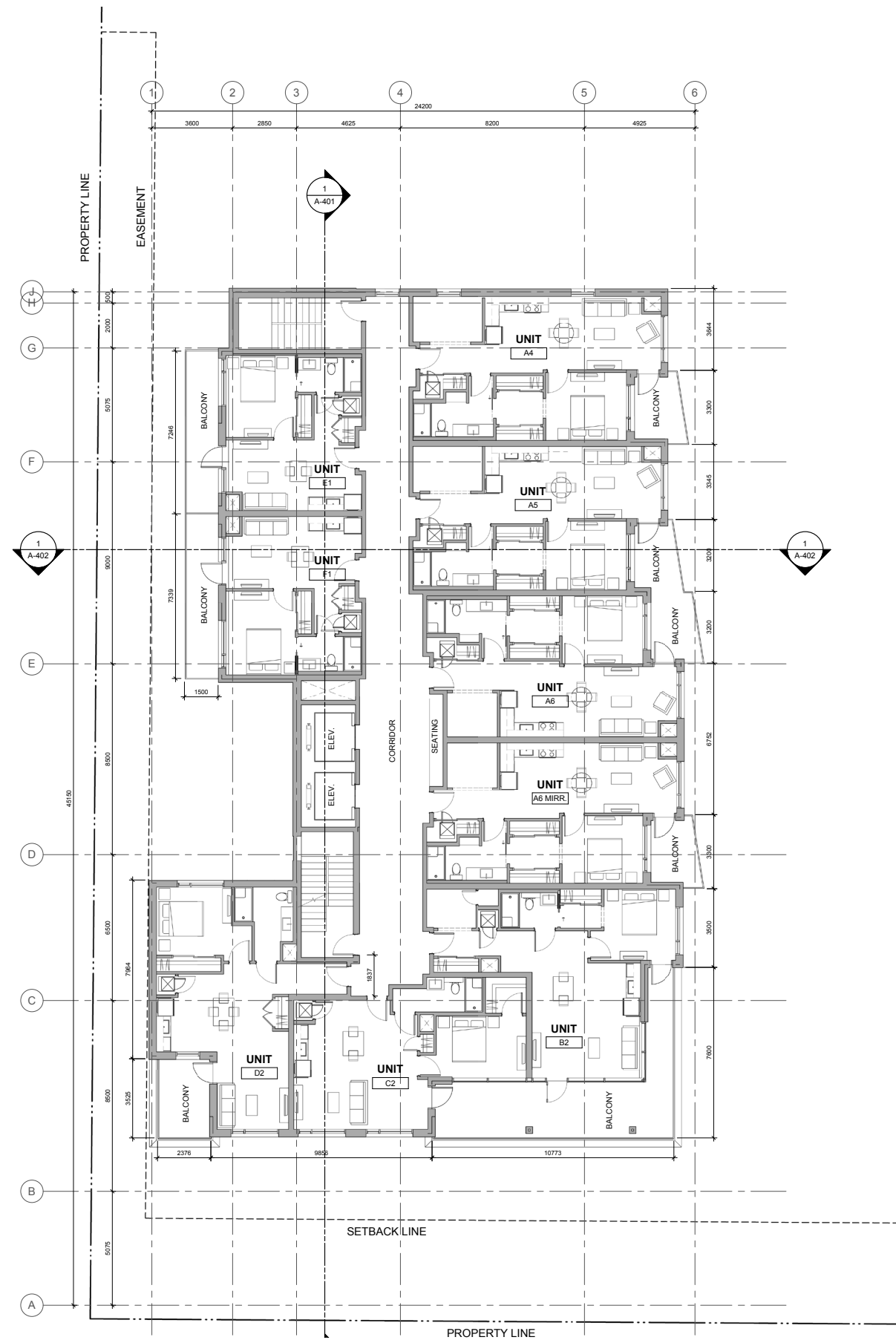
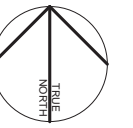
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A205

PROPOSED LEVEL 06 PLAN

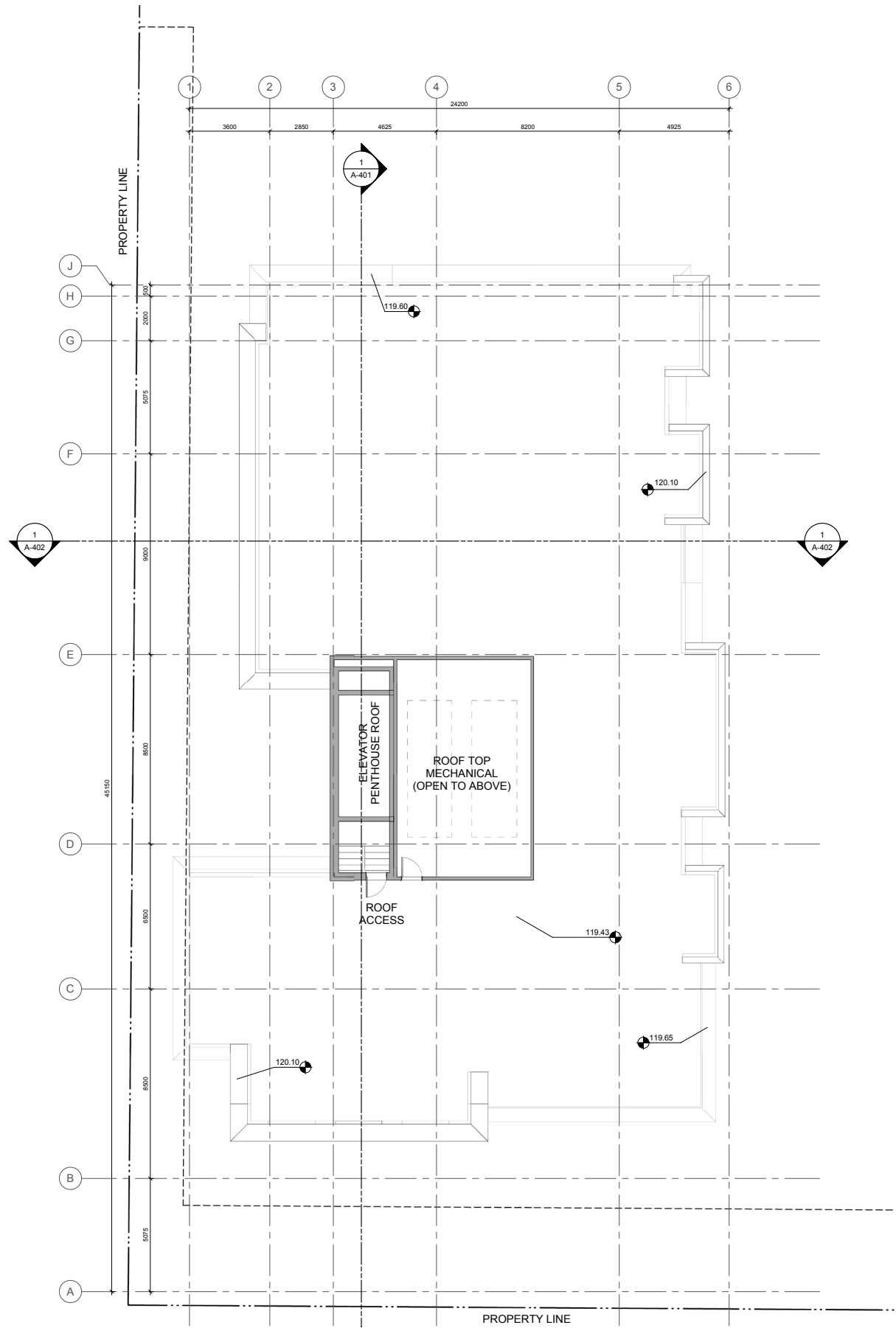
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A206

PROPOSED ROOF PLAN

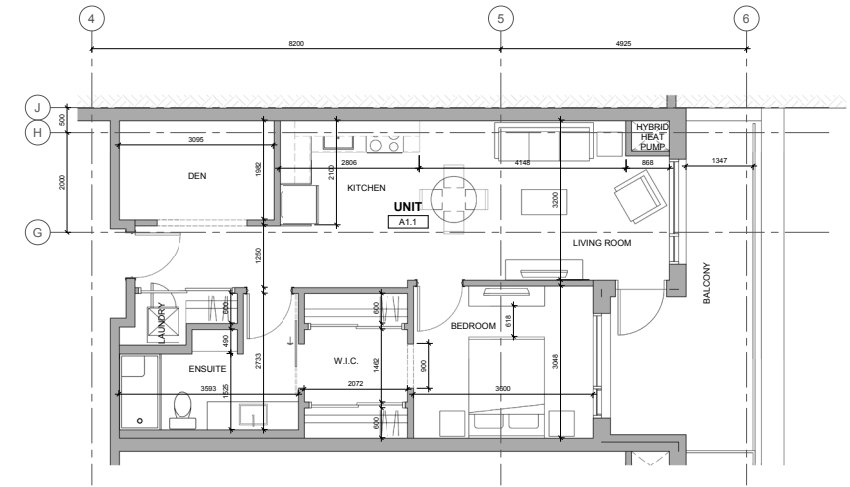
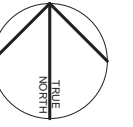
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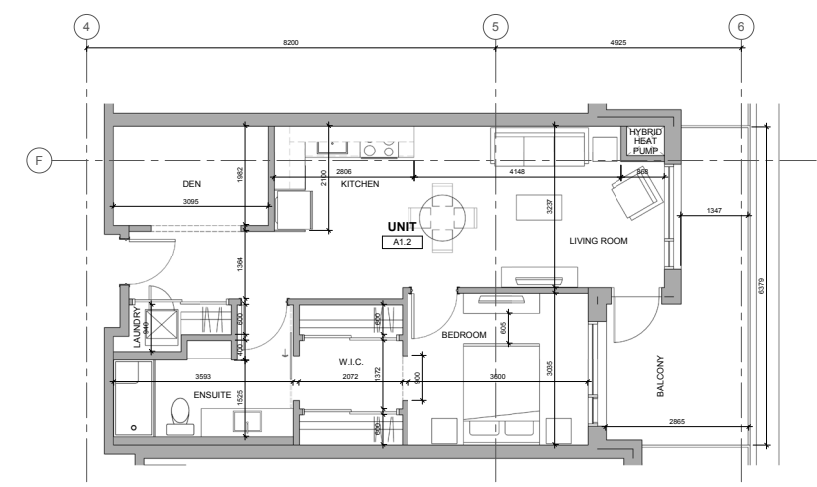
A207

UNIT PLANS

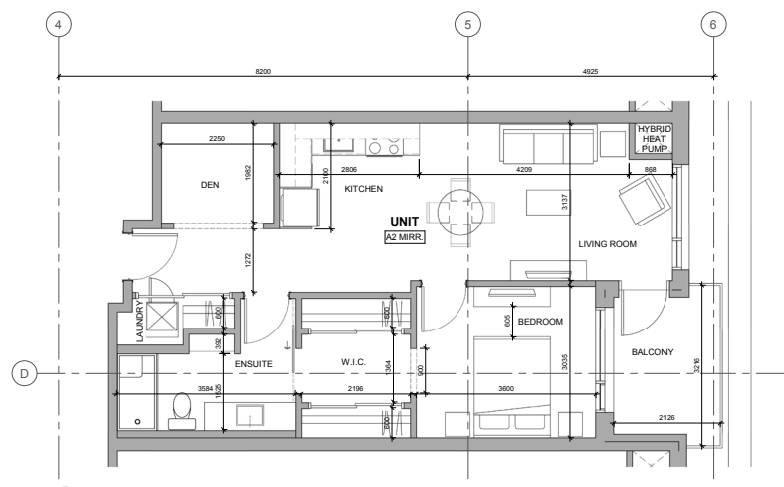
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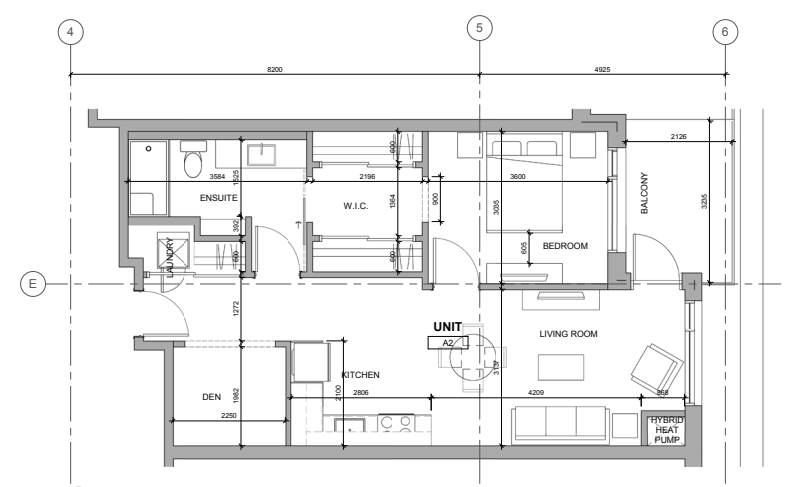
1 UNIT 'A1.1' PLAN
SCALE: 1:50



