



District of West Vancouver

Heritage Revitalization Agreement Bylaw No. 4813, 2015 (2055 Queens Avenue)

Effective Date: May 11, 2015

District of West Vancouver

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District of West Vancouver

Heritage Revitalization Agreement Bylaw No. 4813, 2015 (2055 Queens Avenue)

A bylaw to enter into a Heritage Revitalization Agreement (2055 Queens Avenue)

WHEREAS the property at 2055 Queens Avenue known as the Toby House is recorded in the District's Community Heritage Register and has heritage value; and

WHEREAS the District of West Vancouver and the Owner of the property at 2055 Queens Avenue wish to enter into a Heritage Revitalization Agreement in respect of the property to ensure conservation of the property;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

1.1 This bylaw may be cited as "Heritage Revitalization Agreement Bylaw No. 4813, 2015 (2055 Queens Avenue)".

Part 2 Severability

2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Heritage Revitalization Agreement

3.1 The Mayor and Municipal Clerk are authorized to sign and seal on behalf of the District the Heritage Revitalization Agreement attached to this bylaw as Schedule 'A'.

Schedules

Schedule A – Heritage Revitalization Agreement for 2055 Queens Avenue (Toby House)

READ A FIRST TIME on March 2, 2015

PUBLICATION OF NOTICE OF PUBLIC HEARING on April 5 and 8, 2015

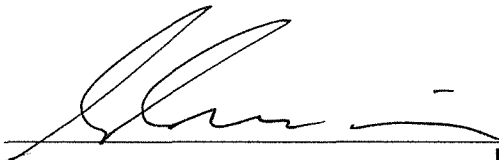
PUBLIC HEARING HELD on April 13, 2015

READ A SECOND TIME on April 13, 2015


READ A THIRD TIME on April 13, 2015

APPROVED by the Minister responsible for the administration of the
Transportation Act on April 27, 2015

ADOPTED by the Council on May 11, 2015



Mayor



Municipal Clerk

Schedule A
to Bylaw No. 4813, 2015
Heritage Revitalization Agreement for
2055 Queens Avenue (Toby House)

THIS AGREEMENT dated as of the ___ day of ___, 2015

BETWEEN:

THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER, a
municipal corporation having offices at 750 – 17th Street, West Vancouver,
British Columbia, V7V 3T3

(the “District”)

AND:

VLAHOS HOLDINGS LTD., Post Office Box 1184, Jasper, AB T0E 1E0

(the “Owner”)

WHEREAS:

- A. The District may, by bylaw, enter into a Heritage Revitalization Agreement with the Owner of property identified as having heritage value, pursuant to Section 966 of the *Local Government Act*; and
- B. The Owner owns certain real property on the easterly portion of which is situated a building of heritage value known as the Toby House, listed on the Community Heritage Register, which property and building are located at 2055 Queens Avenue, West Vancouver, British Columbia, and legally described as Lot F District Lot 1091 Plan 11018 (the “Heritage Lands”); and
- C. The Owner has presented to the District a proposal for the use, development and conservation of the Heritage Lands that would change the density of use of the Heritage Lands, and has voluntarily and without any requirement by the District, entered into this Agreement pursuant to Section 966 of the *Local Government Act*; and
- D. The Heritage Lands are subject to Section 52 of the *Transportation Act* and the Minister responsible for the administration of the *Transportation Act* has approved the bylaw authorizing this Agreement; and

- E. The District must hold a Public Hearing before entering into, or amending, a Heritage Revitalization Agreement if the Agreement or amendment would permit a change to the use or density of use of the Heritage Lands that is not otherwise authorized by the applicable zoning, and the District has held a Public Hearing on this Agreement; and
- F. The Council of the District has, concurrently with the adoption of the bylaw authorizing the execution of this Agreement, adopted a bylaw pursuant to Section 967 of the *Local Government Act* designating the Toby House as protected heritage property (the "Heritage Designation Bylaw"); and
- G. The Council of the District has authorized the issuance of a development permit that enables the Owner to make an application to subdivide the Heritage Lands into two developable lots, being Lot A for the retention of the Toby House and Lot B for the development of an additional residential dwelling, in accordance with the proposed plan of subdivision attached to this Agreement as Appendix A (the "Development Permit");

NOW THEREFORE in consideration of the mutual promises contained in this Agreement and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

1.0 Conservation of Heritage Lands

- 1.1 The Owner agrees to conserve, protect, and maintain the Heritage Lands in accordance with this Agreement, including the Conservation Plan in Appendix B to this Agreement, and in accordance with Heritage Maintenance Bylaw No. 4187, 1999 as amended or replaced from time to time, and in the event of any inconsistency this Agreement shall prevail.
- 1.2 Without limiting the generality of Section 1.1, the Owner agrees not to do any of the following without the prior written approval of the District in the form of a Heritage Alteration Permit:
 - (a) make any interior or exterior structural alteration to the Toby House;
 - (b) replace the brick or wood siding or soffit finishes on the exterior of the Toby House, except with materials of like composition and colour;
 - (c) alter the appearance of the exposed wood beams whether on the exterior or in the interior of the Toby House, except to renew the existing finishes;
 - (d) replace any window or door of the Toby House except with a window or door replicating the original, provided that new

- windows may differ from original windows to improve their thermal performance;
- (e) replace the roofing of the Toby House except with tar and gravel roofing;
 - (f) alter brick fireplaces or chimneys in the Toby House except to replace unserviceable bricks or mortar with materials of like composition and colour;
 - (g) alter or replace the ornamental wall screening the carport on the south side of the Toby House;
 - (h) alter the open stair in the interior of the Toby House except to replace treads or railing elements with like materials;
 - (i) alter or enlarge the wooden decks attached to the Toby House, except to replace decking and structural members with like materials or to improve structural support;
 - (j) alter or remove landscape features on the Heritage Lands including stone steps and pathways and mature trees and plants including cedars, weeping willows, rhododendrons, ferns, mosses, and salal.
- 1.3 The Owner acknowledges that the District may refuse to issue a Heritage Alteration Permit required by Section 1.2 if, in its sole discretion, the District considers that the alteration that the permit would authorize is inconsistent with this Agreement or the Heritage Designation Bylaw, and without limiting the generality of the foregoing the District may refuse to authorize the alteration of any of the character-defining elements set out on Page 7 of the Conservation Plan.
- 1.4 If the Owner fails within the time specified in the notice to conserve, protect or maintain the Heritage Lands in accordance with this Agreement after having been given notice in writing to do so, which notice must specify the work that the Owner is required to undertake, the Owner agrees that the District may enter on the Heritage Lands to carry out the work, and may recover the cost of doing so from the Owner in the same manner and with the same remedies as taxes in arrears.
- 1.5 In the event of any dispute between the Owner and the District as to the necessity for any work required by the District pursuant to Section 1.4, the parties agree that the dispute will be resolved by a member of the Architectural Institute of British Columbia with training and experience in heritage conservation who has been chosen by the parties or, failing agreement between the parties, by the Architectural Institute of B.C., and that the fees of the architect

shall be borne by the Owner if the dispute is resolved in the District's favour and by the District if the dispute is resolved in the Owner's favour.

- 1.6 The Heritage Lands may, notwithstanding the provisions of the RS 3 Single Family Dwelling Zone 3 in District of West Vancouver Zoning Bylaw No. 4662, 2010, be used for and developed in the following manner, and in accordance with the further provisions of this Agreement:
 - (a) the Toby House shall remain on Lot A and may notwithstanding Section 1.1 be enlarged and altered in accordance with the architectural plans attached as Appendix C to this Agreement; and
 - (b) a new single-family dwelling ("Hill House") may be built on Lot B in accordance with the architectural plans attached as Appendix D to this Agreement.
- 1.7 The parties agree that the Owner may apply for and the District may in its sole discretion issue development and building permits that include minor variances from Appendices C and D, provided that any variance from Appendix C does not alter the character-defining elements of the Toby House as described in Appendix B, and that any variance from Appendix D does not interfere with the overall appearance of the Toby House or increase the total floor area or height of the Hill House.
- 1.8 The Owner agrees that the District may withhold any development permit, building permit, or occupancy permit in respect of the Toby House if the construction of the addition to the building is not in accordance with Appendix C and in respect of Hill House if the construction of Hill House is not in accordance with Appendix D, notwithstanding that the construction may be in compliance with the Building Code, the Zoning Bylaw and any applicable development permit or development permit guidelines.
- 1.9 The parties agree that, except as varied or supplemented by the provisions of this Agreement, all bylaws and regulations of the District and all laws of any authority having jurisdiction shall continue to apply to the Heritage Lands, the Toby House and Hill House.
- 1.10 The Owner agrees that the Development Permit and the zoning bylaw variances provided under this Agreement fully compensate the Owner for any reduction in the market value of the Heritage

Lands that may result from the adoption of the Heritage Designation Bylaw, and waives absolutely all claims for compensation that the Owner is otherwise entitled to make under Section 969 of the *Local Government Act* in respect of the adoption of the Heritage Designation Bylaw.

2.0 Zoning Bylaw Variances

2.1 The following variances to Zoning Bylaw No. 4662, 2010 are granted through this Agreement to enable an addition to the Toby House and the construction of Hill House in accordance with Appendices C and D respectively, and for those purposes only:

- (a) Lot 'A' (Toby House):
 - (i) Section 130.01(3)(b) (Accessory Building Height) is varied to allow the proposed accessory building to be a maximum height of 4.8 metres;
 - (ii) Section 203.04 (Site Width) is varied to allow Lot 'A' to be a minimum width of 22.2m.
 - (iii) Section 203.08 is varied to allow a minimum rear yard of 6.3 metres; and
 - (iv) Section 203.09(2) (a) (ii) is varied to allow a minimum side yard of 0.6 metres adjacent to the proposed deck; and 0.9 metres adjacent to the main floor deck of the Toby House.
- (b) Lot 'B' (proposed new house):
 - (i) Section 203.09 is varied to allow a minimum side yard of 1.1 metres, except for the basement level, where the minimum side yard is reduced to 0.2 metres;
 - (ii) Section 203.12 is varied to allow the Highest Building Face Envelope to be 10m in height.
 - (iii) Section 120.22(4) is varied to allow retaining walls of up to 3 metres in height adjacent to the Hill House and driveway.

3.0 Damage or Destruction

- 3.1 In the event that the Toby House is damaged by fire, earthquake, or any other cause, such that in the written opinion of a member of the Architectural Institute of British Columbia with training and experience in heritage conservation engaged and instructed by the District it is not possible or appropriate from a heritage conservation perspective to repair it, the Owner must construct on Lot A at the Owner's cost a replica of the Toby House in accordance with the original plans and specifications for the building, as modified by Appendix C if the Owner has by that time altered or commenced to alter the Toby House in accordance with Appendix C, and subject only to such variations from the original plans and specifications as are required to comply with the current Building Code. Thereafter the provisions of this Agreement pertaining to the conservation, protection and maintenance of the Toby House, including this provision, shall apply to the replica of the Toby House.
- 3.2 As an alternative to constructing a replica of the Toby House in the event of such damage, the owner may develop Lot A in accordance with the then current zoning regulations of the District, provided that no residential dwelling constructed on the lot shall have a floor area exceeding 301.7 square metres (3,248 square feet) in total, including basement and garage areas.
- 3.3 In the event that the Toby House is damaged, the Owner must repair the Toby House, within one year of the date of damage, after having obtained a Heritage Alteration Permit and a building permit, and must carry out all repairs in accordance with Appendix B. Section 1.4 shall apply in the event of any failure of the Owner to repair the Toby House in accordance with this Section.

4.0 Amendment

- 4.1 The parties acknowledge and agree that this agreement may only be amended by bylaw with the consent of the owner, provided that a Public Hearing shall be held if an amendment would permit a change to use or density of use of the Heritage Lands.

5.0 Representations

- 5.1 It is mutually understood and agreed upon between the parties that the District has made no representations, covenants, warranties, promises or agreements expressed or implied, other than those expressly contained in this Agreement.

6.0 Statutory Functions

- 6.1 Except as expressly varied or supplemented herein, this Agreement shall not prejudice or affect the rights and powers of the District or its approving officer in the exercise of their statutory functions and responsibilities and their rights and powers under any enactments, bylaws, order or regulations, including but not limited to the *Local Government Act* and the *Land Title Act*, all of which, except as expressly varied or supplemented herein, are applicable to the Heritage Lands, the Toby House and Hill House.
- 6.2 The Owner acknowledges that the subdivision of the Heritage Lands is subject to the jurisdiction of the District's approving officer, that the construction of or alteration of a building on any portion of the Heritage Lands requires both development permits and building permits, and that the District may impose off-site works and services requirements and development cost charges in respect of the subdivision and development of the Heritage Lands.

7.0 Enurement

- 7.1 This Agreement enures to the benefit of and is binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.
- 7.2 The District shall file a notice with the Land Title Office, as provided for in Section 966 of the Local Government Act, and upon registration of such notice, this Agreement and any amendment to it shall be binding on all persons who acquire an interest in the land affected by the Agreement.

8.0 Other Documents

- 8.1 The Owner agrees at the request of the District, to execute and deliver or cause to be executed and delivered all such further agreements, documents and instruments and to do and perform or cause to be done and performed all such acts and things as may be required in the opinion of the District to give full effect to the intent of this Agreement.

9.0 Notices

- 9.1 Any notice required to be given pursuant to this Agreement shall be in writing and shall be delivered mailed by registered mail as follows:

(a) To the District:

District of West Vancouver
750 – 17th Street
West Vancouver BC V7V 3T3
Attention: Manager of Legislative Services / Municipal Clerk

(b) To the Owner:

Vlahos Holdings Ltd.
PO Box 1184
Jasper AB T0E 1E0

10.0 No Partnership or Agency

10.1 The parties agree that nothing contained in this Agreement creates a relationship between the parties of partnership, joint venture or agency.

APPENDICES:

- A. Proposed Plan of Subdivision of Lot F District Lot 1091 Plan 11018 (2055 Queens Avenue)
- B. Conservation Plan for Toby House prepared by Donald Luxton & Associates, June 2010
- C. Architectural Drawings for Proposed Addition and Renovations to “Toby House” by Wensley Architecture, dated February 11, 2015
- D. Architectural Drawings for Proposed “Hill House” by Wensley Architecture, dated February 11, 2015
- E. Landscaping Plans prepared by Durante Kreuk Ltd dated September 12, 2012

VLAHOS HOLDINGS LTD.

By its authorized signatory(ies):

CORPORATION OF THE DISTRICT OF WEST VANCOUVER

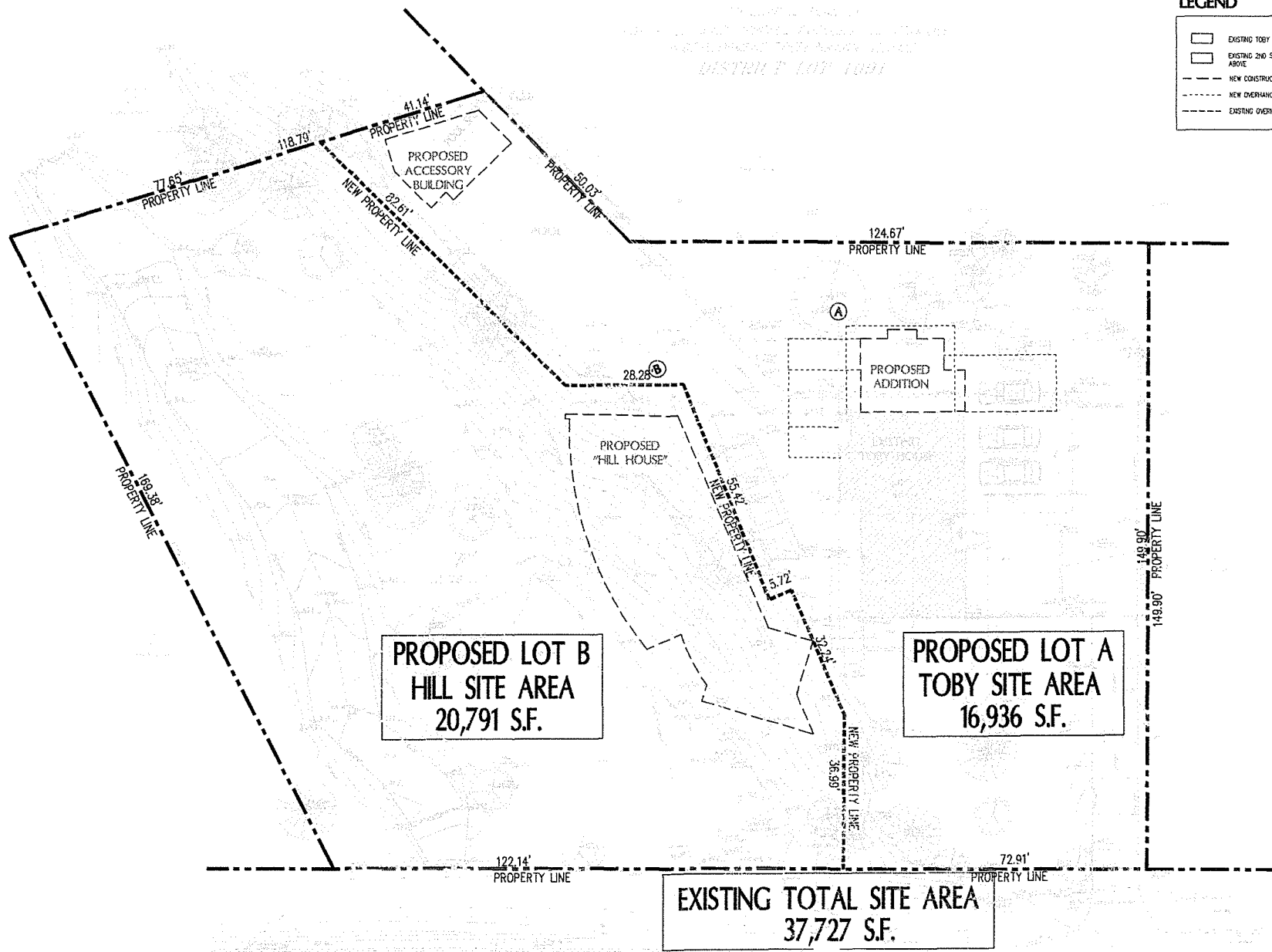
By its authorized signatories:

2055 QUEENS AVENUE
 DISTRICT LOT 1091

LEGEND

- EXISTING TOBY HOUSE
- EXISTING 2ND STOREY ABOVE
- NEW CONSTRUCTION
- NEW OVERHANGS
- EXISTING OVERHANGS

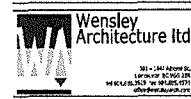
COPYRIGHT RESERVED. ALL PARTS OF THIS DRAWING ARE THE EXCLUSIVE PROPERTY OF WENSLEY ARCHITECTURE LTD. AND SHALL NOT BE USED WITHOUT THE WRITTEN PERMISSION. ALL DIMENSIONS SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH THE WORK.



NO.	REVISION	DATE
1	RE-EGGED FOR DEVELOPMENT PERMIT	11/23/16
2	RE-EGGED FOR DEVELOPMENT PERMIT	11/09/17
3	RE-EGGED FOR DEVELOPMENT PERMIT	03/14/18
4	EGGED FOR DEVELOPMENT PERMIT	02/26/17
5	REVISION	10/27/17

PROPOSED TOBY HOUSE ADDITION AND NEW HILL HOUSE

2055 QUEENS AVE.
 WEST VANCOUVER, B.C.



- CONTRACTS
- STRUCTURAL
- MECHANICAL
- ELECTRICAL
- LANDSCAPE

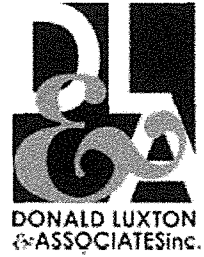
PROPOSED SUBDIVISION

PROJECT NO.	0909	DRAWN BY	AL
SCALE	3/32" = 1'-0"	REVIEW BY	GW
DATE	11/24/11	DATE	

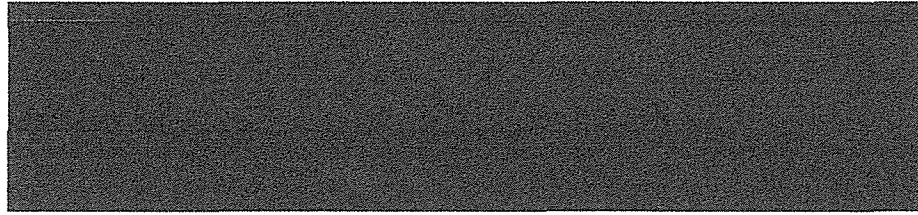


QUEENS AVENUE

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Subject Property: Toby Residence
2055 Queens Avenue
West Vancouver, British Columbia

Construction Date: 1962

Original Owner and Architect: Ray L. Toby

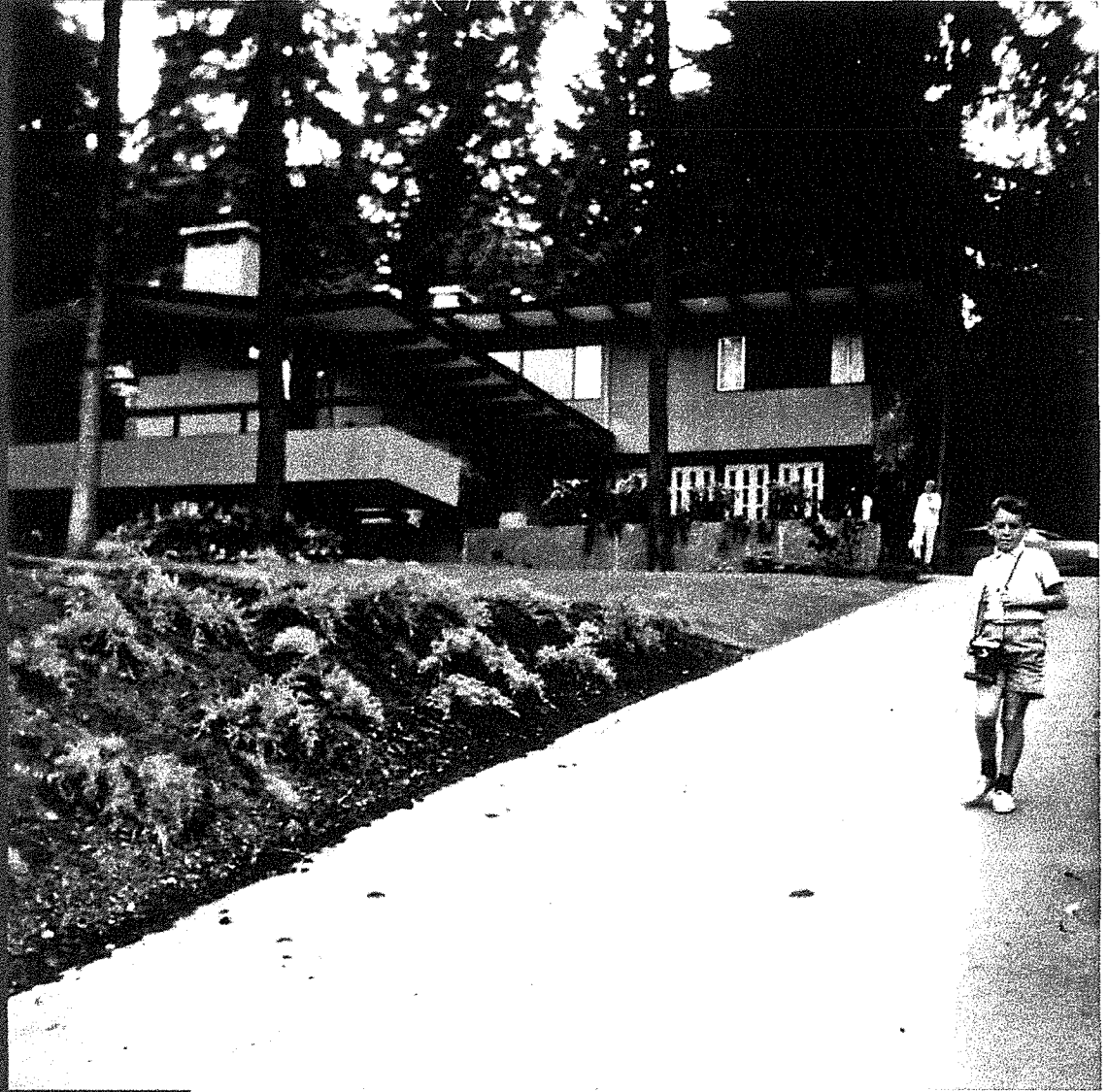
Historic Legal Description: Lot "F" of Portion of South-West
Quarter of District Lot 1091, Group 1,
New Westminster District

The Toby Residence is a two-storey house designed in the West Coast style by architect Ray L. Toby. He was among the young postwar generation of modern architects who developed the West Coast style in British Columbia. New architectural designs were adapted to accommodate local site conditions, particularly on the North Shore with its rocky terrain. This new style of building offered functional and simple solutions for the growing population in the Greater Vancouver region.

Toby was the first architect who used glue-laminated timber, also known as Glulam, for longer and curved beams in North Shore residential design. The application of engineered wood was an innovative structural solution, which allowed the efficient use of timber for contemporary architectural designs. This allowed wide-open interior spaces to be achieved that served multi-functional purposes. The Toby Residence was the first known use of glue-laminated beams in a residential context on the North Shore.

The 1962 Toby Residence and its surroundings remain in mostly original condition. The proposed heritage residential development for the Toby Residence and its property, prepared by Wensley Architecture Ltd., includes a subdivision of the lot, the preservation of the main characteristics of the house with an addition to the north, and construction of a new detached three-storey residential home on the subdivided lot to the west of the original house.

INTRODUCTION

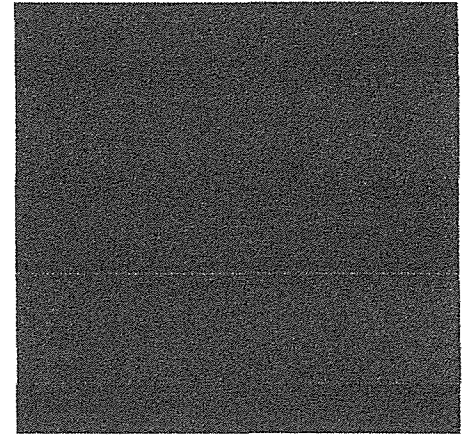


Toby Residence, view from west [photo courtesy Toby Family]

2 THE WEST COAST STYLE



Architect Ray Toby with family at main entrance [photo courtesy Toby Family]

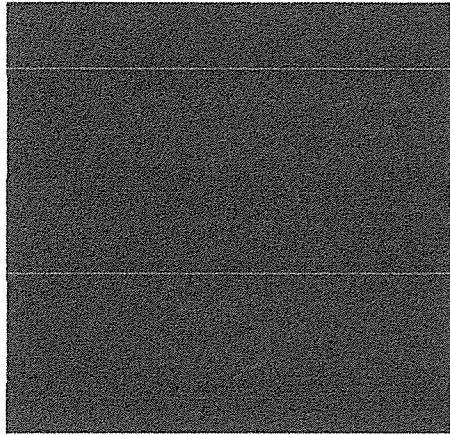


After 1945, the Greater Vancouver region became for approximately thirty years a centre of innovative residential designs in North America. Growing population and changes in lifestyle opened the door for new housing concepts, which were affordable for young families. Progressive and experimental architects developed the West Coast Style based on the principles of modern architecture: functionalism, simplicity, and flexibility.

