

JUL 24 2014

THE CORPORATION OF THE DISTRICT
OF WEST VANCOUVER
PLANNING, LAND DEVELOPMENT & PERMITS

SHEET NO.:

A104

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

FILE ADDRESS: DATE LAST REVISED: 25/07/12

REV. NO.:

REVISED JUL 2 4 2014

PROJECT TITLE:

HODGSON DESIGN ASSOCIATES

District of West Vancouver Permits Dept.

> MAIN LEVEL PLAN SHEET TITLES 4733 PICCADILLY SOUTH WEST VANCOUVER B.C.

JOB NO.: DATE: SCALE: July 25,2012 1/4"= 11:0"

CHECKED BY: DRAWN BY: BS

1 JULY 26, 2012 CAULFIELD PERMIT REVIEW
2 SEPT. 13, 2012 CAULFIELD PERMIT REVIEW
3 OCT. 18, 2012 ALTEANTON PERMIT REVIEW
4 FEB. 18, 2013 ISSUED FOR BULDING PERMIT
5 MAY 5, 2013 REVISION STRUCTURE AT R.O.W.,
6 SEPT. 27, 2013 COLLIMIN REVISION
7 JULY 18, 2014 ISSUED FOR BP REVISION

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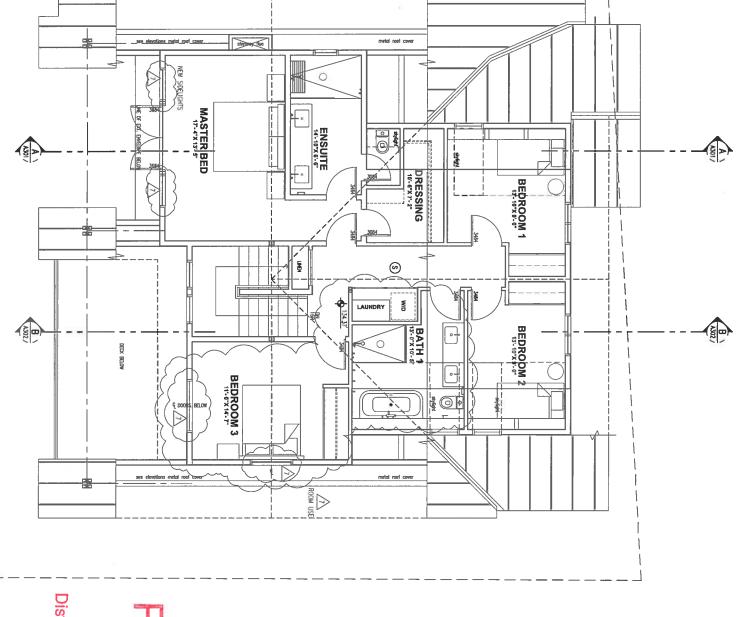
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UPPER LEVEL Area = 1,096.887 SF

EXISTING FLOOR AREA: 963.53 SF. +133.357SF



1 JULY 26, 2012 CAULFIELD PERMIT REVIEW
2 SEPT, 13, 2012 CAULFIELD DELAUIT REVIEW
3 OCT, 18, 2012 ALTERATION PERMIT REVIEW
4 FEB 18, 2013 ISSUED FOR BUILDING PERMIT
5 MAY 5, 2013 REVISION STRUCTURE AT R.O.W.
6 SEPT, 27, 2013 COLUMN REVISION
7 JULY 18, 2014 ISSUED FOR BP REVISION

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REVISIONS

REVISED JUL 2 4 2014

District of West Vancouver Permits Dept.

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THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER PLANNING, LAND DEVELOPMENT & PERMITS JUL 2 4 2014

PROJECT TITLE:

HODGSON DESIGN ASSOCIATES

4733 PICCADILLY SOUTH WEST VANCOUVER B.C.

UPPER LEVEL PLAN SHEET TITLE:

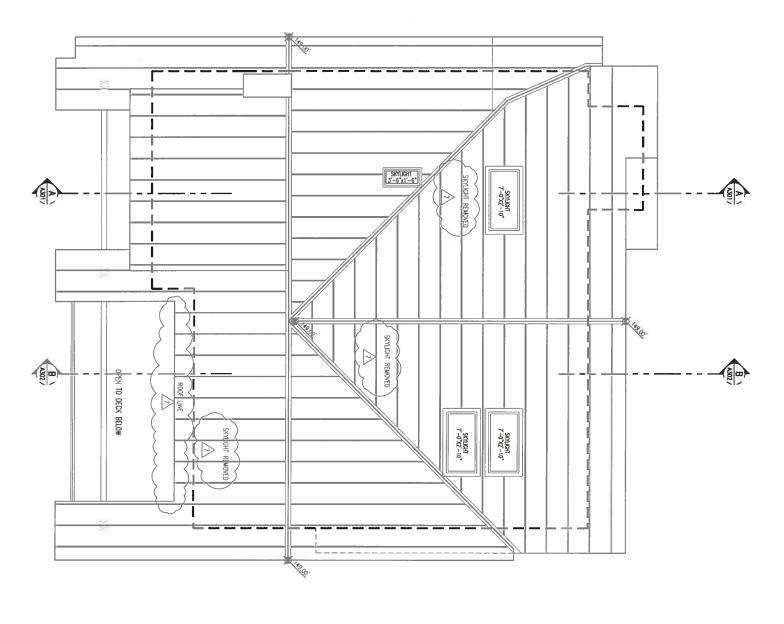
DRAWN BY: JOB NO.: DATE: SCALE: July 25, 2012 SB 1/4"= 1'-0"

SHEET NO.: REV. NO.: NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

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FILE ADDRESS:
DATE LAST REVISED: 25/07/12

A105



1 JULY 28 2012 CAULFIELD PERMIT REVIEW
2 SEPT, 13, 2012 CAULFIELD PERMIT REVIEW
3 OCT. 18, 2012 ATTEATION PERMIT REVIEW
4 FEB. 18, 2013 ISSUED FOR BUILDING PERMIT
5 MAY 5, 2013 REVISION STRUCTURE AT R.O.W.
6 SEPT, 27, 2013 COLUMN REPUSION
7 JULY 18, 2014 ISSUED FOR BP REVISION

District of West Vancouver Permits Dept.

ROOF PLAN

SHEET TITLE:

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THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER PLANNING, LAND DEVELOPMENT & PERMITS

PROJECT TITLE: HODGSON DESIGN ASSOCIATES

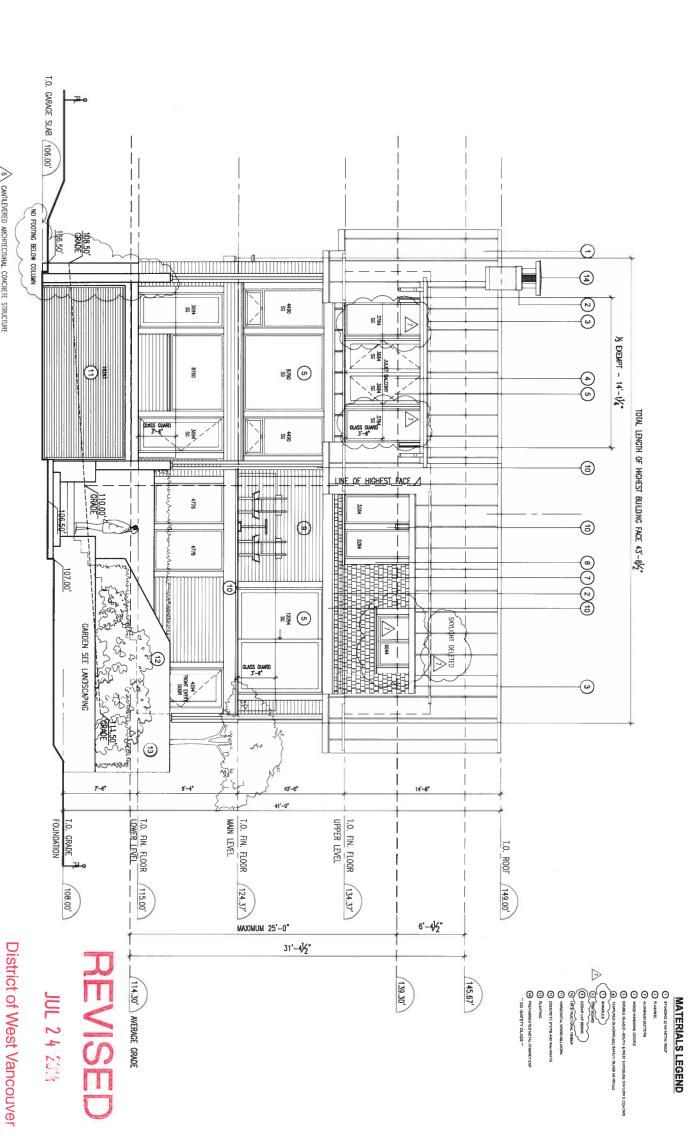
4733 PICCADILLY SOUTH WEST VANCOUVER B.C.

