

THE HIGHWAY

PICCADILLY SOUTH

WOOD LANE

REMAINDER 'B'
AREA = 22973 sq.ft.
(2134.3 m²)

REMAINDER 'C'

'A'

ELEVATIONS
ELEVATIONS ARE TO DISTRICT OF WEST VANCOUVER GEODETIC DATUM.
BENCH MARK USED: INVERT OF SANITARY MANHOLE LOCATED AT THE INTERSECTION OF PICCADILLY SOUTH AND DOGWOOD LANE. INVERT ELEVATION 90.83 FEET (GEODETIC DATUM)
BENCH MARK SET: ROAD SIDE NUT OF FIRE HYDRANT LOCATED 11 FEET SOUTH AND 19 FEET EAST OF THE NORTHERLY CORNER OF REMAINDER LOT 'B'. ELEVATION 94.91 FEET.

NOTE:
FOR RESTRICTIVE COVENANT GB61245, SEE 99381L.

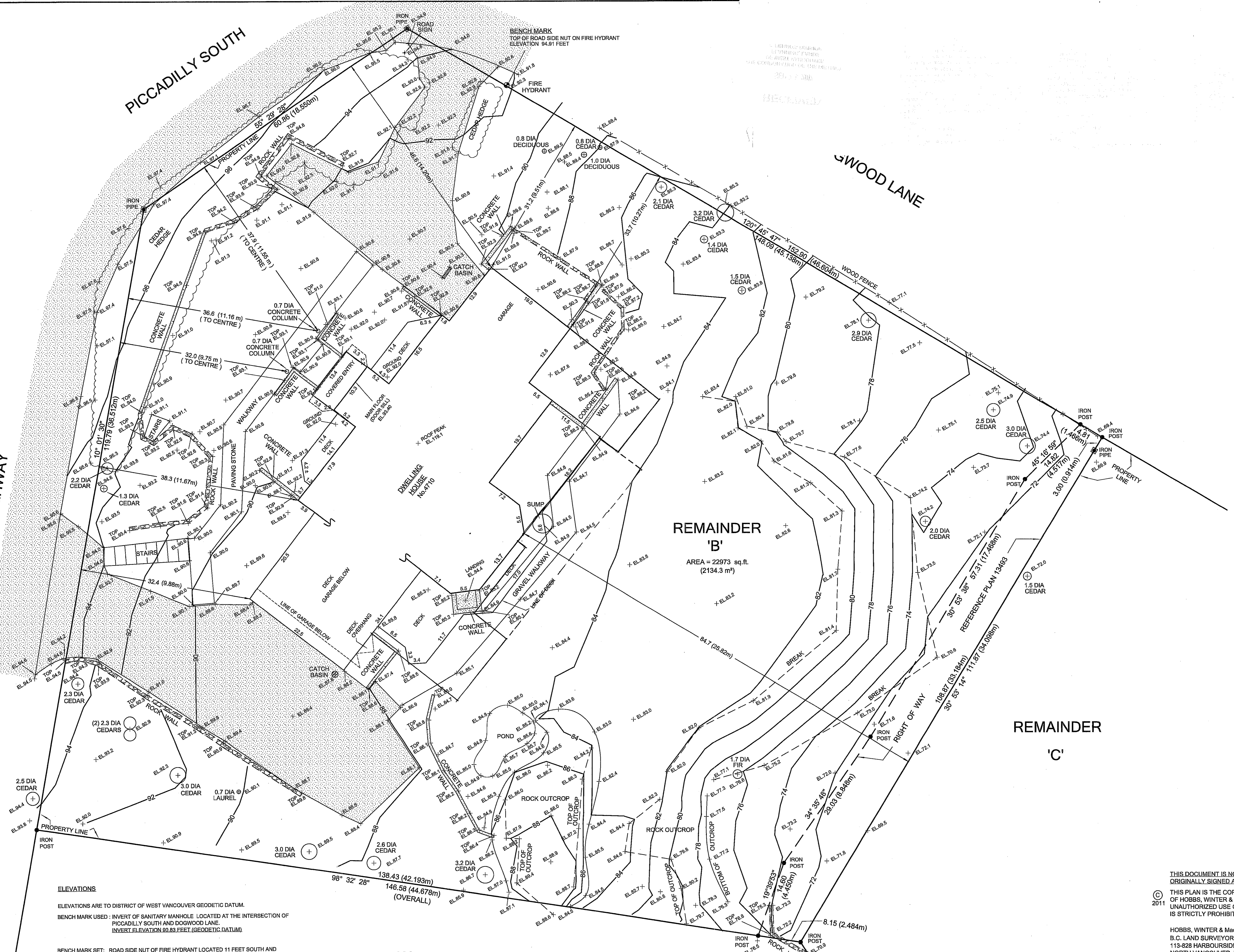
ADDED CONCRETE COLUMNS THIS 9TH DAY OF APRIL, 2012. FB 2282 P. 138, 153

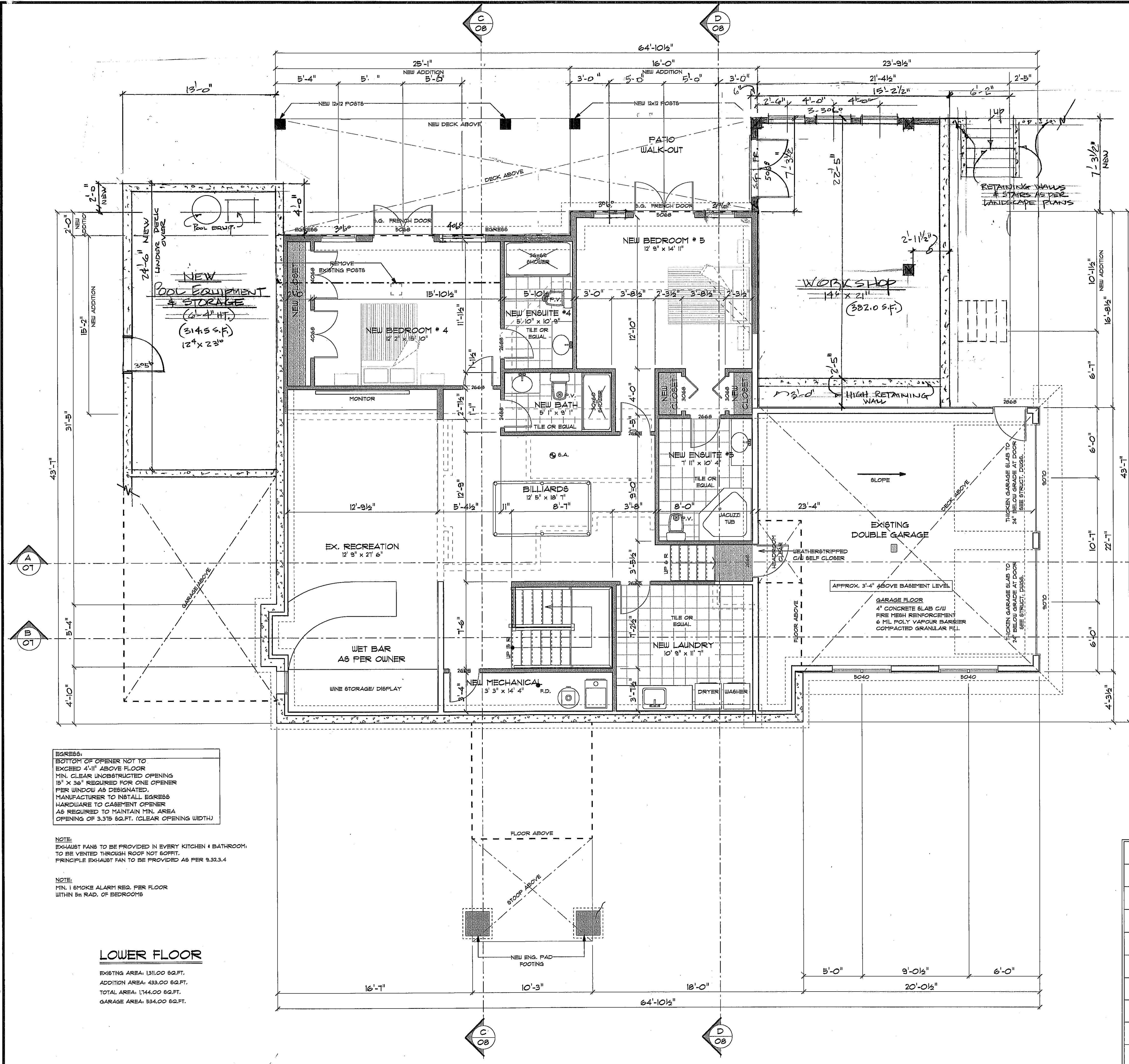
PCM B.C.L.S.