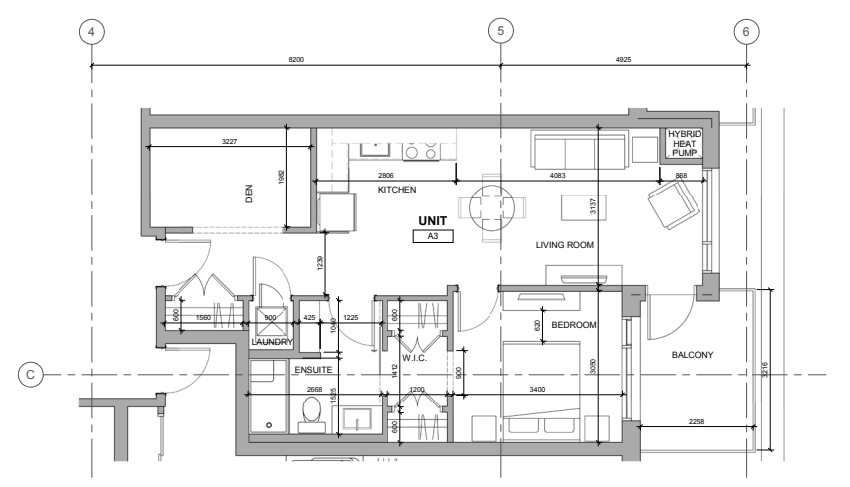
2 UNIT 'A1.2' PLAN
SCALE: 1:50



3 UNIT 'A2 MIRROR' PLAN
SCALE: 1:50



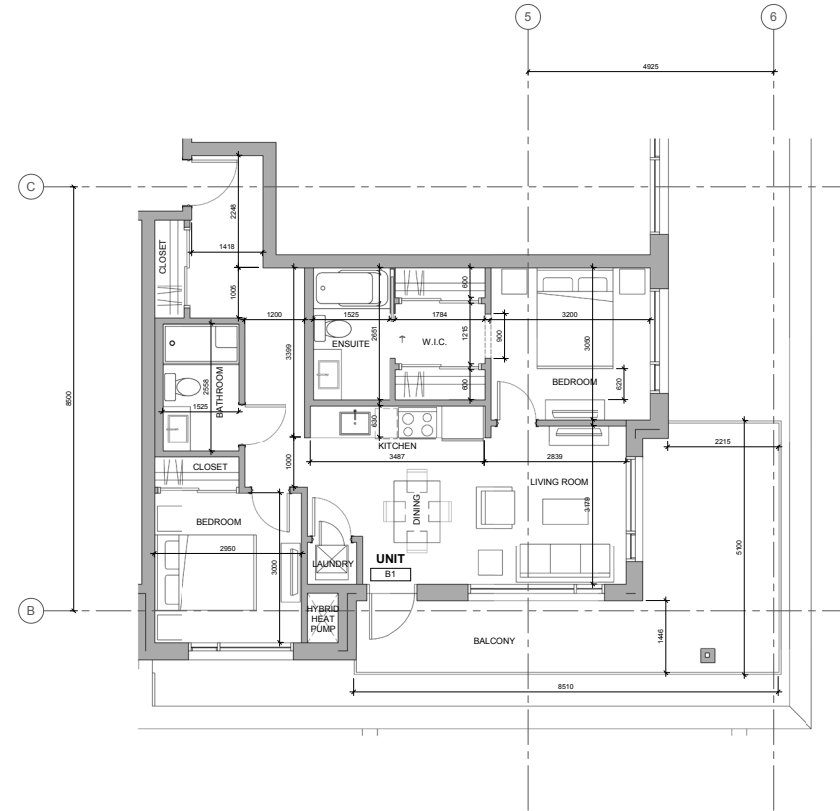
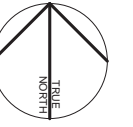
4 UNIT 'A2' PLAN
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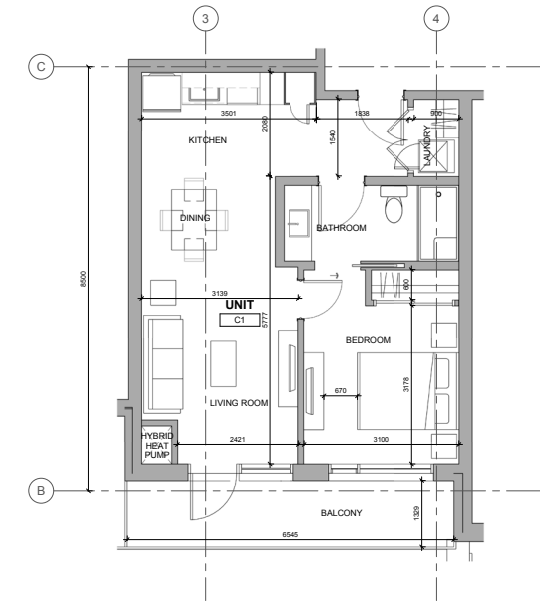
5 UNIT 'A3' PLAN
SCALE: 1:50

UNIT PLANS

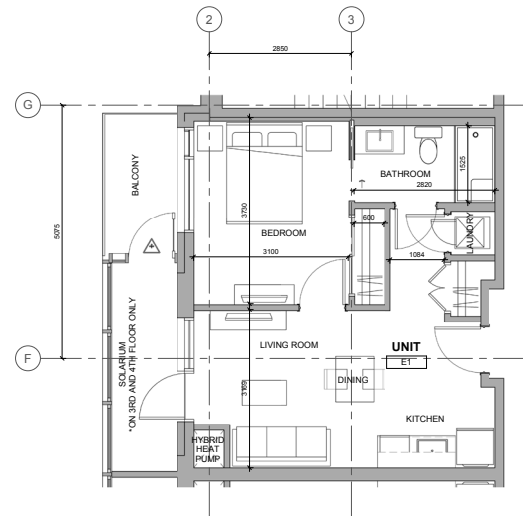
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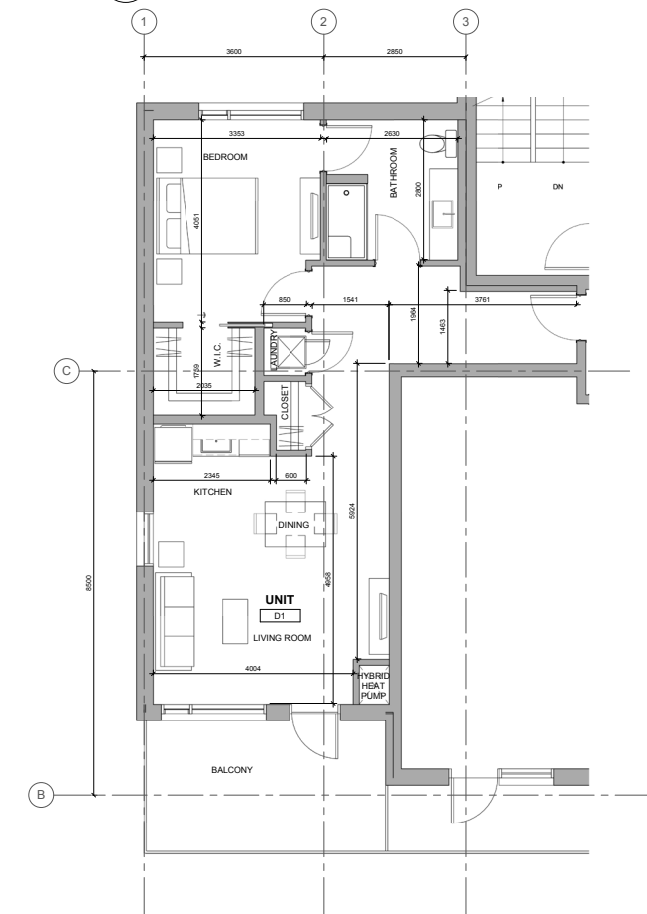
1 UNIT 'B1' PLAN
SCALE: 1:50



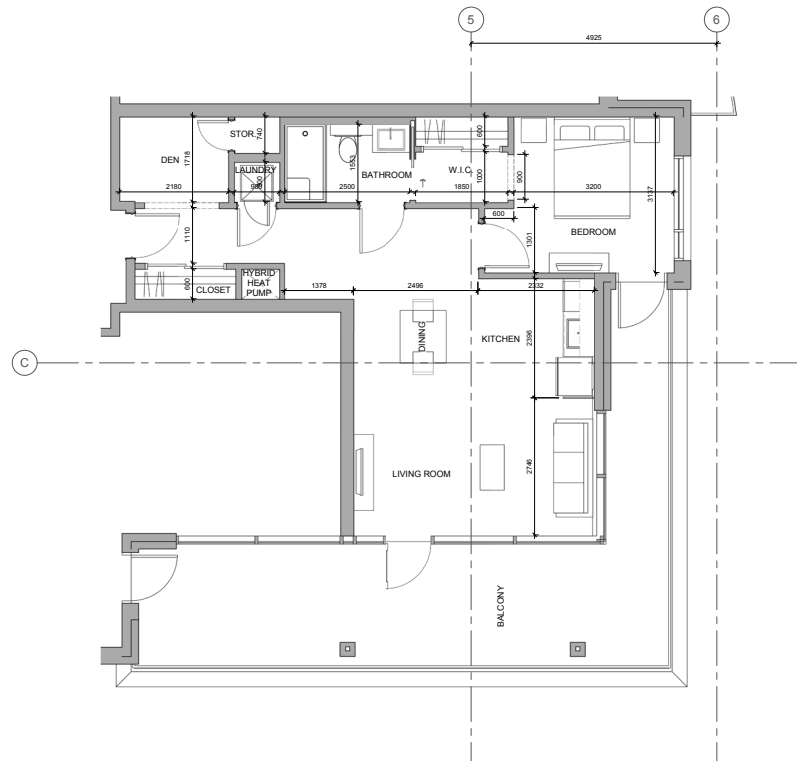
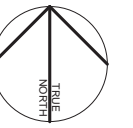
2 UNIT 'C1' PLAN
SCALE: 1:50



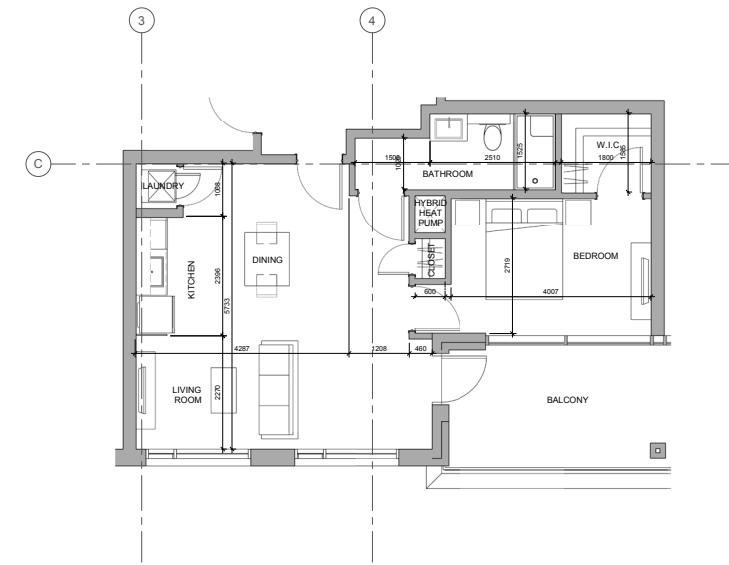
4 UNIT 'E1' PLAN
SCALE: 1:50



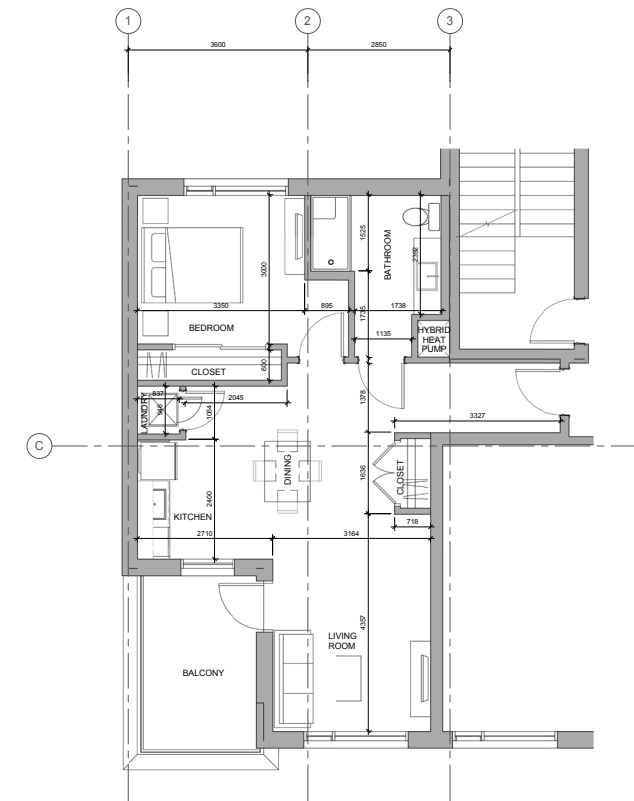
3 UNIT 'D1' PLAN
SCALE: 1:50



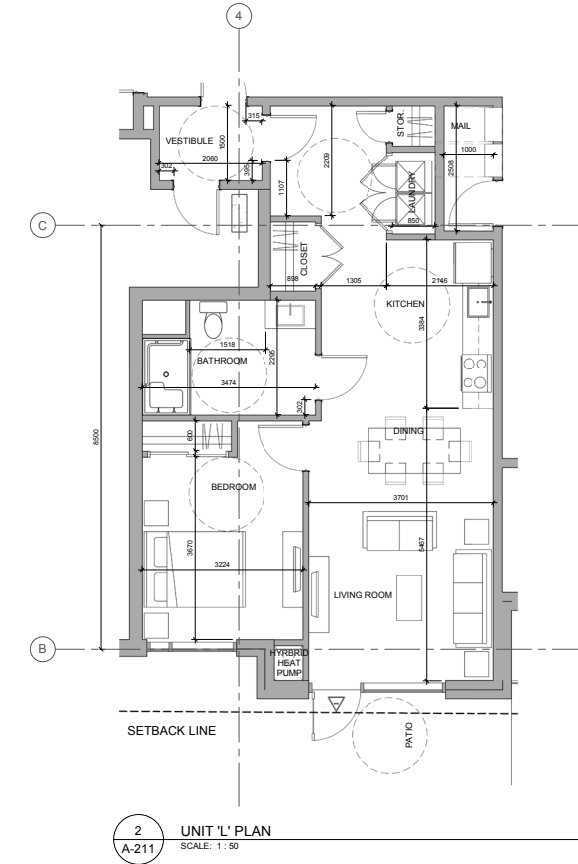
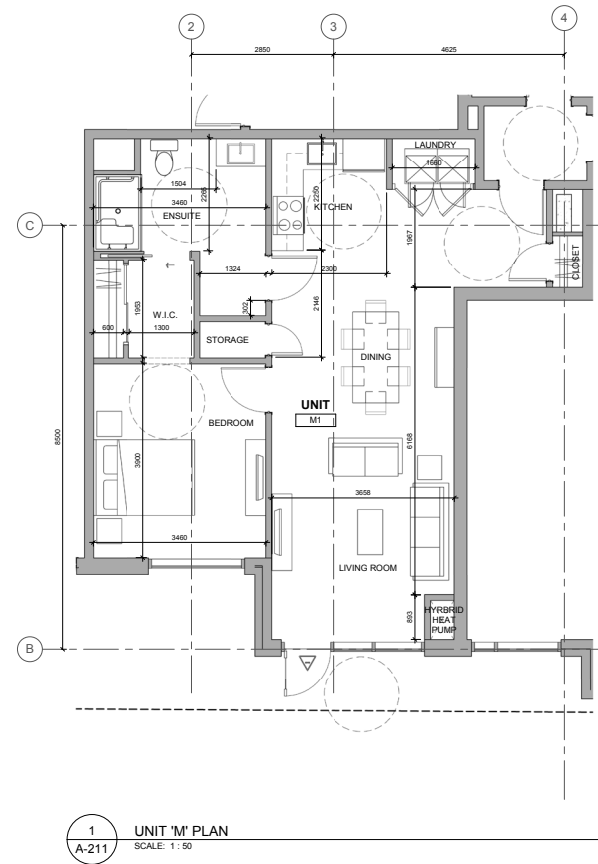
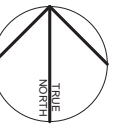
1 UNIT 'B2' PLAN
SCALE: 1:50