JOB NO.: DATE: SCALE: REV. NO.: DRAWN BY: CHECKED BY: July 25, 2012 1/4°= 1'-0" SB

SHEET NO :

FILE ADDRESS: DATE LAST REVISED: 25/07/12 A106

NOTE: THIS DRAWBYG SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER:



1 JULY 26, 2012 CAULFIELD PERMIT REVIEW
2 SEPT. 13, 2012 CAULFIELD PERMIT REVIEW
3 OCT. 18, 2012 AUTENTION PERMIT REVIEW
4 FEB. 18, 2013 ISSUED FOR BUILDING PERMIT
5 MAY 5, 2013 REVISION STRUCTURE AT R.O.W.
6 SEPT. 27, 2013 COLUMNA REVISION
7 JULY 18, 2014 ISSUED FOR BP REVISION

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THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER PLANNING, LAND DEVELOPMENT & PERMITS

FILE ADDRESS: DATE LAST REVISED: 25/07/12

JOB NO: DRAWN BY: SCALE: 88 1/4"= 1:0" July 25, 2012

SOUTH ELEVATION SHEET TITLE: 4733 PICCADILLY SOUTH WEST VANCOUVER B.C.

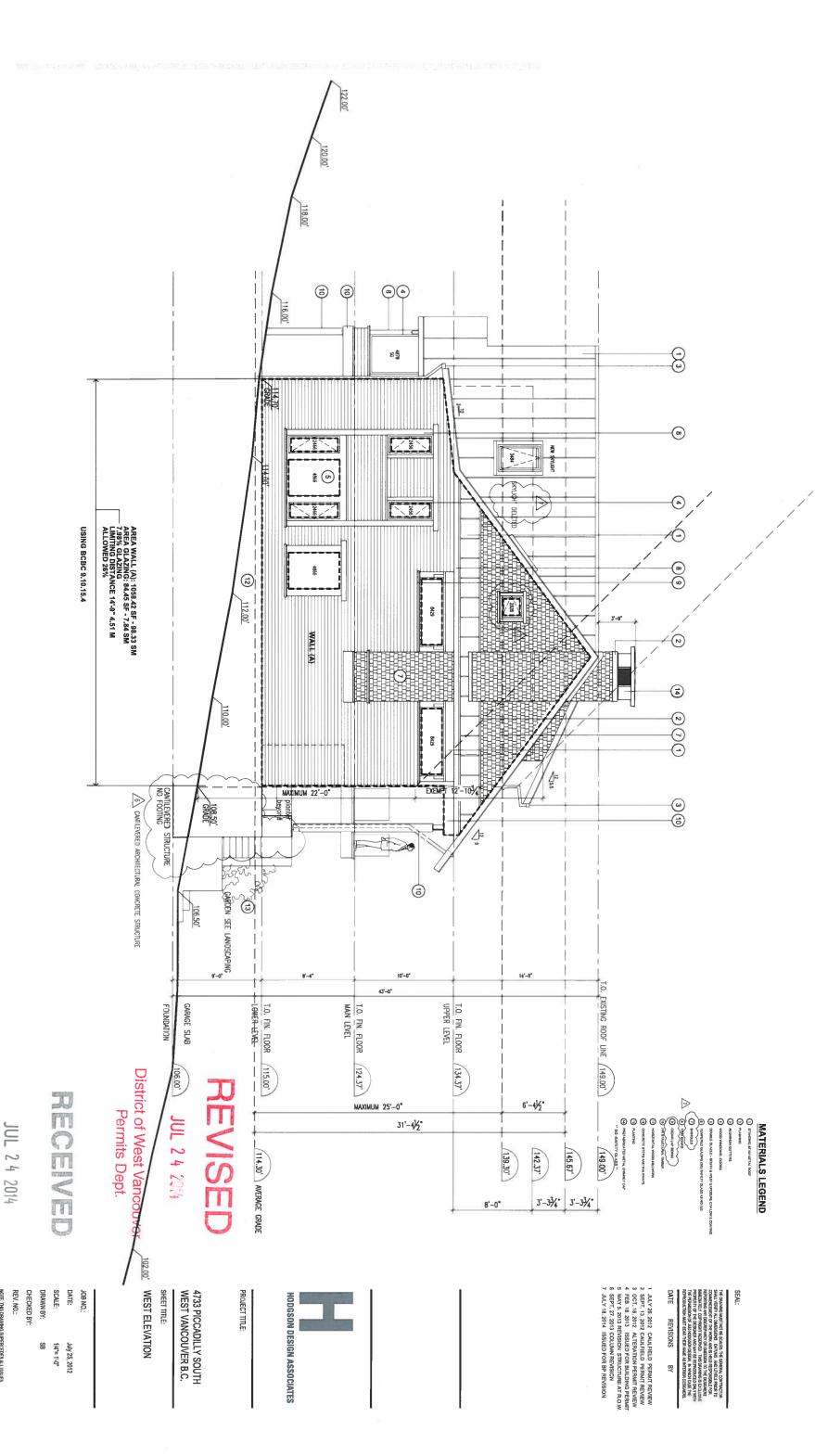
PROJECT TITLE:

HODGSON DESIGN ASSOCIATES

Permits Dept.