CERTIFIED CORRECT THIS 16TH DAY OF MAY, 2011

PCM B.C.L.S.

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HOBBS, WINTER & MACDONALD, B.C. LAND SURVEYORS, 113-929 HARBOURSIDE DRIVE, NORTH VANCOUVER, B.C., V7P 3R9, TEL 604-986-1371 FAX 604-986-5204 EMAIL: admin@hwmsurveys.com





EGRESS:
 BOTTOM OF OPENER NOT TO EXCEED 4'-11" ABOVE FLOOR
 MIN. CLEAR UNOBSTRUCTED OPENING
 15' X 56" REQUIRED FOR ONE OPENER
 PER WINDOW AS DESIGNATED
 MANUFACTURER TO INSTALL EGRESS
 HARDWARE TO MAINTAIN MIN. AREA
 AS REQUIRED TO MAINTAIN MIN. AREA
 OPENING OF 3.315 SQ.FT. (CLEAR OPENING WIDTH)

NOTE:
 EXHAUST FANS TO BE PROVIDED IN EVERY KITCHEN & BATHROOM
 TO BE VENTED THROUGH ROOF NOT SOFFIT.
 PRINCIPLE EXHAUST FAN TO BE PROVIDED AS PER 9.32.3.4

NOTE:
 MIN. 1 SMOKE ALARM REQ. PER FLOOR
 WITHIN 5ft. RAD. OF BEDROOMS

LOWER FLOOR

EXISTING AREA: 1311.00 SQ.FT.
 ADDITION AREA: 433.00 SQ.FT.
 TOTAL AREA: 1744.00 SQ.FT.
 GARAGE AREA: 534.00 SQ.FT.

SITE STATISTICS	
PROJECT DESIGNATION:	GRAU RESIDENCE
DESIGNER:	JOE ROMMEL, A8ct, CRD, RD-AIBC ROMMEL DESIGN LTD.
BUILDING CODE:	THESE WORKING DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH PART 9 OF THE 2006 B.C. BUILDING CODE
OCCUPANCY:	GROUP 'C'
CIVIC ADDRESS:	4710 SOUTH PICCADILLY ROAD WEST VANCOUVER, B.C.
LEGAL DESCRIPTION:	LOT 12 BLOCK 2 DISTRICT LOT 811 PLAN 5432
ZONING:	R8-3
SITE AREA:	22,913.00 SQFT.
F.S.R. ALLOWED:	35% = 8,040.55 SQFT.
F.S.R. PROPOSED: (SEE TABLE BELOW)	LOWER: 2440.5 SQFT. MAIN: 1873.00 SQFT. UPPER: 1565.00 SQFT. GARAGE: 353.00 SQFT. COVERED DECKS: 70.00 SQFT. TOTAL: 6301.5 SQFT.
SITE COVERAGE ALLOWED:	30.00% MAX. = 6,891.90 SQFT.
SITE COVERAGE PROPOSED:	16.8% = 3862.3 SQFT.
BUILDING HEIGHT ALLOWED:	25.00 FT.
BUILDING HEIGHT PROPOSED:	AS EXISTING = 114.76'

FLOOR AREA TABLE			
LOCATION		AREA	EXEMPTIONS
LOWER FLOOR	EXISTING:	1311.00 SQFT.	NONE
	ADDITION:	1123.5 SQFT.	
GARAGE	EXISTING LOWER:	534.00 SQFT.	440.00 SQFT.
	EXISTING MAIN:	259.00 SQFT.	
MAIN FLOOR	EXISTING:	1361.00 SQFT.	NONE
	ADDITION:	512.00 SQFT.	
UPPER FLOOR	EXISTING:	1167.00 SQFT.	NONE
	ADDITION:	398.00 SQFT.	
TOTAL NET FLOOR AREA:		6301.5 SQFT.	

LEGEND	
⊙ S.A.	SMOKE ALARM
S.G.	SAFETY GLASS
S.L.	SKYLITE
D/W	DISHWASHER
F	REFRIGERATOR
⊙ P.V.	POWER VENT
⊙ F.D.	FLOOR DRAIN
W.W.	WINDOW WELL
≡ C.V.	CRAWL. VENT

WALL LEGEND	
	EXISTING CONC. FOUNDATION WALL C/W INSULATED STRAPPING
	NEW 8" CONC. FOUNDATION WALL C/W INSULATED 2x4 STRAPPING
	EXISTING 2x6 EXTERIOR STUD WALL
	NEW 2x6 EXTERIOR STUD WALL C/W RAINSCREEN
	EXISTING INTERIOR STUD PARTITION
	NEW 2x4 INTERIOR STUD PARTITION
	DEMOLISHED EXISTING WALL

REVISIONS	DATE
ISSUED FOR	DD/MM/YAY
CLIENT REVISION	24/04/12
CLIENT REVISION	30/03/12
CLIENT REVISION	04/01/12
BUILDING PERMIT	16/05/11
CLIENT REVISION	09/02/11
REVISIONS	DATE