2 UNIT 'C2' PLAN
SCALE: 1:50

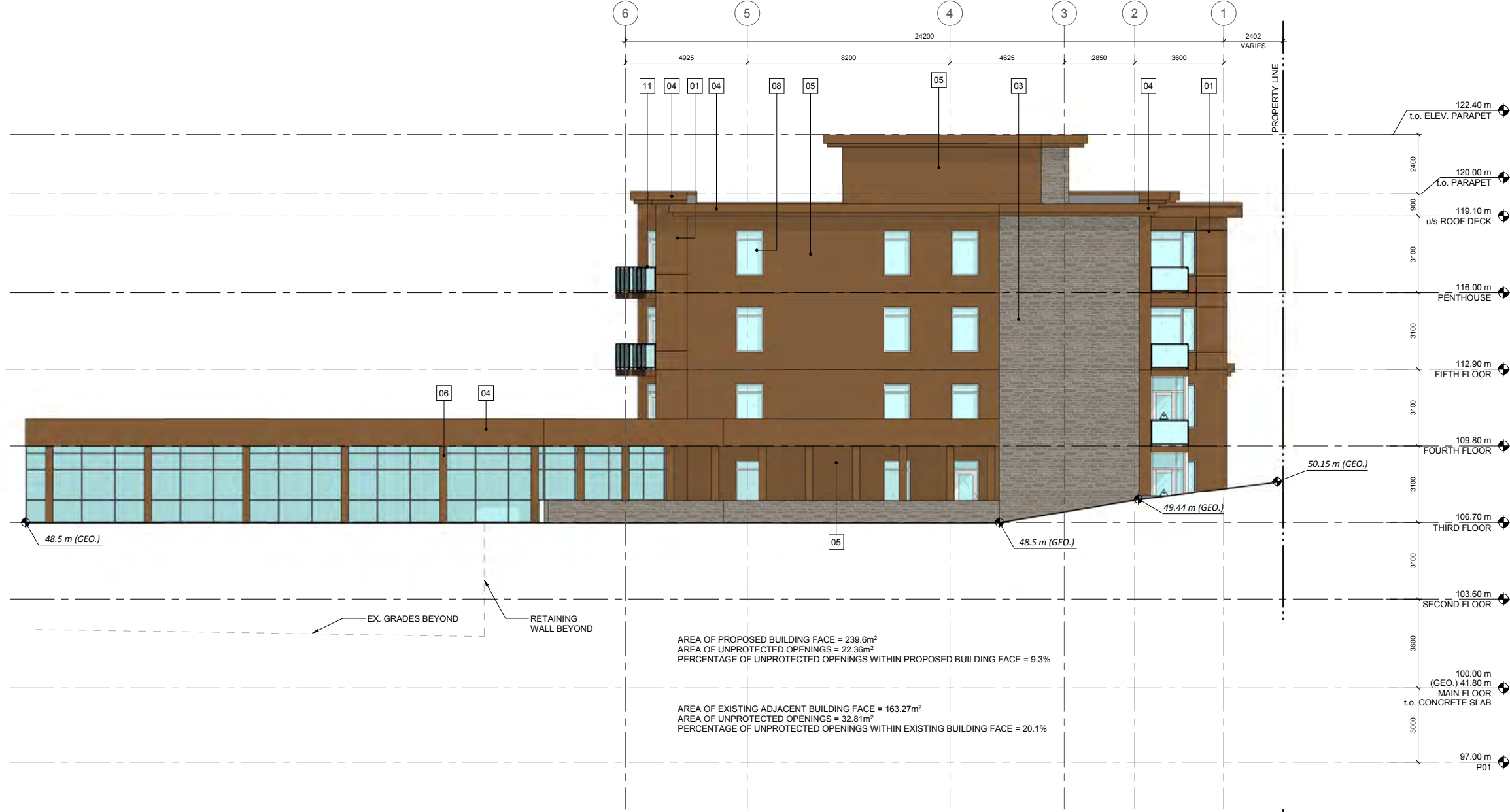


3 UNIT 'D2' PLAN
SCALE: 1:50



PROPOSED NORTH ELEVATION

SCALE: 1:200



AREA OF PROPOSED BUILDING FACE = 239.6m²
 AREA OF UNPROTECTED OPENINGS = 22.36m²
 PERCENTAGE OF UNPROTECTED OPENINGS WITHIN PROPOSED BUILDING FACE = 9.3%

AREA OF EXISTING ADJACENT BUILDING FACE = 163.27m²
 AREA OF UNPROTECTED OPENINGS = 32.81m²
 PERCENTAGE OF UNPROTECTED OPENINGS WITHIN EXISTING BUILDING FACE = 20.1%

MATERIAL LEGEND		
NO.	MATERIAL	COLOUR
01	FIBRE CEMENT PANEL	BROWN
02	FIBRE CEMENT PANEL	GRAY
03	STONE VENEER	GRAY
04	PANEL SYSTEM	WOOD GRAIN
05	LAP SIDING	WOOD GRAIN
06	COLUMN	WOOD GRAIN
07	WOOD CLAD BALCONY	WOOD GRAIN
08	ALUMINUM CLAD PVC WINDOW /W CLEAR GLAZING	CLEAR ANODIZED
09	HOLLOW METAL MAN DOOR	TO MATCH ADJACENT
10	METAL OVERHEAD DOOR	TO MATCH ADJACENT
11	METAL RAILING W. CLEAR GLAZING	BLACK
12	CURTAIN WALL	CLEAR ANODIZED
13	PATIO DOOR	CLEAR ANODIZED
14	HORIZONTAL SLATS	WOOD

A301

PROPOSED EAST ELEVATION

SCALE: 1:200



MATERIAL LEGEND		
NO.	MATERIAL	COLOUR
01	FIBRE CEMENT PANEL	BROWN
02	FIBRE CEMENT PANEL	GRAY
03	STONE VENEER	GRAY
04	PANEL SYSTEM	WOOD GRAIN
05	LAP SIDING	WOOD GRAIN
06	COLUMN	WOOD GRAIN
07	WOOD CLAD BALCONY	WOOD GRAIN
08	ALUMINUM CLAD PVC WINDOW /W CLEAR GLAZING	CLEAR ANODIZED
09	HOLLOW METAL MAN DOOR	TO MATCH ADJACENT
10	METAL OVERHEAD DOOR	TO MATCH ADJACENT
11	METAL RAILING W. CLEAR GLAZING	BLACK
12	CURTAIN WALL	CLEAR ANODIZED
13	PATIO DOOR	CLEAR ANODIZED
14	HORIZONTAL SLATS	WOOD

AREA OF PROPOSED BUILDING FACE = 705.30m²
 AREA OF UNPROTECTED OPENINGS = 276.20m²
 PERCENTAGE OF UNPROTECTED OPENINGS WITHIN PROPOSED BUILDING FACE = 39.2%

AREA OF EXISTING ADJACENT BUILDING FACE = 507.14m²
 AREA OF UNPROTECTED OPENINGS = 200.82m²
 PERCENTAGE OF UNPROTECTED OPENINGS WITHIN EXISTING BUILDING FACE = 39.6%

A302

PROPOSED SOUTH ELEVATION

SCALE: 1:200



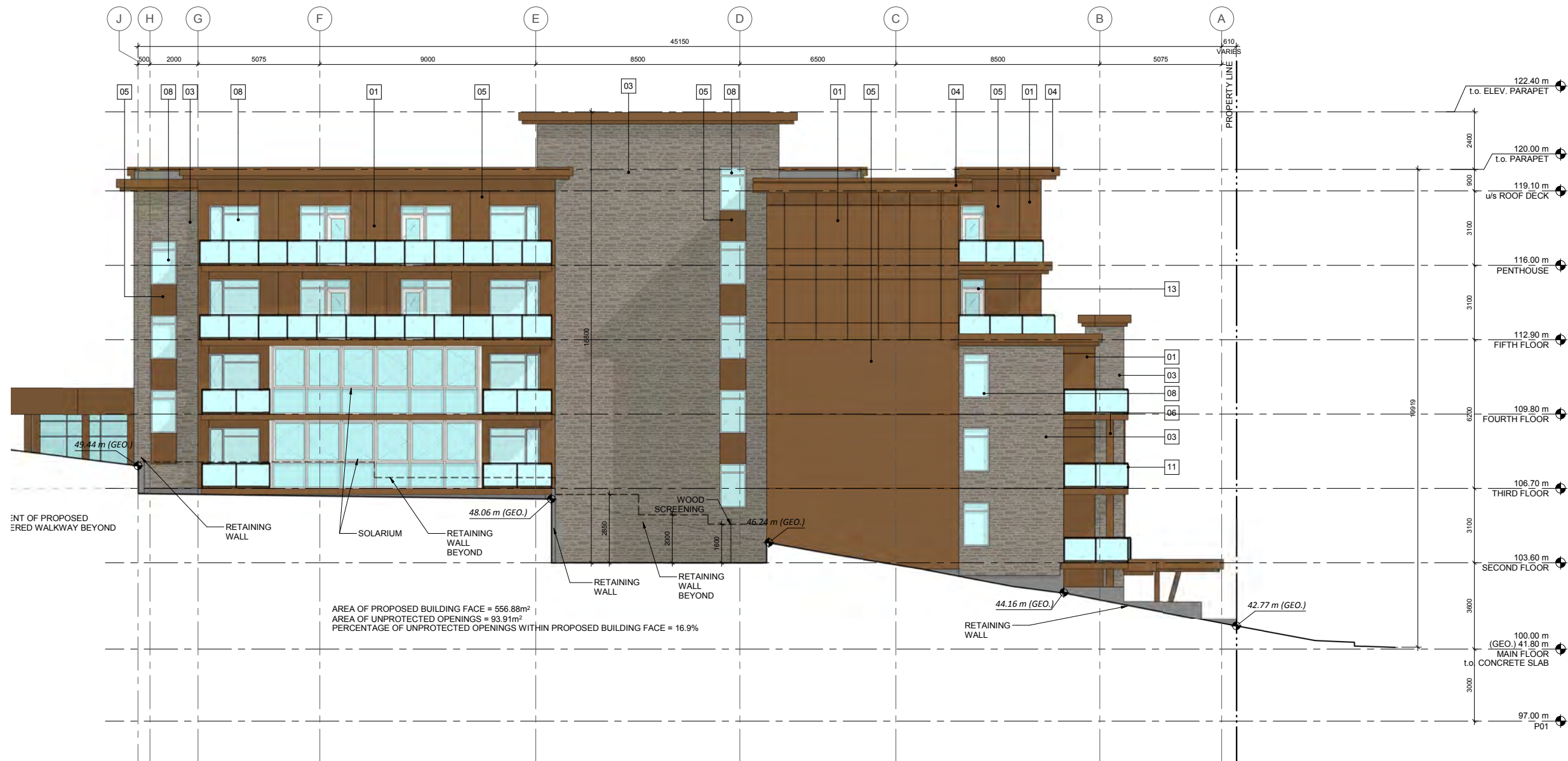
MATERIAL LEGEND		
NO.	MATERIAL	COLOUR
01	FIBRE CEMENT PANEL	BROWN
02	FIBRE CEMENT PANEL	GRAY
03	STONE VENEER	GRAY
04	PANEL SYSTEM	WOOD GRAIN
05	LAP SIDING	WOOD GRAIN
06	COLUMN	WOOD GRAIN
07	WOOD CLAD BALCONY	WOOD GRAIN
08	ALUMINUM CLAD PVC WINDOW /W CLEAR GLAZING	CLEAR ANODIZED
09	HOLLOW METAL MAN DOOR	TO MATCH ADJACENT
10	METAL OVERHEAD DOOR	TO MATCH ADJACENT
11	METAL RAILING W. CLEAR GLAZING	BLACK
12	CURTAIN WALL	CLEAR ANODIZED
13	PATIO DOOR	CLEAR ANODIZED
14	HORIZONTAL SLATS	WOOD

AREA OF PROPOSED BUILDING FACE = 423.99m²
 AREA OF UNPROTECTED OPENINGS = 193.50m²
 PERCENTAGE OF UNPROTECTED OPENINGS WITHIN PROPOSED BUILDING FACE = 45.6%

A303

PROPOSED WEST ELEVATION

SCALE: 1:200



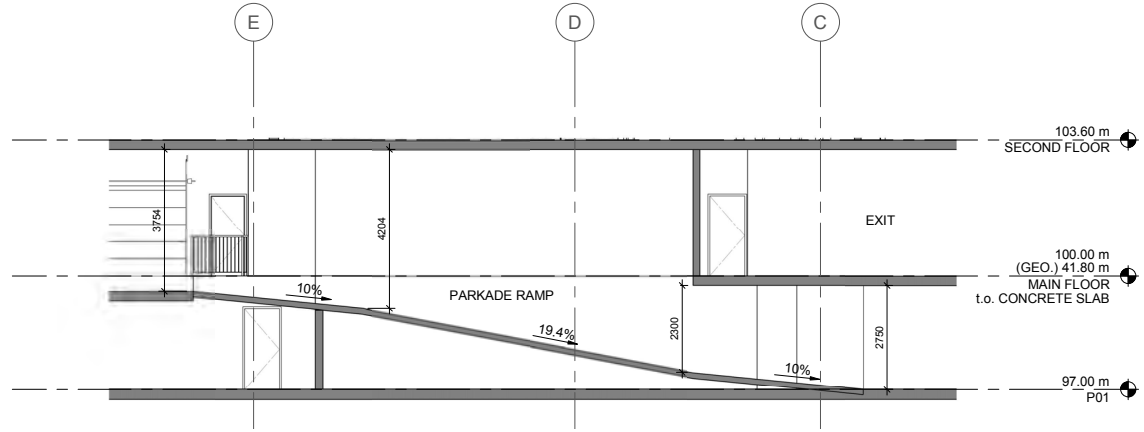
AREA OF PROPOSED BUILDING FACE = 556.88m²
 AREA OF UNPROTECTED OPENINGS = 93.91m²
 PERCENTAGE OF UNPROTECTED OPENINGS WITHIN PROPOSED BUILDING FACE = 16.9%