6 CANTILEVERED ARCHITECTURAL CONCRETE STRUCTURE

SHEET NO.: REV. NO.: NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.



THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER PLANNING, LAND DEVELOPMENT & PERMITS

FILE ADDRESS: DATE LAST REVISED: 25/07/12

SHEET NO .: A202

REV. NO.:

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

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UPPER LEVEL MAIN LEVEL T.O. ROOF MATERIALS LEGEND

Of the service of 115.00 134.37 124.37 (149.00') 6'-41/2" MAXIMUM 25'-0" 31'-41/2" 139.30' 145.67 114.30' AVERAGE GRADE

1 JULY 26, 2012 CAULFIELD PERMIT REVIEW
2 SEPT. 13, 2012 CAULFIELD PERMIT REVIEW
3 OCT. 16, 2012 ALTENATION PERMIT REVIEW
4 FEB. 16, 2013 ISSUED FOR BUILDING PERMIT
5 MAY 5, 2013 REVISION STRUCTURE AT R.O.W.
6 SEPT. 27, 2013 COLUMN REVISION
7 JULY 18, 2014 ISSUED FOR BP REVISION

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Permits Dept

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CHECKED BY:

SHEET NO.:

4733 PICCADILLY SOUTH WEST VANCOUVER B.C. PROJECT TITLE:

HODGSON DESIGN ASSOCIATES

SHEET TITLE:

NORTH ELEVATION

JOB NO.: SCALE: July 25, 2012 1/4"= 1"-0"

DRAWN BY: SB

A203

FILE ADDRESS: DATE LAST REVISED: 25/07/12

3'-3¾" 3'-3¾" 8'-0" (114.30') (139.30' 142.37 145,67 149.00 31'-4/2" 6'-41/2" MAXIMUM 25'-0" AVERAGE GRADE (115.00') / 149.00' T.O. EXISTING ROOF LINE (124.37') FRONT YARD SEE LANDSCAPING UPPER LEVEL MAIN LEVEL (3) (1) (2) (1) GRADE AT HIGHEST FACE 0 **(a)** (9) (O) USING BCBC 9.10.15.4 AREA WALL (A): 840.33 SF - 78.07 SM AREA GLAZING: 62.88 SF - 5.84 SM 7.48% GLAZING LIMITING DISTANCE 13'-8" 4.15 M ALLOWED 23% WALL-(A) 120 Æ 2 72107 SS ¥ . 88.88 \odot District of West Various MOMINTO Permits Deur MATERIALS LEGEND

O PROMPT REWITH ROOF

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O PROM D JUL 2 4 124.00'

THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER PLANNING, LAND DEVELOPMENT & PERMITS

SHEET NO.:

A204

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

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PILE ADDRESS: DATE LAST REVISED: 25/07/12

EAST ELEVATION SHEET TITLE:

4733 PICCADILLY SOUTH WEST VANCOUVER B.C.

PROJECT TITLE:

HODGSON DESIGN ASSOCIATES

JOB NO.: DATE: SCALE: DRAWN BY: July 25, 2012 SB 1/4°= 1'-0°

1 JULY 26, 2012 CAULFIELD PERMIT REVIEW
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104.00 3'-3¾" 3'-33/4" 114.30' (139.30) (142,37') 145.67 149.00 6'-41/2" MAXIMUM 25'-0" (124.37') (134.37) 149.00'\T.O. EXISTING ROOF UNE FRONT YARD SEE LANDSCAPING MAIN LEVEL UPPER LEVEL CLASS CLAND ¥ * CRAWL SPACE 沙屋 WALL TYPES DINING ROOM ROCK 5568 5568 5568 ACTION OF THE PROPERTY OF THE 3'-2° [22] THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER PLANNING, LAND DEVELOPMENT & PERMITS RECEIVED THE LOSS OF THE STREET OF THE FLOOR TYPES

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Permits Dept. REVISED FOR CONTRACTOR

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FILE ADDRESS: DATE LAST REVISED: 04/02/13