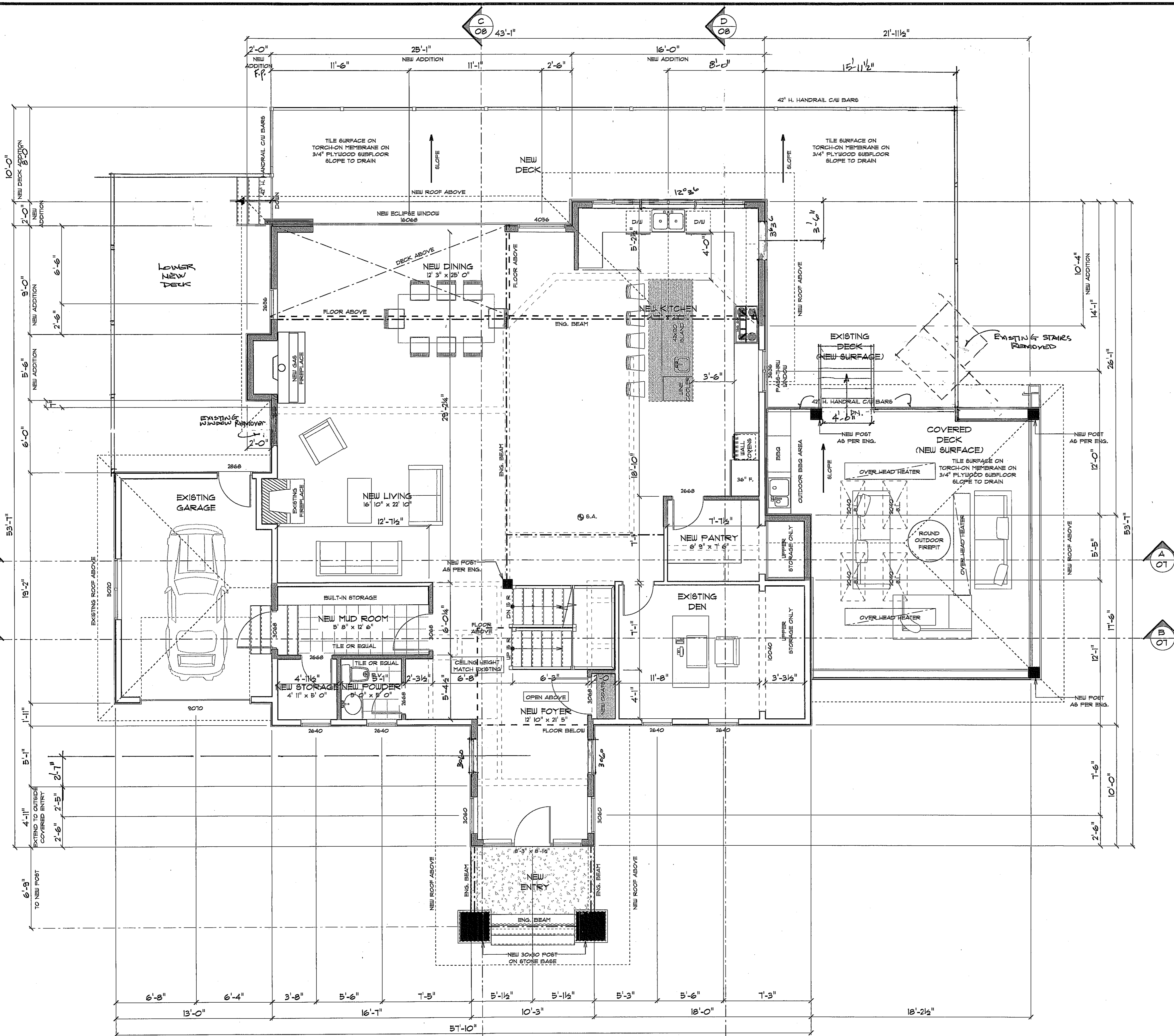
DRAWN BY: C.D.
 CHECKED BY: J.R.
 SHEET: 02 of 03

PROJECT/DRAWING NO.: R1141
 SCALE: 1/4"=1'-0"
 DATE: April 26, 2012
 UNLESS NOTED

PROJECT: GRAU RESIDENCE
 4710 SOUTH PICCADILLY ROAD
 WEST VANCOUVER, B.C.
 TITLE: LOWER PLAN

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LEGEND	
⊙ S.A.	SMOKE ALARM
S.G.	SAFETY GLASS
S.L.	SKYLITE
D/W	DISHWASHER
F	REFRIGERATOR
⊙ P.V.	POWER VENT
⊙ F.D.	FLOOR DRAIN
W.W.	WINDOW WELL
▨ C.V.	CRAWL VENT

NOTE:
EXHAUST FANS TO BE PROVIDED IN EVERY KITCHEN & BATHROOM TO BE VENTED THROUGH ROOF NOT ROOF.
PRINCIPLE EXHAUST FAN TO BE PROVIDED AS PER 9.32.3.4

NOTE:
MIN. 1 SMOKE ALARM REQ. PER FLOOR WITHIN 5M RAD. OF BEDROOMS

REVISIONS	DATE
CLIENT REVISION	24/04/12
BEE PRO.BIN. 03	
CLIENT REVISION	30/03/12
BEE PRO.BIN. 02	
CLIENT REVISION	04/01/12
BEE PRO.BIN. 01	
BUILDING PERMIT	16/09/11
CLIENT REVISION	09/02/11
ISSUED FOR	DD/MM/YY

DRAWN BY: C.D.
CHECKED BY: J.R.
SHEET: 03 of 03

PROJECT/DRAWING NO.:
R1141

PROJECT:
GRAU RESIDENCE
4710 SOUTH PICCADILLY ROAD
WEST VANCOUVER, B.C.

SCALE: 1/4"=1'-0"
UNLESS NOTED
DATE: April 26, 2012

TITLE:
MAIN FLOOR PLAN

WALL LEGEND	
	EXISTING CONC. FOUNDATION WALL C/W INSULATED STRAPPING
	NEW 8" CONC. FOUNDATION WALL C/W INSULATED 2x4 STRAPPING
	EXISTING 2x6 EXTERIOR STUD WALL
	NEW 2x6 EXTERIOR STUD WALL C/W RAINSCREEN
	EXISTING INTERIOR STUD PARTITION
	NEW 2x4 INTERIOR STUD PARTITION
	DEMOLISHED EXISTING WALL

MAIN FLOOR
EXISTING AREA: 1361.00 SQ.FT.
ADDITION AREA: 512.00 SQ.FT.
TOTAL AREA: 1873.00 SQ.FT.
GARAGE AREA: 299.00 SQ.FT.