MATERIAL LEGEND		
NO.	MATERIAL	COLOUR
01	FIBRE CEMENT PANEL	BROWN
02	FIBRE CEMENT PANEL	GRAY
03	STONE VENEER	GRAY
04	PANEL SYSTEM	WOOD GRAIN
05	LAP SIDING	WOOD GRAIN
06	COLUMN	WOOD GRAIN
07	WOOD CLAD BALCONY	WOOD GRAIN
08	ALUMINUM CLAD PVC WINDOW /W CLEAR GLAZING	CLEAR ANODIZED
09	HOLLOW METAL MAN DOOR	TO MATCH ADJACENT
10	METAL OVERHEAD DOOR	TO MATCH ADJACENT
11	METAL RAILING W. CLEAR GLAZING	BLACK
12	CURTAIN WALL	CLEAR ANODIZED
13	PATIO DOOR	CLEAR ANODIZED
14	HORIZONTAL SLATS	WOOD

A304

PROPOSED BUILDING SECTION 01/RAMP SECTION (NORTH - SOUTH)

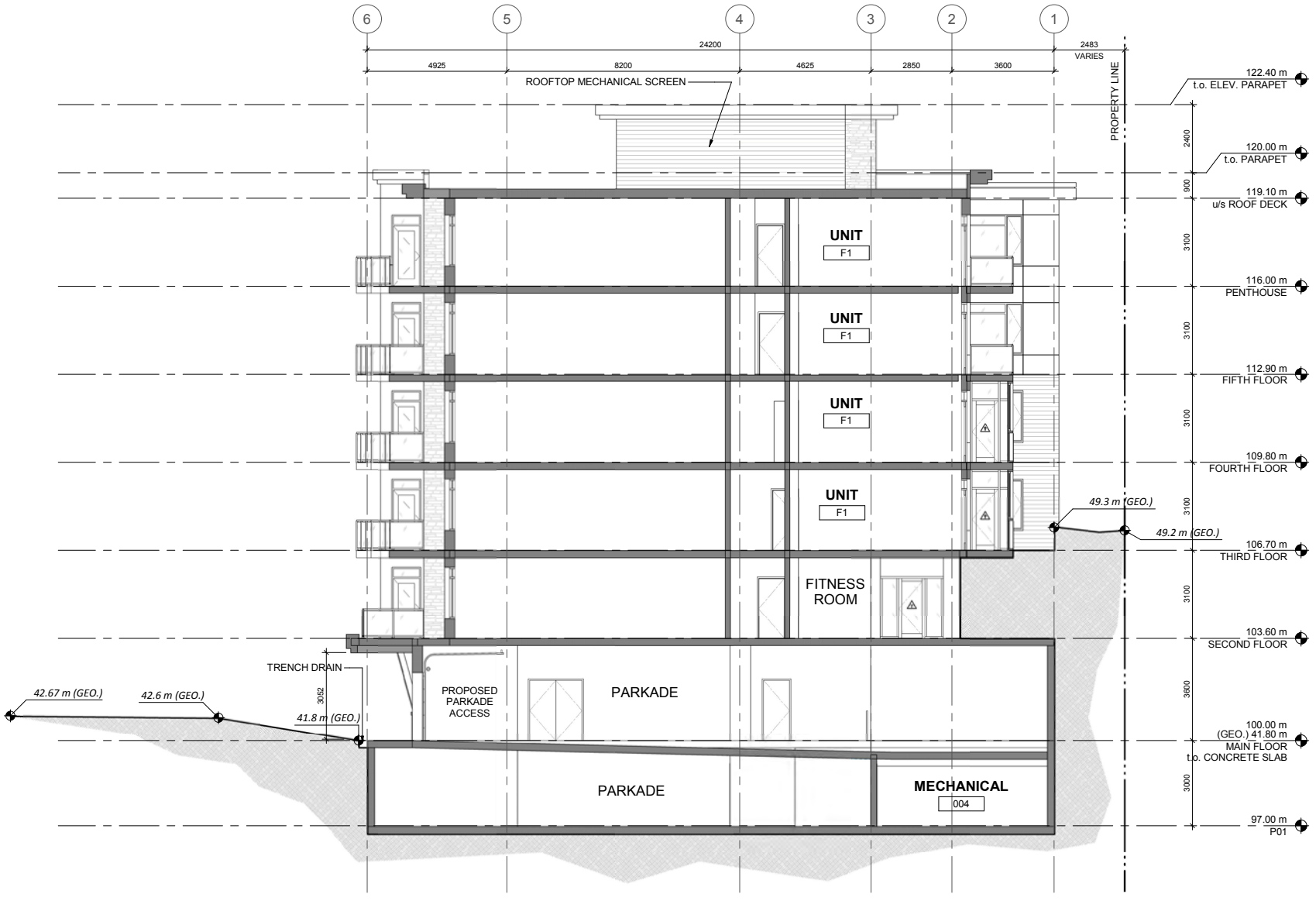
SCALE: 1:200



A401

PROPOSED BUILDING SECTION 02 (EAST-WEST)

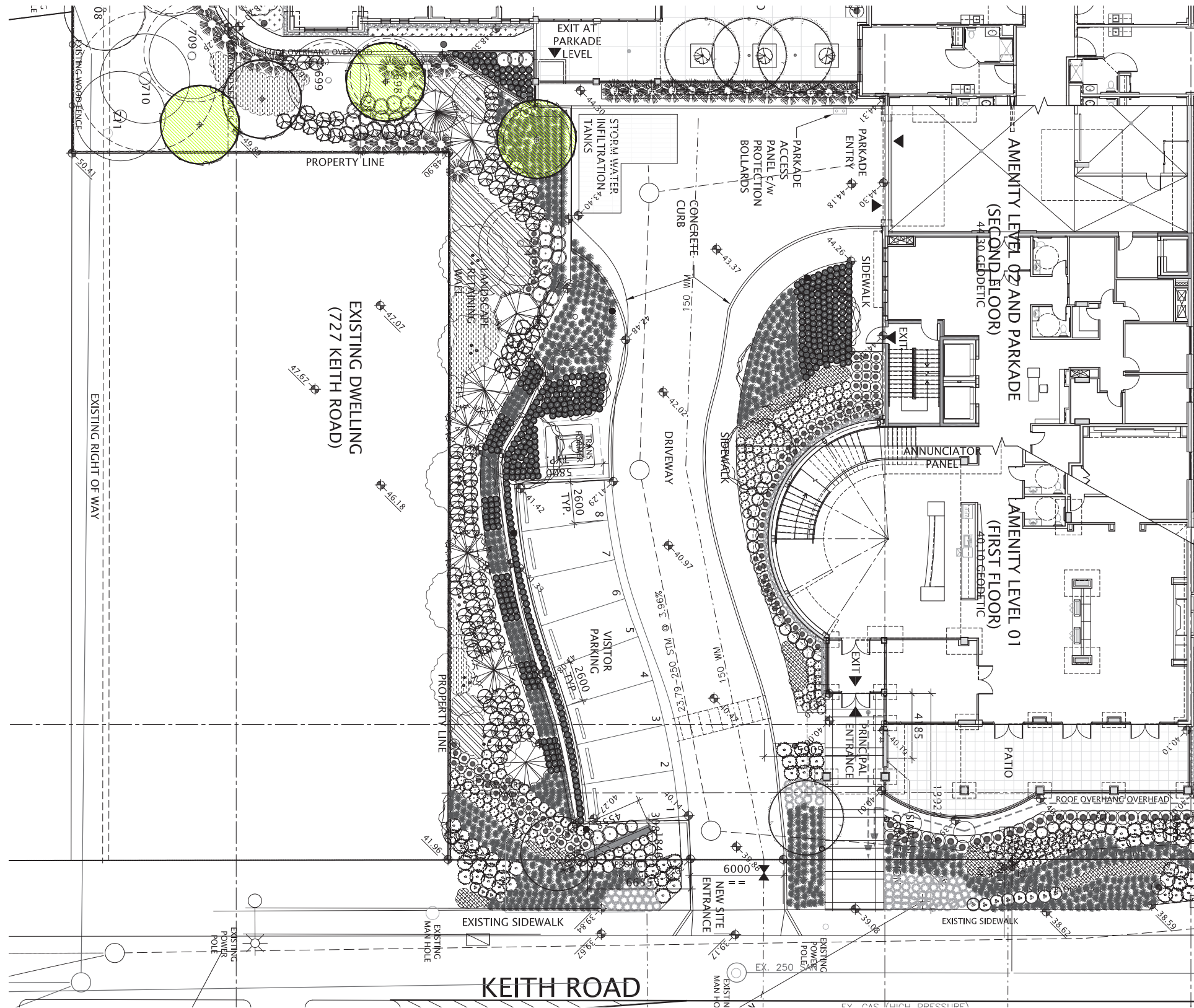
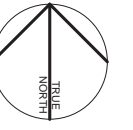
SCALE: 1:200



A402

LANDSCAPE DESIGN
EXISTING LANDSCAPE PLAN

SCALE: 1:300



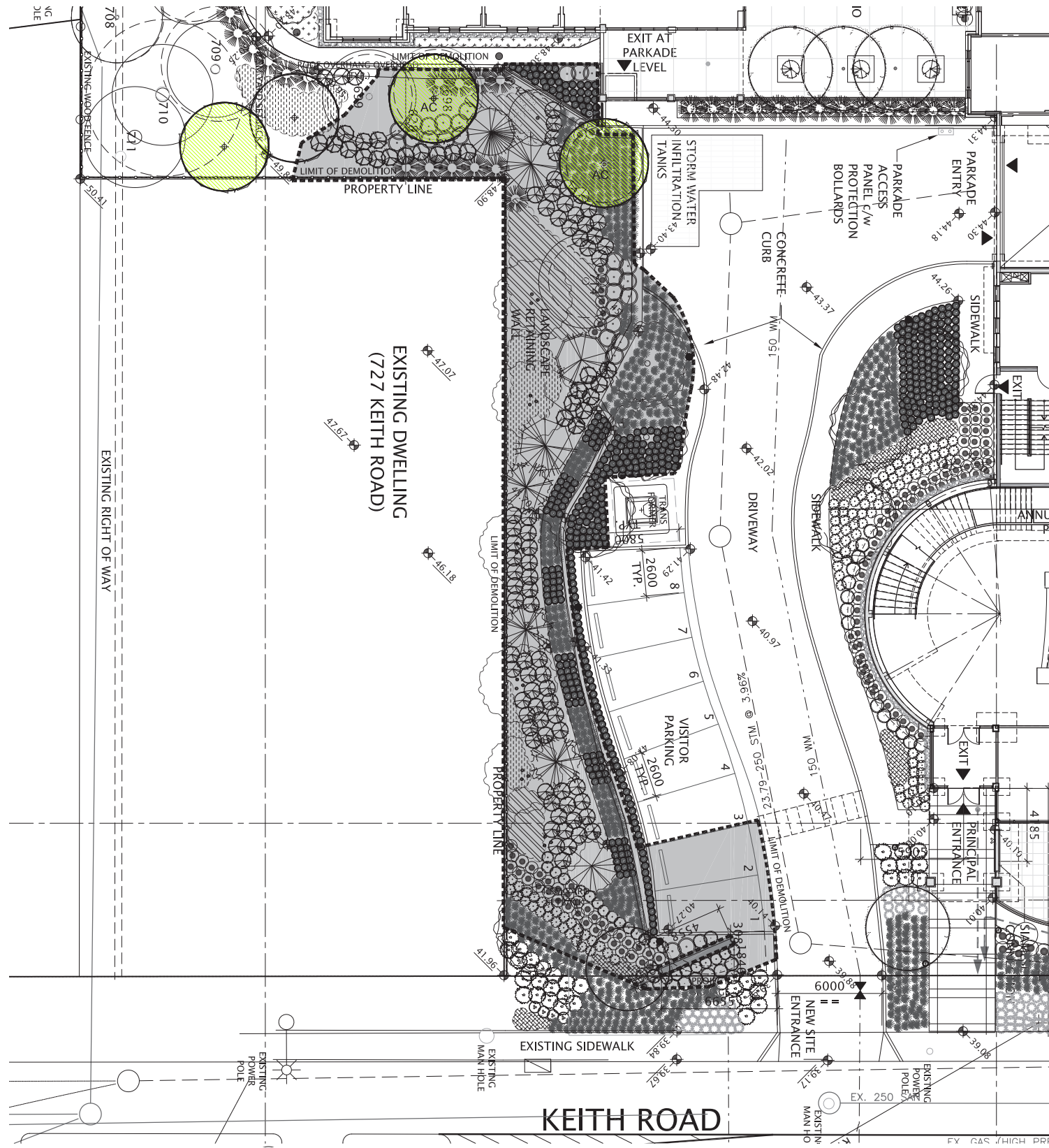
DP-L10-00-00



LANDSCAPE DESIGN

EXISTING LANDSCAPE PLAN TO BE REMOVED

SCALE: 1:300



NOTES:

1. CONTRACTOR TO REMOVE ALL ELEMENTS INCLUDING TREES, SHRUBS AND PERENNIALS AND RETAINING WALLS AS PER THE HATCHED AREA.
2. CONTRACTOR TO REMOVE EXISTING FENCE AND RELOCATE TO WEST PROPERTY LINE BETWEEN NEIGHBOURS.
3. CONTRACTOR TO ENSURE EXISTING PROJECT SIGN IS NOT REMOVED DURING CONSTRUCTION.
4. CONTRACTOR TO PROTECT ALL EXISTING PLANT MATERIAL THAT IS TO REMAIN DURING CONSTRUCTION.