Undeveloped and inexpensive land on the North Shore often comprised sloping and irregular sites with expansive views. Developing, and designing for such sites, offered a welcome opportunity for upcoming architects to experiment with new designs and building technology. Among the generation of emerging architects in the Greater Vancouver area were Ned Pratt (of Thompson, Berwick, Pratt), Arthur Erickson and Ron Thom, who designed publicized and award-winning homes.

The West Coast Style has several common features, which are also characteristic of the Toby Residence. The style responded to the rough topography and climate conditions of then "unbuildable" sites on the North Shore with expansive vistas over the ocean, native forests and mountain views. The entrance and parking were commonly placed facing the street to allow the living areas to open to private garden spaces at the rear.

The houses were designed in geometric forms with local and prefabricated materials used in modular fashion for cost-efficient construction. Modern materials of glass, steel, concrete, and new technology were used, often with cantilevered forms, ceiling-height fenestration and open floor plans.



Flat or low-pitched roofs were decked with asphalt roofing material, which replaced the traditional and increasingly expensive cedar shingles.

Walls were filled with modular windows and panels to create a rhythmic pattern of solid and voids. Natural light was considered a key design element in this new modern architecture. Floor-to-ceiling windows provided ample daylighting of the interior. The large window elements connected the interior and exterior spaces in an almost seamless fashion and provided easy access to outdoor decks and patios, which extended the living area.

Traditional floor plans were replaced with flexible, multi-functional layouts to serve a new, more informal lifestyle. Interior spaces were not decorated with ornate features; contrasting natural materials such as wood, brick and plaster were used to create interesting visual effects. In particular timber structural members, and in case of the Toby Residence modern Glulam beams, were exposed and often stained to provide contrast with light plaster surfaces. Interior and exterior spaces were integrated by creating lines of vision through transparent windows and doors to patios, private garden spaces, zones designed for special uses, and distant vistas. The arrangement of hedges, shrubbery and beds of low growing plants formed abstract geometrical patterns. These geometrical patterns reinforced the horizontal and vertical planes of the modern house.

The functional and simple design of the West Coast Style homes responded to a new lifestyle. Open plan layouts with flowing interior open spaces and extensive glazing allowed flexible uses and interaction with the surrounding, and often scenic landscape.



Toby Family on open patio with cantilevered deck [photo courtesy Toby Family]

3 STATEMENT OF SIGNIFICANCE

The Toby Residence, built in 1962, is valued for its West Coast architecture and the integrity of exterior and interior character-defining elements. It is listed on the District of West Vancouver's Community Heritage Register.



Description of Historic Place

The Toby Residence, located at 2055 Queens Avenue in West Vancouver, is a detached two-storey single-family dwelling, designed and constructed in the West Coast Style of architecture. It features an exterior cladding of vertical tongue-and-groove wooden siding on the upper storey and tan brick on the ground level. Located on a large residential lot with views to the south of Burrard Inlet, the Toby Residence is distinguished by its integration with the natural environment, its shallow sloped roof with wide flaring eaves and exposed glue-laminated roof beams.

Heritage Value of the Historic Place

The Toby Residence is valued as a creative and early representation of the West Coast Style in West Vancouver. Represented by its design innovation, use of natural materials, sensitive integration with the natural environment, and the expression of new architectural technologies, the West Coast Style was a prevalent style of architecture between 1945 and 1970 on the north shore of Burrard Inlet in both North and West Vancouver. Characterized by post-war optimism, the West Coast Style evolved from an era of prosperity and growth that followed the disruption of World War Two. Designed by architect Ray Toby in 1962 as his own family residence, this house features glue-laminated roof beams, the first known local residential use of engineered wood products. These manufactured beams allowed for longer spans and unique non-linear configurations. The interior of the Toby Residence features floor to ceiling windows, ceilings that follow the shallow curve of the roofline while exposing the glue-laminated beams, ribbon windows, and brickwork on both the exterior and interior.

Built on a large residential lot in a developing area of West Vancouver, the Toby Residence is significant for its integration with the natural environment of its site. The house was carefully planned to take advantage of natural surroundings that were left in place with minimal disruption. Located amongst mature cedars, rhododendrons, and weeping willows, with a creek running through the property, the Toby Residence blends into the natural environment and utilizes abundant natural daylight through

Family member in dining room with wood panelling [photo courtesy Toby Family]

its many large windows and clerestories. With south-facing views to the ocean and the dense surrounding mature vegetation, the Toby Residence is an urban retreat integrated with the natural environment.

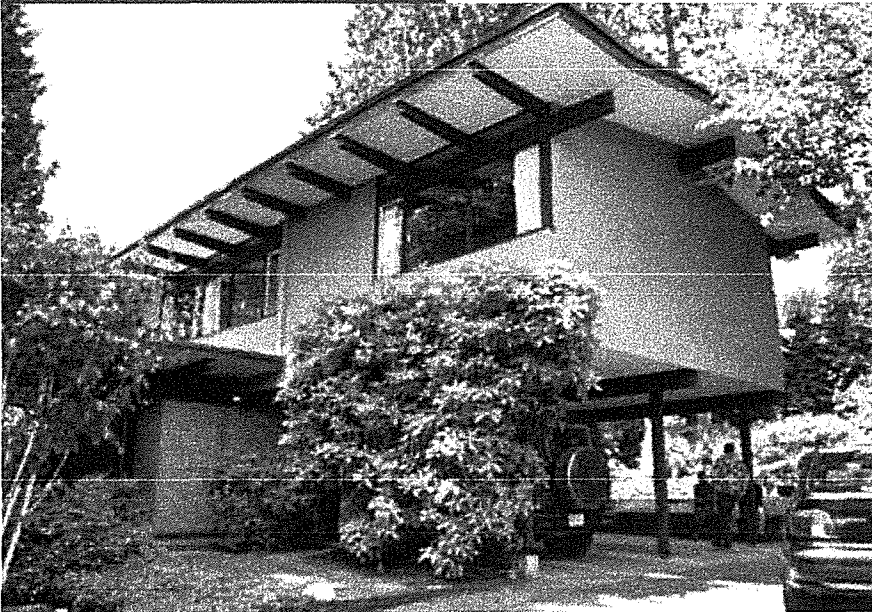
The Toby Residence is also valued for its association with prominent local architect Ray L. Toby. Part of the first graduating class of the University of British Columbia's School of Architecture program that began in 1945, Toby first worked for the prominent firm Semmens & Simpson before he became a partner in Toby, Russell & Buckwell, a Vancouver based architectural firm that continues to bear his name. In the design for his family home, Toby was able to experiment freely with texture, colour, materials, and open plan concepts.

Character-Defining Elements

Key elements that define the heritage character of the Toby Residence include its:

- setting amongst mature vegetation on a large lot, with views south to Burrard Inlet and the city of Vancouver;
- continuous residential use;
- residential form, scale and massing as expressed by its two-storey plus partial basement plan with shallow sloping rooflines, exposed glue-laminated roof beams, and horizontal, asymmetrical massing;
- West Coast Style architectural features such as: shallow sloping rooflines with wide flaring eaves; exposed glue-laminated wooden roof beams; solid brick walls on the main floor and brick veneer on the second floor, both in tan running bond brick; tan running bond brick chimney; vertical shiplap cedar siding cladding the upper storey; the wood posts of the east façade carport that support the second storey of the house; smooth interior wall surfaces; windows set flush with the outer wall plane; solid panel wooden front door; the use of local building materials; the relationship between the interior and exterior spaces; and the use of mature native trees and plants on the site;
- additional exterior architectural details such as the three patios, deck, and pool deck all with wooden plank flooring, and a carport located beneath the second storey of the east façade;
- windows such as: original large floor-to-ceiling wooden sash windows on the ground floor; three-part sash windows in the kitchen area; two- and three-part sash windows of the upper storey; plain, square windows of the east façade; narrow opaque glass sidelights at the front entryway; and clerestories above some walls, windows, and doorways;
- interior features such as its original running bond brick fireplace, exposed glue-laminated wood beams, and open floor plan with walls that stop short of the roofline; and
- landscape features such as the mature trees and plants including cedars, weeping willows, rhododendrons, ferns, mosses, and salal, and the stone steps and pathways that extend throughout the property.

4 DESCRIPTION OF THE HISTORIC SITE AND CONDITION ASSESSMENT



View of the south and east elevations

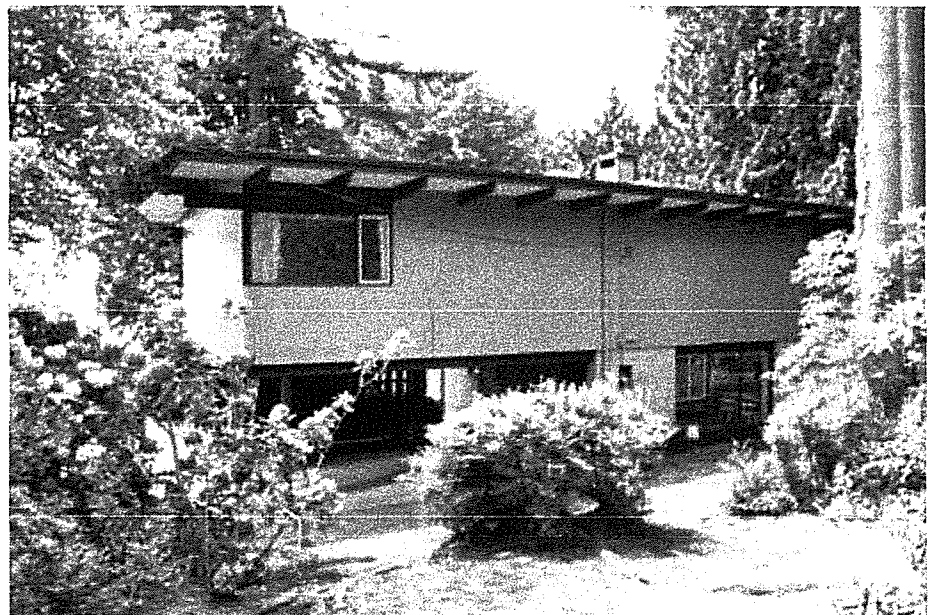
4.1 GENERAL DESCRIPTION

In 1962, the Toby Residence was built in a then undeveloped area on the periphery of central West Vancouver. The lot is irregular in shape with significant topographical changes in elevations and sloping hills. The mature vegetation is mostly native such as cedar trees, with a few introduced species including rhododendrons. There is a creek running on the west side of the lot.

The subject property is bordered by Queens Avenue to the south and has a paved driveway to the east that provides access to the Toby Residence, which is located at one of the highest elevations of the property. The west,

north and east sides of the property are bordered by neighbouring residential lots.

The 1962 Toby Residence is a detached single-family home with a cubic ground floor level running from north to south, and a second floor level situated perpendicular to the ground floor. The east portion of the second floor projects out and the floor slab creates a carport with two stalls. The lot slopes to the west and the building is cantilevered on the rocky site. An outdoor pool with a surrounding wood and concrete deck is located to the northwest of the Toby Residence. The house has been immaculately maintained in mostly original condition.



View of the north elevation



Clockwise from left: West elevation after construction is completed [photo courtesy Toby Family]

Entrance door with patio

Street View with driveway and mature vegetation

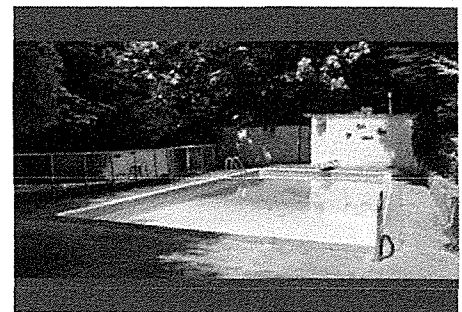
Swimming Pool

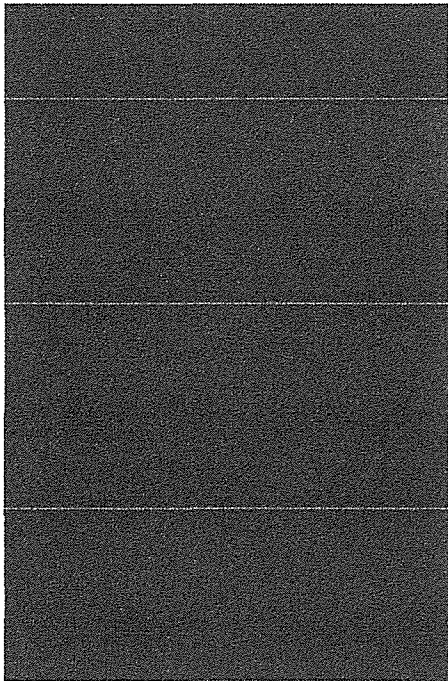


4.2 SITE AND LANDSCAPE

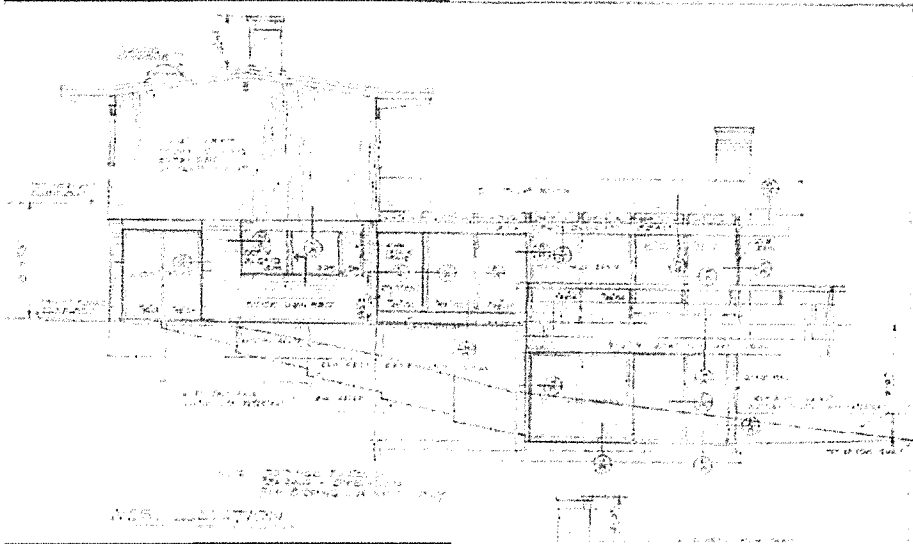
The rugged topography of the subject property at the North Shore Mountains was mostly retained during the construction of the house and provides distant views over Burrard Inlet. The two historic structures (house and outdoor pool) were built with minimal interventions to the environment. The site has mature vegetation, in particular cedar trees and other native and non-native species.

The lesser accessible areas of the property including the creek, remain in their natural state, whilst the landscaped area in the vicinity of the Toby Residence comprises a well-maintained lawn with mature shrubs at the driveway. The shrubbery separates the public front space at the street entrance to the south from the private patio and entry door of the house. The arrangement of hedges, shrubbery and beds of low growing plants form abstract geometrical patterns. These geometrical patterns reinforce the horizontal and vertical planes of the modern house, a simple design principle of this emerging architectural style.





The Toby Residence is oriented to outdoor patios and a garden that ensured privacy and intimacy with nature, leaving the residents undisturbed by traffic or neighbours. The outdoor spaces include fir-planked decks to the south, west and north sides and an outdoor swimming pool with a surrounding deck. A patio accentuates the main entrance to the east, with low growing plants and square-shaped, exposed aggregated concrete panels. A second patio to the west is accessible from the dining room and is used a seating area; the exposed aggregate concrete panels are repeated here. Concrete steps negotiate the terrain and provide access to the pool that is surrounded by a low stone wall and a wood railing mounted on a cantilevered deck. Surrounded by shrubs and grown trees, the swimming pool is private and protected from outside views.

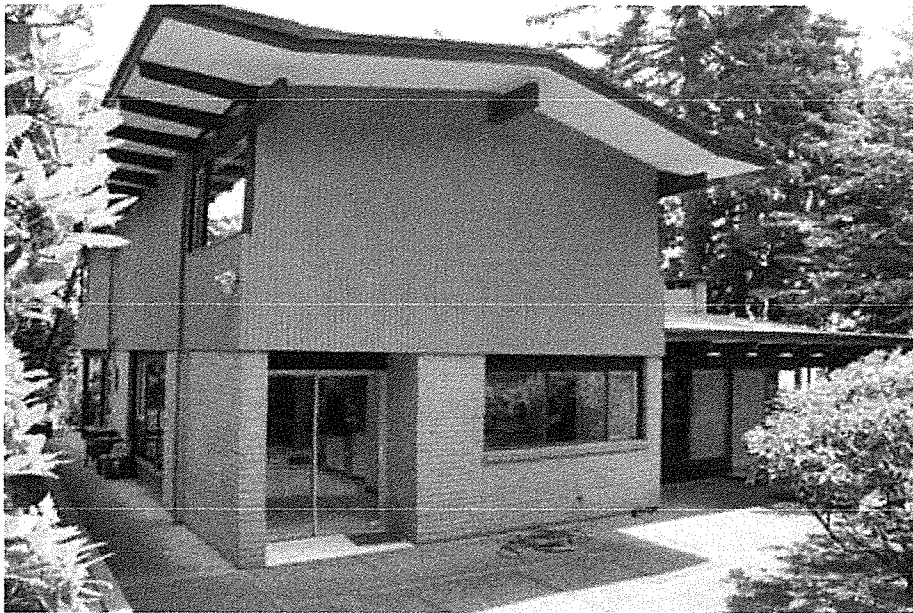


Historic drawing of the west elevation, 1962 [photo courtesy Toby Family]

4.3 STRUCTURAL SYSTEM

The two-level house has a partially-excavated basement level below the living room area. The basement slab was poured in reinforced concrete with 8" foundations walls. The 4" foundation slab of the open carport was poured on concrete footings of various depth, located so that they reached solid bearing. Two 8" concrete retaining walls were constructed to the west and south of the house in order to stabilize the projecting patio and deck area, and to the east to provide structural support for the entrance area and driveway.

The structural system of the Toby Residence consists of solid brick walls on the main floor and wood-frame construction with wooden siding and some brick veneer on the second floor. Newly-invented Glulam timber was utilized for the roof construction. Glue-laminated timber consists of multiple layers of wood glued together with the grain of all layers approximately parallel. This new technology was developed for structural wood members in aircraft during and after the Second World War and was extended to the construction of larger structural framing members used in buildings. The glue-laminated beams were suitable for designs with longer spans and non-linear configurations, which could not be achieved by regular wooden beams. They provide large overhanging eaves, which appear to hover above the various portions of modern houses of this era and served as rain- and sunscreens. A new generation of architects became aware of the significant advantages of glue-laminated members, in which the location and frequency of knots and strength-reducing characteristics can be controlled. The result is a structural member in which splits, checks and loosening of fasteners associated with drying are greatly reduced, and relatively high strength is achieved. The invention of synthetic resin glues with high moisture resistance allowed the application not only indoors, but also direct exposure to weather.



4.4 EXTERIOR WALLS

The exterior walls of the main level are constructed with solid tan brick walls in stretcher bond and cementitious mortar. These bricks and bond pattern are repeated on interior features, e.g. fireplaces and the inside of exterior walls. The second level of the Toby Residence is finished with 1" x 4" vertical cedar siding with extended shiplap joints. The wood siding is painted in grey colour.

The low-pitched gabled roofs above the one-storey living and dining rooms, and the two-storey portion to the north have a 1" rigid insulation. Two skylights exist on the northern slope of the main roof. The use of flat or slightly sloped roofs allowed the use of tar-and-gravel roofing and replaced the use of traditional cedar shingles, which became increasingly expensive. The exposed wood beams are stained in a dark brown varnish and the overhanging, white painted eaves provide an interesting contrast to the dark timber on all sides.

A smaller, interior brick chimney located in the kitchen protrudes from the ridge of the main roof. A second exterior chimney built in tan brick is situated on the south wall and has open fireplaces in the basement and the family room of the main floor.

The original fenestration on the ground floor comprises large aluminum sliding doors on the ground floor on the west and north elevations, and a three-part sash window in the kitchen area to the west. Fixed clerestory windows set between the exposed beams above the eastern brick wall provide the living room with additional natural light. Plain square windows provide daylight in utility and service rooms, e.g. a laundry on the east side. The main entrance configuration is original and is comprised of a single door with a solid fir core, surrounded by narrow opaque glass sidelights. The original hardware is intact. The upper storey has two- and three-part wooden sash windows, each with one narrower side element that is operable and accentuated in a different colour.

The concrete slab of the cantilevered second level is supported by three timber columns and creates an open carport for two stalls on the east side. The underside of the slab is finished with painted cement plaster. The carport is screened with four ornamented narrow walls on the south side built with the same tan brick used for the main house.

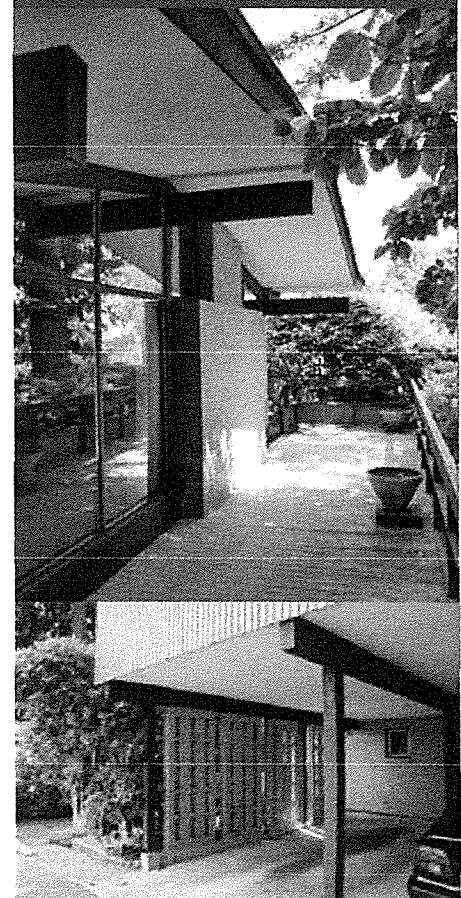


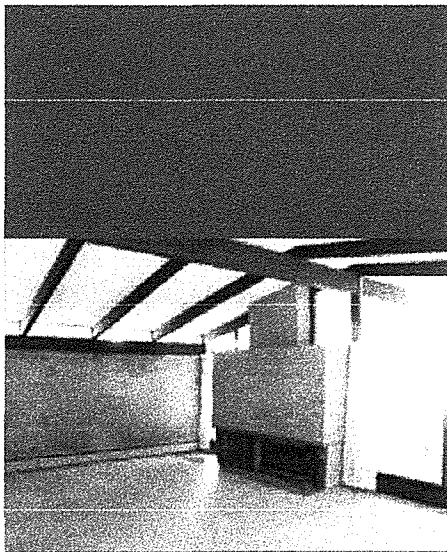
Clockwise from left: West elevation with brick wall, shiplap siding and aluminum door

Detail of eave with Glulam beams

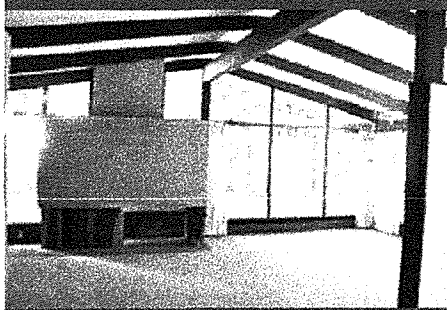
South wall with brick chimney and floor-to-ceiling glazing

Cantilevered 2nd floor carport





Above & Below: Living room facing south with brick chimney and fireplace



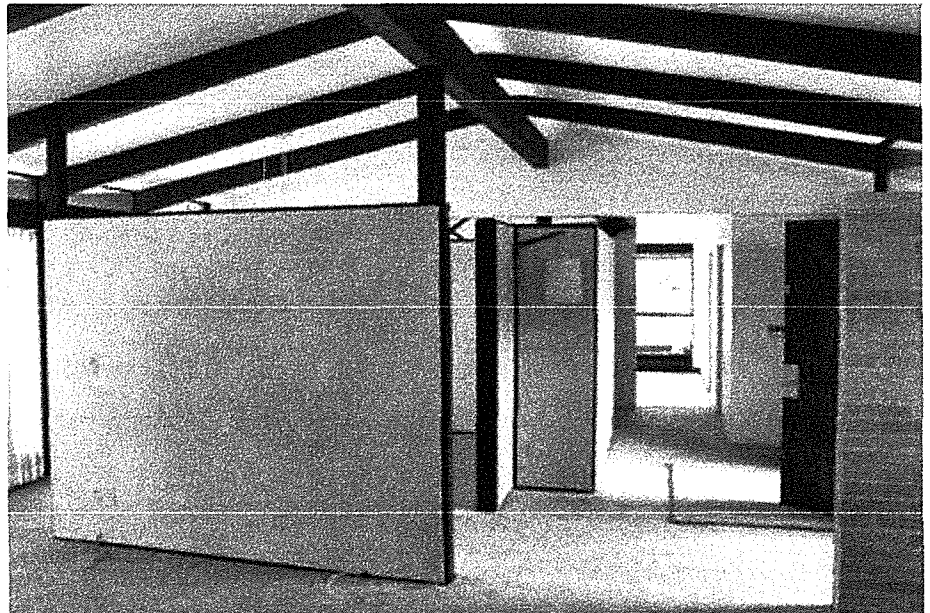
Right: Connection from living room to family room

4.5 INTERIOR CONFIGURATION

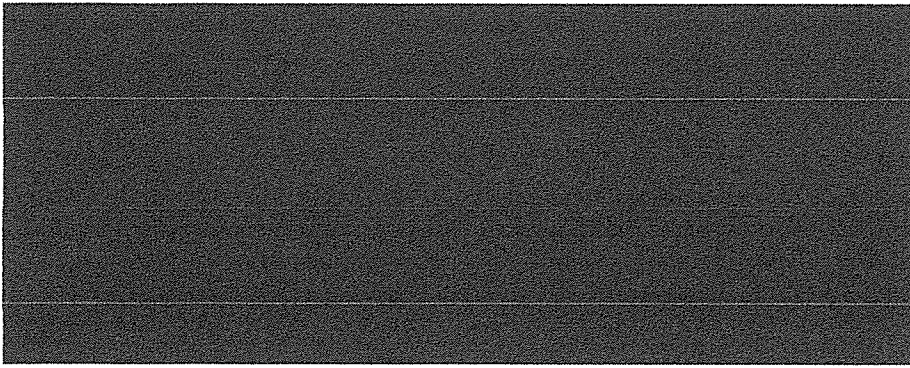
The post-war family of the modern era preferred an informal plan layout, simplicity and clarity over representative functions and decorative features of pre-war architectural styles. The open plan of the main floor of the Toby Residence contains the primary (entrance hall, living room) and secondary (kitchen, family room) living spaces. The private tertiary rooms, which comprise bedrooms and bathrooms, are located on the second floor.