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CLIENT REVISION	24/04/12
BEE PRO.BIN. 03	
CLIENT REVISION	30/03/12
BEE PRO.BIN. 02	
CLIENT REVISION	04/10/12
BEE PRO.BIN. 01	
BUILDING PERMIT	16/05/11
CLIENT REVISION	09/02/11
ISSUED FOR	DD/MM/YY
REVISIONS	DATE

DRAWN BY: C.D.
 CHECKED BY: J.R.
 SHEET: 04 of 09

PROJECT/DRAWING NO.:
 R11141
 SCALE: 1/4"=1'-0"
 UNLESS NOTED
 DATE: April 26, 2012

PROJECT:
 GRAU RESIDENCE
 4710 SOUTH PICCADILLY ROAD
 WEST VANCOUVER, B.C.
 TITLE:
 UPPER FLOOR PLAN

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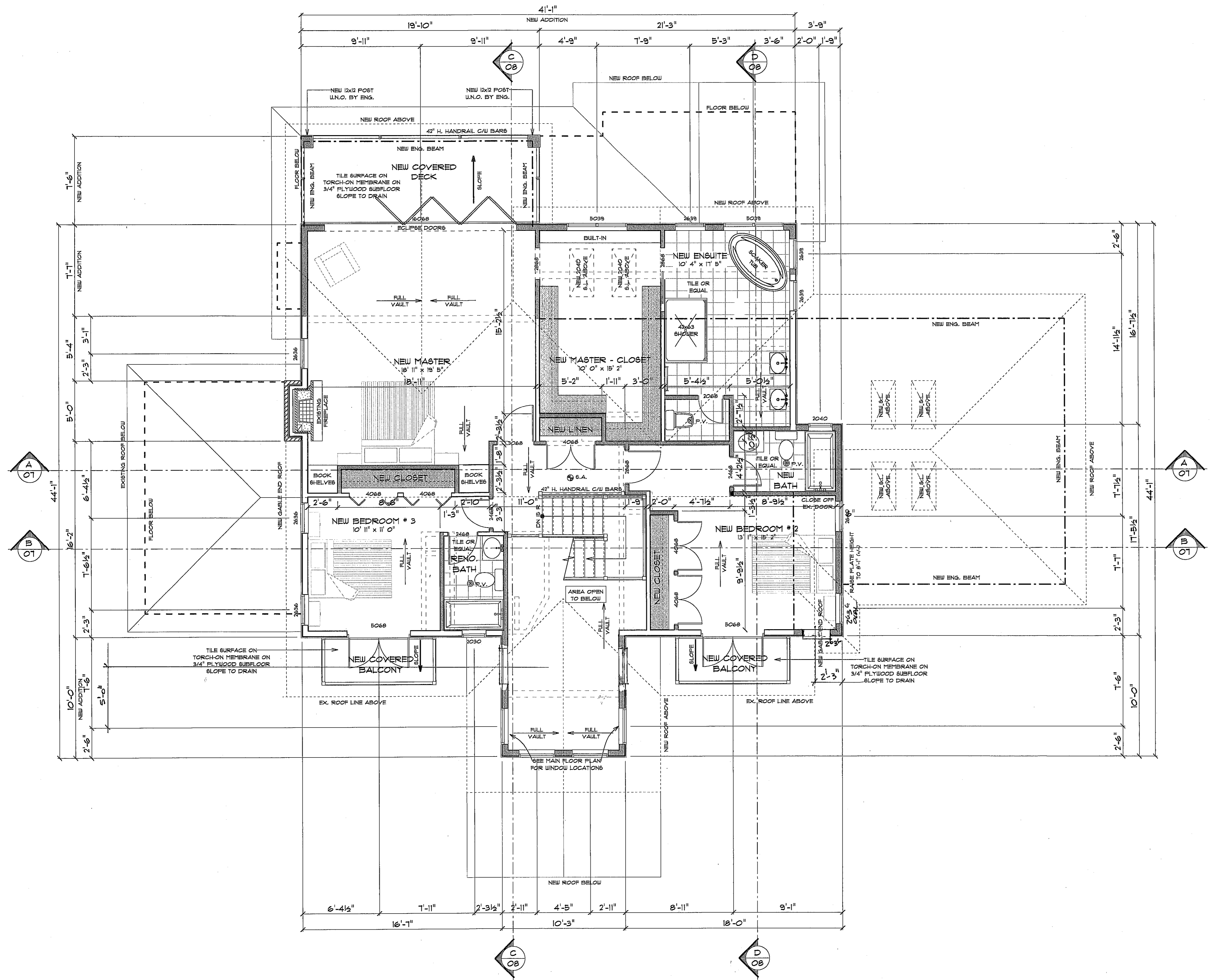
LEGEND	
⊙ S.A.	SMOKE ALARM
S.G.	SAFETY GLASS
S.L.	SKYLITE
D/W	DISHWASHER
F	REFRIGERATOR
⊙ P.V.	POWER VENT
⊙ F.D.	FLOOR DRAIN
W.W.	WINDOW WELL
≡ C.V.	CRAWL VENT

EGRESS:
 BOTTOM OF OPENER NOT TO EXCEED 4'-11" ABOVE FLOOR
 MIN. CLEAR UNOBSTRUCTED OPENING 18" X 36" REQUIRED FOR ONE OPENER PER WINDOW AS DESIGNATED.
 MANUFACTURER TO INSTALL EGRESS HARDWARE TO CASSETTE OPENER AS REQUIRED TO MAINTAIN MIN. AREA OPENING OF 3.375 SQ.FT. (CLEAR OPENING WIDTH)

NOTE:
 EXHAUST FANS TO BE PROVIDED IN EVERY KITCHEN & BATHROOM TO BE VENTED THROUGH ROOF NOT SOFT.
 PRINCIPLE EXHAUST FAN TO BE PROVIDED AS PER 9.32.3.4

NOTE:
 MIN. 1 SMOKE ALARM REQ. PER FLOOR WITHIN 5m RAD. OF BEDROOMS

WALL LEGEND	
	EXISTING CONC. FOUNDATION WALL C/W INSULATED STRAPPING
	NEW 8" CONC. FOUNDATION WALL C/W INSULATED 2x4 STRAPPING
	EXISTING 2x6 EXTERIOR STUD WALL
	NEW 2x6 EXTERIOR STUD WALL C/W RAINSCREEN
	EXISTING INTERIOR STUD PARTITION
	NEW 2x4 INTERIOR STUD PARTITION
	DEMOLISHED EXISTING WALL



UPPER FLOOR

EXISTING AREA: 1167.00 SQ.FT.
 ADDITION AREA: 328.00 SQ.FT.
 COVERED DECK
 INCLUDED IN PER: 10.00 SQ.FT.
 TOTAL AREA: 1635.00 SQ.FT.



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	DATE
CLIENT REVISION	04/10/12
BUILDING PERMIT	16/05/11
CLIENT REVISION	09/02/11
ISSUED FOR	DD/MM/YYYY