RECENTLY PLANTED TREES TO BE REMOVED:

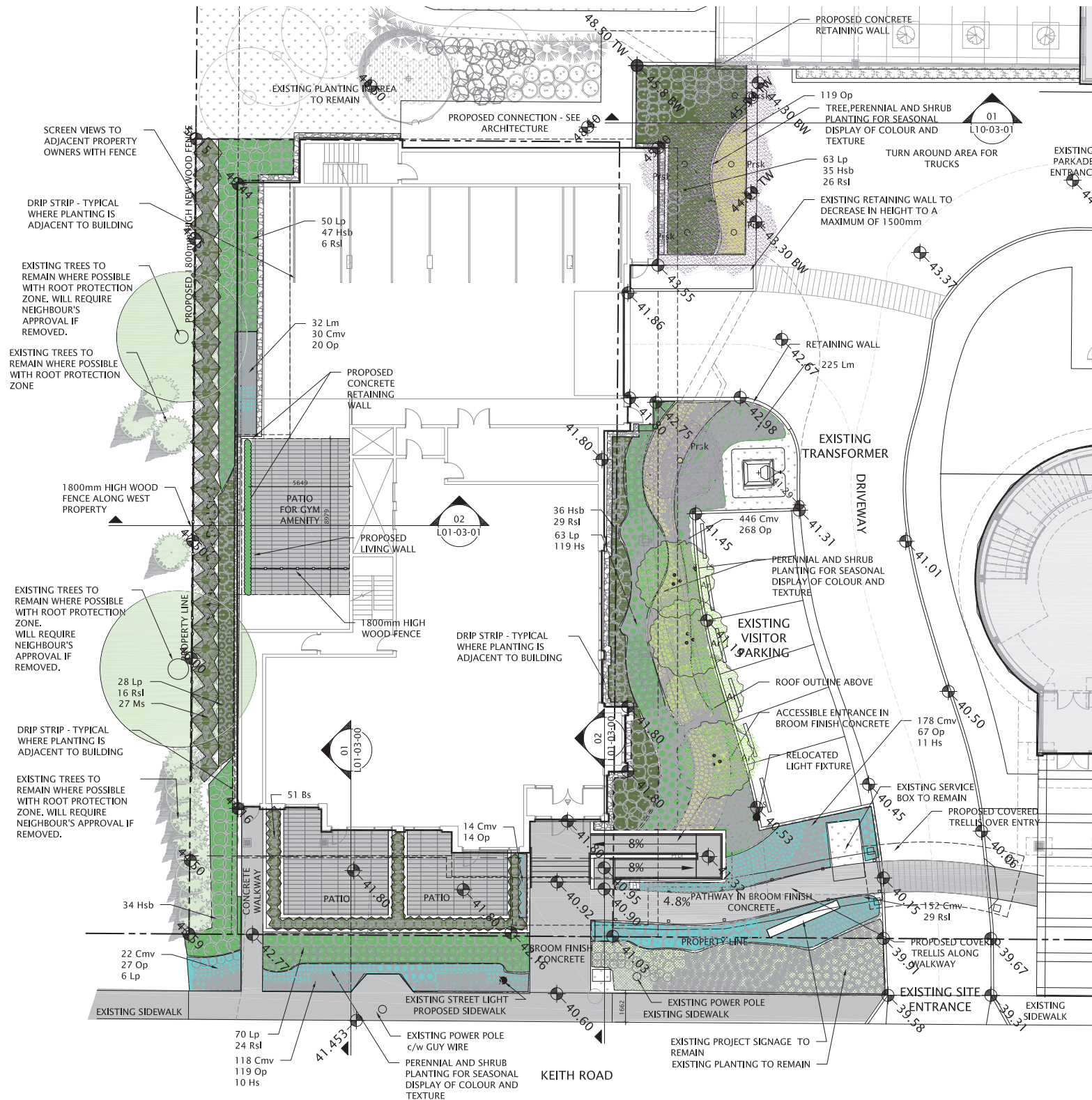
DECIDUOUS TREES				
ID	QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
AC	2	Acer circinnatum	Vine Maple	1.5 m RL B&B, full, specimen plant

DP-L10-00-01

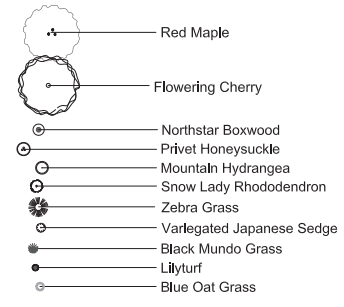
PROPOSED LANDSCAPE DESIGN

LANDSCAPE PLAN

SCALE: 1:300



PLANT LEGEND:



PLANT LIST:

DECIDUOUS TREES				
ID	QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
Ar	04	Acer rubrum	Red Maple	12 cm cal 7.5 m ht.
Prsk	06	Prunus serrulata 'Kwanzan'	Flowering Cherry	6 cm cal. (B&B), full specimen

DECIDUOUS SHRUBS				
ID	QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
Bs	51	Buxus sempervirens 'Katerberg'	North Star Boxwood	Min. 600mm ht., Min. 4 major basal stems, Root Spread 300mm - #2 cont.
Hsb	101	Hydrangea serrata 'Bluestar'	Mountain Hydrangea	Min. 600mm ht., Min. 4 major basal stems, Root Spread 300mm - #3 cont.
Lp	323	Lonicera pileata	Privet Honeysuckle	Min. 600mm ht., Min. 4 major basal stems, Root Spread 300mm - #2 cont.
Rsl	153	Rhododendron 'Snow Lady'	Snow Lady Rhododendron	Min. 600mm ht., Min. 4 major basal stems, Root Spread 300mm - #2 cont.

ORNAMENTAL GRASSES				
ID	QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
Cmv	1055	Carex morrowii 'variegata'	Variegated Japanese Sedge	Min. 200mm ht., #1 cont.
Hs	140	Helictotrichon sempervirens	Blue Oat Grass	Min. 200mm ht., #2 cont.
Lm	305	Liriope muscari 'Royal Purple'	Lilyturf	Min. 200mm ht., #1 cont.
Ms	27	Miscanthus sinensis 'Zebra'	Zebra Grass	Min. 200mm ht., #1 cont.
Op	680	Ophiopogon planiscapus 'Nigrescens'	Black Mundo Grass	Min. 200mm ht., #1 cont.

- NOTES:**
- ALL TREE AND SHRUB BEDS TO BE MULCHED WITH 75mm BARK MULCH.
 - TREES NOT PLANTED IN BEDS SHALL BE SURROUNDED BY A TREE WELL TO A DEPTH OF 100MM AFTER PLANTING AND WATERING. ALL TREES TO BE MULCHED STARTING 50MM FROM THE ROOT FLARE (TRUNK) AND EXTENDING THE LENGTH OF HOLE.
 - ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
 - ALL LANDSCAPE TO CONFORM TO BC LANDSCAPE STANDARDS FOR LEVEL 2 'GROOMED' LANDSCAPE TREATMENT CURRENT EDITION.
 - IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.

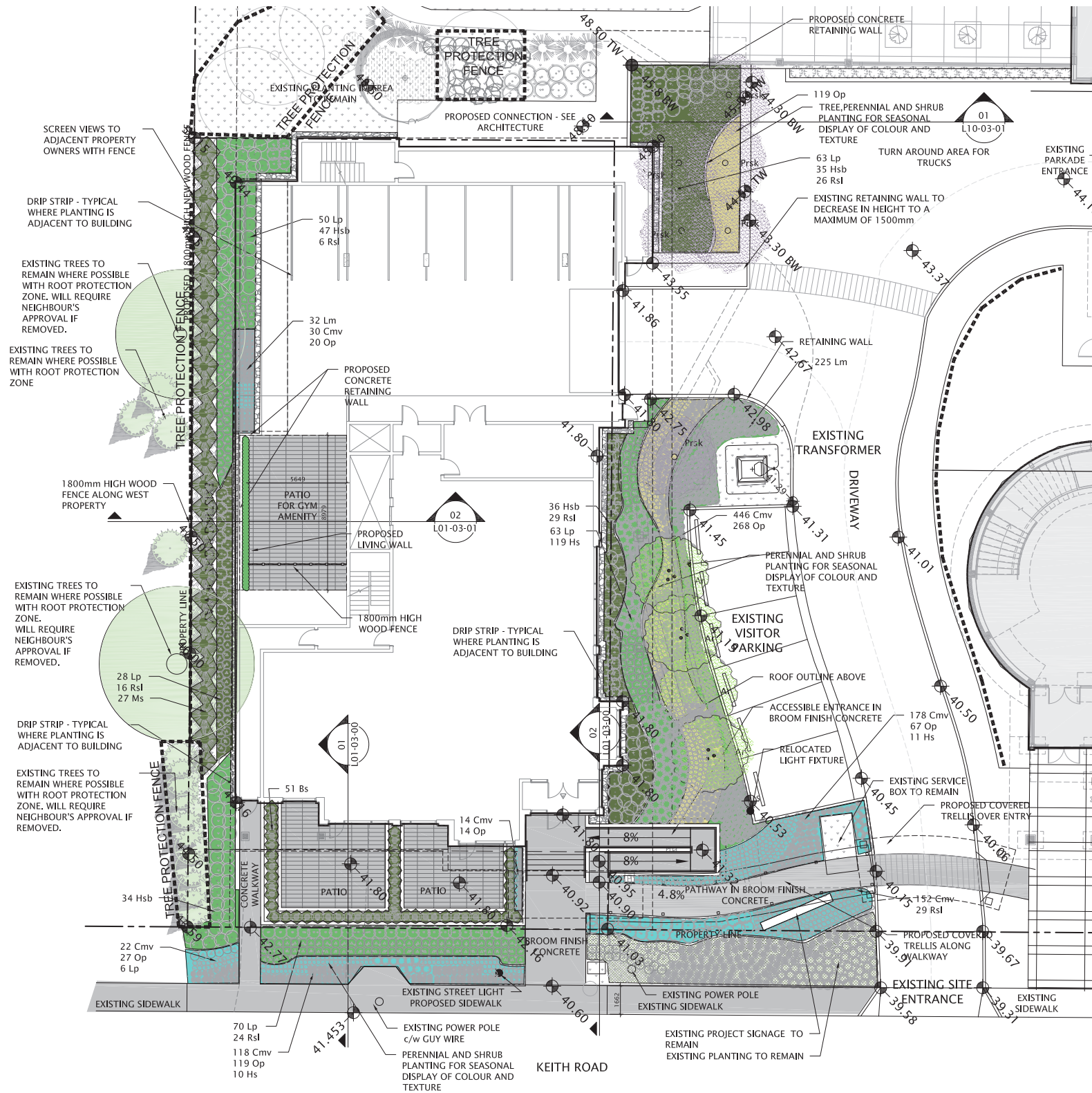
DP-L10-01-00



PROPOSED LANDSCAPE DESIGN

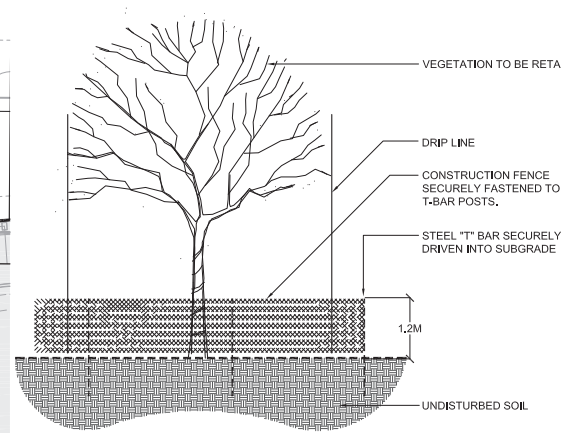
TREE PROTECTION PLAN

SCALE: 1:300



PLANT LEGEND:

- Red Maple
- Flowering Cherry
- Northstar Boxwood
- Privet Honeysuckle
- Mountain Hydrangea
- Snow Lady Rhododendron
- Zebra Grass
- Variegated Japanese Sedge
- Black Mondo Grass
- Lilyturf
- Blue Oat Grass



TREE PROTECTION DETAIL

DP-L10-01-01 NTS

TREE PROTECTION GUIDELINES:

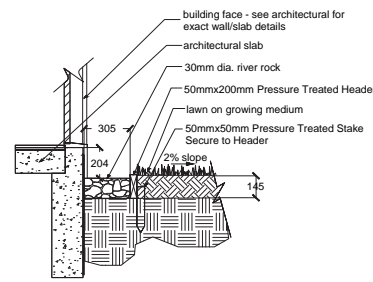
1. Identification of retained vegetation on site shall be by a Tree Protection Barrier as detailed. For safety reasons be sure to call 'BC 1 Call' before installation and make sure it does not interfere with fire hydrants or obscure intersections and traffic signage.
2. No person shall remove, injure, prune, damage or destroy a tree without the proper written consent from the City's Parks Supervisor.
3. No person shall excavation, alter the grade level or drainage pattern within the Tree Protection Barrier. So not to interfere with the access of water, air or nutrients to any tree.
4. No person shall remove or interfere with the protective barrier around any tree; commence any work or activity liable to interfere with the root system of any tree.
5. No person shall by any means affix or attach a sign or poster to any tree without proper consent.
6. The tree's roots, trunk, crown and tree protection zone must be adequately protected. The Tree Protection Barrier must be at least 1.2m (4') in height, 3m (10') around the circumference of the trunk or, to the tree drip line (whichever is greater) and installed in all locations where trees are to be retained. The fencing or barrier material shall be a bright, contrasting colour and be durable. Fence posts shall be metal T-posts, comparable or heavier. Fencing will be maintained in an upright position throughout the duration of the project. Ensure the barrier is placed in between the sidewalk and property line to ensure that there is no unauthorized soil disturbance or entry into the area.
7. Trees and other vegetation within the the Tree Protection Barrier shall be adequately maintained throughout the construction process. They shall be watered sufficiently, particularly if the root system has been disturbed during construction. A Tree watering schedule will be required when the development is to last more than two weeks.
8. If any damage occurs to the protected vegetation (regardless of how) the Contractor is required to notify the Consultant. No person shall plant a new tree without proper consent from the City.