The basement housed the utility and storage rooms; and a future recreational room with an open brick fireplace at the south wall. A sliding door and floor-to-ceiling windows opened the room to the west side, a typical feature of the Toby Residence that accentuates the seamless connection of the interior and exterior.

A large number of original architectural elements are extant and contribute to the generally intact appearance of the interior space of the Toby Residence. The main level is characterized by expansive views through large, ceiling-height windows and doors in the south, west and north walls, all opening to private patios and decks. The living room, the largest room in the house, has on the south side a glassed wall with an offset chimney and an open fireplace. The chimney is built with tan bricks in stretcher bond and surrounded by singled glazed window panels.



The living room is separated from the adjacent dining room with a stud screen finished with 1"x4" cedar siding that repeats on the other interior walls of this room. The dining room, also designed with floor-to-ceiling windows with views to the garden, is connected to the kitchen. Original features of the kitchen include the parallel counters, and built-in appliances



Far Left: Exposed Glulam beams on 2nd floor

Left: open staircase

and cupboards. The kitchen and adjacent family room are finished with painted plastered walls, all in a monochrome white colour scheme. The original vinyl tiles in the kitchen and family room have been replaced with white floor tiles. The family room was a more private living room in which children could play. A smaller, open fireplace with tan running bond brick chimney is located on the south wall of the family room. Sliding patio doors connected the family room with the private patio to the west.

The original architectural drawings specify the room finish schedules. Carpets are listed for the main living areas and bedrooms. Interior walls and ceilings are predominantly plastered and painted as noted in the original finish schedule. The Glulam beams in the living, dining and entrance area are finished with a brown varnish, which is an interesting contrast with the white painted plaster of the ceilings.

An open stair with stone treads and a metal railing in the centre of the house is U-shaped and provides leads to the upper level with the tertiary rooms.

The second floor contains four bedrooms, which remained unchanged. The two bathrooms are equipped with their original appliances and finished with ceramic mosaic tile dado and colour-matching ceramic floor tiles. Mirror cabinets are mounted above washing basins with cabinets. The only source of natural light is the aforementioned skylights.

Wall detail at window head



4.6. CONDITION ASSESSMENT

The overall condition of the 1962 Toby Residence is very good, with no indication of major alterations or damage. The large overhanging eaves of the low-pitch roof effectively protect the exterior wall assembly from weathering. These elements include the tan bricks, exposed timber beams, and plaster, as well as the wooden sash windows and aluminum doors. The ground level is almost flush with the finished floor level, and no dampness or water staining was recorded on the floor. The wood deck and railing are also intact and in good condition.

The exterior and interior wood and plaster rendering is painted and the paint is in good condition with no visible signs of decay. The plaster rendering of the carport ceiling shows signs of minor cracking in a few locations, which were repaired and painted in the past.

The original interior open plan layout, wall materials and most finishes are extant and are in good condition.

Interventions will be required to improve the structural support of projecting decks of the house and swimming pool. Additional load-bearing support was installed as an interim measure in the past and a structural analysis will be necessary to propose adequate stabilization.

Sloping asphalt roof



CONSERVATION STRATEGY

5

5.1 DESCRIPTION OF THE PROPOSED DEVELOPMENT

The proposed design is part of a residential development prepared by Wensley Architecture Ltd., and includes for subdivision of the subject property into two lots. A modern detached three-storey family home ("Hill House") is designed for the subdivided lot to the west. The new concrete structure will be built into the base of the slope at a lower elevation than the Toby Residence. The new three storey residential building is contemporary in design and accessed by a separate driveway from Queens Avenue.

The conservation strategy for the historic site is to preserve the Toby Residence through a partial exterior and interior rehabilitation including an addition to the north side of the historic building. Significant exterior façade elements and the overall spatial configuration and interior features of the Toby Residence will be preserved. The extension to the north will increase the floor area on both levels. This intervention requires the removal of the existing north wall, the redesign of utility areas on the ground floor including the relocation of an exit door to the carport at the east wall, and the interior reconfiguration of the second level. The extension will also provide an additional parking space adjacent to the existing two spots. The addition to the north will not be visible from the street. The existing outdoor pool will be preserved and rehabilitated.

5.2 CONSERVATION STANDARDS

The Parks Canada *Standards & Guidelines for the Conservation of Historic Places in Canada* (2004) is the main source utilized to evaluate the proposed interventions at the historic site. Under the Standards and Guidelines, the work proposed to be carried out to the 1962 Toby Residence include aspects of **Preservation** and **Rehabilitation** as defined below:

Preservation: The action or process of protecting, maintaining and/or stabilizing the existing materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of an historic place or of an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

When assessing the impact on character-defining elements of an intervention, reference is made to the Standards and Guidelines, the national conservation principles of best practice.

The main conservation intervention proposed to the historic site is **Rehabilitation** and comprises the construction of a new residential house to the west of the Toby Residence. **Rehabilitation** of the north elevation is proposed for the Toby Residence in order to incorporate a new addition. Further upgrades to the existing mechanical and electrical systems and

other services of the heritage building are planned where necessary. **Preservation** and maximizing the retention of original exterior and interior elements is the conservation strategy for the remainder of the historic house. Aspects of **Restoration** will presumably not be carried out as almost all original exterior and interior features of the Toby Residence are in good to very good condition and significant alterations have not been undertaken in the past.

5.3 EVALUATION OF THE PROPOSED DEVELOPMENT

The following are an assessment of the proposed development at the historic site and how they relate to the Standards and Guidelines and the character-defining elements of the 1962 Toby Residence.

SITE LOCATION

The heritage value and character-defining elements of the historic site will be preserved. The 1962 Toby Residence will be retained in situ. The addition to the north of the historic house and the new residential structure to the west will not substantially alter the topographical features of the site. The interventions will not obstruct the scenic views typical for sites with West Coast style homes including the Toby Residence. The intact historic appearance of the heritage building from the street and its characteristic landscaping features will be preserved.

FORM, SCALE, MASSING

The addition to the Toby Residence is sympathetic in form, scale and massing and respectful to its heritage features. The design intent of the addition is planned with minimal intervention to the historic building and character-defining elements. The new work is physically and visually compatible with, subordinate to and distinguishable from the historic place. The essential form and integrity of the Toby Residence will be retained and the addition will not diminish the heritage value and appearance of the historic site.

The architecture of the new three-storey residential structure is contemporary in design and therefore consistent with the history of the site, as the modern style and technology of the present time are being used. Architect Ray Toby used innovative technology and modern architectural language for the Toby Residence, so the adoption of contemporary technology and style for the newly designed Hill House is appropriate. The location of the new structure at the foot of the hill, below the Toby Residence, is sensitive to, and compatible with, the historic place.

STRUCTURE, MATERIALS AND FINISHES

The proposed conservation work for the Toby Residence will mainly preserve the original structural system, wall and roof assemblies, interior finishes and built-in furniture. The original design of contrasting natural materials such as timber, brick and plaster will be retained. Interventions to improve the structural system of the historic site will be undertaken where required.

The only interventions to the original materials and finishes will be carried out on the north elevation to accommodate the new addition. Secondly the kitchen and service areas on the main floor, and the private rooms on second floor will require mechanical and electrical upgrades in order to meet modern living standards. These aspects of the building will be rehabilitated.

INTERIOR CONFIGURATION

The principal configuration of the interior primary, secondary and tertiary spaces will be preserved. The proposed addition to the Toby Residence will increase the floor area of the former family room and utility rooms on the main floor and the private rooms on the second floor in a manner that is sympathetic to the original open floor plan and arrangement of functions.



View of former family room with interior fire place

6 CONSERVATION RECOMMENDATIONS

The following is a summary of the overall conservation recommendations for the 1962 Toby Residence:

- Preserve the location and site vistas.
- Preserve the original exterior façade elements and features such as brick walls, Glulam timber system, wood siding, aluminum frame sliding doors and wooden sash window units, sloped roofs with large overhanging eaves, decks and patios where possible. Review their condition and repair only if necessary with minimal intervention to match existing appearance.
- New work and interventions should be sympathetic to the historic building and its character-defining elements. Local materials should be used where possible in keeping with the design intent of the house.
- Review the overall condition of the structural integrity and mechanical, electrical and plumbing systems of the 1962 Toby Residence. Upgrades should be respectful to the historic place and preserve its heritage value and character-defining elements where possible.
- Preserve the original interior finishes, furniture and in-built features of the Toby Residence and repair if necessary to match appearance.

The proposed new design development is in compliance with the Standard & Guidelines. The design intent for historic site and the extension of the Toby Residence is sympathetic to its heritage character and preserves most of the historic exterior and interior elements. The addition of a new residential building at the bottom of the sloping hill is respectful to the historic Toby Residence. The new addition does not interfere with the overall appearance of the Toby Residence.

The proposed Heritage Residential Development is a sensitive rehabilitation of the site and compatible with the integrity of the 1962 Toby Residence and its heritage value and character-defining elements.

RESEARCH SOURCES

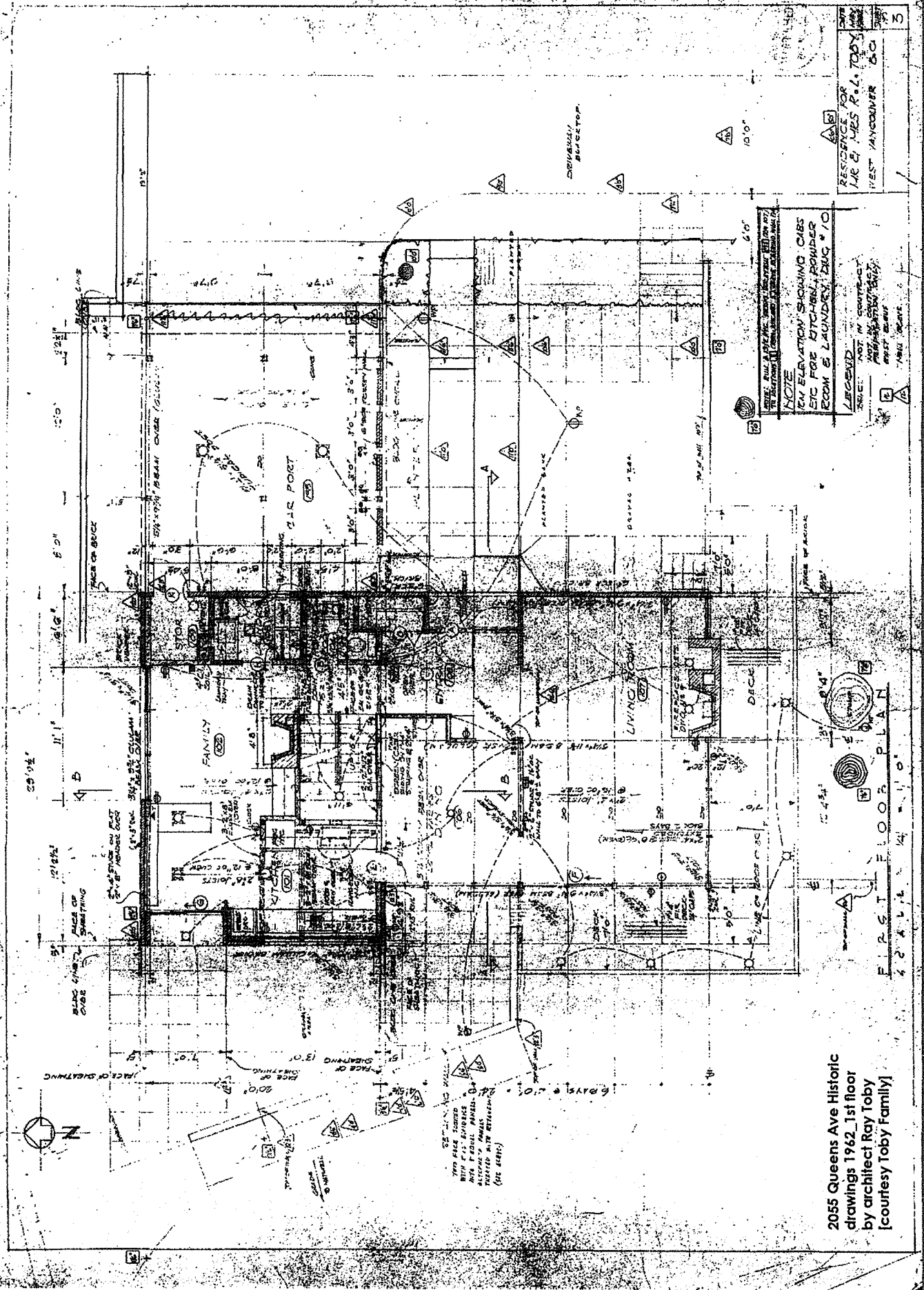
Algie, Susan; Ashby, James: *Conserving the Modern in Canada: buildings, ensembles, and sites, 1945-2005: conference proceedings*, Trent University, 2005.

F.G. Architectural & Planning Consultants: *The West Vancouver Survey of Significant Architecture 1945-1975*.

Luxton, Donald: *The Rise and Fall of West Coast Modernism in Greater Vancouver, British Columbia*; in: APT Bulletin, Vol. XXXI, Number 2-3 (2000), pp. 55-61.

Original architectural drawings by Ray L. Toby, revised September 1962, and historic photos of the Toby Residence (courtesy of the Toby Family).

A APPENDIX: HISTORIC DRAWINGS



RESIDENCE FOR
MRS. C. JAMES RAY, TOBY
WEST VANCOUVER B.C.

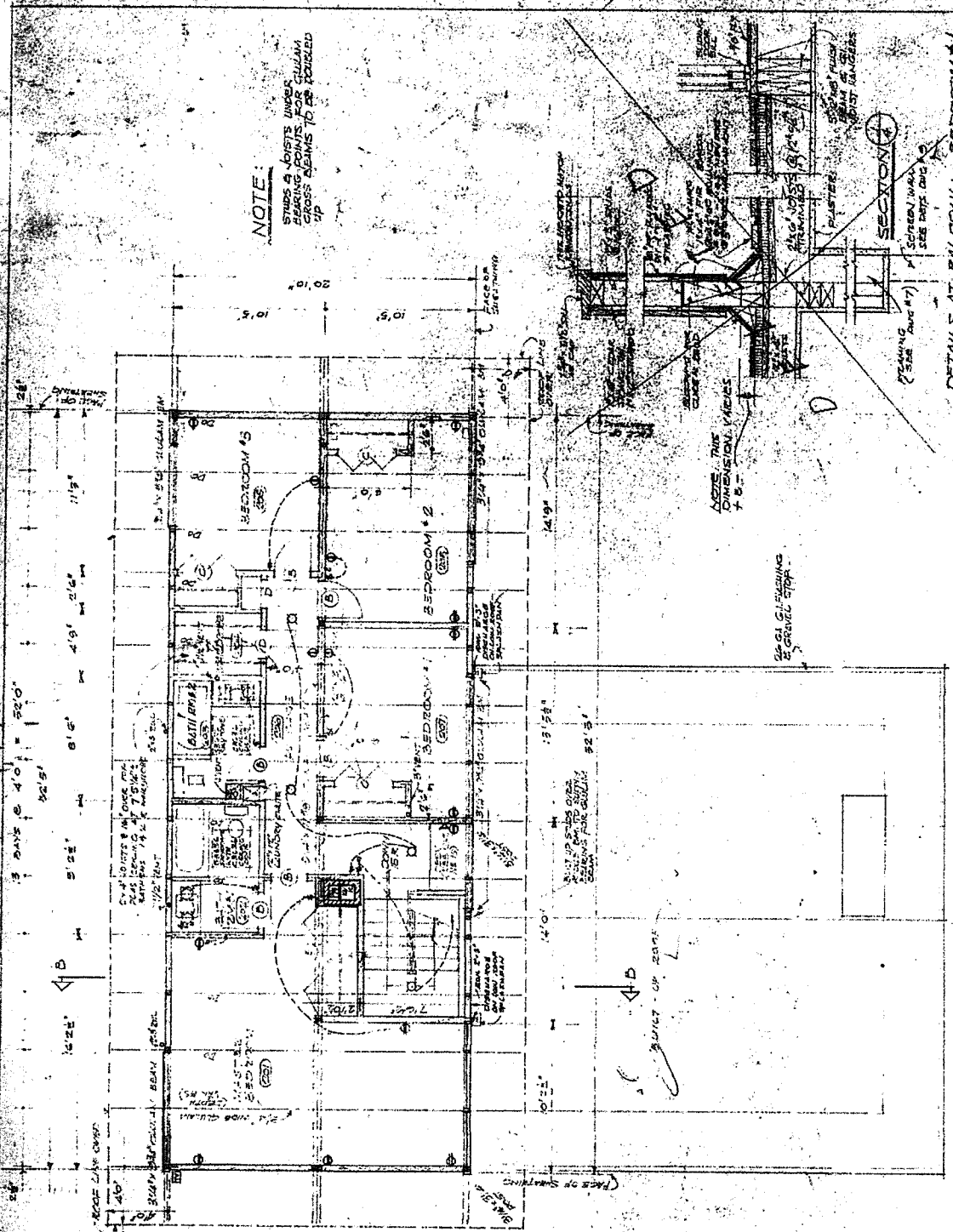
NOTE
NEW ELEVATION SHOWING CABS
ETC FOR KITCHEN, POWDER
ROOM & LAUNDRY, DOC # 10

LEGEND
NOT IN CONTACT
NOT IN CONTACT
NOT IN CONTACT

FIRST FLOOR PLAN
4'-0" x 14'-0"

2055 Queens Ave Historic
drawings 1962_1st floor
by architect Ray Toby
[courtesy Toby Family]

2055 Queens Ave Historic
drawings: 1962, 2nd floor
by architect Ray Toby
[courtesy Toby Family]



NOTE:
STUDS & JOISTS UNDER
BEARING POINTS FOR COLUMN
CROSS SEAMS TO BE DOUBLED UP

NOTE: THIS
SECTIONAL VIEW IS
7'-8"

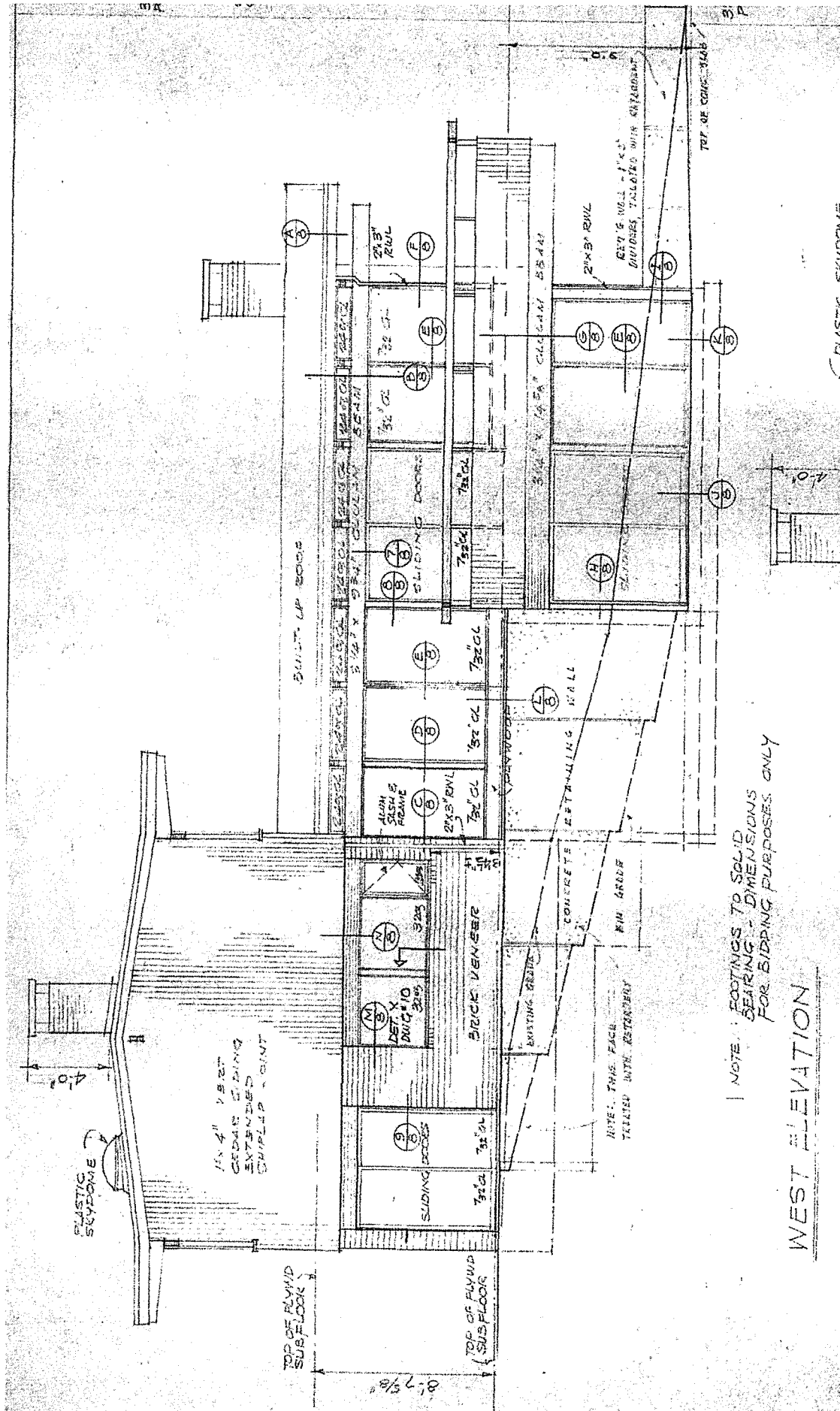
NOTE
2nd FLOOR ELEVATIONS SHOWING BRICK, W/ST
ETC FOR BEDROOM, BATHROOM &
STAIRS. DRAWING # 10

FINISHED CEILING (UNRECORDED)	SCALE: 1/8" = 1'-0"
FINISHED W.P. FLOOR (UNRECORDED)	
SETTLED FLOOR TILES	
RESIDENCE FOR	
2055 QUEENS AVE. T.O.B.	
WEST MANHATTAN	

ELECTRICAL SYMBOLS

- ceiling fixture
- wall mounted fixture
- recessed ceiling fixture
- down-sprinkler outlet
- convertible outlet with transformer
- weather proof outlet
- dimmer switch
- floor outlet
- master speaker
- auxiliary speaker
- termination point of electric wire for electric meter service

SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



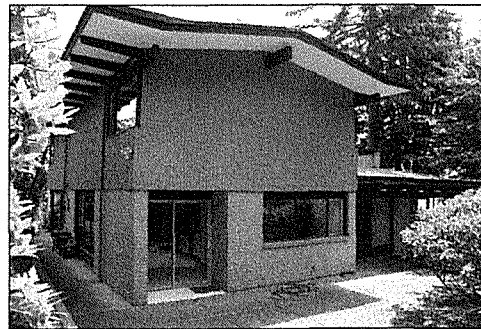
NOTE: FOOTINGS TO SOLID BEARING - DIMENSIONS FOR BIDDING PURPOSES ONLY

WEST ELEVATION

2055 Queens Ave. Historic drawings 1962. west elevations by architect Ray Toby [courtesy Toby Family]

PROPOSED TOBY HOUSE ADDITION

2055 QUEENS AVE.
WEST VANCOUVER, B.C.



EXISTING TOBY HOUSE

FEBRUARY 11, 2015

PROJECT # 0909



Wensley
Architecture Ltd

301 - 1444 Alberni St.
Vancouver, BC V6G 2Z4
tel 604-685-2129 fax 604-685-4574
office@wensleyarch.com

PROPOSED TOBY HOUSE ADDITION Project # 0909



UNIT MIX/STATISTICS	(REVISION NO. 3)	February 10, 2015	
LEGAL DESCRIPTION	Lot F District Lot 1091 Plan 11018		
CIVIC ADDRESS	2055 Queens Ave. West Vancouver BC		
EXISTING ZONING	RS3	PROPOSED ZONING	CD
EXISTING SITE AREA (BF)	37,727		
PROPOSED TOBY HDUSE SITE AREA (SF)	16,936 (1,573 m ²) >(min 1,115 m ²)		
SITE WIDTH	22.2m <24.4m min		(measured at front setback line) VARIANCE REQUIRED
SITE DEPTH	less than <4x Site Width (max 97.6m)		
MAX. ALLOWABLE F.S.R	BYLAW	PROPOSED	UNUSED FSR
TOBY HOUSE + ACCESSORY BUILDING	35%	0%	9% 4,373sf / 16,936sf = 0.26 FSR
MAX. ALLOWABLE SITE COVERAGE	BYLAW	PROPOSED	UNUSED
TOBY HOUSE + ACCESSORY BUILDING	30%	0%	30%
MAX. BUILDING HEIGHT	BYLAW	PROPOSED	
TOBY HOUSE	25' (2 STOREY +BSMT)	21.3'	2 STOREYS + BSMT AVERAGE GRADE - 421.5'
TOBY ACCESSORY BUILDING	12.1' (1 STOREY + BSMT)	13.7'	1 STOREY AVERAGE GRADE - 422.1' VARIANCE REQUIRED
BUILDING HEIGHT	TOBY HDUSE	TOBY POOLHOUSE	
Stores	2	1	
Average Grade (ft)	421.5'	422.1'	
Building Height Above Avg. Grade (ft)	21.3'	13.7'	
Elevation at roof peak (ft)	442.75'		
Elevation of Bsmt ft)	413.9'		
Elevation of Mah floor (ft)	422.9'		
Elevation of 2nd floor (ft)	430.7'		
SET BACKS	BYLAW		
TOBY HDUSE	SIDE SETBACK #1	Max 3m or 10% lot width (2.2m)	21.71' (6.6m)
	SIDE SETBACK #2	Max 3m or 10% lot width (2.2m)	24.42' (7.4m)
	SIDE SETBACK #3	Max 3m or 10% lot width (2.2m)	3.48' (1.1m) VARIANCE REQUIRED (deck encroaching)
	FRONT (SOUTH)	29.86' (9.1m)	53.06' (18.3m)
	REAR (NORTH)	29.86' (9.1m)	20.75' (6.3m) VARIANCE REQUIRED (house encroaching)
ACCESSORY BUILDING	SIDE SETBACK	Max 10' or 10% lot width (2.2m)	4.08' (1.2m) VARIANCE REQUIRED (pool deck encroaching)
	FRONT (SOUTH)	N/A	
	REAR (NORTH)	3.94' (1.2m)	4.0' (1.2m)
	REAR (NORTH-EAST)	3.94' (1.2m)	0' NOT REQUIRED
BUILDING AREA	EXISTING (sq. ft.)	PROPOSED (sq. ft.)	COMBINED (sq. ft.)
TOBY HOUSE	3,248	812	4,060
ACCESSORY BUILDING		313	313
TOTAL	3,248	1,125	4,373
BUILDING FOOTPRINT	EXISTING (sq. ft.)	PROPOSED (sq. ft.)	COMBINED (sq. ft.)
TOBY HDUSE (SF)	1,785	423	2,208
ACCESSORY BUILDING (SF)		400	400
TOTAL	1,785	823	2,608
PARKING	BYLAW	EXISTING	PROPOSED TOTAL
TOBY HOUSE	Min. 1	2	1 3

