



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

CLIENT REVISION	04/01/12
BUILDING PERMIT	16/09/11
CLIENT REVISION	03/02/11
ISSUED FOR	DD/MM/YY
REVISIONS	DATE

DRAWN BY: C.D.
CHECKED BY: J.R.
SHEET: 05 of 09

PROJECT/DRAWING NO.:
R1141
SCALE: 1/4" = 1'-0"
UNLESS NOTED
DATE: January 04, 2012

PROJECT:
GRAY RESIDENCE
4710 SOUTH PICCADILLY ROAD
WEST VANCOUVER, B.C.
TITLE:
ELEVATIONS

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NEW LOVE AND RENOVATION DESIGN SPECIALISTS
SUITE ONE
650 CLYDE AVE.
WEST VANCOUVER, B.C.
V6V 1Z7
604-913-0103
E-MAIL: info@newlovedesign.com

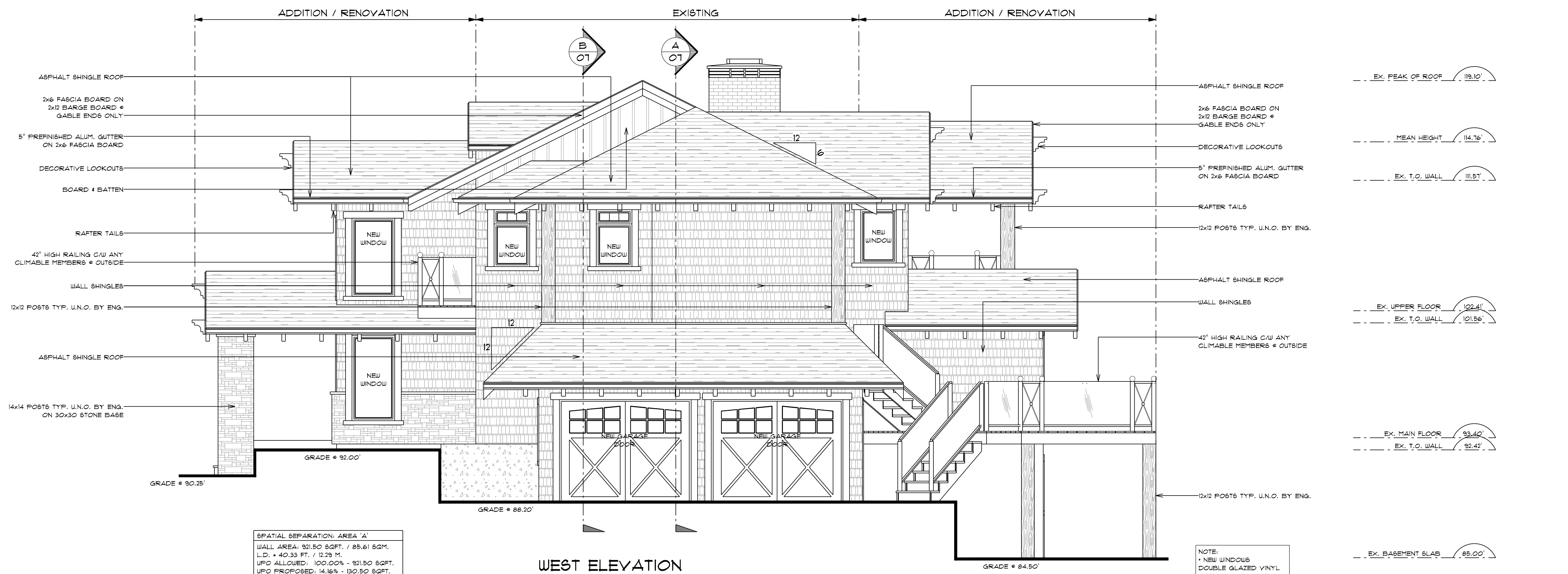
SPATIAL SEPARATION AREA 'A'
WALL AREA: 898.60 SQFT. / 83.48 SQM.
L.D. = 31.2 FT. / 9.5 M.
UFO ALLOWED: 100.00% - 898.60 SQFT.
UFO PROPOSED: 10.00% - 89.75 SQFT.



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
 • NEW WINDOWS
 DOUBLE GLAZED VINYL
 CASHEMENT WINDOWS C/W
 BALANCED SASHES, TYP.



WEST ELEVATION

SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION: AREA 'A'
 WALL AREA: 921.50 SQFT. / 85.61 SQM.
 L.D. = 420.33 FT. / 128.11 M.
 UPO ALLOWED: 100.00% - 921.50 SQFT.
 UPO PROPOSED: 14.16% - 130.50 SQFT.

NOTE:
 • NEW WINDOWS
 DOUBLE GLAZED VINYL
 CASHEMENT WINDOWS C/W
 BALANCED SASHES, TYP.

CLIENT REVISION	04/01/12
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BUILDING PERMIT	16/05/11
CLIENT REVISION	09/02/11
ISSUED FOR	DD/MM/YY
REVISIONS	DATE

DRAWN BY: C.D.
 CHECKED BY: J.R.
 SHEET: 06 of 09

PROJECT/DRAWING NO.:
 R11141

SCALE: 1/4"=1'-0"
 DATE: January 04, 2012

PROJECT:
 GRAU RESIDENCE
 4110 SOUTH FICCADILLY ROAD
 WEST VANCOUVER, B.C.

TITLE:
 ELEVATIONS

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NEW HOME AND RENOVATION DESIGN SPECIALISTS

SUITE ONE
 850 CLYDE AVE.
 WEST VANCOUVER, B.C.
 V7V 1E2
 604-913-0103
 E-MAIL: info@rcdesign.com

RC DESIGN LTD