DP-L10-01-00

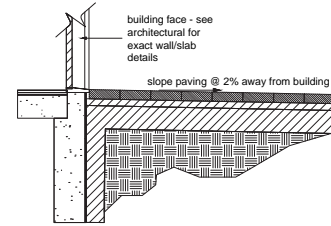
PROPOSED LANDSCAPE DESIGN

LANDSCAPE DETAILS AND GENERAL NOTES

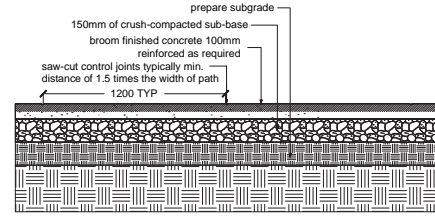
SCALE: 1:50



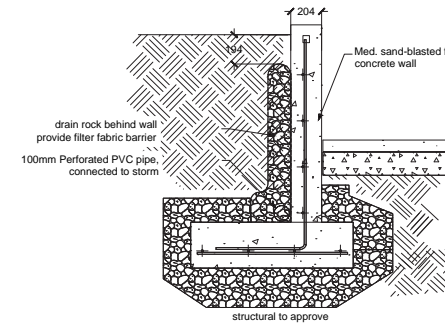
01 TYPICAL DRIP STRIP AT BUILDING
DP-L10-02-00 1:20



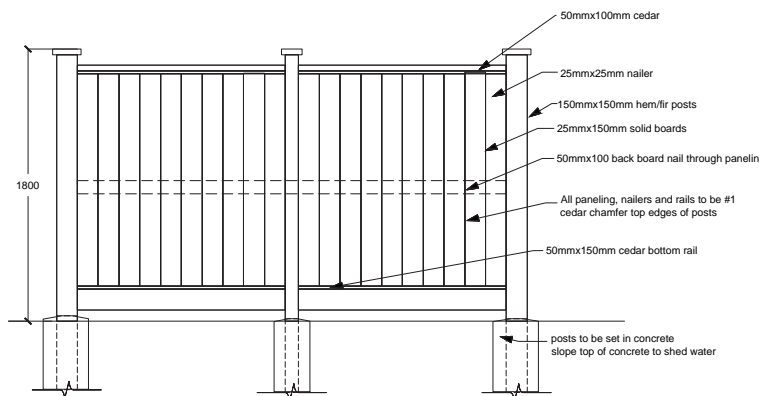
02 TYPICAL THRESHOLD AT BUILDING
DP-L10-02-00 1:20



03 TYPICAL BROOM FINISH CONCRETE ON GRADE
DP-L10-02-00 1:20



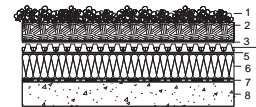
04 TYPICAL CONCRETE WALL
DP-L10-02-00 1:20



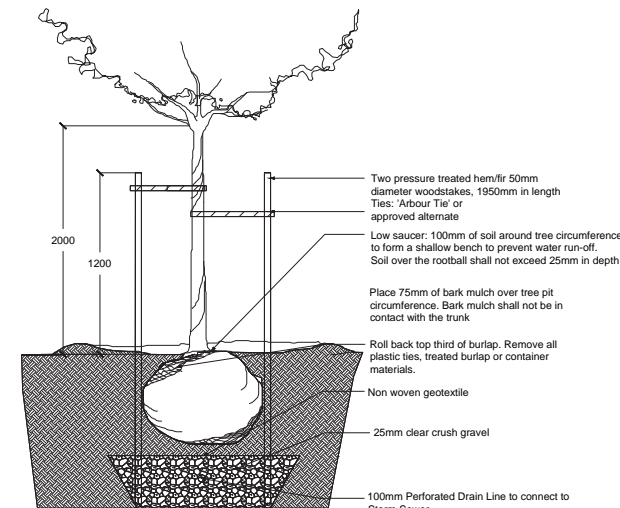
- all paneling, nailers and rails to be #1 cedar, chamfer top edges of posts
- all wood to be stained to match building.

05 1800mm HIGH WOOD FENCE
DP-L10-02-00 1:20

- 1 Plant Material
- 2 Growing Medium ZinCo Extensive. Depth 60-80mm
- 3 ZinCo filter sheet SF
- 4 Drainage element ZinCo Floradrain RD 25
- 5 ZinCo separation sheet TGV 21
- 6 Rigid Insulation
- 7 Waterproofing Membrane
- 8 Roof Surface



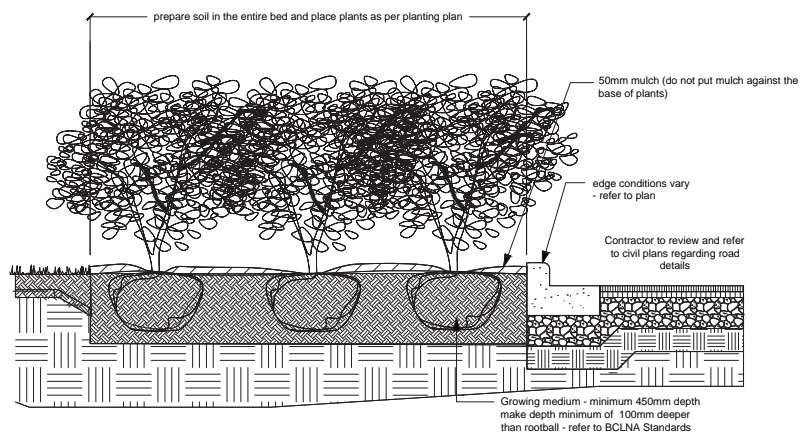
06 GREEN ROOF
DP-L10-02-00 1:20



All tree pits should be dug by hand as underground services may exist near street tree locations.

Prune off broken and damaged branches. If required, tree stakes to be aligned parallel to road.

07 TREE PLANTING DETAIL
DP-L10-02-00 1:20



08 SHRUB PLANTING DETAIL
DP-L10-02-00 1:20

NOTES:

1. ALL PLANT MATERIAL TO BE NURSERY GROWN
2. ALL PLANT MATERIALS AND LABOUR TO CONFORM TO BC SLA/BC LNA STANDARDS (2012 ED.)
3. ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO BE ASSEMBLED IN ONE LOCATION FOR REVIEW.
4. IMPORTED GROWING MEDIA SHALL BE A SANDY LOAM OR LOAMY SAND TEXTURE (NO LESS THAN 50% SAND BY WEIGHT) CONTAINING 4 AND 16% ORGANIC MATTER (DRY WEIGHT BASIS).
5. GROWING MEDIA SHALL BE VIRTUALLY FREE FROM SUBSOIL, WOOD INCLUDING WOODY PLANT PARTS, INVASIVE AND NOXIOUS PLANTS AND THEIR REPRODUCTIBLE PARTS, PLANT PATHOGENS ORGANISMS, ORGANIC OR INORGANIC MATERIALS, TOXINS, STONES OVER 30 mm, ANY DEBRIS AND FOREIGN OBJECTS.
6. IMPORTED GROWING MEDIA SHALL CONFORM TO AND BE TREATED AS PER SECTION 6.2.3 TO 6.2.7 INCLUSIVE OF THE 2012 BCLNA STANDARDS.
7. GROWING MEDIUM SHALL CONFORM TO LEVEL 1 "WELL GROOMED" AREAS: LOW TRAFFIC LAWN AREAS, TREES AND LARGE SHRUBS ((TL IN TABLE T-6.3.5.1 OF THE 2012 BCLNA STANDARDS). IT SHALL POSSESS THE FOLLOWING QUALITIES:
TEXTURE:
*COARSE GRAVEL (LARGER THAN 19mm AND SMALLER THAN 40mm): 0-1%
*ALL GRAVEL (LARGER THAN 2mm AND SMALLER THAN 40mm): 0-5%
*SAND (LARGER THAN 0.05mm AND SMALLER THAN 2mm): 50-70%
SILT (LARGER THAN 0.002mm AND SMALLER THAN 0.05mm): 10-25%
*CLAY (SMALLER THAN 0.002mm): 0-20%
*CLAY AND SILT COMBINED: MAXIMUM 25%
ORGANIC CONTENT: 3-10%
Acidity (pH) : 6.0-7.0
DRAINAGE: PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

8. MINIMUM SOIL DEPTH TO BE AS PER TABLE T 6.3.5.5 OF THE 2012 BCLNA STANDARDS:

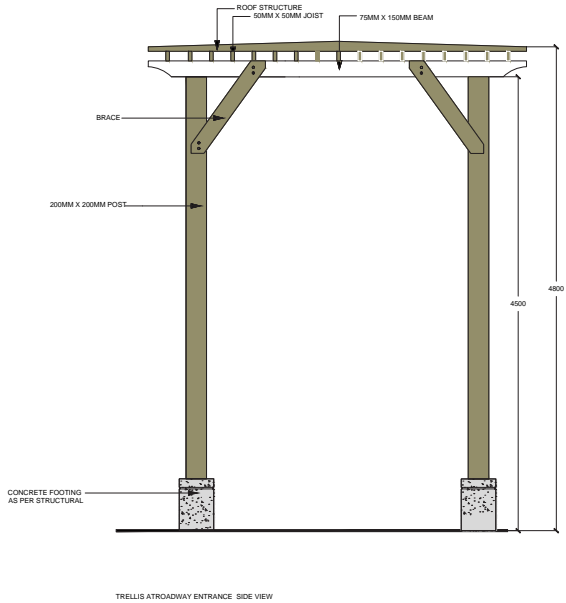
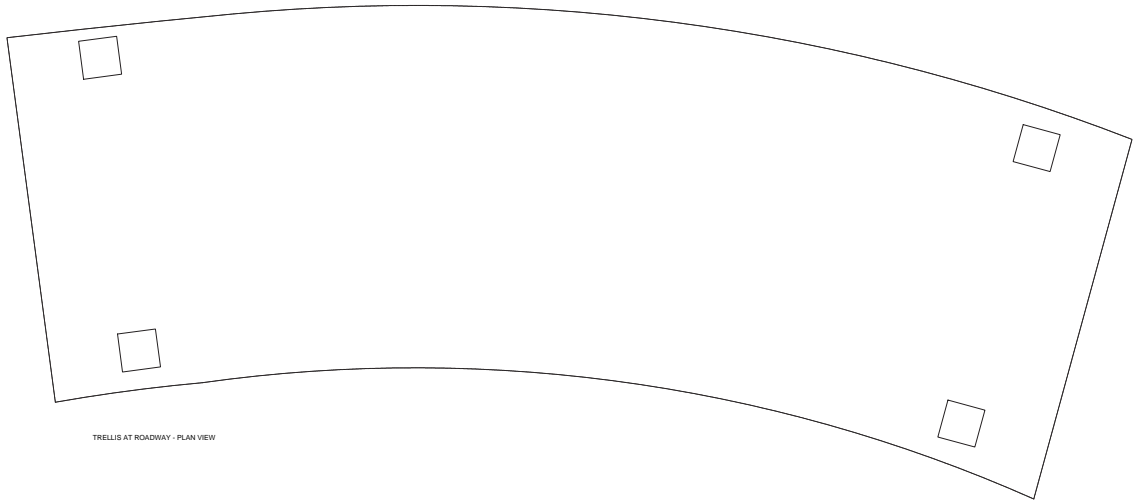
	Over prepared subgrade where the subsoil drains rapidly	Over structures or where the subsoil drains poorly
TREES (10m2 PER TREE)	24"	30"
LARGE SHRUBS	24"	24"
GROUNDCOVERS	12"	9"
LAWN-IRRIGATED	6"	6"
LAWN-NOT IRRIGATED	6"	9"

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW

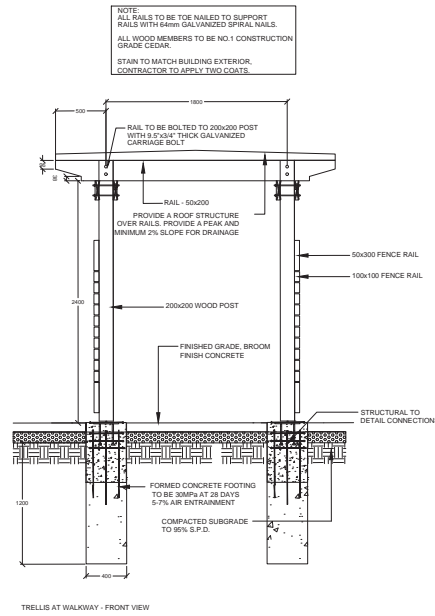
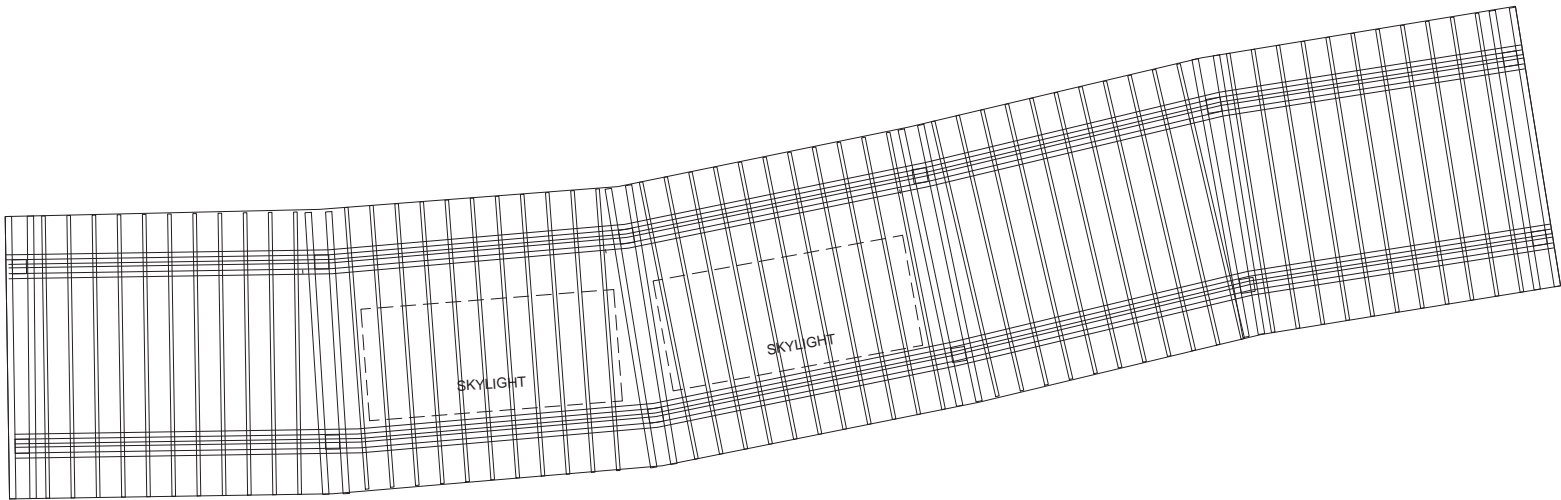
9. BEDS TO HAVE 2" MULCH LAYER (after settling) CONSISTING OF ORGANIC COMPOSTED BARK APPLIED.
10. PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM - SHOP DRAWINGS ARE TO BE PREPARED BY AN IABC CERTIFIED DESIGNER AND APPROVED BY LANDSCAPE ARCHITECT.
11. CONTRACTOR TO PROVIDE MAINTENANCE FOR PERIOD OF 45 DAYS FOLLOWING SUBSTANTIAL COMPLETION.
12. CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.
13. CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS PRIOR TO DELIVERY ON-SITE. TEST TO BE PERFORMED BY AN INDEPENDENT LAB AND IS TO INCLUDE RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS.
14. CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS DOES NOT PRECLUDE THE CONSULTANT FROM PERFORMING AN INDEPENDENT SOIL ANALYSIS AT TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF SOIL THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO CLIENT.
15. CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS.
16. CONTRACTOR TO PROVIDE AN INDEPENDENT SOIL TEST 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD. CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN SOILS REPORT.
17. SITE INSPECTION: EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY ACCEPTANCE IN WRITING TO THE CONSULTANT.
18. ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUBGRADES PRIOR TO THE WORK.
19. IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS AT NO COST TO THE OWNER.
20. ALL PRUNING TO BE IN ACCORDANCE WITH THE BCLNA/BCSLA STANDARDS 2012 EDITION.
21. PLANT COUNTS: IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.
22. FOR ALL EXISTING TREE LOCATIONS AND SIZES CONTRACTOR TO REFER TO ARBORIST REPORT BY RADIX TREE & LANDSCAPE CONSULTING TITLED: "TREE ASSESSMENT REPORT 925 TAYLOR WAY & 707 KEITH RD. WV DATED NOVEMBER 28, 2012.
23. CONTRACTOR TO SUPPLY AND INSTALL A NEW WOOD FENCE WITHIN ALL PROPERTY LINES EXCEPT EAST PROPERTY ALONG TAYLOR WAY AND SOUTH PROPERTY LINE AT KEITH ROAD