DRAWN BY: C.D.
CHECKED BY: J.R.
SHEET: 05 of 05

PROJECT/DRAWING NO.:
R11141
SCALE: 1/4"=1'-0"
DATE: January 04, 2012
UNLESS NOTED

PROJECT:
GRAU RESIDENCE
4710 SOUTH PICCADILLY ROAD
WEST VANCOUVER, B.C.
TITLE:
ELEVATIONS

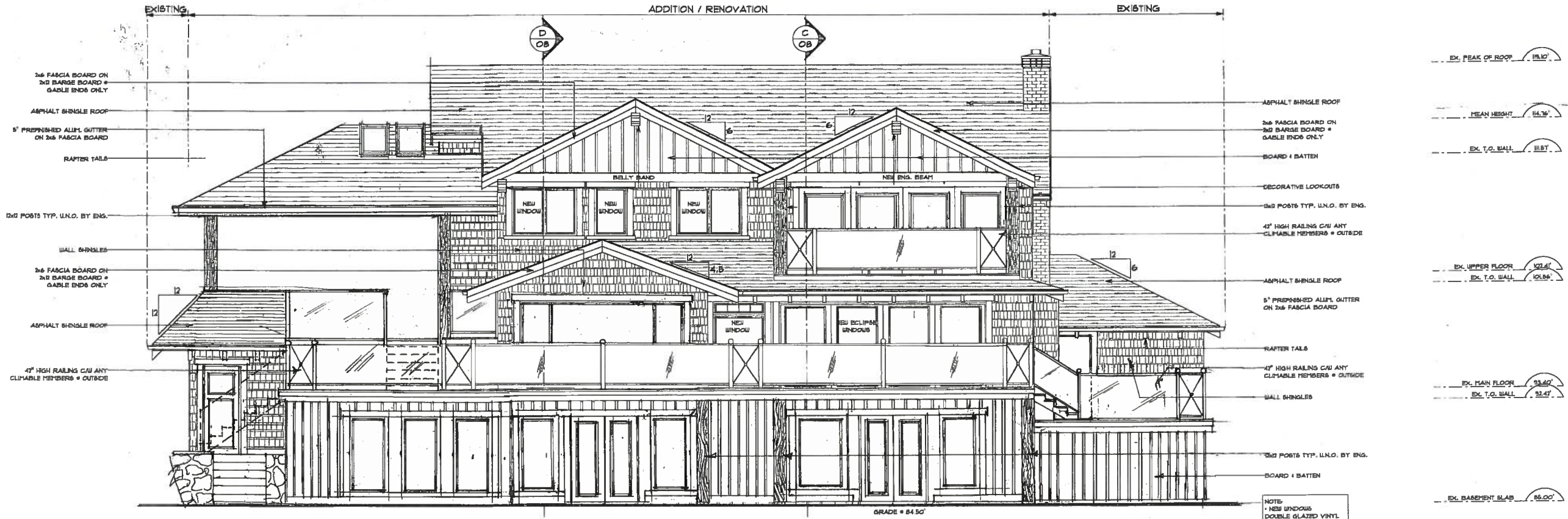
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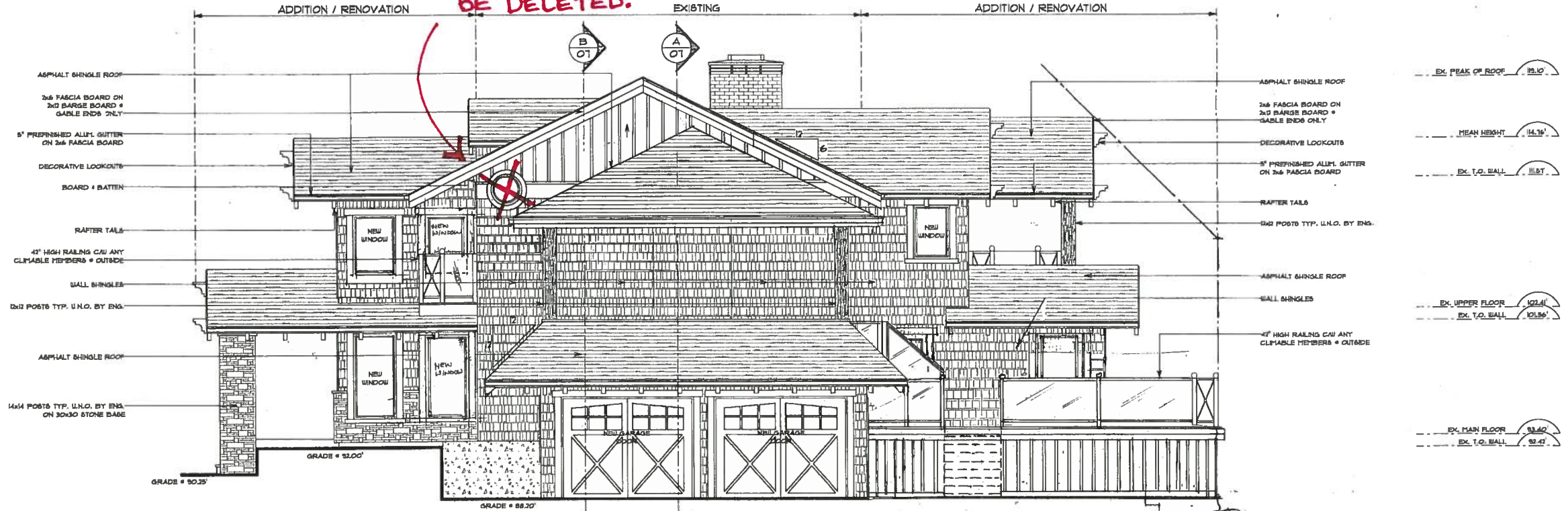
EAST ELEVATION
SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION: AREA 'A'
WALL AREA: 898.60 SQFT. / 83.48 SQM.
L.D. = 31.2 FT. / 9.5 M.
UFO ALLOWED: 100.00% = 898.60 SQFT.
UFO PROPOSED: 10.00% = 89.86 SQFT.



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

ROUND WINDOW TO BE DELETED.



WEST ELEVATION
SCALE: 1/4" = 1'-0"

CLIENT REVISION	24/04/12
CLIENT REVISION	30/03/12
CLIENT REVISION	04/01/12
BUILDING PERMIT	16/05/11
CLIENT REVISION	09/02/11
ISSUED FOR	DD/M/YY
REVISIONS	DATE