CONTACT LIST	
CLIENT	
VLAKOS HOLDINGS LTD. 701 Pacific Street, Jasper, AB T0E 1E0 Tel: 780-852-3617 Cell: 780-893-0687	
CONTACT:	Email:
Quis Valdes	
ARCHITECTS	
WENSLEY ARCHITECTURE LTD. 301-1444 Abnemi Street, Vancouver, BC V6G 2Z4 Tel: 604-685-3520 Fax: 604-685-4674	
CONTACT:	Email: dmccgrath@wensleyarch.com
David McGrath	
WENSLEY ARCHITECTURE LTD. (Victoria) #108, 2800 Bryn Mawr Road, Victoria, BC V8B 3T4 Tel: 250-391-4633 Fax: 250-391-4864	
CONTACT:	Email: dhwong-victoria@wensleyarch.com
Doug Wong	
Neil Jacobson	Email: njacobson-victoria@wensleyarch.com
STRUCTURAL	
LONDON MAH & ASSOCIATES LTD. 103-1847 West Broadway, Vancouver, BC V6J 1Y8 Tel: 604-738-6544 Fax: 604-738-1468	
CONTACT:	Email: londonmah@telus.net
Jim Mah	
LANDSCAPE	
DURANTE KREJCI LANDSCAPE ARCHITECTS 109-1637 W 5th Avenue, Vancouver, BC V6J 1N5 Tel: 604-684-4611 Cell: 604-880-7220	
CONTACT:	Email: jennifer@dklbc.ca
Jennifer Stamp	
GEOTECHNICAL	
PUAR ENGINEERING CONSULTANTS INC. 200-100 Park Royal S, West Vancouver, BC V7T 1A2 Tel: 604-913-7827 Cell: 604-902-9229	
CONTACT:	Email: surinder@puar.ca
Surinder Puar	
SURVEY	
CHAPMAN LAND SURVEYING LTD. 107-100 Park Royal South, West Vancouver, BC V7T 1A2 Tel: 604-926-7311 Fax: 604-926-6923	
CONTACT:	Email: sandy@chapmansurvey.com
Sandy	
ENVIRONMENTAL	
GARTORI ENVIRONMENTAL SERVICES 106-185 Forester Street, North Vancouver, BC V7H 0A8 Tel: 604-987-6588 Cell: 604-228-0189	
CONTACT:	Email: alex@gartorienv.com
Alex Gartori	
MUNICIPAL	
DISTRICT OF WEST VANCOUVER 750-17th Street, West Vancouver, BC V7V 3T3 Tel: 604-925-7056 Fax: 604-925-6083	
CONTACT:	Email: smkitch@westvancouver.ca
Stephen Kitchich	

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NO.	REVISION	DATE
1	RE-REVISED FOR DEVELOPMENT PERMIT	1/22/15
2	RE-REVISED FOR DEVELOPMENT PERMIT	1/22/15
3	REVISED FOR DEVELOPMENT PERMIT	01/21/15
4	REVISED FOR DEVELOPMENT PERMIT	01/21/15
5	REVISED FOR DEVELOPMENT PERMIT	01/21/15
6	REVISED FOR DEVELOPMENT PERMIT	01/21/15
7	REVISED FOR DEVELOPMENT PERMIT	01/21/15
8	REVISED FOR DEVELOPMENT PERMIT	01/21/15
9	REVISED FOR DEVELOPMENT PERMIT	01/21/15
10	REVISED FOR DEVELOPMENT PERMIT	01/21/15
11	REVISED FOR DEVELOPMENT PERMIT	01/21/15

SEAL:

PROPOSED TOBY HOUSE ADDITION

2055 QUEENS AVE.
WEST VANCOUVER, B.C.



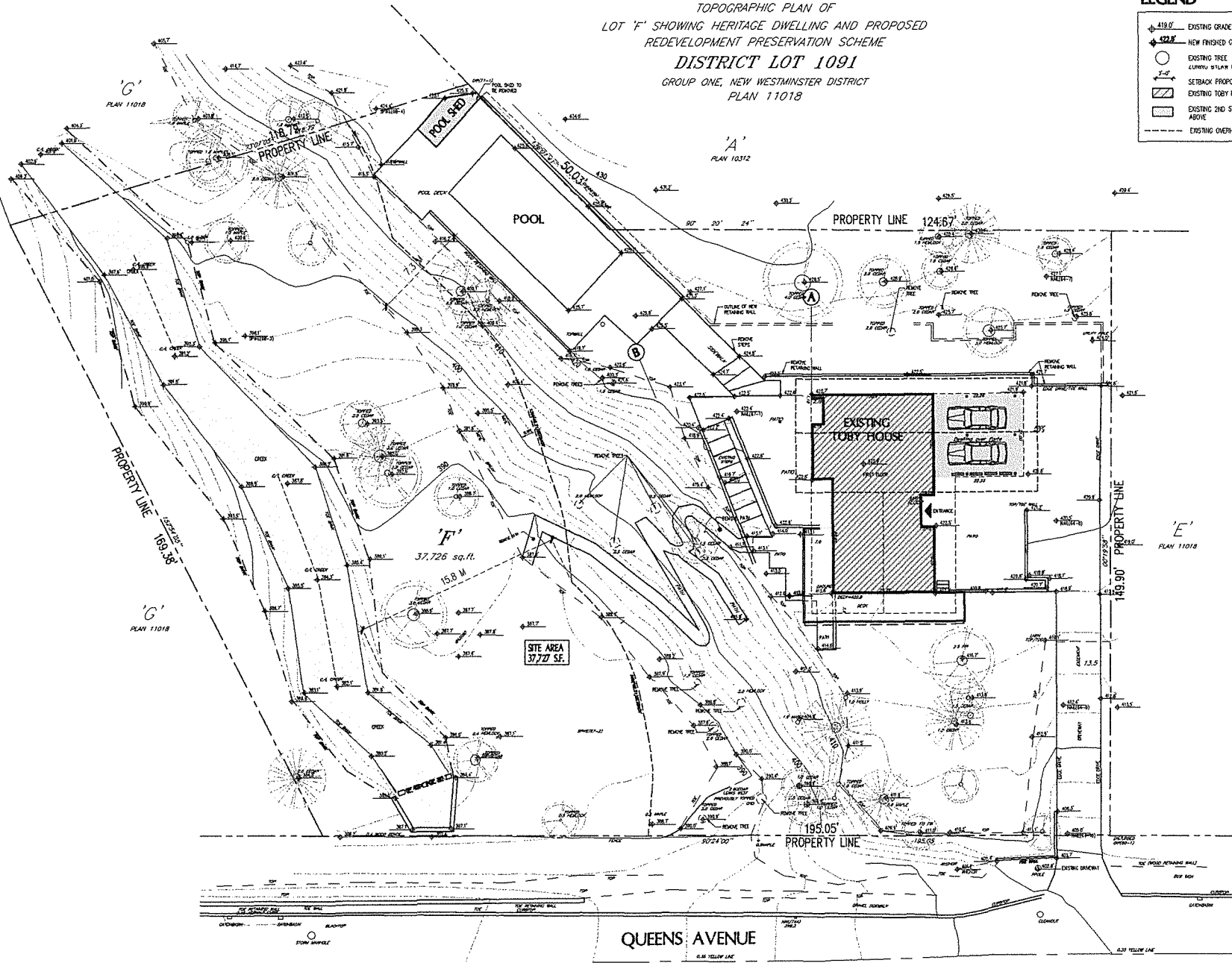
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PROJECT DATA	
PROJECT NO. 0909	DRAWN BY: NJ
SCALE: AS SHOWN	REVIEW BY: DM
DATE: 17 JAN 15	PRINTED AT: A001

TOPOGRAPHIC PLAN OF
 LOT 'F' SHOWING HERITAGE DWELLING AND PROPOSED
 REDEVELOPMENT PRESERVATION SCHEME
DISTRICT LOT 1091
 GROUP ONE, NEW WESTMINSTER DISTRICT
 PLAN 11018

LEGEND

- 419.0' EXISTING GRADE
- 422.0' NEW FINISHED GRADE
- EXISTING TREE
- 20000 81/2" PLAN HO3
- 3'-0" SETBACK PROPOSED
- EXISTING TOBY HOUSE
- EXISTING 2ND STOREY ABOVE
- EXISTING OVERHANGS

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NO.	REVISION	DATE
1	RE-DESIGN FOR DEVELOPMENT PERMIT	1/22/16
2	RE-DESIGN FOR DEVELOPMENT PERMIT	12/26/15
3	RE-DESIGN FOR DEVELOPMENT PERMIT	12/14/15
4	RE-DESIGN FOR DEVELOPMENT PERMIT	12/22/15
5	REVISION	12/27/15

PROPOSED
**TOBY HOUSE
 ADDITION**

2055 QUEENS AVE.
 WEST VANCOUVER,
 B.C.



- CONCRETE WORKS
- STRUCTURAL
- MECHANICAL
- ELECTRICAL
- LANDSCAPE






**EXISTING
 SITE PLAN**

PROJECT NO. 0908	DRAWN BY: NJ
SCALE: 1/2" = 1'-0"	REVIEW BY: SW
SITE: 11018	DATE: 1/27/16

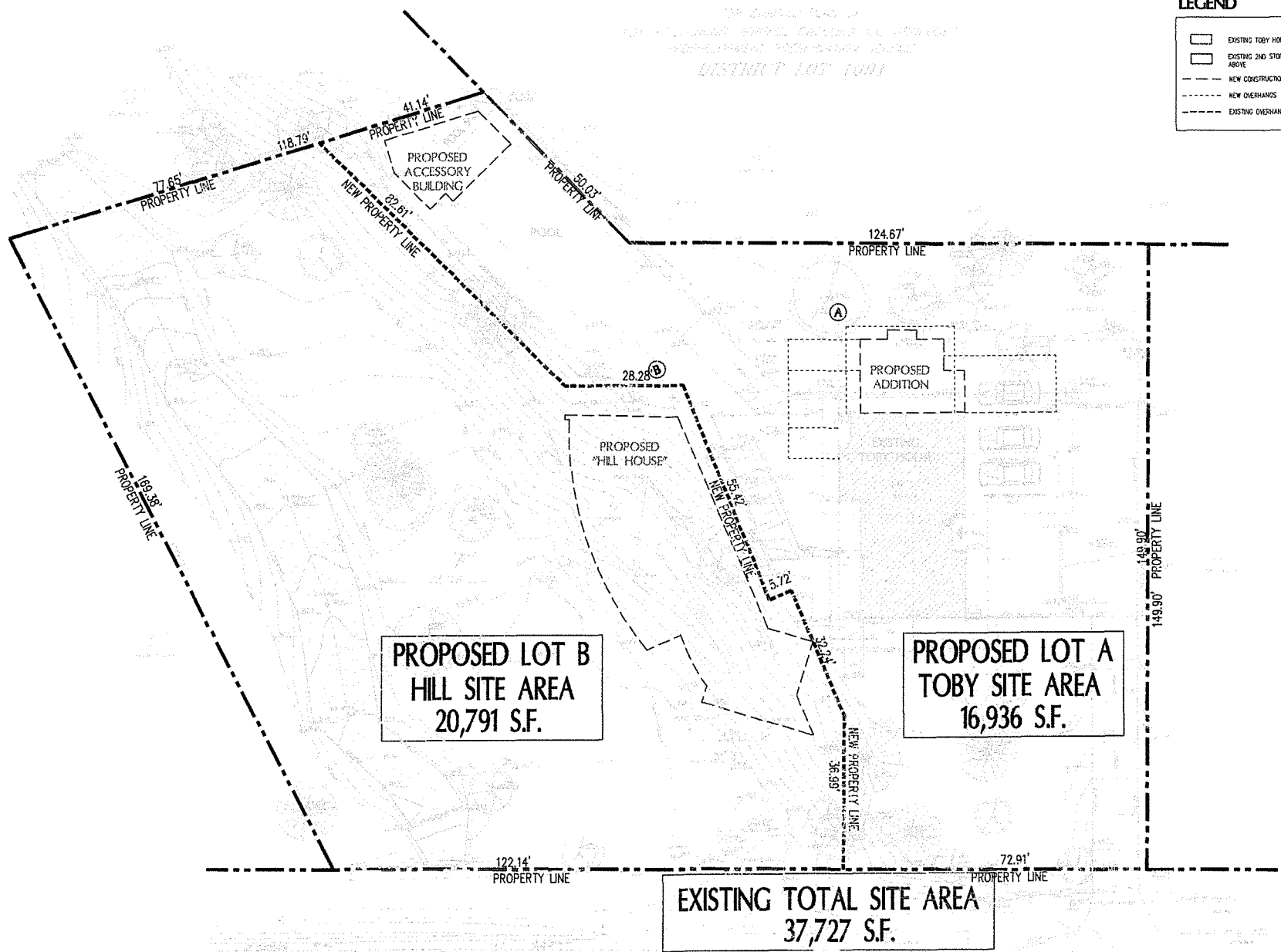


100' DISTRICT LOT 1001
 DISTRICT LOT 1001

LEGEND

-  EXISTING TOBY HOUSE
-  EXISTING 2ND STOREY ABOVE
-  NEW CONSTRUCTION
-  NEW OVERHANDS
-  EXISTING OVERHANDS

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**PROPOSED LOT B
 HILL SITE AREA
 20,791 S.F.**

**PROPOSED LOT A
 TOBY SITE AREA
 16,936 S.F.**

**EXISTING TOTAL SITE AREA
 37,727 S.F.**

NO.	REVISION	DATE
1	RE-DESIGN FOR DEVELOPMENT PERMIT	1/22/76
2	RE-DESIGN FOR DEVELOPMENT PERMIT	12/29/73
3	RE-DESIGN FOR DEVELOPMENT PERMIT	12/21/71
4	DESIGN FOR DEVELOPMENT PERMIT	02/26/72
5	REVISION	10/2/77

PROPOSED TOBY HOUSE ADDITION AND NEW HILL HOUSE

2055 QUEENS AVE.
 WEST VANCOUVER,
 B.C.

Wensley Architecture Ltd

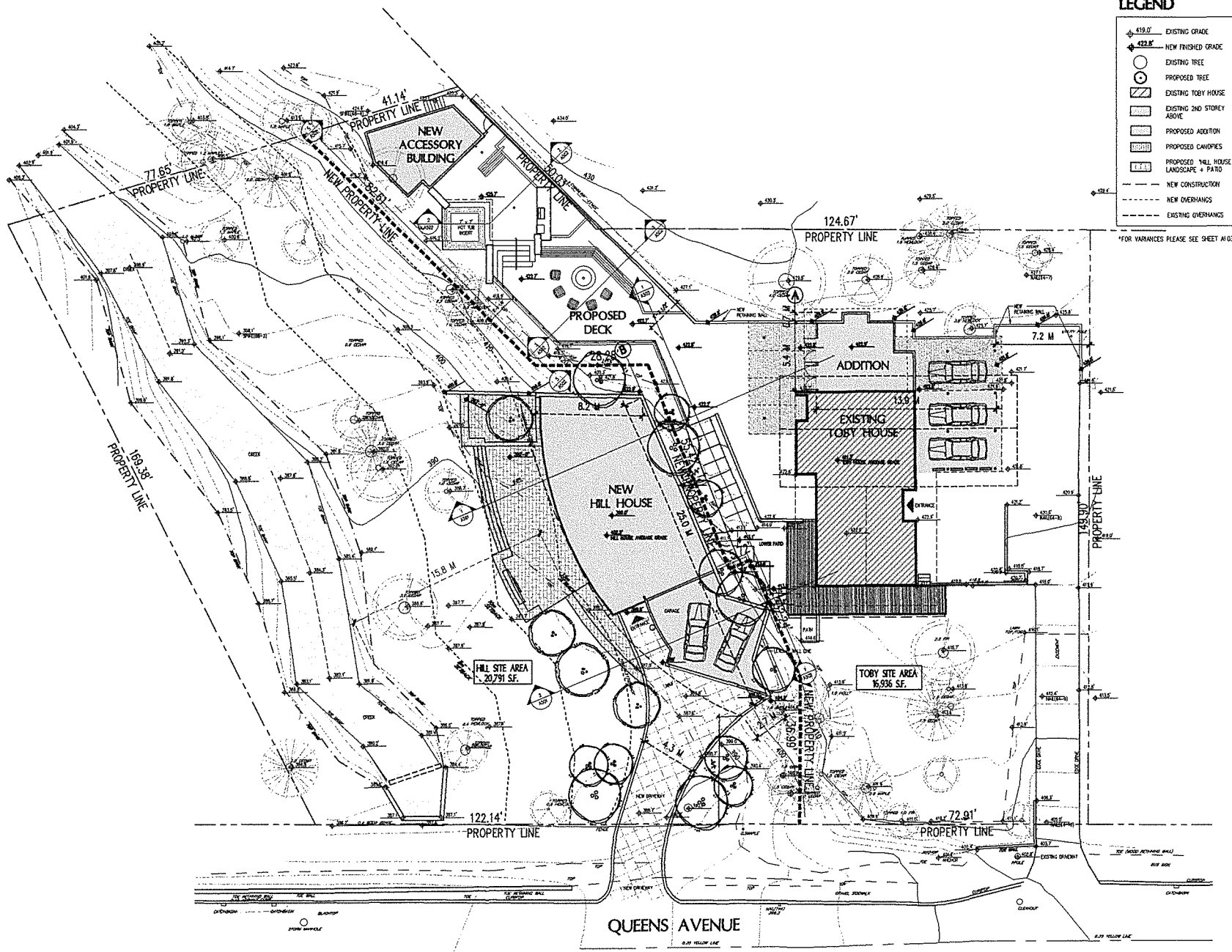
311 - 1461 ALBERTA ST.
 VANCOUVER, B.C. V6P 6M8
 TEL: 684-1883 FAX: 684-8538
 WWW.WENSLEYARCH.COM

DESIGN: WARD
 PROJECT: WARD
 MECHANICAL: WARD
 ELECTRICAL: WARD
 LANDSCAPE: WARD

PROPOSED SUBDIVISION

PROJECT NO. 0009	DRAWN BY: RJ
SCALE: 3/32" = 1'-0"	REVIEW BY: SM
DATE: 11/26/11	DRAWING NO. A101A

QUEENS AVENUE



LEGEND

- ◊ 419.0' EXISTING GRADE
- ◊ 423.8' NEW FINISHED GRADE
- EXISTING TREE
- PROPOSED TREE
- ▨ EXISTING TOBY HOUSE
- ▨ EXISTING 2ND STOREY ABOVE
- ▨ PROPOSED ADDITION
- ▨ PROPOSED CANOPIES
- ▨ PROPOSED "HILL HOUSE" LANDSCAPE + PATIO
- ▨ NEW CONSTRUCTION
- NEW OVERHANGS
- EXISTING OVERHANGS

*FOR VARIANCES PLEASE SEE SHEET A103

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4	RE-REVISED FOR DEVELOPMENT PERMIT	1/23/25
3	RE-REVISED FOR DEVELOPMENT PERMIT	12/26/24
2	RE-REVISED FOR DEVELOPMENT PERMIT	8/27/24
1	ISSUED FOR DEVELOPMENT PERMIT	05/26/24
NS	REVISION	9/27/23

PROPOSED
TOBY HOUSE
ADDITION

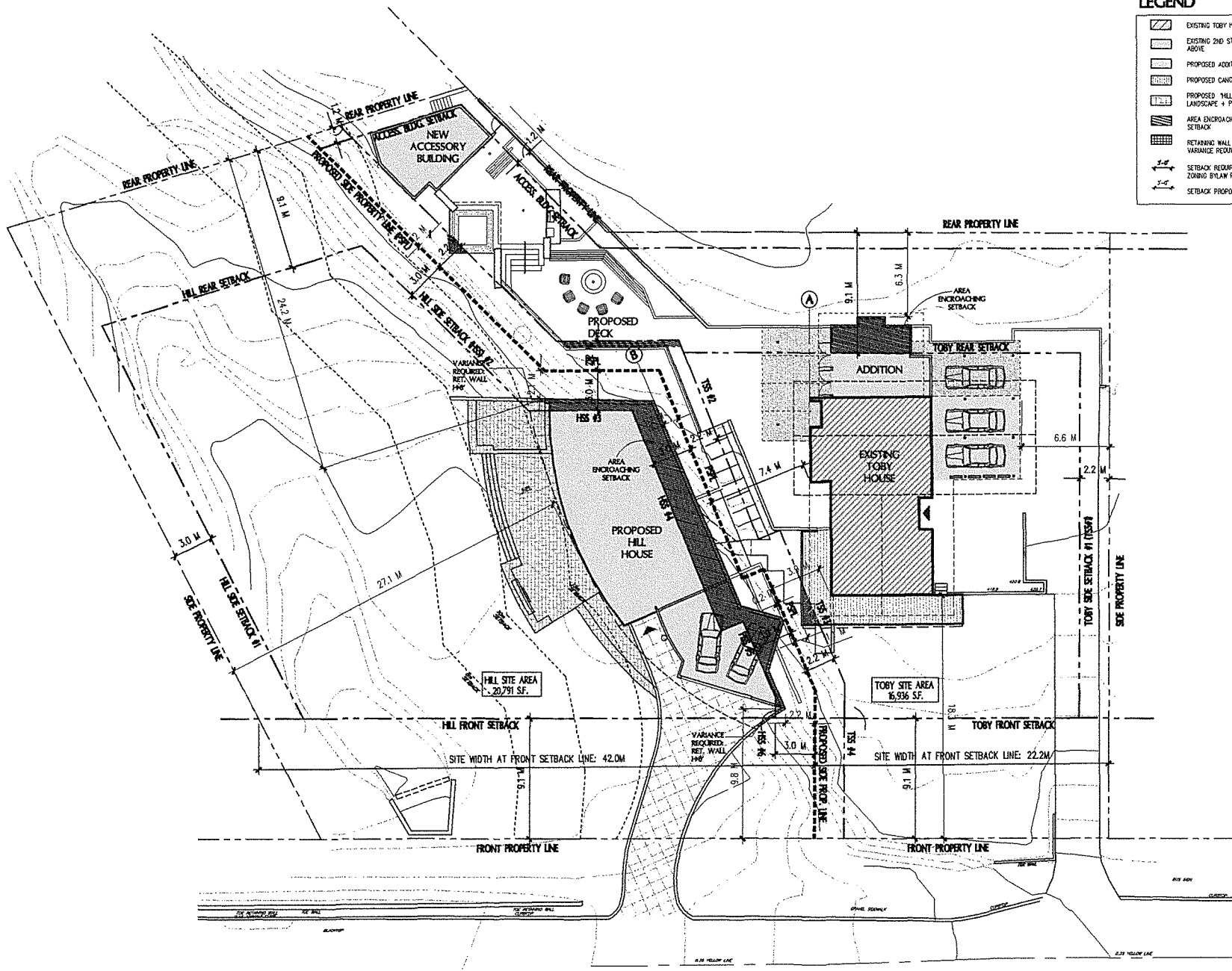
2055 QUEENS AVE.
WEST VANCOUVER,
B.C.