DP-L10-02-00

PROPOSED LANDSCAPE DESIGN
LANDSCAPE DETAILS
SCALE: 1:50



01 TRELLIS AT ROADWAY ENTRANCE
DP-L10-02-01 1:30



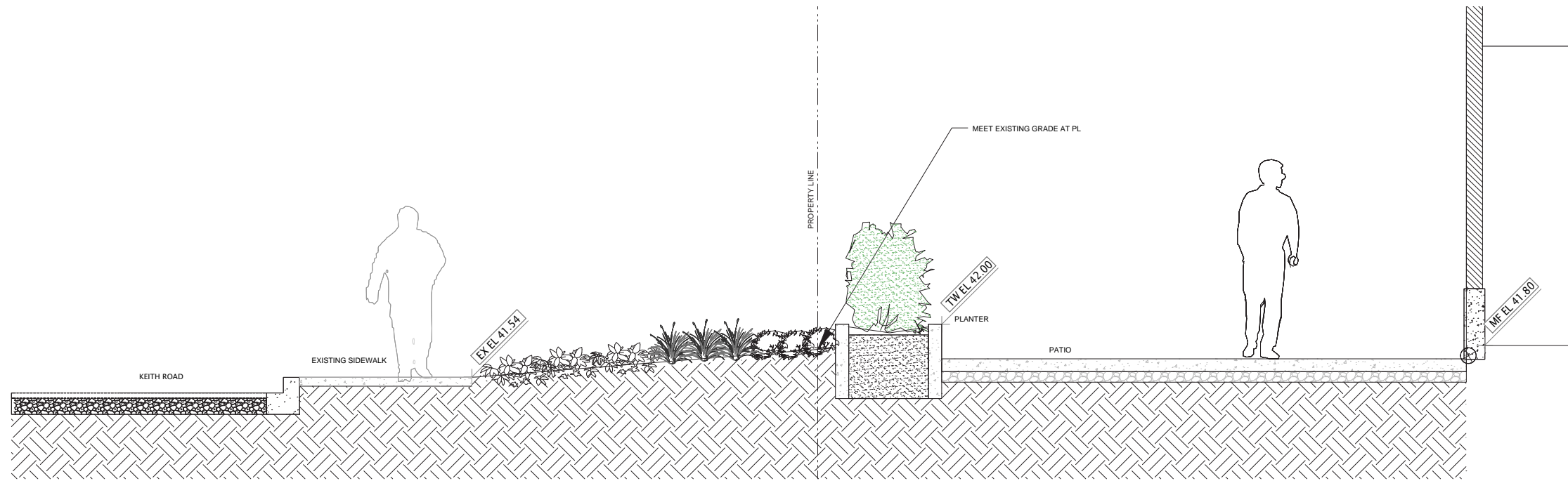
02 TRELLIS AT WALKWAY
DP-L10-02-01 1:30

DP-L10-02-01

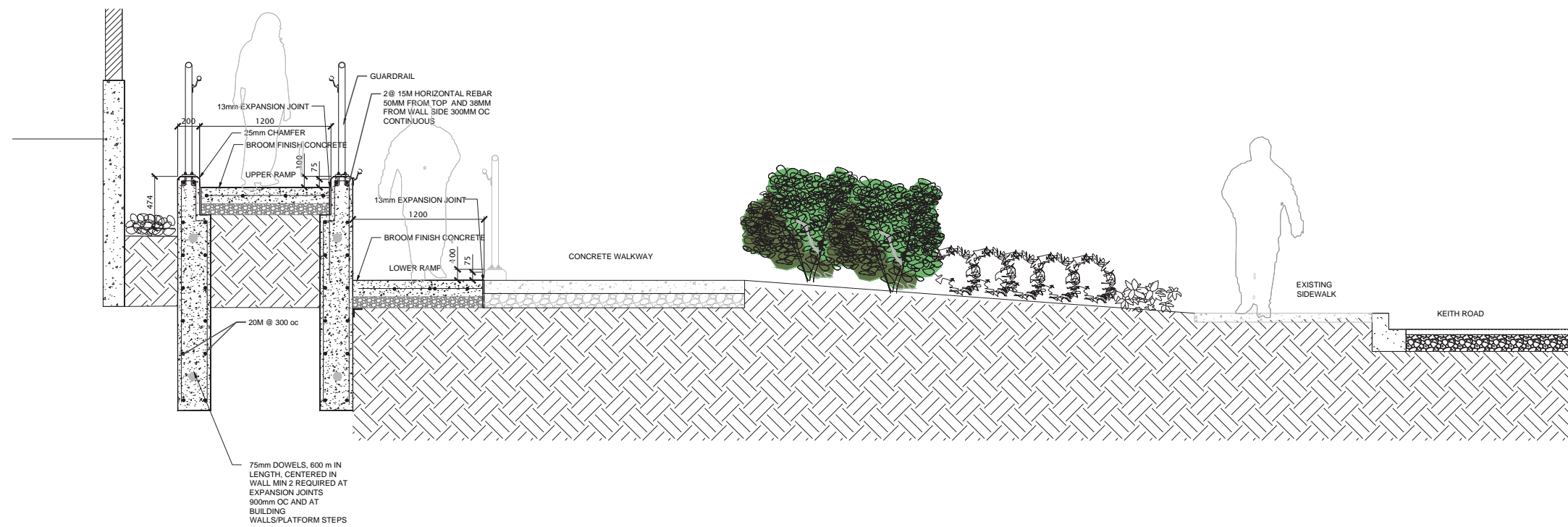
PROPOSED LANDSCAPE DESIGN

LANDSCAPE SECTIONS

SCALE: 1:50



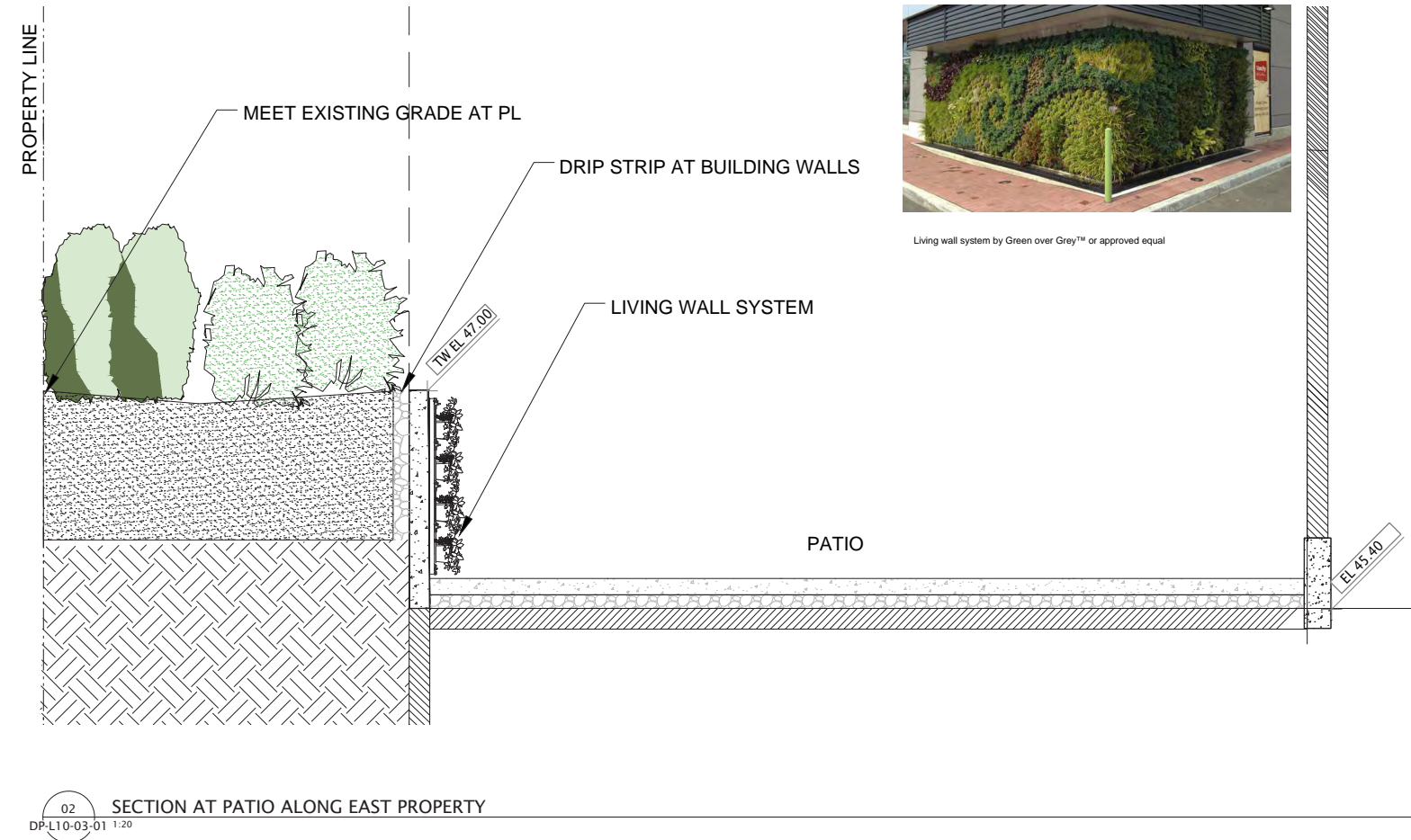
01 SECTION AT PATIO AT KEITH ROAD
DP-L10-03-00 1:20



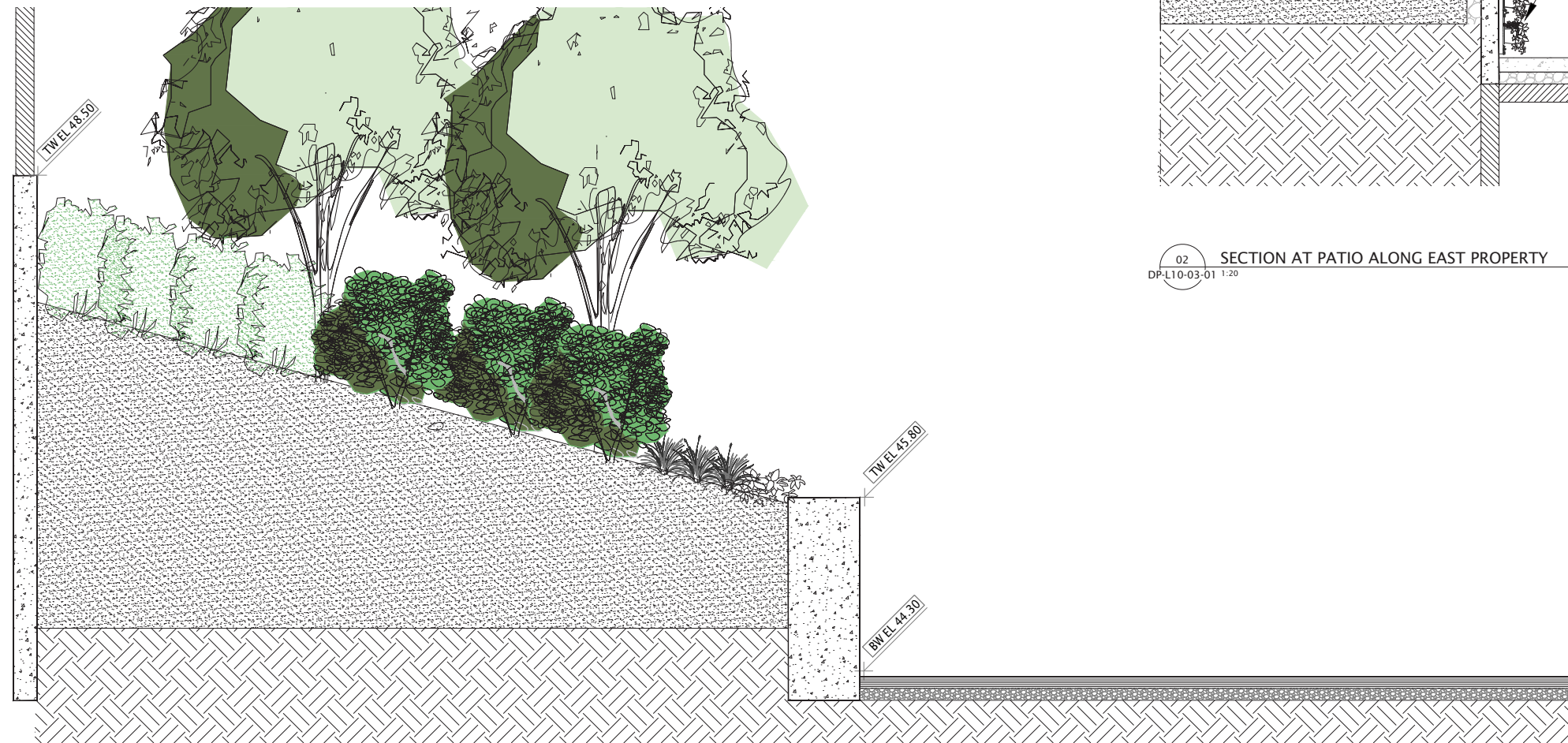
02 SECTION AT RAMP
DP-L10-03-00 1:20

DP-L10-03-00

PROPOSED LANDSCAPE DESIGN
 LANDSCAPE SECTIONS
 SCALE: 1:50



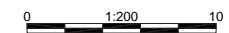
Living wall system by Green over Grey™ or approved equal