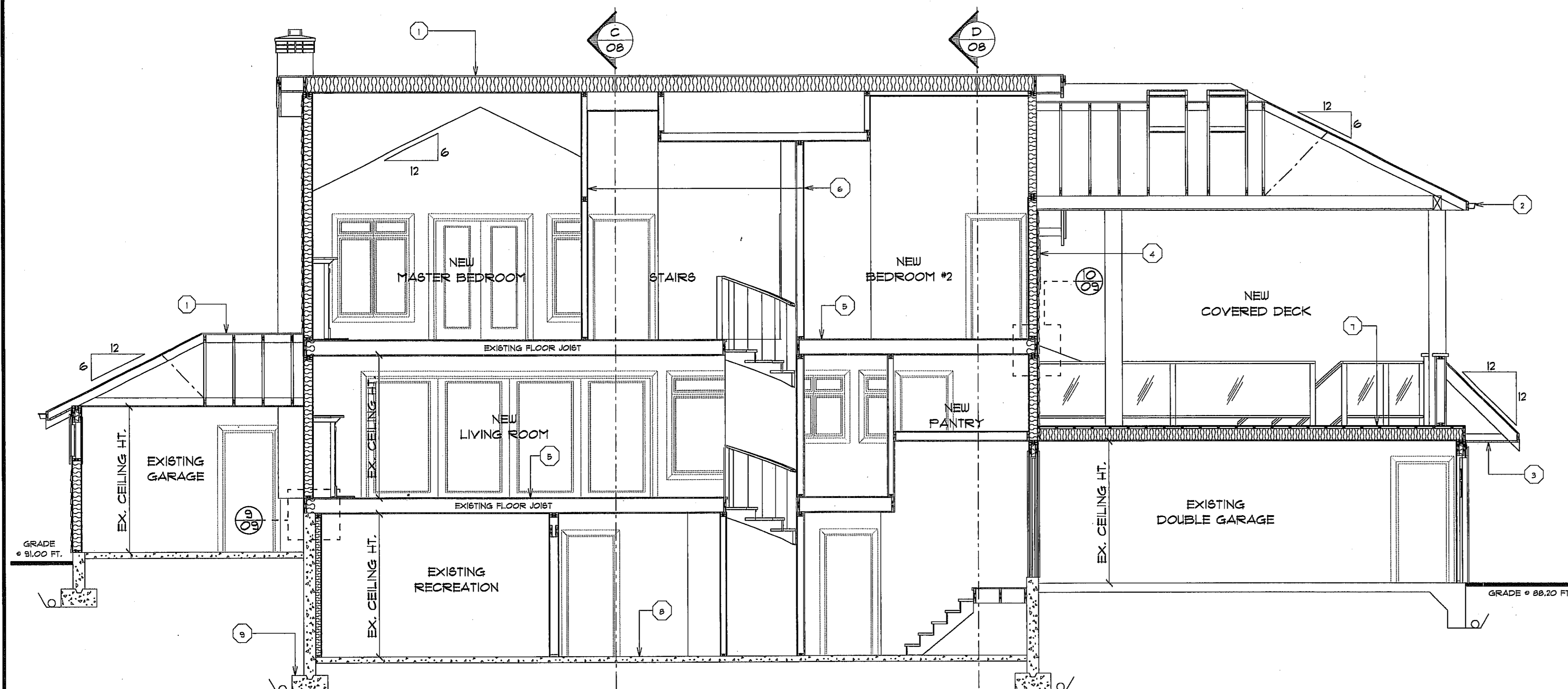
DRAWN BY: C.D.
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SHEET: 06 of 09

PROJECT/DRAWING NO.: R1141
SCALE: 1/4" = 1'-0"
DATE: April 26, 2012
UNLESS NOTED

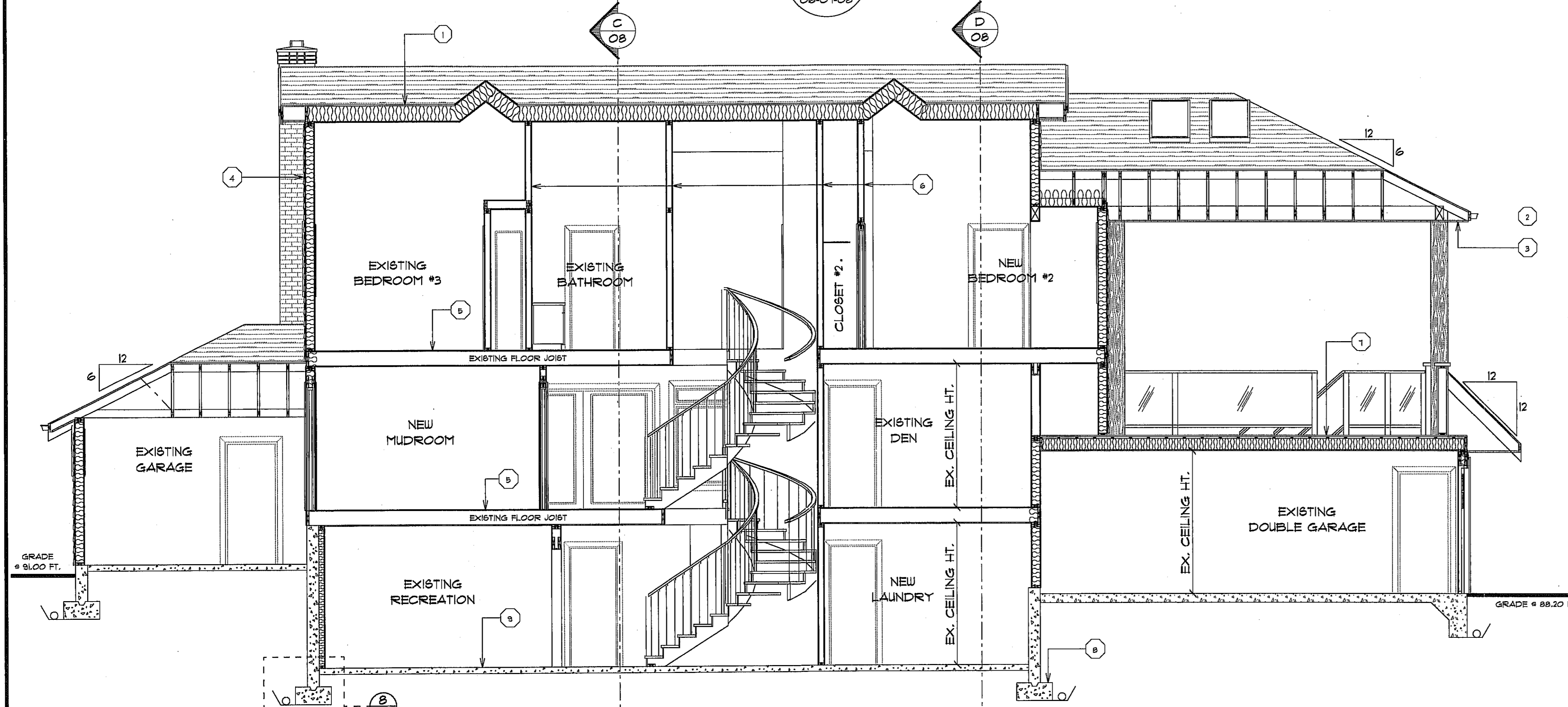
PROJECT: GRAW RESIDENCE
4110 SOUTH PICCADILLY ROAD
WEST VANCOUVER, B.C.
TITLE: ELEVATIONS

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SECTION A
02-03-04-05
06-07-08