CONTRACTS
STRUCTURAL
MECHANICAL
ELECTRICAL
LANDSCAPE

**PROPOSED
SITE PLAN**

PROJECT NO:	0909	DRAWN BY:	NS
SCALE:	1/2" = 1'-0"	REVISIONS:	NS
DATE:	12/20/24	DRAWING NO:	A102



LEGEND

- EXISTING TOBY HOUSE
- EXISTING 2ND STOREY ABOVE
- PROPOSED ADDITION
- PROPOSED CANPIES
- PROPOSED 1/4" HOUSE LANDSCAPE + PATIO
- AREA ENCRoACHING INTO SETBACK
- RETAINING WALL VARIANCE REQUIRED
- SETBACK REQUIRED BY ZONING BY-LAW R53
- SETBACK PROPOSED

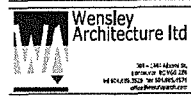
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NO.	REVISION	DATE
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/23
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/26/22
2	RE-ISSUED FOR DEVELOPMENT PERMIT	03/17/23
1	ISSUED FOR DEVELOPMENT PERMIT	02/26/23
00	ISSUED FOR DEVELOPMENT PERMIT	02/07/23

PROPOSED TOBY HOUSE ADDITION

2055 QUEENS AVE. WEST VANCOUVER, B.C.



CONSULTANTS:
 STRUCTURAL:
 MECHANICAL:
 ELECTRICAL:
 LANDSCAPE:

PROPOSED SETBACKS

PROJECT NO. 0203	DRAWN BY: NI
SCALE: 1/8" = 1'-0"	REVIEWED: NI
DATE: 12/26/22	DRAWING NO. A103

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NO.	REVISION	DATE
1	REVISION FOR PERMITS FROM LOCAL	12/15/10
2	REVISION FOR PERMITS FROM LOCAL	12/15/10
3	REVISION FOR PERMITS FROM LOCAL	12/15/10
4	REVISION FOR PERMITS FROM LOCAL	12/15/10
5	REVISION FOR PERMITS FROM LOCAL	12/15/10
6	REVISION FOR PERMITS FROM LOCAL	12/15/10
7	REVISION FOR PERMITS FROM LOCAL	12/15/10
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9	REVISION FOR PERMITS FROM LOCAL	12/15/10
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15	REVISION FOR PERMITS FROM LOCAL	12/15/10
16	REVISION FOR PERMITS FROM LOCAL	12/15/10
17	REVISION FOR PERMITS FROM LOCAL	12/15/10
18	REVISION FOR PERMITS FROM LOCAL	12/15/10
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20	REVISION FOR PERMITS FROM LOCAL	12/15/10

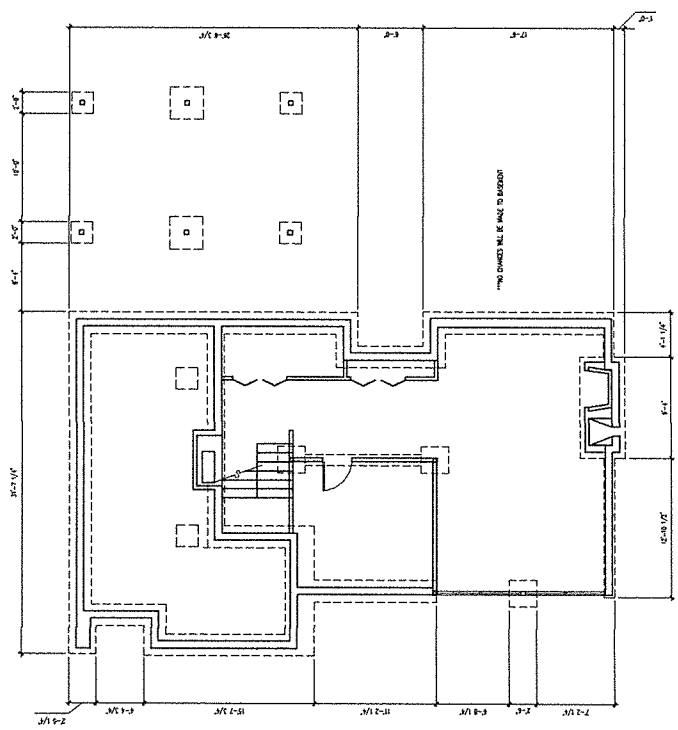
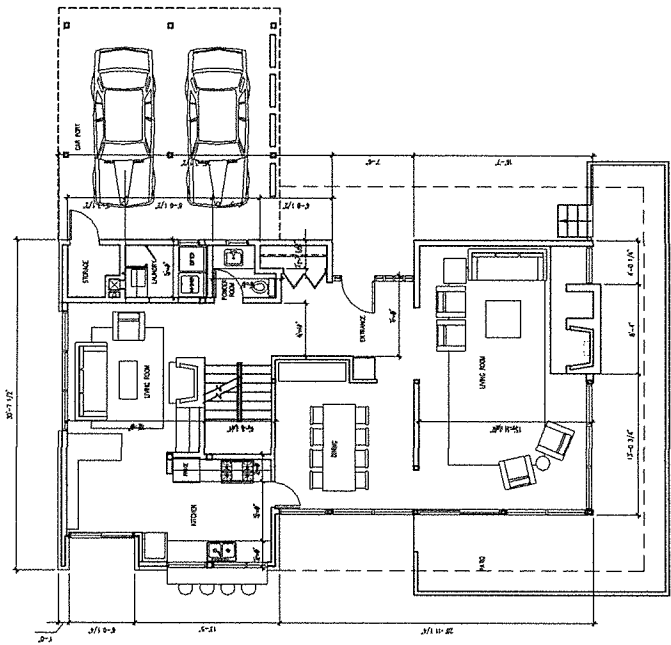
PROPOSED
TOBY HOUSE
ADDITION

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

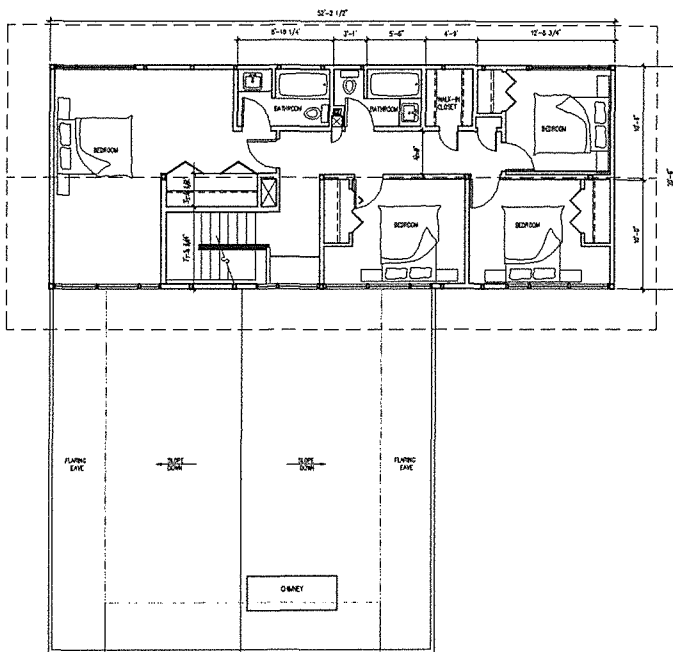


WENSLLEY ARCHITECTURE LTD
1100 WEST 10TH AVE
VANCOUVER, BC V6H 2G6
TEL: 604-273-1111
WWW.WENSLLEYARCHITECTURE.COM

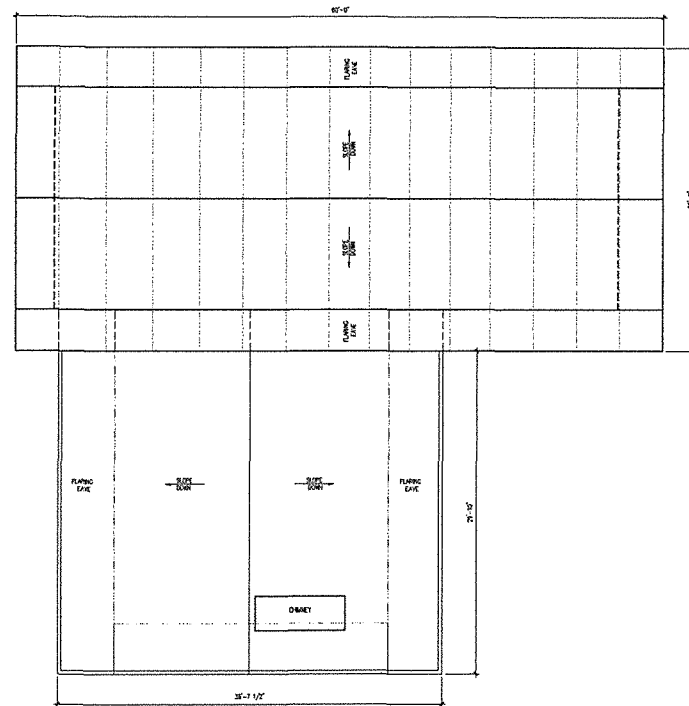
OWNER	PROJECT NO.	DATE
EXISTING TOBY HOUSE	090	12/15/10
PROJECT NO.	DATE	
377	12/15/10	
SCALE	DATE	
1/8" = 1'-0"	12/15/10	
DATE	SCALE	
12/15/10	1/8" = 1'-0"	
		A-201



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1 SECOND FLOOR PLAN
3/8" = 1'-0"



2 ROOF PLAN
3/8" = 1'-0"

NO.	REVISION	DATE
3	RE-REVISION FOR DEVELOPMENT PERMIT	1/12/20
2	RE-REVISION FOR DEVELOPMENT PERMIT	12/22/19
1	RE-REVISION FOR DEVELOPMENT PERMIT	05/14/19
	REVISION	02/07/17

PROPOSED
TOBY HOUSE
ADDITION

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

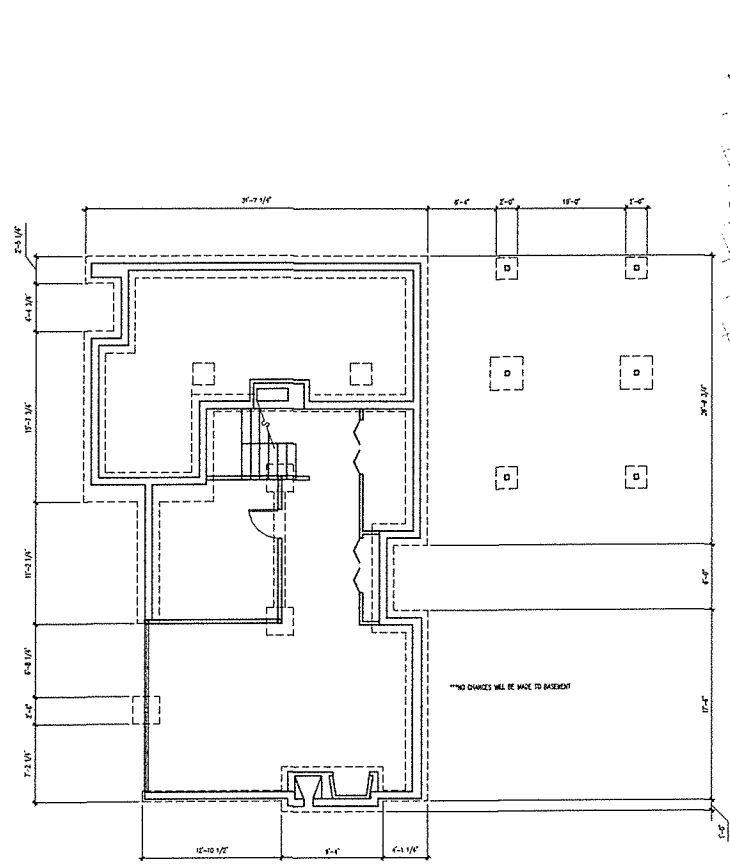


CONSULTANT:
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

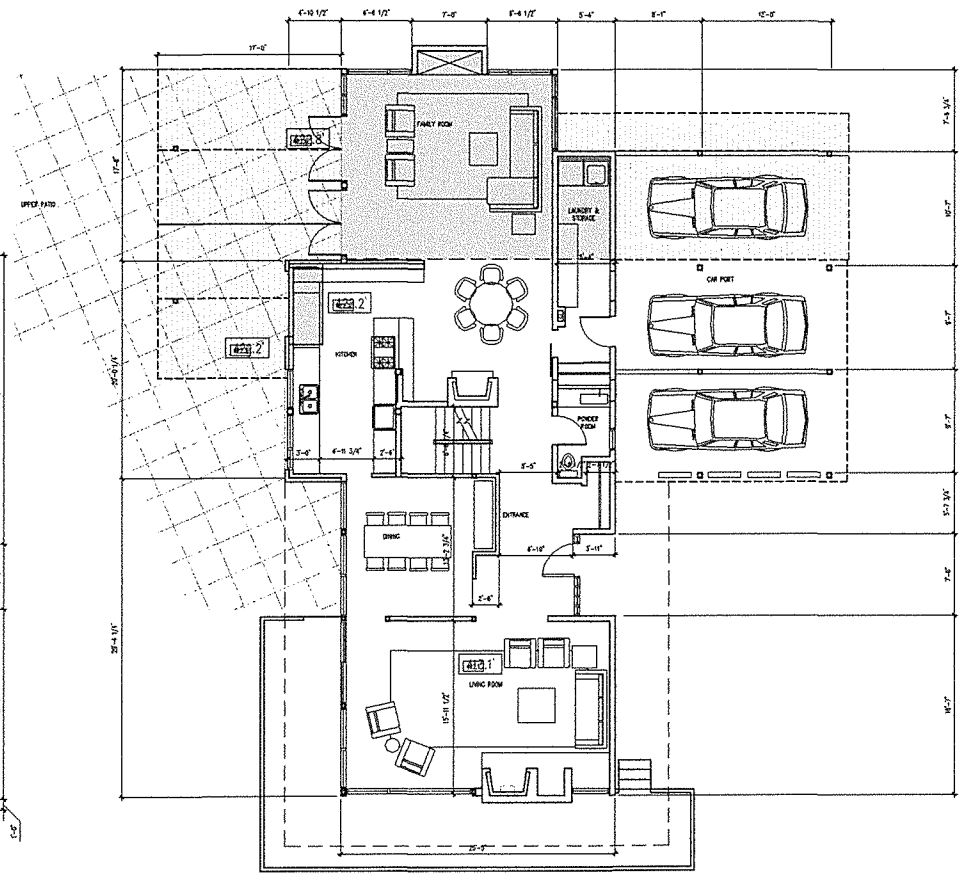
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EXISTING TOBY
HOUSE ROOF PLAN

PROJECT NO.	DATE	DRAWN BY	DATE
0009	02/07/17	BJ	02/07/17
		REVIEW BY:	02/07/17
		DRAWING FILE:	A202

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1 BASEMENT PLAN
3/16" = 1'-0"



2 MAIN FLOOR PLAN
3/16" = 1'-0"

LEGEND

	PROPOSED ADDITION
	PROPOSED CANOPIES AND NEW ROOF

NO.	REVISION	DATE
4	RE-SUBMITTED FOR DEVELOPMENT PERMIT	11/22/16
3	RE-SUBMITTED FOR DEVELOPMENT PERMIT	11/22/16
2	RE-SUBMITTED FOR DEVELOPMENT PERMIT	02/17/17
1	ISSUED FOR DEVELOPMENT PERMIT	12/28/16
	REVISION	02/17

PROPOSED
TOBY HOUSE
ADDITION

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

**Wensley
Architecture Ltd**

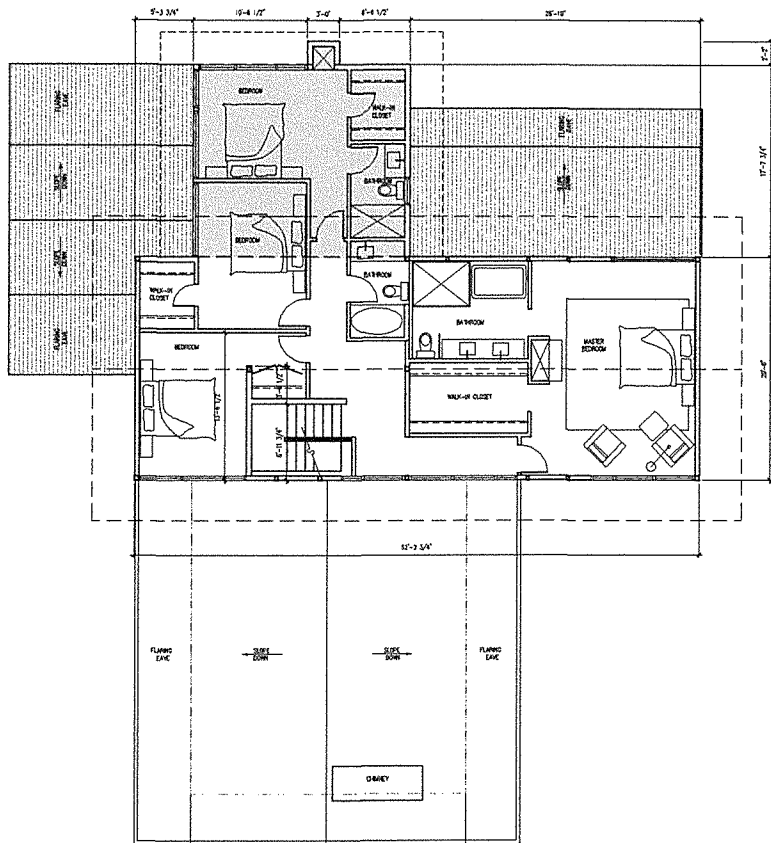
301 - 460 KENNEDY BL.
VANCOUVER BC V8M 1Z8
460 KENNEDY BL. VANCOUVER BC
V8M 1Z8

CONSULTANTS:
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

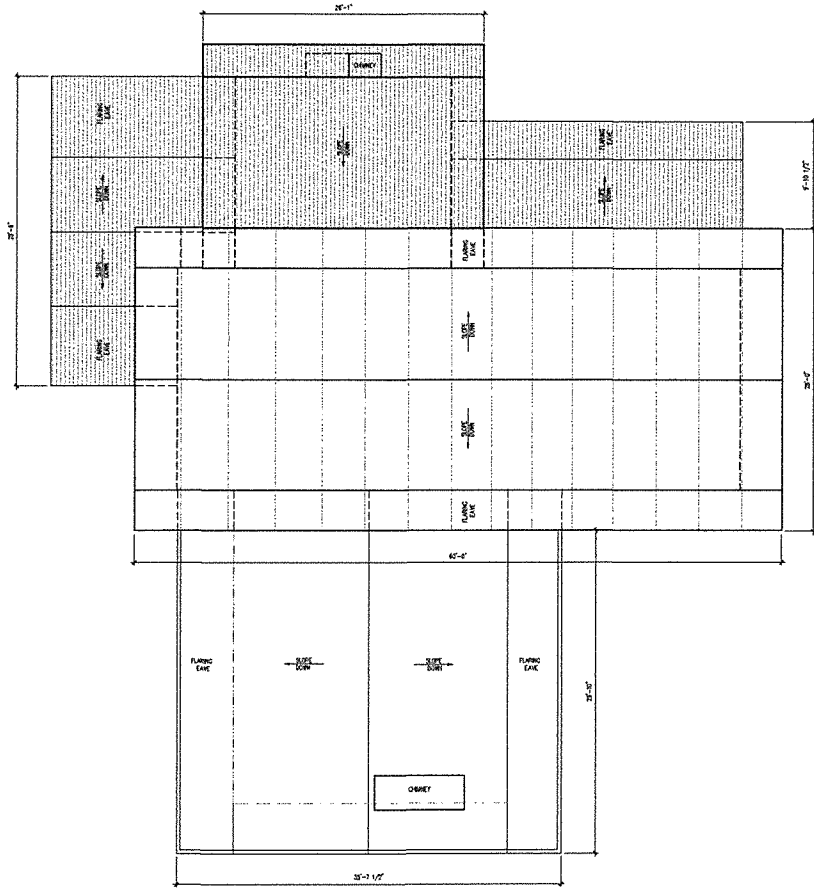
DRAWING TITLE:
**PROPOSED TOBY
HOUSE FLOOR PLANS**

PROJECT NO. 2000	DRAWN BY: MJ
SCALE: 3/16" = 1'-0"	REVISED BY: DM
DATE: 12/20/11	DRAWING NO. A203

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1 SECOND FLOOR PLAN
1/8" = 1'-0"



2 ROOF PLAN
1/8" = 1'-0"

LEGEND

- PROPOSED ADDITION
- PROPOSED CANOPIES AND NEW ROOF

NO.	REVISION	DATE

NSA:

PROPOSED TOBY HOUSE ADDITION

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

Wensley Architecture Ltd
1515 - 1800 JACOBS BL.
 VICTORIA BC V8M 2K1
 604-683-7333 or 604-683-4573
 info@wensleyarch.com

- CIRCULARS
- STRUCTURAL
- MECHANICAL
- ELECTRICAL
- LANDSCAPE

DRAWING TITLE:
PROPOSED TOBY HOUSE ROOF PLAN

PROJECT NO. 2008 DRAWN BY: BJ
 SCALE: 1/8" = 1'-0" CHECKED BY: DM
 DATE: 12/01/11 DRAWING NO.: **A204**

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NO.	REVISION	DATE
1	RE-CHECKED FOR DEVELOPMENT PERMIT	1/22/16
2	RE-CHECKED FOR DEVELOPMENT PERMIT	11/26/14
3	RE-CHECKED FOR DEVELOPMENT PERMIT	11/23/14
4	RE-CHECKED FOR DEVELOPMENT PERMIT	12/28/13
5	REVISION	9/27/11

PROPOSED
TOBY HOUSE
ADDITION

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

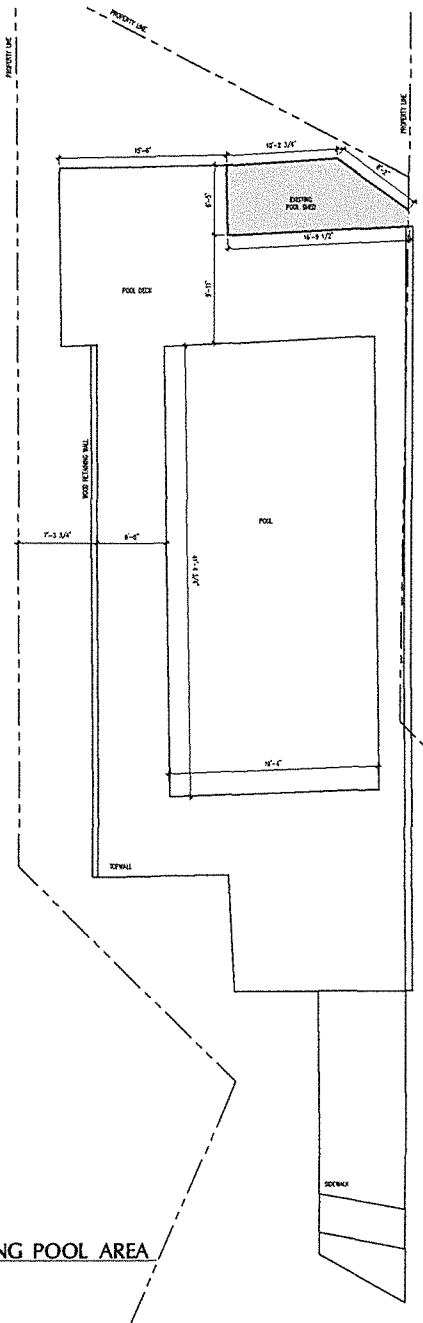
Wensley
Architecture Ltd

201 - 1414 Marine Dr.
Vancouver BC V6J 1S8
4681 KENNEDY RD. #100 VANCOUVER BC
V6M 3K9

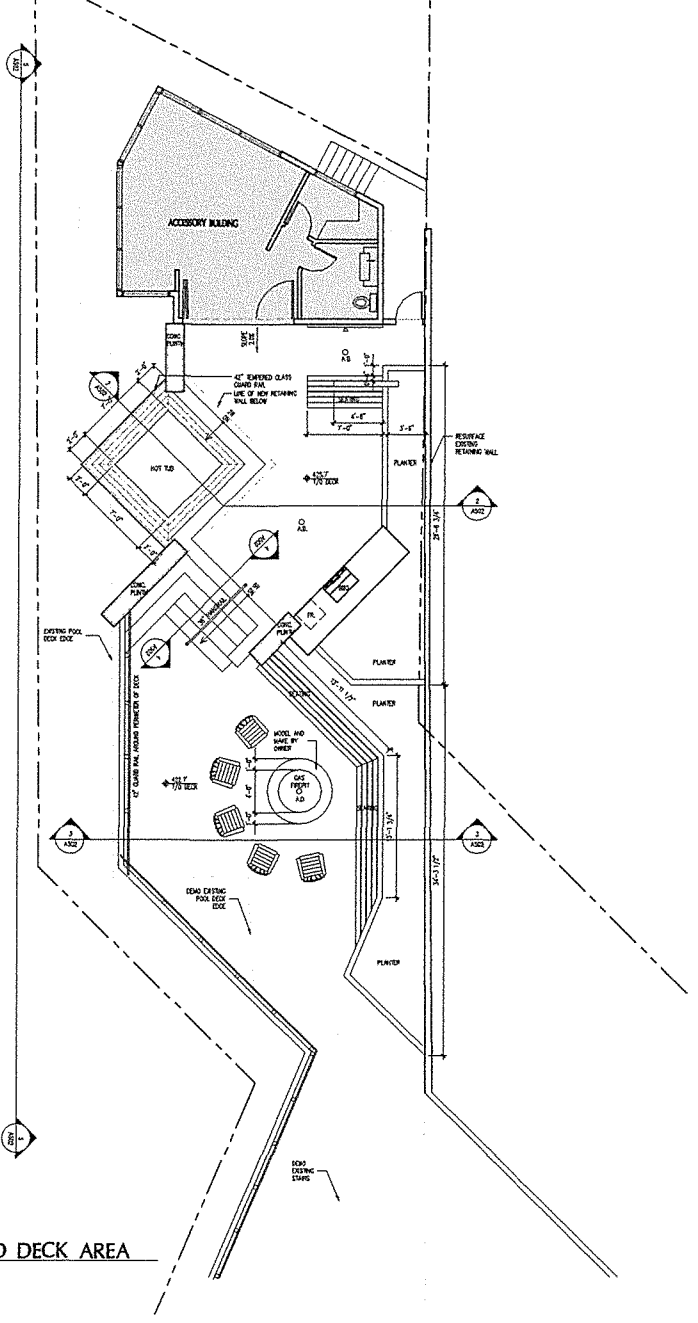
CONSULTANTS:
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

DRAWING TITLE:
**EXISTING POOL/
PROPOSED DECK**

PROJECT NO. 0203 DRAWN BY: NJ
SCALE: 3/16" = 1'-0" REVIEW BY: DM
DATE: 12/20/11 DRAWING NO. **A207**

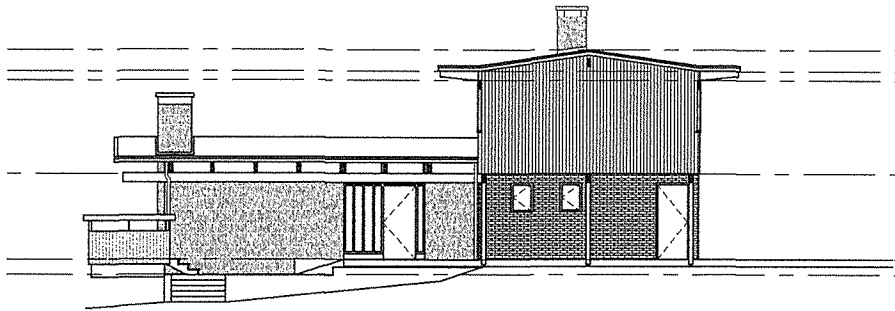


1 EXISTING POOL AREA
3/16" = 1'-0"

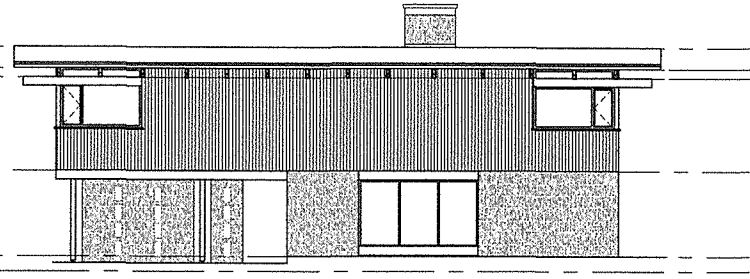


2 PROPOSED DECK AREA
3/16" = 1'-0"

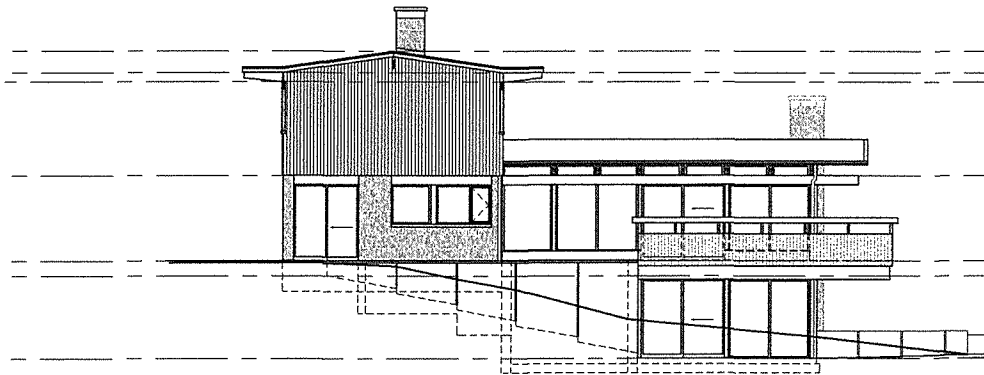
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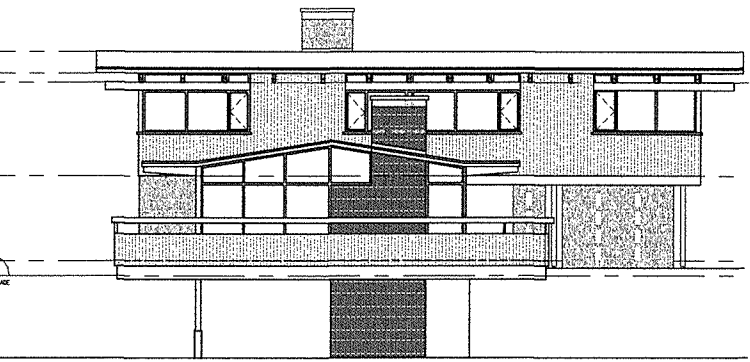
1 EXISTING EAST ELEVATION
3/8" = 1'-0"