01 SECTION AT RETAINING WALLS
 DP-L10-03-01 1:20

DP-L10-03-01

PROPOSED CIVIL DESIGN SERVICING CONCEPT PLAN



GENERAL NOTES

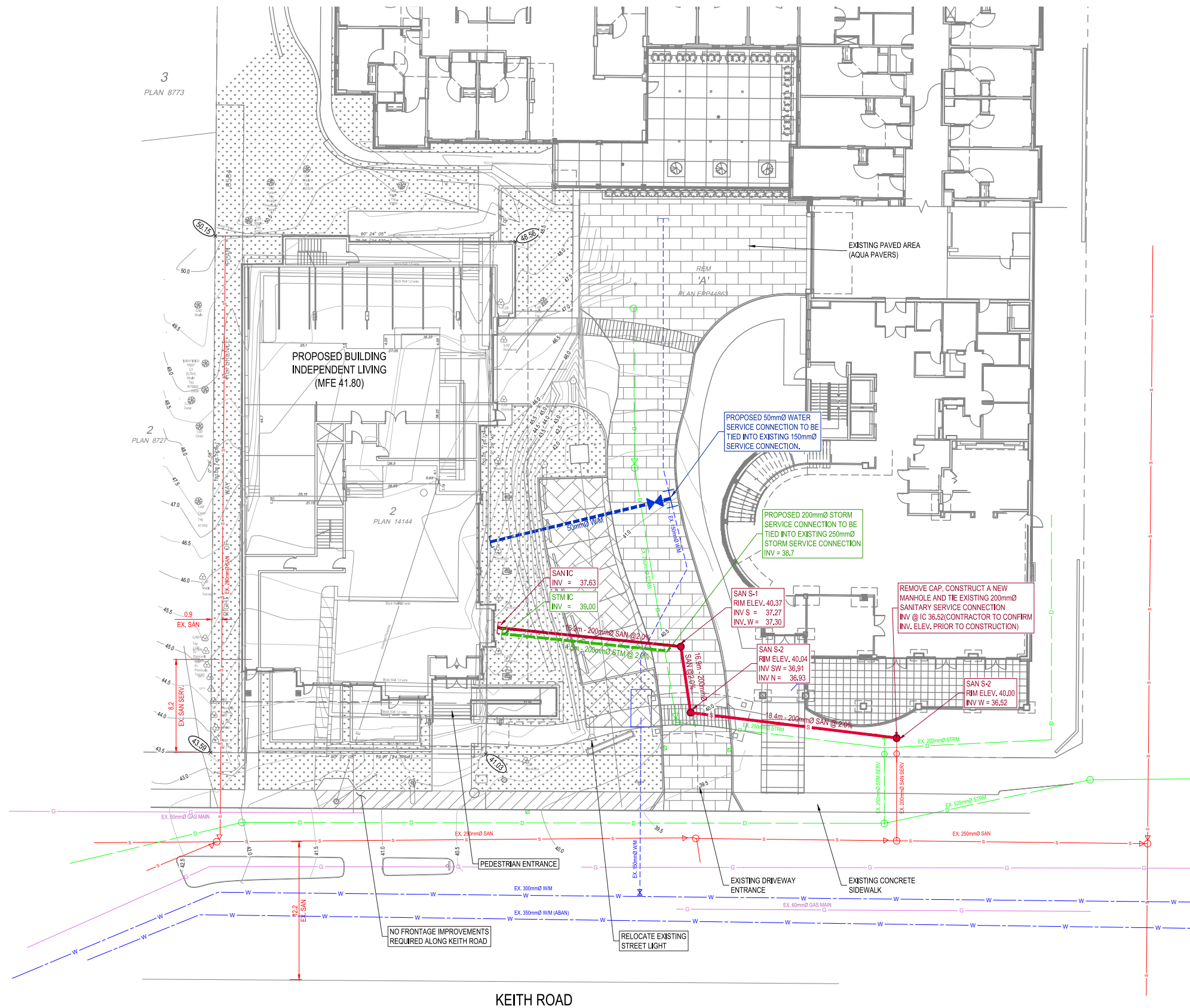
1. ALL CONSTRUCTION MUST CONFORM TO DWV & MMCD SPECIFICATIONS AND MUST PASS THE ENGINEER'S INSPECTION ON COMPLETION OF EACH STAGE OF CONSTRUCTION. THE OWNER WILL PAY FOR THESE INSPECTIONS. THE CONTRACTOR WILL GIVE THE DISTRICT 48 HOURS NOTICE PRIOR TO THIS REQUIREMENT FOR INSPECTIONS. ALL ON LOT WORKS TO CONFORM TO BCBC 2010 & DWV STANDARDS.
2. THE CONTRACTOR SHALL ENSURE THAT ALL APPROVALS REQUIRED FOR THE PROPOSED WORK HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
3. LOCATIONS OF EXISTING UNDERGROUND SERVICES HAVE BEEN DETERMINED FROM THE DISTRICT AND UTILITIES AS-CONSTRUCTED DRAWINGS AND SURVEY. CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING SERVICES AND TO NOTIFY ENGINEER OF ANY DISCREPANCIES, CONFLICTS OR OMISSIONS PRIOR TO BEGINNING CONSTRUCTION.
4. THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR EXISTING SERVICES AND ANY SERVICES DISTURBED ARE TO BE REPLACED TO THE SATISFACTION OF THE DISTRICT AND/OR APPROPRIATE UTILITY CORPORATION.
5. RESIDENTS DIRECTLY AFFECTED BY CONSTRUCTION OF THIS PROJECT SHALL BE GIVEN 48 HOURS WRITTEN NOTICE OF THE PROPOSED START OF CONSTRUCTION. IF CONSTRUCTION ENTERS ONTO PRIVATE PROPERTY, THE CONTRACTOR OR DEVELOPER'S AGENT WILL REQUIRE WRITTEN AUTHORIZATION FROM THE PRIVATE PROPERTY OWNERS.

STORM AND SANITARY NOTES

1. BURIED SANITARY GRAVITY SEWERS TO BE PVC SDR 28 FOR SERVICE CONNECTIONS AND SDR 35 FOR MAIN LINES WHEN TESTED IN ACCORDANCE WITH ASTM D3034 & CSA 8182.1. PIPE STIFFNESS (fy) SHALL BE 314 kPa AT 2.5% DEFLECTION WHEN TESTED IN ACCORDANCE WITH ASTM D2412 UNLESS NOTED OTHERWISE.
2. ALL MANHOLES TO BE MINIMUM 1050 UNLESS OTHERWISE NOTED.
3. EXCAVATION AND PAVEMENT RESTORATION TO BE COMPLETED BY CONTRACTOR PER REGULATORY Authority REQUIREMENTS, MMCD STANDARDS AND CONTRACT DOCUMENTS. CONTRACTOR TO GIVE NOTICE PRIOR TO COMPLETING WORKS.
4. LOCATION/INVERTS OF SERVICE CONNECTIONS TO BE CONFIRMED BY ENGINEER ONCE ROUGH GRADING IS COMPLETE.

WATERWORKS NOTES

1. THE DISTRICT OF WEST VANCOUVER SHALL MAKE TIE-IN(S) TO THE EXISTING WATERMAIN(S) AT THE COST OF THE DEVELOPER. THE CONTRACTOR SHALL GIVE THE CITY & ENGINEER 72 HOURS NOTICE PRIOR TO TIE IN.
2. SERVICE CONNECTIONS TO BE MARKED WITH A 40mm x 90mm POST PAINTED BLUE AT TERMINATION. SERVICES TO BE TERMINATED 1m BEYOND THE PROPERTY LINE, UNLESS OTHERWISE NOTED.
3. MINIMUM COVER ON WATERMAIN = 1.0m.
4. THRUST BLOCKS AS PER MMCD STD DWG W1.



McElhanney
McElhanney Consulting Services Ltd.

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13450 102nd Avenue
Surrey BC
Canada V3T 5X3
Tel 604 596 0391

PROPOSED CIVIL DESIGN LOT GRADING PLAN



LEGEND	
▲ 46.99	EXISTING GROUND ELEVATION (PRIOR TO CONSTRUCTION)
○ 66.99	PROPOSED GROUND ELEVATION (BY DEVELOPER'S CONTRACTOR)

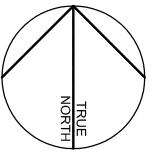
McElhanney
McElhanney Consulting Services Ltd.




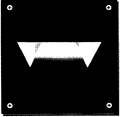
Suite 2300
13450 102nd Avenue
Surrey BC
Canada V3T 5X3
Tel 604 596 0391

PROPOSED ELECTRICAL DESIGN














ELECTRICAL SITE PLAN

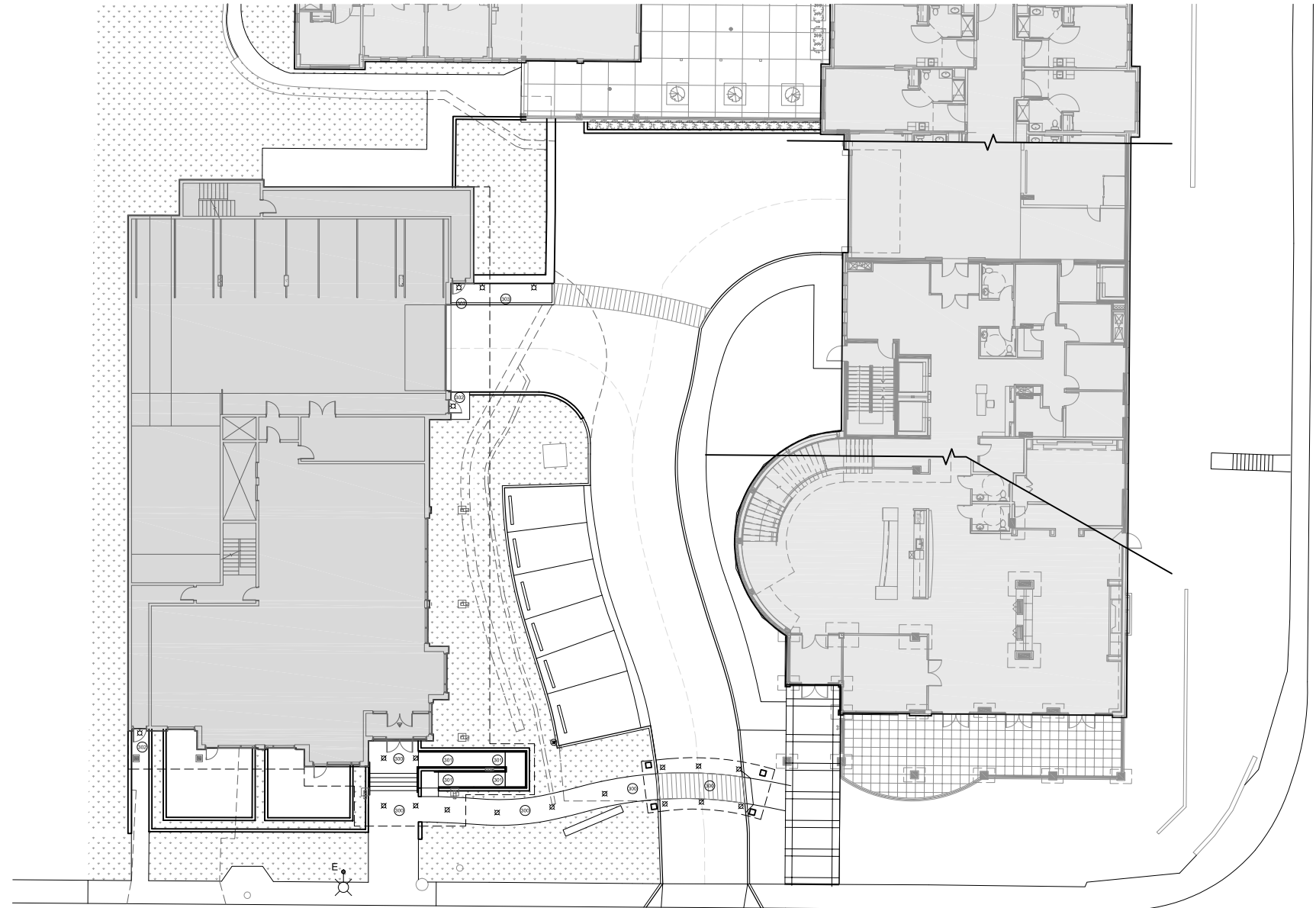
SCALE: 1:400



LUMINAIRE SCHEDULE									
TYPE	PICTURE	DESCRIPTION	Lamps			VOLTS	MANUFACTURER	MOUNTING	REMARKS
			TYPE	WATTS	No.				
300		RECESSED POT LIGHTS	LED	11.5	1	120	BEGA CAT No.: 24 830 + K35 BLACK FINISH OR APPROVED EQUIVALENT	CEILING RECESSED	
301		RECESSED LINEAR WHEELCHAIR RAMP LIGHTS	LED	8.2	1	120	BEGA CAT No.: 33 049 + K35 BLACK FINISH OR APPROVED EQUIVALENT	WALL RECESSED	MOUNTED AT HEIGHT OF 850 mm FROM TOP OF FIXTURE TO A.F.F.
302		EXTERIOR EXIT LIGHTS	LED	23.3	1	120	EATON MCGRAW-EDISON CAT No.: IST-AF-350-LED-E1-T4FT-BK OR APPROVED EQUIVALENT	WALL SURFACE	MOUNTED ABOVE THE DOOR, AS SHOWN ON THE DRAWING
303		PARKADE RAMP LIGHTING	LED	11.8	1	120	BEGA CAT No.: 22 263 + K35 WITH CONCRETE PROTECTION COVER, CAT No.: 19 524 BLACK FINISH OR APPROVED EQUIVALENT	WALL RECESSED	MOUNTED AT HEIGHT OF 1000 mm FROM CENTER OF FIXTURE TO A.F.F.

NOTES:

LEGEND OF SYMBOLS	
LIGHTING	
	RECESSED LED / INCANDESCENT / COMPACT FLUORESCENT LUMINAIRE
	SURFACE LED / INCANDESCENT / COMPACT FLUORESCENT LUMINAIRE
	WALL LED / INCANDESCENT / COMPACT FLUORESCENT LUMINAIRE
	LED / INCANDESCENT / COMPACT FLUORESCENT WALL WASHER
	RECESSED LED / INCANDESCENT / COMPACT FLUORESCENT LUMINAIRE ON EMERGENCY POWER
	SURFACE LED / INCANDESCENT / COMPACT FLUORESCENT LUMINAIRE ON EMERGENCY POWER
	WALL LED / INCANDESCENT / COMPACT FLUORESCENT LUMINAIRE ON EMERGENCY POWER
	POLE MOUNTED LUMINAIRE
	LIGHTING BOLLARD
	LIGHTING LUMINAIRE TYPE TAG
	EXIT LIGHT - CEILING (C/W ARROWS AS INDICATED)
	EXIT LIGHT - WALL (C/W ARROWS AS INDICATED)
GENERAL	
WP	DENOTES WEATHERPROOF DEVICE
NL	DENOTES UNSWITCHED LUMINAIRE (NIGHT LIGHT)
R	DENOTES DEVICE TO REMOVE OR RELOCATE
RL	DENOTES RELOCATED DEVICE
•	DENOTES FURNITURE MOUNTED DEVICE
E	DENOTES EXISTING TO REMAIN
FIRE ALARM	
	FIRE ALARM STROBE



E-01