SECTION B
02-03-04-05
06-07-08

MATERIAL LEGEND

- ASPHALT SHINGLE ROOF**
- ASPHALT SHINGLES
 - 30 MIN. BUILDING PAPER UNDERLAYMENT
 - 1/2" SHEATHING
 - TRUSSES @ 24" O.C. AS PER MANUFACTURER
 - R40 BATT INSULATION
 - 6 MIL. POLY VAPOUR BARRIER
 - 5/8" CEILING BOARD
- FASCIA**
- 5" PRE-FINISHED ALUM. GUTTER
 - 2x6 FASCIA BOARD
 - 2x12 BARGE BOARD
 - GABLE ENDS ONLY
- BOFFIT**
- T&G CEDAR OR VINYL
 - 1 1/2" CONT. VENT STRIP C/W SCREEN
- EXTERIOR WALL ASSEMBLY**
- SIDING AS PER ELEVATIONS
 - 1/2" STRAPPING @ 16" O.C. OR WALL SLICKER (RAINSCREEN)
 - 2 LAYERS 30 MIN. BUILDING PAPER
 - 1/2" PLYWD. SHEATHING OR 5/8" SHIPLAP SHEATHING
 - OR 5/16" O.S.B. SHEATHING
 - 2x6 STUDS @ 16" O.C.
 - R20 BATT INSULATION
 - 6 MIL. POLY VAPOUR BARRIER
 - 1/2" G.W.B.
- FLOOR SYSTEM**
- 3/4" T&G PLYWD. SHEATHING SUBFLOOR
 - T.J.I. FLOOR JOISTS AS PER ENGINEER
 - 5/8" CEILING BOARD
 - R20 BATT INSULATION WHERE REQUIRED
- INTERIOR PARTITION ASSEMBLY**
- 1/2" G.W.B.
 - 2x4 STUDS @ 16" O.C.
 - 1/2" G.W.B.
- DECK OVER LIVING SPACE**
- APPROVED MEMBRANE OR TORCH-ON
 - 3/4" PLYWD., SLOPE TO DRAIN
 - 2x4 ON FLAT STRAPPING
 - 2x8 JOISTS AS PER ENG.
 - R20 BATT INSULATION
 - 6 MIL. POLY VAPOUR BARRIER
 - 5/8" CEILING BOARD
 - STRAPPING NOT REQUIRED IF SPRAY FOAM INSULATION IS USED
- FOUNDATION WALL ASSEMBLY**
- 2 COATS DAMP PROOFING
 - 8" CONC. FOUNDATION WALL
 - FOOTINGS ON SOLID BEARING AS PER ENG.
 - 4" PERFORATED P.V.C. PERIMETER DRAIN
 - 6" MIN. DRAIN ROCK COVER
- CONCRETE SLAB ASSEMBLY**
- 4" POURED CONC.
 - REBAR W.U.F. AS PER ENG.
 - 6 MIL. POLY VAPOUR BARRIER
 - 5" MIN. COMPACT SAND
- EXTERIOR DECKS**
- 30 MIL. VINYL ROOF DECK MEMBRANE
 - 3/4" T&G FIR PLYWD. FLOOR SHEATHING
 - WEDGE TO SLOPE 1:50
 - VENT 1:500

CLIENT REVISION	24/04/12
SEE PROJ. B.N. 03	
CLIENT REVISION	30/03/12
SEE PROJ. B.N. 02	
CLIENT REVISION	04/01/12
SEE PROJ. B.N. 01	
BUILDING PERMIT	16/05/11
CLIENT REVISION	09/02/11
ISSUED FOR	DD/MM/YY
REVISIONS	DATE

DRAWN BY: C.D.
CHECKED BY: J.R.
SHEET: 01 of 03

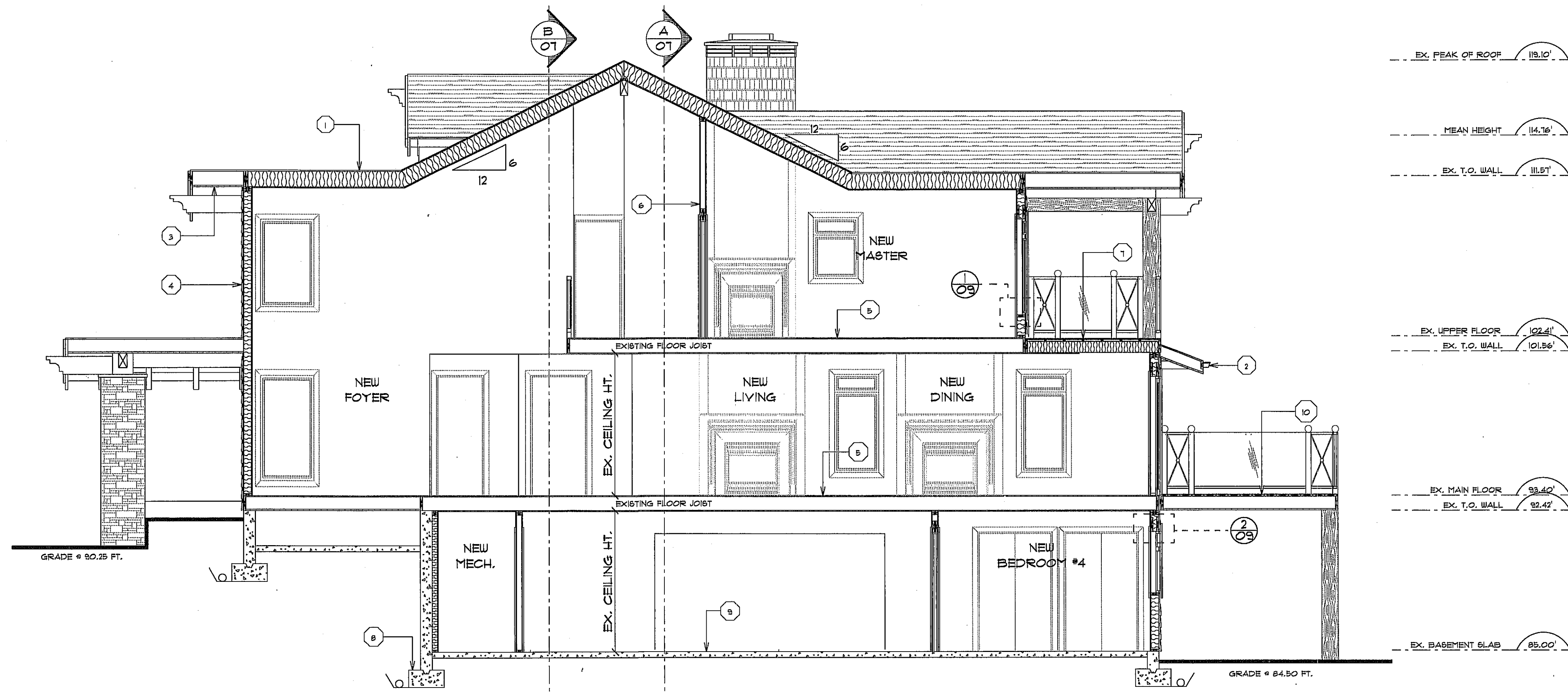
PROJECT/DRAWING NO.:
R11141
SCALE: 1/4"=1'-0"
UNLESS NOTED
DATE: April 26, 2012