2 EXISTING NORTH ELEVATION
3/8" = 1'-0"



3 EXISTING WEST ELEVATION
3/8" = 1'-0"



4 EXISTING SOUTH ELEVATION
3/8" = 1'-0"

NO.	REVISION	DATE
1	REVISED FOR DEVELOPMENT PERMIT	12/20/21
2	REVISED FOR DEVELOPMENT PERMIT	12/26/21
3	REVISED FOR DEVELOPMENT PERMIT	02/17/23
4	REVISED FOR DEVELOPMENT PERMIT	02/20/23
5	REVISED FOR DEVELOPMENT PERMIT	02/20/23
6	REVISED FOR DEVELOPMENT PERMIT	02/20/23
7	REVISED FOR DEVELOPMENT PERMIT	02/20/23
8	REVISED FOR DEVELOPMENT PERMIT	02/20/23
9	REVISED FOR DEVELOPMENT PERMIT	02/20/23
10	REVISED FOR DEVELOPMENT PERMIT	02/20/23

PROPOSED
TOBY HOUSE
ADDITION

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

Wensley Architecture Ltd
101 - JANE STREET
VANCOUVER BC V6P 6B7
4610 14TH AVENUE
VANCOUVER BC V6M 2G7
info@wensleyarch.com

CONTRACTS
STRUCTURAL
MECHANICAL
ELECTRICAL
LANDSCAPE

DRAWING TITLE:
EXISTING TOBY HOUSE ELEVATIONS

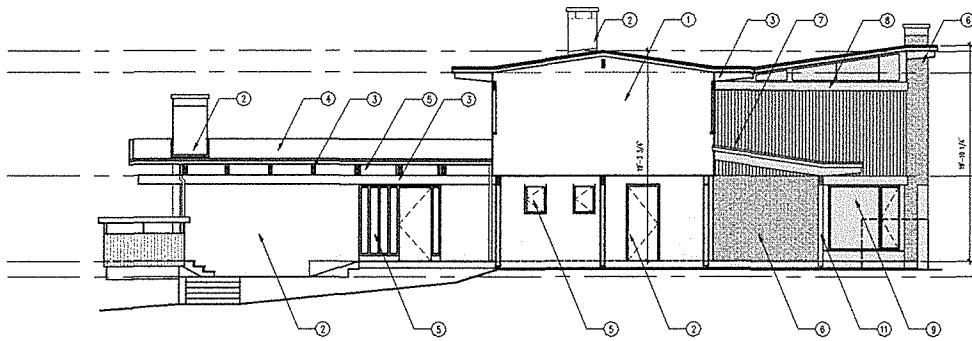
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SCALE:	3/8" = 1'-0"	CHECKED BY:	DM
DATE:	12/01/21	ISSUED BY:	A301

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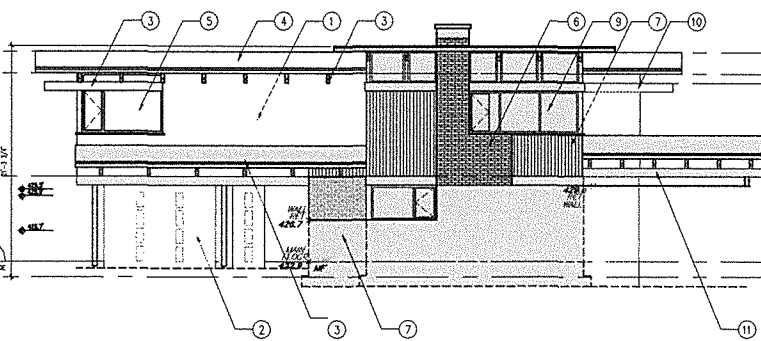
MATERIALS FINISH LEGEND

- ☐ PROPOSED NEW CONSTRUCTION
- ① EXISTING WOOD SIDING
- ② EXISTING BRICK VENEER
- ③ EXISTING STAINED WOOD BEAM
- ④ EXISTING ASPHALT ROOFING MEMBRANE
- ⑤ EXISTING GLAZING
- ⑥ NEW BRICK VENEER (TO MATCH EXISTING) COLOR: (TO MATCH EXISTING)
- ⑦ NEW 1/2" VERT. V GROVE CEDAR SIDING (TO MATCH EXISTING)
- ⑧ NEW WOOD TRIM (TO MATCH EXISTING)
- ⑨ NEW GLAZING W/ POWDER COATED TRIM (TO MATCH EXISTING)
- ⑩ NEW STAINED WOOD BEAM (TO MATCH EXISTING)
- ⑪ NEW STAINED WOOD PORTE COFFEREE (TO MATCH EXISTING WOOD TRIM)

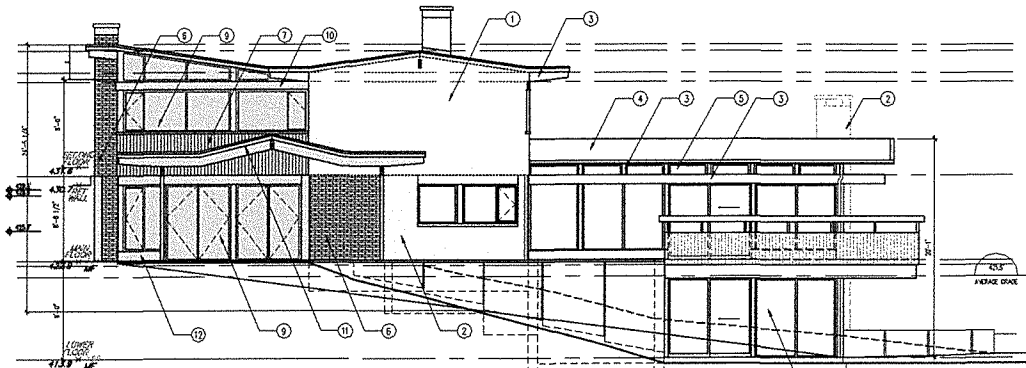
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2	RE-READY FOR DEVELOPMENT PERMIT	12/06/21
3	RE-READY FOR DEVELOPMENT PERMIT	05/19/21
4	RE-READY FOR DEVELOPMENT PERMIT	02/06/21
NO.	REVISION	0/0/21



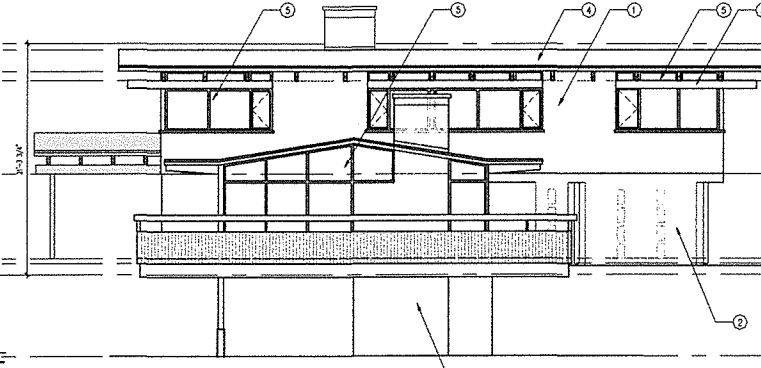
1 PROPOSED EAST ELEVATION
3/8" = 1'-0"



2 PROPOSED NORTH ELEVATION
3/8" = 1'-0"



3 PROPOSED WEST ELEVATION
3/8" = 1'-0"



4 PROPOSED SOUTH ELEVATION
3/8" = 1'-0"

PROPOSED
TOBY HOUSE
ADDITION

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

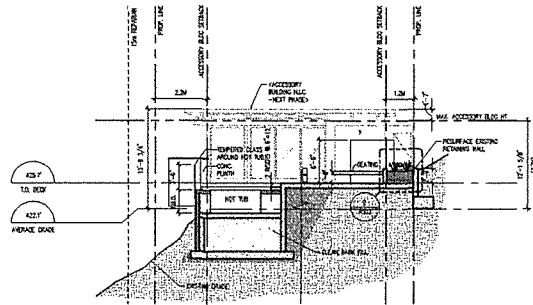


- CONTRACTS
- STRUCTURAL
- MEDICAL
- ELECTRICAL
- LANDSCAPE

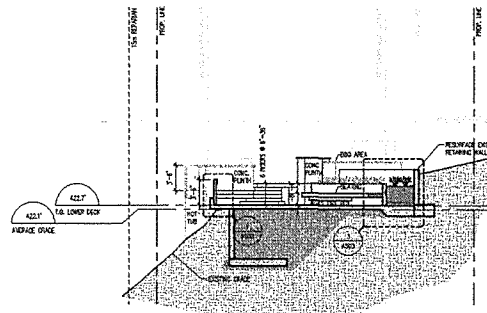
DRAWING TITLE
PROPOSED TOBY HOUSE ELEVATIONS

PROJECT NO.	0209	DRAWN BY:	NS
SCALE:	3/8" = 1'-0"	REVIEW BY:	SM
DATE:	12/20/21	DRAWING NO.:	A302

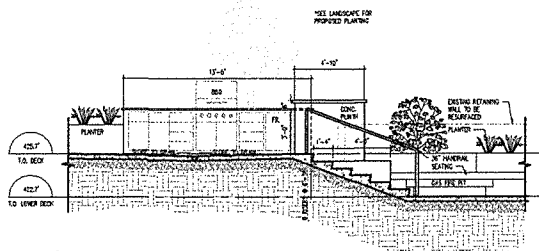
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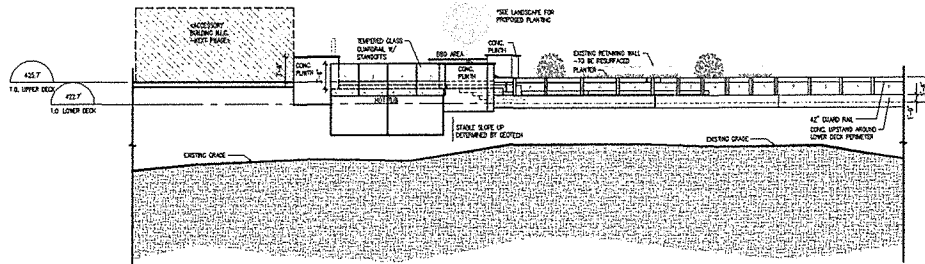
1 DECK SECTION
AS2 1/8" = 1'-0"



2 DECK SECTION
AS2 1/8" = 1'-0"



3 DECK SECTION
AS2 1/8" = 1'-0"



4 SITE SECTION
AS2 1/8" = 1'-0"

NO.	REVISION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	12/22/23
2	REVISIONS FOR DEVELOPMENT PERMIT	12/26/23
3	REVISIONS FOR DEVELOPMENT PERMIT	12/26/23
4	REVISIONS FOR DEVELOPMENT PERMIT	12/26/23
5	REVISIONS FOR DEVELOPMENT PERMIT	12/26/23
6	REVISIONS FOR DEVELOPMENT PERMIT	05/24/23
7	ISSUED FOR DEVELOPMENT PERMIT	05/24/23
8	REVISION	8/25/23

SCALE:

PROPOSED
TOBY HOUSE
ADDITION

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.



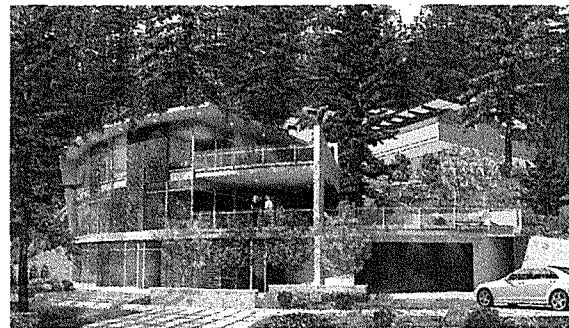
CONSULTANTS:
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

DRAWING TITLE:
DECK SECTIONS

PROJECT NO: 2209 DRAWN BY: NJ
SCALE: 1/8" = 1'-0" CHECKED BY: SW
DATE: 11/20/23 DRAWING NO: A503

PROPOSED NEW "HILL HOUSE"

2055 QUEENS AVE.
WEST VANCOUVER, B.C.



FEBRUARY 11, 2015

PROJECT # 0909



Wensley
Architecture Ltd

331 - 1644 Alberni St.
Vancouver, BC V6S 2Z4
tel 604.685.3529 fax 604.685.4574
info@wensleyarch.com

PROPOSED NEW "HILL HOUSE" Project # 0909



UNIT MIX / STATISTICS	(REVISION NO. 3)		February 10, 2015	
LEGAL DESCRIPTION	Lot F District Lot 1091 Plan 11018			
CIVIC ADDRESS	2055 Queens Ave. West Vancouver BC			
EXISTING ZONING	RS3	PROPOSED ZONING	CD	
EXISTING SITE AREA (SF)	37,727			
SITE WIDTH	22.2m <24.4m min	(measured at front setback line)		VARIANCE REQUIRED
PROPOSED HILL HOUSE SITE AREA (SF)	20,791 (1,932 m ²) >(min 1,115 m ²)			
SITE WIDTH	42.0m >24.4m min	(measured at front setback line)		
SITE DEPTH	less than <4x Site Width (max 168m)			
MAX. ALLOWABLE F.S.R	BYLAW	PROPOSED	UNUSED	FSR
HILL HOUSE	35%	24%	11%	4,894sf / 20,791 = 0.24 FSR
MAX. ALLOWABLE SITE COVERAGE	BYLAW	PROPOSED	UNUSED	
HILL HOUSE	30%	11%	19%	
MAX. BUILDING HEIGHT	BYLAW	PROPOSED		
HILL HOUSE	25' (2 STOREY + BSMT)	0.0	2 STOREYS + BSMT AVERAGE GRADE - 402.5'	
BUILDING HEIGHT	HILL HOUSE			
Storeys	2			
Average Grade (ft)	0.0			
Building Height Above Avg. Grade (ft)	17.5'			
Elevation at roof peak (ft)	420'			
Elevation of Bsmt. ft)	390'			
Elevation of Main floor (ft)	400'			
Elevation of 2nd floor (ft)	410'			
SET BACKS	BYLAW			
HILL HOUSE	SIDE SETBACK #1	Max 3m or 10% lot width (4.2m)	88.75' (27.1m)	
	SIDE SETBACK #2	Max 3m or 10% lot width (4.2m)	N/A	
	SIDE SETBACK #3	Max 3m or 10% lot width (4.2m)	6.83' (2.1m)	VARIANCE REQUIRED (house encroaching)
	SIDE SETBACK #4	Max 3m or 10% lot width (4.2m)	3.83' (1.2m)	VARIANCE REQUIRED (house encroaching)
	SIDE SETBACK #5	Max 3m or 10% lot width (4.2m)	0.66' (0.2m)	VARIANCE REQUIRED (house encroaching)
	FRONT (SOUTH)	29.86' (9.1m)	32.13' (9.8m)	
	REAR (NORTH)	29.86' (9.1m)	79.33' (24.2m)	
BUILDING AREA	EXISTING (sq. ft.)	PROPOSED (sq. ft.)	COMBINED (sq. ft.)	
HILL HOUSE		4,894	4,894	
BUILDING FOOTPRINT	EXISTING (sq. ft.)	PROPOSED (sq. ft.)	COMBINED (sq. ft.)	
HILL HOUSE (SF)		2,228	2,228	
PARKING	BYLAW	EXISTING	PROPOSED	TOTAL
HILL HOUSE	Min. 1		2	2

CONTACT LIST	
CLIENT	
VIAHOS HOLDINGS LTD. 701 Pacific Street, Jasper, AB T0E 1E0 Tel: 780-852-3617 Cell: 780-893-0687	
CONTACT: Oua Vlahos	Email:
ARCHITECTS	
WENSLEY ARCHITECTURE LTD. 301-1444 Abnemi Street, Vancouver, BC V6G 2Z4 Tel: 604-685-3529 Fax: 604-685-4574	
CONTACT: David McGrath	Email: dmgrath@wensleyarch.com
WENSLEY ARCHITECTURE LTD. (Victoria) # 108, 2800 Bryn Mawr Road, Victoria, BC V8B 3T4 Tel: 250-391-4833 Fax: 250-391-4864	
CONTACT: Doug Wong Neil Jacobson	Email: dwong@wensleyarch.com njacobson@wensleyarch.com
STRUCTURAL	
LONDON MAH & ASSOCIATES LTD. 103-1847 West Broadway, Vancouver, BC V6J 1Y8 Tel: 604-730-8544 Fax: 604-730-1468	
CONTACT: Jim Mah	Email: londonmah@telus.net
LANDSCAPE	
DURANTE KREBUK LANDSCAPE ARCHITECTS 102-1637 W 5th Avenue, Vancouver, BC V6J 1N5 Tel: 604-684-4511 Cell: 604-680-7229	
CONTACT: Jennifer Stamp	Email: jennifer@dklbc.ca
GEOTECHNICAL	
PUAR ENGINEERING CONSULTANTS INC. 200-100 Park Royal S, West Vancouver, BC V7V 1A2 Tel: 604-913-7827 Cell: 604-902-8229	
CONTACT: Sunder Puar	Email: sunder@puar.ca
SURVEY	
CHAPMAN LAND SURVEYING LTD. 107-100 Park Royal South, West Vancouver, BC V7V 1A2 Tel: 604-626-7311 Fax: 604-626-6923	
CONTACT:	Email: sandy@chapmansurvey.com
ENVIRONMENTAL	
SARTORI ENVIRONMENTAL SERVICES 106-185 Forester Street, North Vancouver, BC V7H 0A5 Tel: 604-687-5588 Cell: 604-220-0189	
CONTACT: Alex Sartori	Email: alex@sartorienv.com
MUNICIPAL	
DISTRICT OF WEST VANCOUVER 750-17th Street, West Vancouver, BC V7V 3T3 Tel: 604-925-7056 Fax: 604-925-6083	
CONTACT: Stephen Mikicich	Email: smikicich@westvancouver.ca

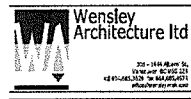
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1	RE-DESIGN FOR DEVELOPMENT PERMIT	1/25/15
2	RE-DESIGN FOR DEVELOPMENT PERMIT	12/08/15
3	RE-DESIGN FOR DEVELOPMENT PERMIT	05/14/15
4	RE-DESIGN FOR DEVELOPMENT PERMIT	02/09/15
5	REVISION	04/27

SEAL:

**PROPOSED
NEW "HILL
HOUSE"**

**2055 QUEENS AVE.
WEST VANCOUVER,
B.C.**



- CONCRETE
- MECHANICAL
- ELECTRICAL
- LANDSCAPE

PROJECT DATA

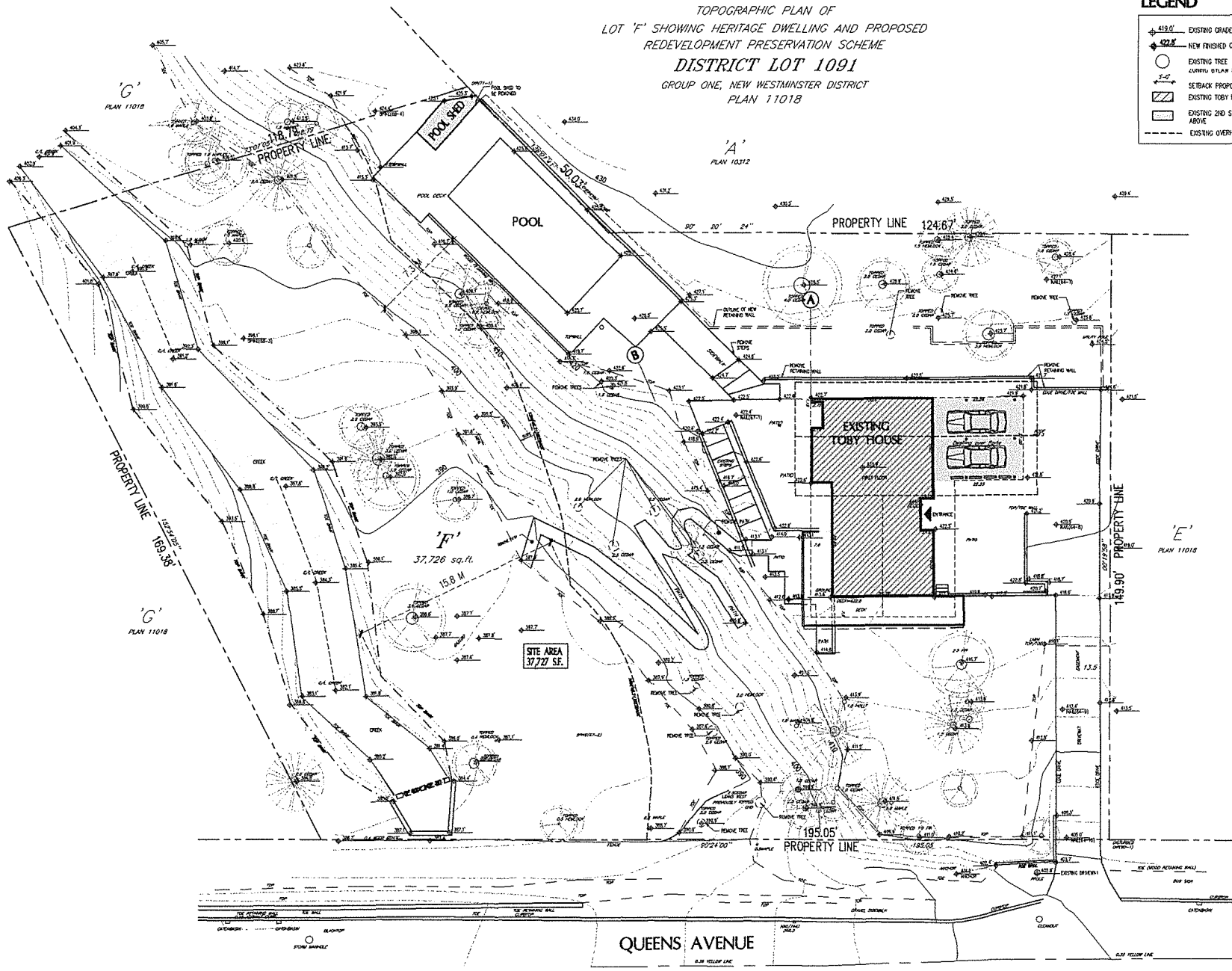
PROJECT NO. 0909	DRAWN BY: NJ
SCALE:	REVIEWED: DM
DATE: 12/01/15	PROJECT NO. A001

TOPOGRAPHIC PLAN OF
 LOT 'F' SHOWING HERITAGE DWELLING AND PROPOSED
 REDEVELOPMENT PRESERVATION SCHEME
DISTRICT LOT 1091
 GROUP ONE, NEW WESTMINSTER DISTRICT
 PLAN 11018

LEGEND

	EXISTING GRADE
	NEW FINISHED GRADE
	EXISTING TREE COUNTED AT PLAN 1033
	SETBACK PROPOSED
	EXISTING TOBY HOUSE
	EXISTING 2ND STOREY ABOVE
	EXISTING OVERHANGS

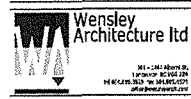
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NO.	REVISION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	02/04/13
2	REVISION	04/07/13
3	REVISION	05/01/13
4	REVISION	05/01/13
5	REVISION	05/01/13
6	REVISION	05/01/13
7	REVISION	05/01/13
8	REVISION	05/01/13
9	REVISION	05/01/13
10	REVISION	05/01/13

PROPOSED
 NEW "HILL
 HOUSE"

2055 QUEENS AVE.
 WEST VANCOUVER,
 B.C.



CONCRETE
 STRUCTURAL
 ELECTRICAL
 LANDSCAPE

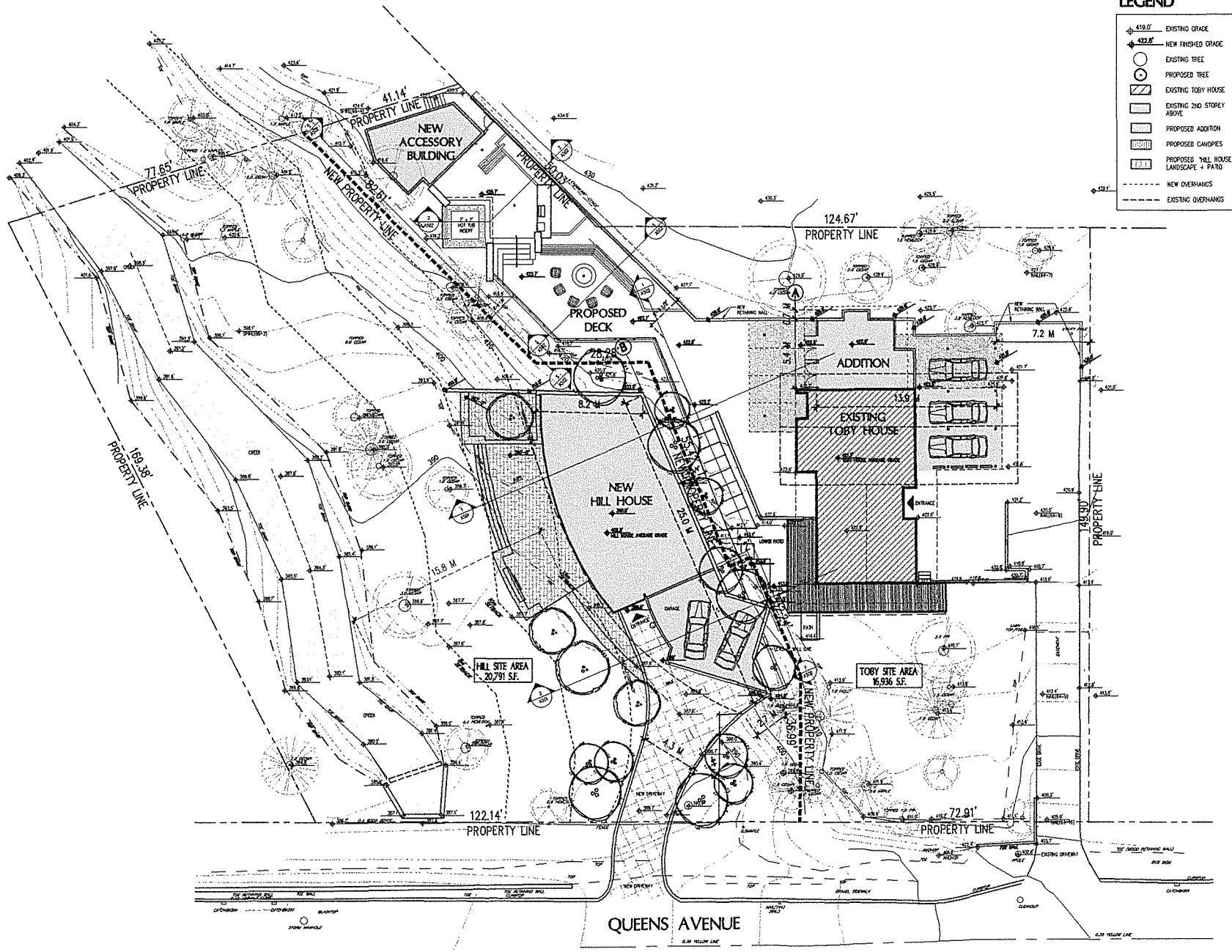
**EXISTING
 SITE PLAN**

PROJECT NO: 0009
 SHEET NO: 1 OF 2
 DATE: 11/20/11

DRAWN BY: JH
 CHECKED BY: JH
 DATE: 11/20/11

SCALE: 1:100

A01



LEGEND

- 419.0' EXISTING GRADE
- 422.8' NEW FINISHED GRADE
- EXISTING TREE
- PROPOSED TREE
- ▨ EXISTING TOBY HOUSE
- ▨ EXISTING 2ND STOREY ABOVE
- ▨ PROPOSED ADDITION
- ▨ PROPOSED CANOPIES
- ▨ PROPOSED "HILL HOUSE" LANDSCAPE + PATIO
- ▨ NEW OVERHANGS
- - - EXISTING OVERHANGS

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1	RE-DESIGN FOR DEVELOPMENT PERMIT	1/22/23
2	RE-DESIGN FOR DEVELOPMENT PERMIT	1/25/23
3	RE-DESIGN FOR DEVELOPMENT PERMIT	3/27/23
4	RE-DESIGN FOR DEVELOPMENT PERMIT	5/26/23
5	RE-DESIGN FOR DEVELOPMENT PERMIT	5/27/23

SEA:

**PROPOSED
NEW "HILL
HOUSE"**

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.



- CONSULTANTS:
- STRUCTURAL:
- METEOROLOGICAL:
- ELECTRICAL:
- LANDSCAPE:

DRAWING TITLE:

**PROPOSED
SITE PLAN**

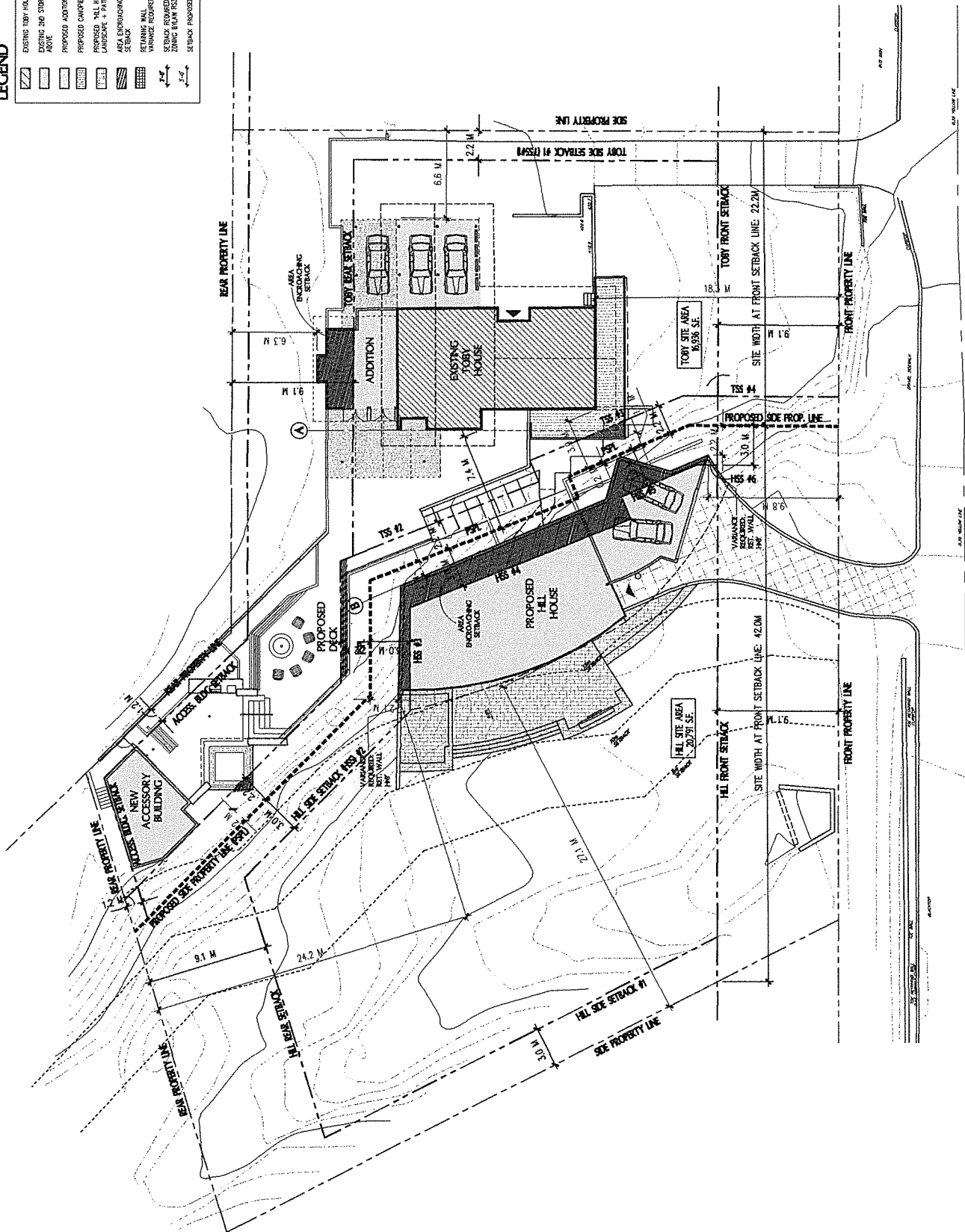
PROJECT NO:	6509	DRAWN BY:	RU
SCALE:	1/32" = 1'-0"	REVIEW BY:	RU
DATE:	17/04/23	DRAWING NO.:	A102

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LEGEND

- EXISTING TORY HOUSE
- EXISTING 2ND STOREY ABOVE
- PROPOSED ADDITION
- PROPOSED CHANGES
- PROPOSED NEW WALLS/ LANDSCAPE, TERRACE, DRIVE
- SETBACKS INVOLVING INTO SETBACK
- SETBACK WALL
- VARIANCE REQUIRED BY ZONING BY-LAW RES
- SETBACK PROPOSED



NO.	REVISION	DATE
1	REVISION FOR PERMITS	12/04/20
2	REVISION FOR PERMITS	01/11/21
3	REVISION FOR PERMITS	02/11/21
4	REVISION FOR PERMITS	03/11/21
5	REVISION FOR PERMITS	04/11/21
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49	REVISION FOR PERMITS	12/02/24
50	REVISION FOR PERMITS	01/03/25

PROPOSED
NEW "HILL
HOUSE"

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.



Wensley
Architecture Ltd
11-1111 BURNHAMTHORPE RD.
VANCOUVER, BC V6A 1K6
TEL: 604-271-1111
WWW.WENSLYARCHITECTURE.COM

PROPOSED
SETBACKS

NO.	REVISION	DATE
1	REVISION FOR PERMITS	12/04/20
2	REVISION FOR PERMITS	01/11/21
3	REVISION FOR PERMITS	02/11/21
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48	REVISION FOR PERMITS	11/02/24
49	REVISION FOR PERMITS	12/02/24
50	REVISION FOR PERMITS	01/03/25

A103

CONSENT GRANTED. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF VANCOUVER'S ZONING BY-LAW AND THE BC BUILDING ACT. ALL WORK TO BE DONE IN ACCORDANCE WITH THE BC BUILDING ACT AND THE BC BUILDING REGULATIONS. ALL WORK TO BE DONE IN ACCORDANCE WITH THE BC BUILDING ACT AND THE BC BUILDING REGULATIONS.



NO.	DESCRIPTION	DATE
1	AS ISSUED FOR PERMITTING	10/27/05
2	AS ISSUED FOR PERMITTING	10/27/05
3	AS ISSUED FOR PERMITTING	10/27/05
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18	AS ISSUED FOR PERMITTING	10/27/05
19	AS ISSUED FOR PERMITTING	10/27/05
20	AS ISSUED FOR PERMITTING	10/27/05

**PROPOSED
NEW "HILL
HOUSE"**

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

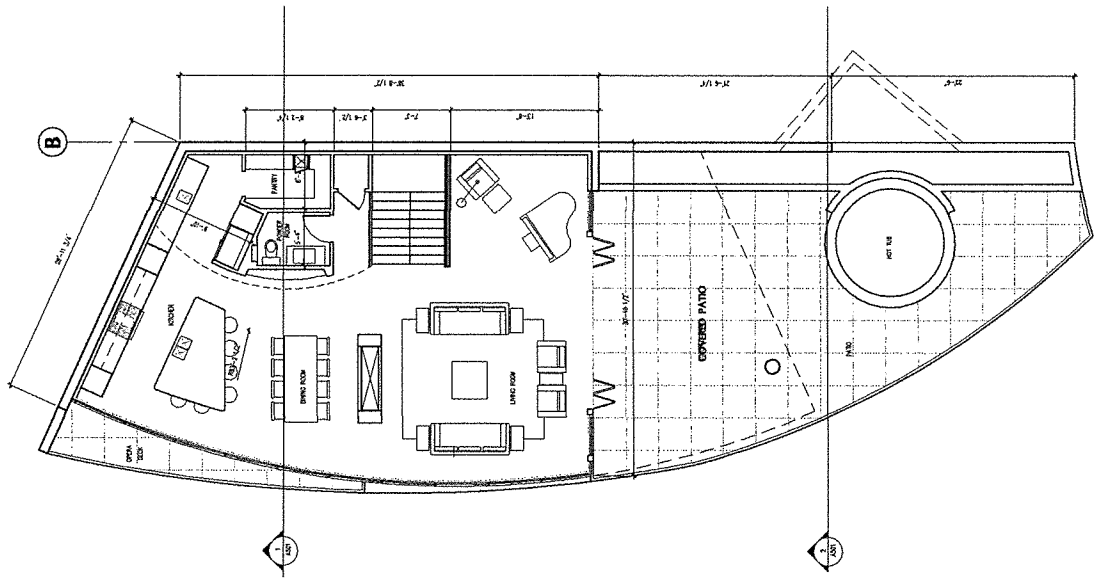
**Wensley
Architecture Ltd**

100-1100 BROADVIEW AVE.
VANCOUVER, B.C. V6H 1R8
TEL: 604-275-1100
FAX: 604-275-1101
WWW.WENSLYARCHITECTURE.COM

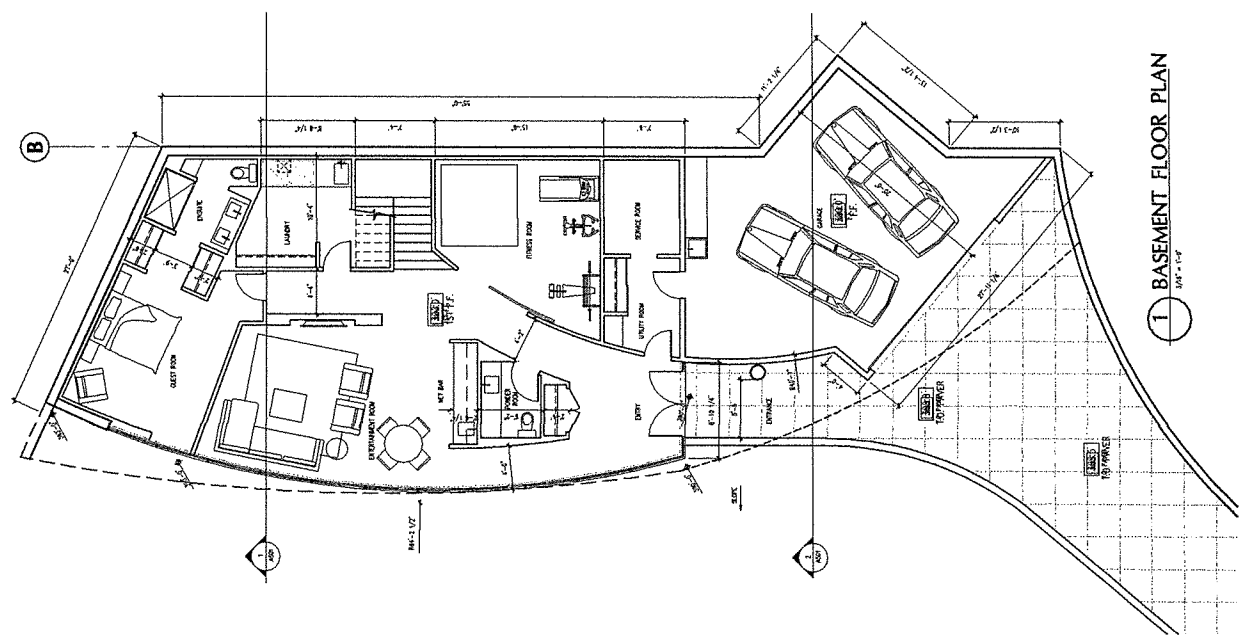
CONSULTANT:
ARCHITECTURAL
ELECTRICAL
MECHANICAL
LANDSCAPE

OWNER: **PROPOSED HILL HOUSE PLANS**

PROJECT NO.	099	DRAWN BY	N
SCALE	1/8" = 1'-0"	CHECKED BY	DR
DATE	11/01/05	DATE	11/01/05

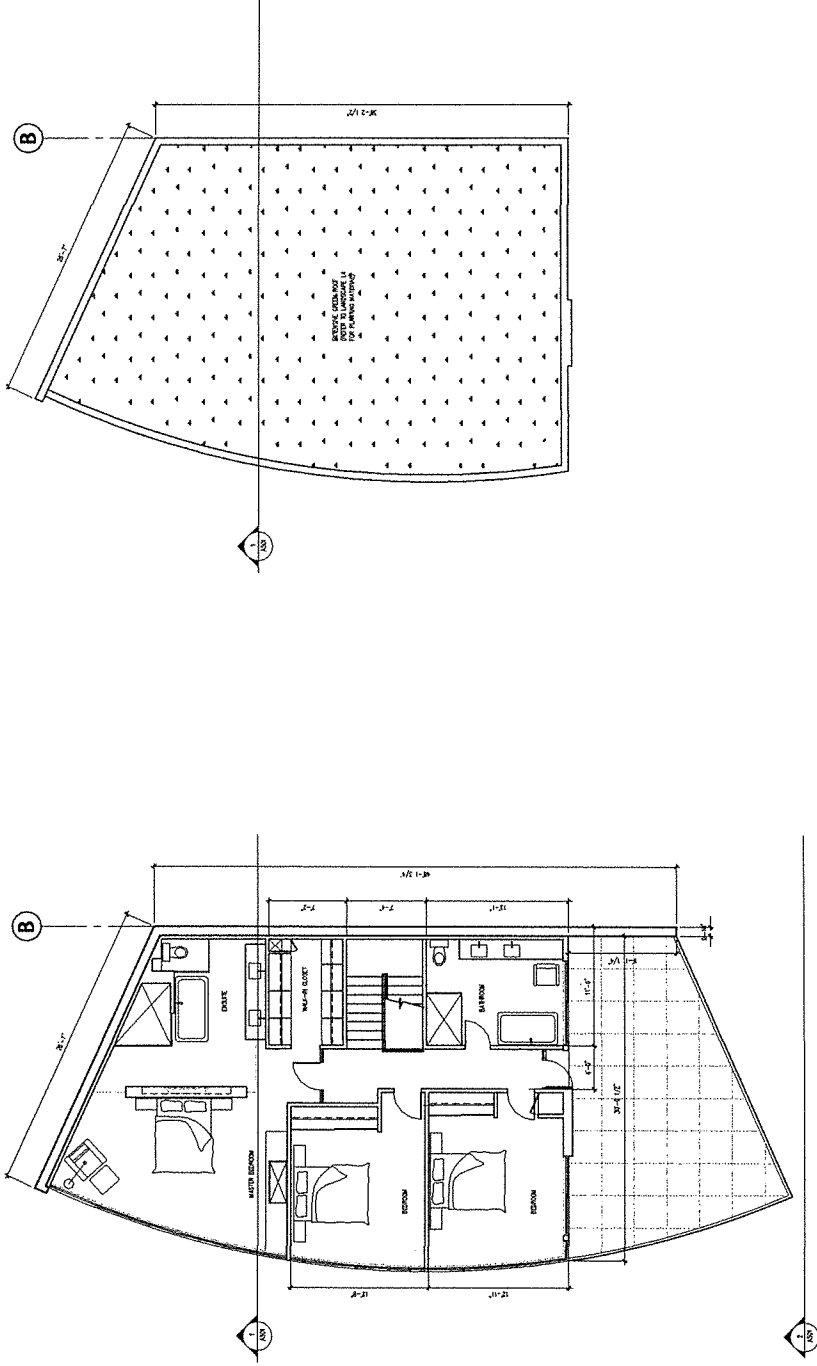


2 MAIN FLOOR PLAN
1/8" = 1'-0"



1 BASEMENT FLOOR PLAN
1/8" = 1'-0"

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1 SECOND FLOOR PLAN
3/16" = 1'-0"

2 ROOF PLAN
3/16" = 1'-0"

NO.	DESCRIPTION	DATE
1	REVISIONS	
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
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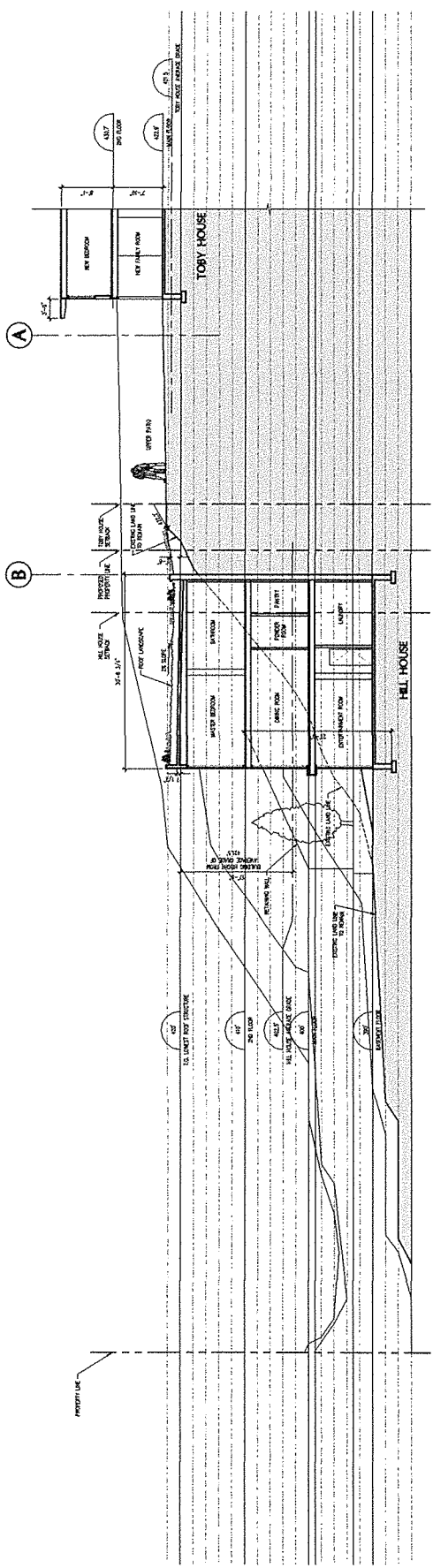
PROPOSED
NEW "HILL
HOUSE"

2055 QUEENS AVE
WEST VANCOUVER,
B.C.

**Wensley
Architecture Ltd**
1100 WEST 10TH AVE
VANCOUVER, BC
V6H 1T5
TEL: 604-273-1111
WWW.WENSLLEYARCHITECTURE.COM

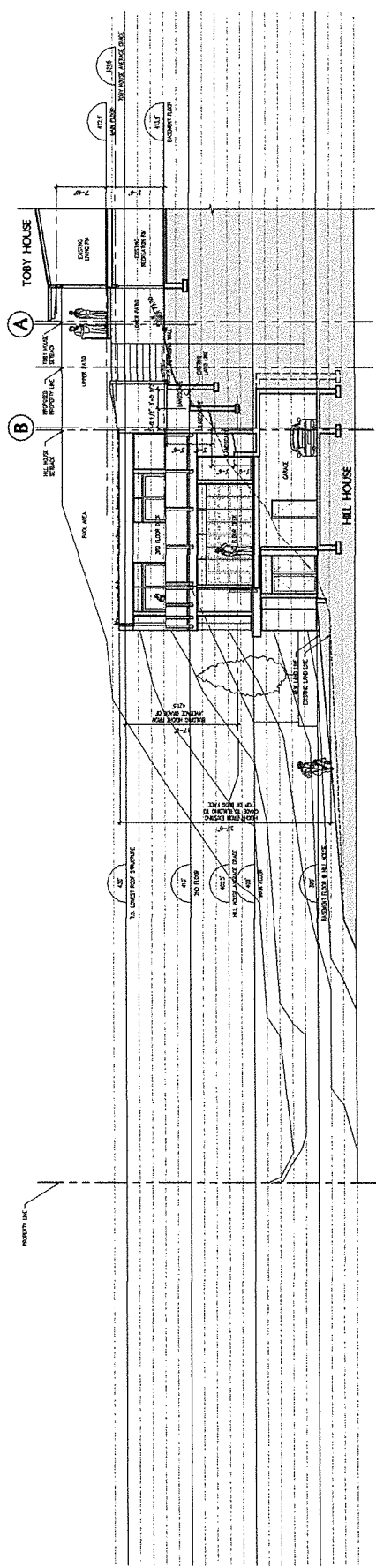
OWNER: TEL
**PROPOSED HILL
HOUSE ROOF PLAN**
PROJECT NO: 000
SCALE: 3/16" = 1'-0"
DATE: 12/01/11
DRAWN BY: M
CHECKED BY: B
DATE: 12/01/11
SCALE: A205

CONTRACTOR: ALL PARTS OF THE DRAWING ARE TO BE CONSIDERED AS PARTS OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



1 SITE SECTION
1/8" = 1'-0"

NO.	REVISION	DATE
1	ISSUED FOR PERMITTING	12/27/20
2	REVISED FOR PERMITTING	12/27/20
3	REVISED FOR PERMITTING	12/27/20
4	REVISED FOR PERMITTING	12/27/20
5	REVISED FOR PERMITTING	12/27/20
6	REVISED FOR PERMITTING	12/27/20



2 SITE SECTION
1/8" = 1'-0"

PROPOSED
NEW "HILL
HOUSE"

2055 QUEENS AVE
WEST VANCOUVER,
B.C.



PROJECT NO. 0009

DATE: 1/10/21

SCALE: 1/8" = 1'-0"

DATE: 1/10/21

PROJECT NO. 0009

DATE: 1/10/21

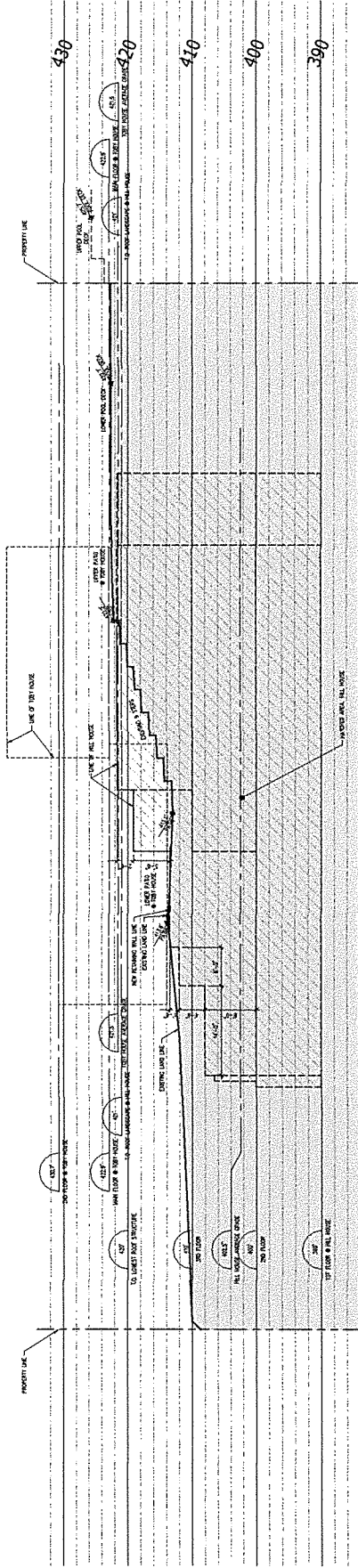
SCALE: 1/8" = 1'-0"

DATE: 1/10/21

BUILDING &
SITE SECTIONS

NO.	REVISION	DATE
1	ISSUED FOR PERMITTING	12/27/20
2	REVISED FOR PERMITTING	12/27/20
3	REVISED FOR PERMITTING	12/27/20
4	REVISED FOR PERMITTING	12/27/20
5	REVISED FOR PERMITTING	12/27/20
6	REVISED FOR PERMITTING	12/27/20

GENERAL NOTES: ALL WORK IS TO BE COMPLETED BY THE DATE OF THE PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND THE RELEVANT AGENCIES.