PROJECT:
GRAU RESIDENCE
4710 SOUTH PICCADILLY ROAD
WEST VANCOUVER, B.C.
TITLE:
SECTIONS

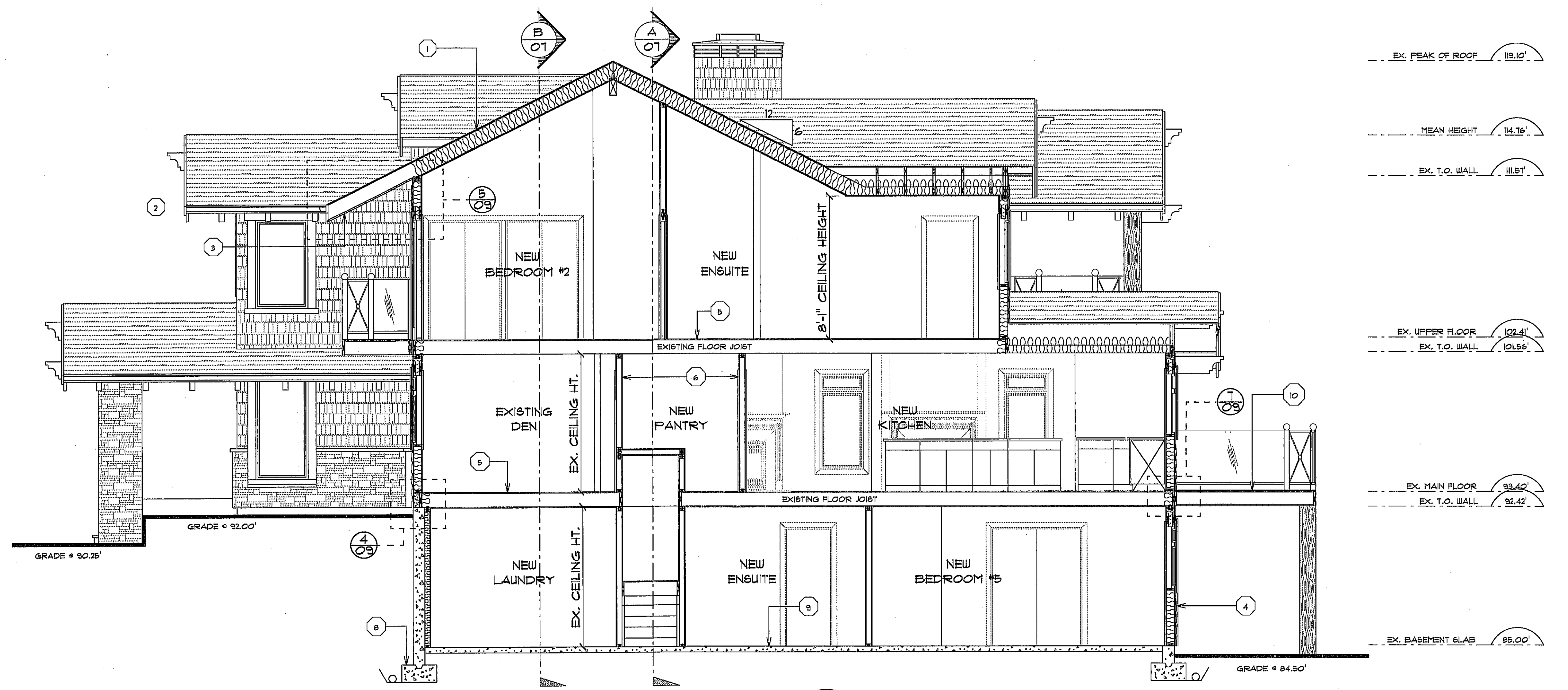
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WEST VANCOUVER, B.C.
604-513-0103
E-MAIL: info@newhomedesign.com

RJMM DESIGN LTD



SECTION C
SCALE: 1/4" = 1'-0"
02-03-04-05
06-07-08



SECTION D
SCALE: 1/4" = 1'-0"
02-03-04-05
06-07-08

MATERIAL LEGEND

- 1** ASPHALT SHINGLE ROOF
 - ASPHALT SHINGLES
 - 30 MIN. BUILDING PAPER UNDERLAYMENT
 - 1/2" SHEATHING
 - TRUSSES @ 24" O.C. AS PER MANUFACTURER
 - R40 BATT INSULATION
 - 6 MIL. POLY VAPOUR BARRIER
 - 5/8" CEILING BOARD
- 2** FASCIA
 - 5" PRE-FINISHED ALUM. GUTTER
 - 2x6 FASCIA BOARD
 - 2x12 BARGE BOARD
 - GABLE ENDS ONLY
- 3** SOFFIT
 - T&G CEDAR OR VINYL
 - 1 1/2" CONT. VENT STRIP C/W SCREEN
- 4** EXTERIOR WALL ASSEMBLY
 - SIDING AS PER ELEVATIONS
 - 1/2" STRAPPING @ 16" O.C. OR WALL SLICKER (RAIN&SCREEN)
 - 2 LAYERS 30 MIN. BUILDING PAPER
 - 1/2" PLYWD. SHEATHING OR 5/8" SHIFLAP SHEATHING
 - OR 5/16" O.S.B. SHEATHING
 - 2x6 STUDS @ 16" O.C.
 - R20 BATT INSULATION
 - 6 MIL. POLY VAPOUR BARRIER
 - 1/2" G.W.B.
- 5** FLOOR SYSTEM
 - 3/4" T&G PLYWD. SHEATHING SUBFLOOR
 - T.J.I. FLOOR JOISTS AS PER ENGINEER
 - 5/8" CEILING BOARD
 - R20 BATT INSULATION WHERE REQUIRED
- 6** INTERIOR PARTITION ASSEMBLY
 - 1/2" G.W.B.
 - 2x4 STUDS @ 16" O.C.
 - 1/2" G.W.B.
- 7** DECK OVER LIVING SPACE
 - APPROVED MEMBRANE OR TORCH-ON
 - 3/4" PLYWD., SLOPE TO DRAIN
 - 2x4 ON FLAT STRAPPING
 - 2x8 JOISTS AS PER ENG.
 - R20 BATT INSULATION
 - 6 MIL. POLY VAPOUR BARRIER
 - 5/8" CEILING BOARD
 - STRAPPING NOT REQUIRED IF SPRAY FOAM INSULATION IS USED
- 8** FOUNDATION WALL ASSEMBLY
 - 2 COATS DAMP PROOFING
 - 8" CONC. FOUNDATION WALL
 - FOOTINGS ON SOLID BEARING AS PER ENG.
 - 4" PERFORATED P.V.C. PERIMETER DRAIN
 - 6" MIN. DRAIN ROCK COVER
- 9** CONCRETE SLAB ASSEMBLY
 - 4" FOUED CONC.
 - REBAR W.W.F. AS PER ENG.
 - 6 MIL. POLY VAPOUR BARRIER
 - 5" MIN. COMPACT SAND
- 10** EXTERIOR DECKS
 - 30 MIL. VINYL ROOF DECK MEMBRANE
 - 3/4" T&G FIR PLYWD. FLOOR SHEATHING
 - WEDGE TO SLOPE 1:50
 - VENT 1:500

CLIENT REVISION SEE PROJ.BIN. 03	24/04/12
CLIENT REVISION SEE PROJ.BIN. 02	30/03/12
CLIENT REVISION SEE PROJ.BIN. 01	04/01/12
BUILDING PERMIT	16/08/11
CLIENT REVISION	09/02/11
ISSUED FOR	DD/MM/YY
REVISIONS	DATE
DRAWN BY: C.D.	CHECKED BY: J.R.
PROJECT/DRAWING NO.: R11141	SCALE: 1/4"=1'0"
PROJECT: GRAU RESIDENCE 4710 SOUTH PICCADILLY ROAD WEST VANCOUVER, B.C.	UNLESS NOTED DATE: April 26, 2012
TITLE: SECTIONS	
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