1 SITE SECTION
1/8" = 1'-0"

NO.	REVISION	DATE
1	ISSUED FOR PERMITTING	12/20/17
2	ISSUED FOR PERMITTING	12/20/17
3	ISSUED FOR PERMITTING	12/20/17
4	ISSUED FOR PERMITTING	12/20/17
5	ISSUED FOR PERMITTING	12/20/17
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8	ISSUED FOR PERMITTING	12/20/17
9	ISSUED FOR PERMITTING	12/20/17
10	ISSUED FOR PERMITTING	12/20/17

5/4

**PROPOSED
NEW "HILL
HOUSE"**

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

**Wensley
Architecture Ltd**
2055 QUEENS AVE.
WEST VANCOUVER, B.C.
V7V 1A7

CONTRACT NO. 1000
PROJECT NO. 1000
SCALE: 1/8" = 1'-0"
DATE: 12/20/17

**BUILDING &
SITE SECTIONS**

NO.	REVISION	DATE
1	ISSUED FOR PERMITTING	12/20/17
2	ISSUED FOR PERMITTING	12/20/17
3	ISSUED FOR PERMITTING	12/20/17
4	ISSUED FOR PERMITTING	12/20/17
5	ISSUED FOR PERMITTING	12/20/17
6	ISSUED FOR PERMITTING	12/20/17
7	ISSUED FOR PERMITTING	12/20/17
8	ISSUED FOR PERMITTING	12/20/17
9	ISSUED FOR PERMITTING	12/20/17
10	ISSUED FOR PERMITTING	12/20/17

HILL HOUSE LANDSCAPE RATIONALE

The approach for the landscape design has been to have the exterior rooms be an extension of the interior living spaces and relate strongly to into the surrounding naturalistic landscape. The site is dominated by an arm of MacDonal Creek along the western property line, a steep embankment to the northeast adjacent the Toby residence, and many mature Douglas Fir and Western Hemlock Trees.

The intervention of built form in the naturalistic landscape has been informed by the riparian setbacks from the stream. Within 10m from the top of bank the only intervention is native riparian planting. Between the 10m zone and the facade of the house (15m) there are low stone walls, a patio and planting patterned to be sympathetic to the built form.

It is within the 10 - 15m zone that more intensive uses of the ground plane occur. The simple lines in plan tie in with the architecture. Low stone walls and small trees to direct views and frame spaces. The material palette has been minimized to cut stone and flagstone paving. The still, quiet plant palette is meant to compliment not compete with the naturalistic environment.

Specific landscape initiatives have been developed to preserve the natural quality of the property and create livable outdoor areas for both the proposed house and the Toby residence.

REMOVE INVASIVE SPECIES + REPLANT WITH NATIVES

Much of the area within the 15m riparian setback is vegetated with English Ivy, English Holly, Himalayan Blackberry, Periwinkle, and Impatiens. These invasive species would be removed. The 5m riparian setback would be replanted with robust native species, and the 15m setback would be a mixture of native and non-invasive exotic species. The exotic plant palette would focus on using predominantly evergreen plants with lush foliage that tie in and compliment our native plant species.

Invasive planting outside the property line and including the city boulevard will also be removed. Replanting will be to the satisfaction of the District of West Vancouver.

STORM WATER MANAGEMENT

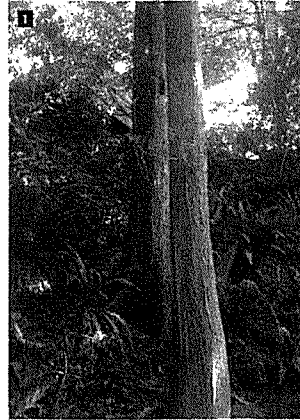
Several measures are proposed to manage storm water for the proposed house. A green roof is proposed for the top floor of the house. Not only does it slow down storm water but it also creates a pleasant outlook from the Toby house. Areas of permeable paving are proposed within the 15m riparian setback area thus allowing ground water infiltration. Storm water runoff from hard landscape areas such as the patios and driveway would be collected in a rock pit prior to connecting to the arm of MacDonal Creek that runs along the west side of the property.

CREATE LIVABLE OUTDOOR SPACES THAT PRESERVE PRIVACY

The Toby residence sits higher than the proposed residence. Effort has been made to buffer cross views and minimize the effect of the new house to the Toby residence. The roof of the proposed house sits at grade with the land to the north and is roughly 3 feet below in elevation as the main floor of the Toby residence. The intention is for the green roof planting to blend with the planting on grade so that the parapet edge disappears. The second floor patio of the new house is screened from the basement patio of the Toby residence with both a guardrail and tree planting. This basement patio is retained with a feature stone wall that is the backdrop of the second floor patio. The hot tub has been set into the landscape between the properties up against the feature stone wall.

TOBY HOUSE LANDSCAPE RATIONALE

The Toby house landscape is to remain and be restored to its heritage state. Mature shrubs and trees are to be protected during construction. Invasives, such as English Ivy will be removed.











EXISTING SITE PHOTOS Refer to sheet L-3 for locations





APPENDIX 'E' TO SCHEDULE 'A'

MATERIALS LEGEND




Paving / Planting

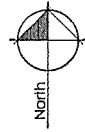
	Driveway and patio paving Patio: Mason Overlay Random Flagstone 25" x 30" x 2 1/2"
	Stone Wall Facing Weathered Face Mix 8" x 18" x 3"-5"
	Entry Wall Facing Sichuan Flamed Basalt Pavers 12" x 24" x 1 1/2"
	C.I.P. Concrete Steps
	C.I.P. Exposed aggregate paving c/w Charcoal colored monochromatic aggregate
	Ornamental Paving Refer to Plant list
	Native Planting Refer to Plant list
	Extensive Green Roof Refer to Plant list

DRAWING LEGEND

	Property Line
	Extent of Work
	Riparian Setback
	8ft Fence - Refer to Erosion and Sedimentation Control Plan

Lighting


	Wall Light
	Entry Light
	LED RGB strip light c/w controller



North

3 Feb 10-13	Revised per City Comments	
1 Jun 26-15	Revised for DP	
1 Nov 25 13	Issued for DP	
no. date	Item	

Revisions:



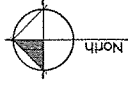
Duranki Group Ltd
150 - 1527 West 56th Avenue
Vancouver BC V6M 1H5
Tel: 604 484 4611
Fax: 604 684 0277
www.dgbc.ca

Project:
2055 Queen's Ave

Drawn by: EN
Checked by: JES
Date: September 12, 2012
Scale: 3/32" = 1' 0"
Drawing Title:
Cover Page

Project No.:
10076

Sheet No.:



3. ETC. TO IS
 4. ETC. TO IS
 1. NEW/22 IS
 No.: 02/06
 Date:

Reviewed by City Comments:
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 2. NEW/22 IS
 3. NEW/22 IS
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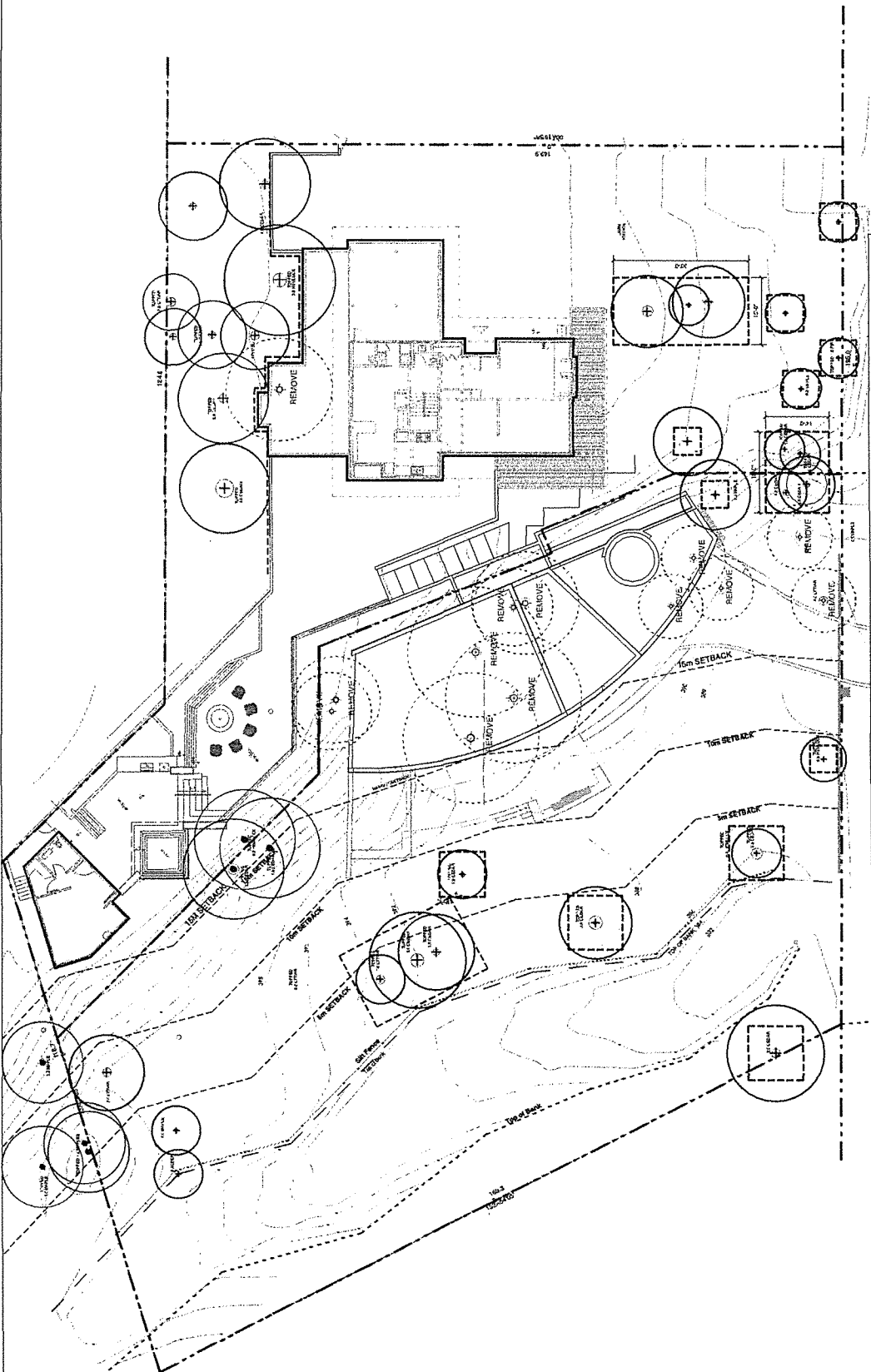


Project:
2055 Queen's Ave

Submitted by: DJ
 Checked by: JG
 Date: September 12, 2012
 Scale: 3/32" = 1'-0"

Tree Retention

Project No.:
10076
 Sheet No.:



Tree Protection Fence

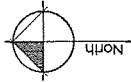
EXISTING TREES TO BE RETAINED
 - 1.2 Calcs

EXISTING TREES TO BE REMOVED
 - REMOVE

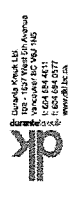
Table 1 - Tree Protection Distance Table

Tree Species	Maximum Protection Length (ft)	Minimum Protection Length (ft)
1	25	12
2	30	15
3	35	18
4	40	21
5	45	24
6	50	27
7	55	30
8	60	33
9	65	36
10	70	39
11	75	42
12	80	45
13	85	48
14	90	51
15	95	54
16	100	57
17	105	60
18	110	63
19	115	66
20	120	69
21	125	72
22	130	75
23	135	78
24	140	81
25	145	84
26	150	87
27	155	90
28	160	93
29	165	96
30	170	99
31	175	102
32	180	105
33	185	108
34	190	111
35	195	114
36	200	117
37	205	120
38	210	123
39	215	126
40	220	129
41	225	132
42	230	135
43	235	138
44	240	141
45	245	144
46	250	147
47	255	150
48	260	153
49	265	156
50	270	159
51	275	162
52	280	165
53	285	168
54	290	171
55	295	174
56	300	177
57	305	180
58	310	183
59	315	186
60	320	189
61	325	192
62	330	195
63	335	198
64	340	201
65	345	204
66	350	207
67	355	210
68	360	213
69	365	216
70	370	219
71	375	222
72	380	225
73	385	228
74	390	231
75	395	234
76	400	237
77	405	240
78	410	243
79	415	246
80	420	249
81	425	252
82	430	255
83	435	258
84	440	261
85	445	264
86	450	267
87	455	270
88	460	273
89	465	276
90	470	279
91	475	282
92	480	285
93	485	288
94	490	291
95	495	294
96	500	297
97	505	300
98	510	303
99	515	306
100	520	309

Figure 1 - Tree Protection Barrier



3 Feb 14/15
 3 Jan 14/15
 1 Nov 13/13
 1 Oct 13/13
 1 Sept 13/13
 1 Aug 13/13
 1 July 13/13
 1 June 13/13
 1 May 13/13
 1 April 13/13
 1 March 13/13
 1 February 13/13
 1 January 13/13
 1 December 13/13
 1 November 13/13
 1 October 13/13
 1 September 13/13
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 1 May 13/13
 1 April 13/13
 1 March 13/13
 1 February 13/13
 1 January 13/13

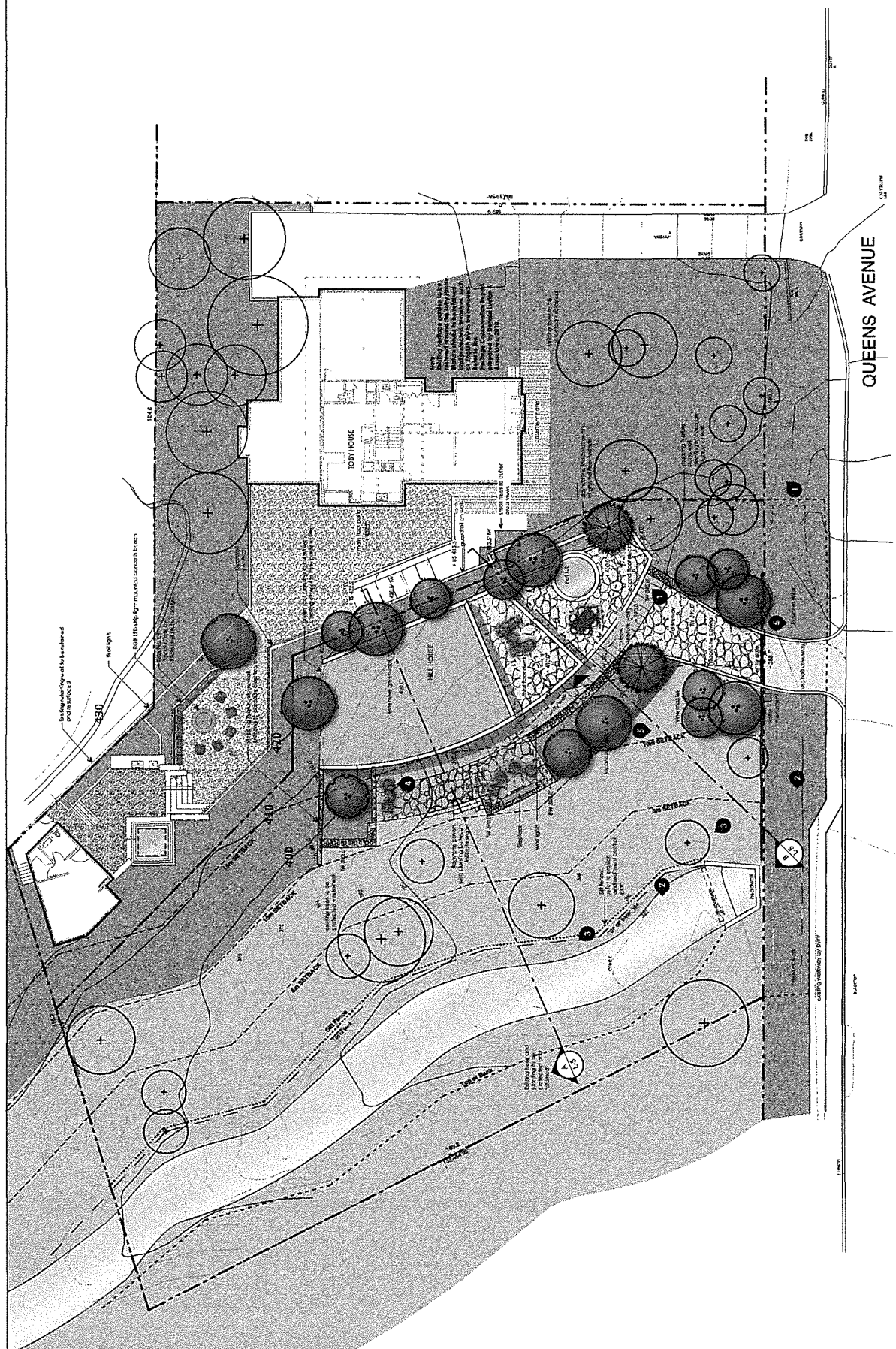


Project:
2055 Queen's Ave

Drawn By: RN
 Checked By: JCS
 Date: 1st Jan 12, 2012
 Scale: 3/32" = 1'-0"

Drawing Title:
Site Plan

Project No.:
10076
 Sheet No.:

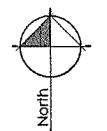
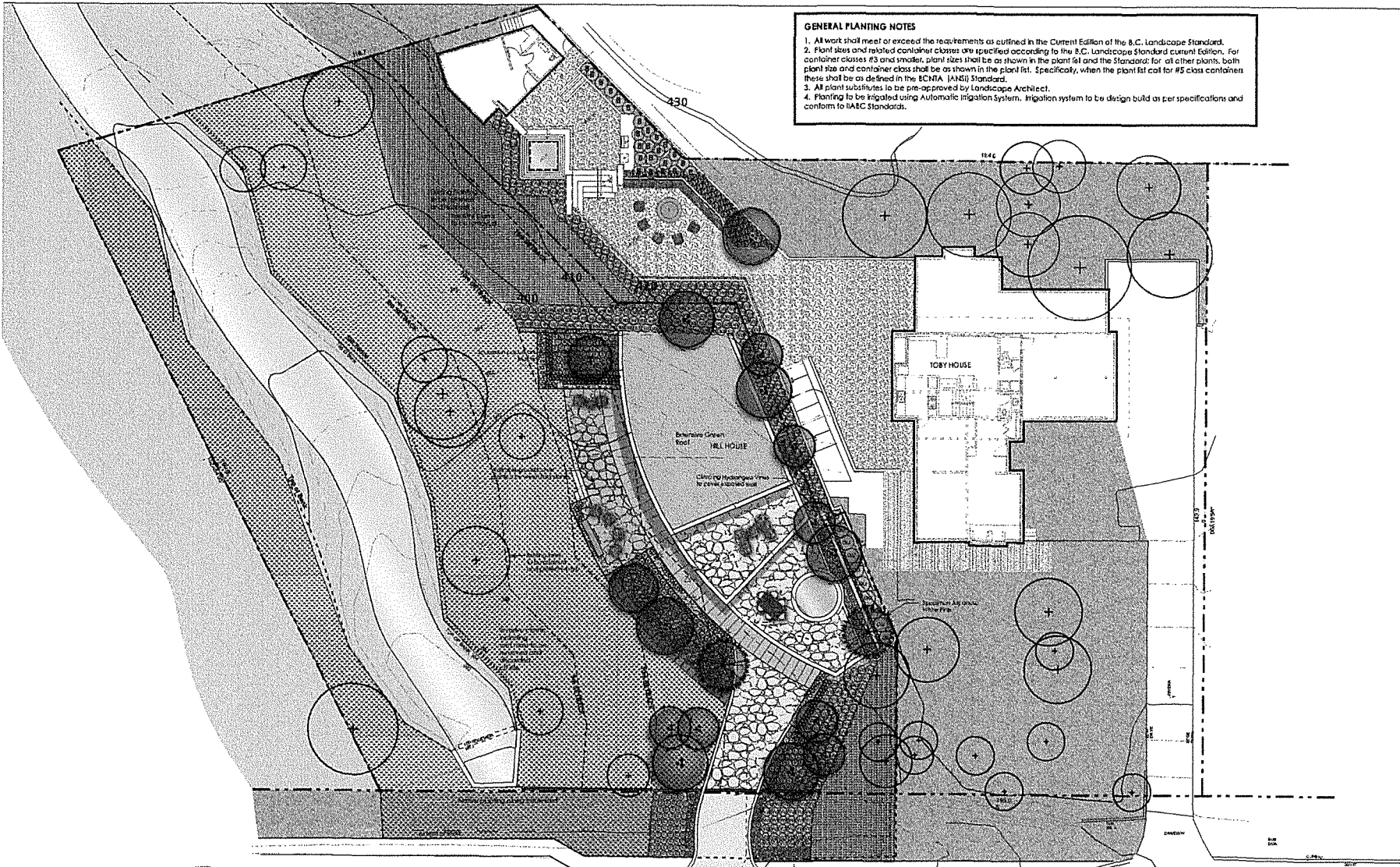


REFER TO SHEET U FOR
 EXISTING CONDITION IMAGES

QUEENS AVENUE

GENERAL PLANTING NOTES

1. All work shall meet or exceed the requirements as outlined in the Current Edition of the B.C. Landscape Standard.
2. Plant sizes and related container classes are specified according to the B.C. Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers these shall be as defined in the ECMA (ANSI) Standard.
3. All plant substitutes to be pre-approved by Landscape Architect.
4. Planting to be irrigated using Automatic Irrigation System. Irrigation system to be design build as per specifications and conform to IAEC Standards.



3 Feb 10-10 Revised per City Comments
 1 Jan 26-10 Re-issued for DP
 1 Nov 25 10 Issued for BP
 no: | date: | Rev:
 Revisions:

DL Duranka Kruk LLC
 108 - 1627 West 4th Avenue
 Vancouver BC V6J 1M0
 T: 604 684 4611
 F: 604 684 0577
 www.dl.ca

Project:
2055 Queen's Ave

Drawn by: EN
 Checked by: JES
 Date: September 12, 2012
 Scale: 3/32" = 1' 0"
 Drawing Title:

Planting Plan

Project No.:
10076
 Sheet No.:

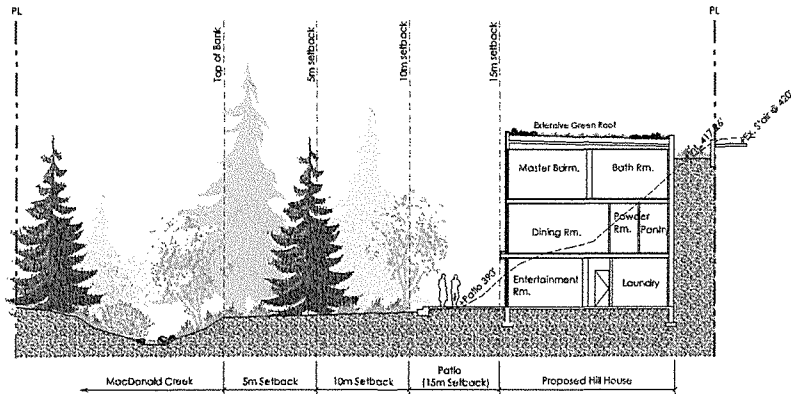
Sym	Qty	Botanical Name	Common Name	Size	Spacing/Comments
	45	Azalea			
	10	Azalea			
	218	Azalea			
	22	Bass			
	131	Cornus			
	34	Epidendrum			
	11	Hydrangea			
	65	Ulmus			
	260	Lap			
	24	Phytolacca			
	92	Picea			
	76	Symplocarpus			
	22	Taxus			
	208	Viburnum			

Shrub/Pole Plant, Vine	Qty	Size	Spacing/Comments
Aureolea hybrid 'Hercules Joeart'	#1 pot		
Shrubbery shrub	3.5'	#5 pot	
Shrubbery shrub	#1 pot	10' o.c.	
Bass	#2 pot	18' o.c.	
Kelley Dogwood	#2 pot	18' o.c.	
Banewort	#1 pot	14' o.c.	
Climbing Hydrangea	#2 pot	min. 3 x 3' height; vertical	
Ulmus	#1 pot	18' o.c.	
Dwarf Box Buttons	4" pot	6" o.c. interspersed pattern of patio	
Black Bamboo	#3 pot	3' o.c.	
Dwarf Angulo Pine	#2 pot	18' o.c.	
Shrubbery	#3 pot	2' o.c.	
Taxus	3" hi. #28	2' o.c.	
Dwarf's Viburnum	#2 pot	18' o.c.	

1745 sf. Native Species for Revegetation

	Azalea	1.2m H. #48
	Blackberry	1.2m H. #48
	Chamaecrista	1.2m H. #48
	Shrub	1.2m H. #48
	Shrub	1.2m H. #48
	Shrub	1.2m H. #48
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	Shrub	1.2m H. #48

1245 sf. Bertram's Green Roof
 Mix of local native shrubs and herbs

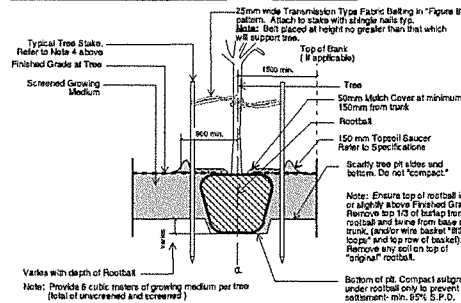


SECTION A: Proposed Hill House and MacDonald Creek
Scale: 3/32"=1'-0"

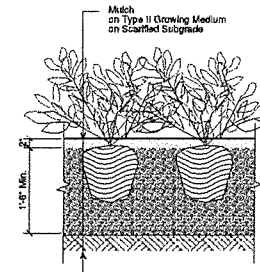
General Notes:

1. Do not cut Tree Leader.
2. Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Desiccation.
3. Ensure tree location does not conflict with Underground Services. "Call before diggin'".
4. All street trees to be staked with 2" x 100mm x 2.5m long. Minimum depth of stake embedment to be 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk on tree pit centreline.
5. Provide min. 6 cubic meters of growing medium per tree.
6. Refer to Growing Medium Chart below for surface area depth of Growing Medium.

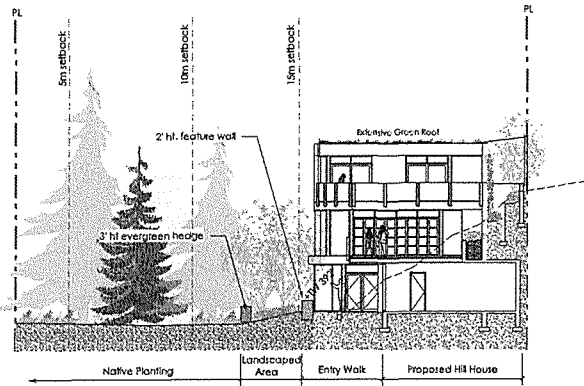
Depth of Growing Medium Total (mm)	Area (M ²)	Variation 1 Size of Surface Square	Variation 2 Size of Surface Circle
400	11.11	3.3 M x 3.3 M	3.85 M Ø
600	8.33	2.9 M x 2.9 M	3.25 M Ø
750	6.67	2.6 M x 2.6 M	2.90 M Ø



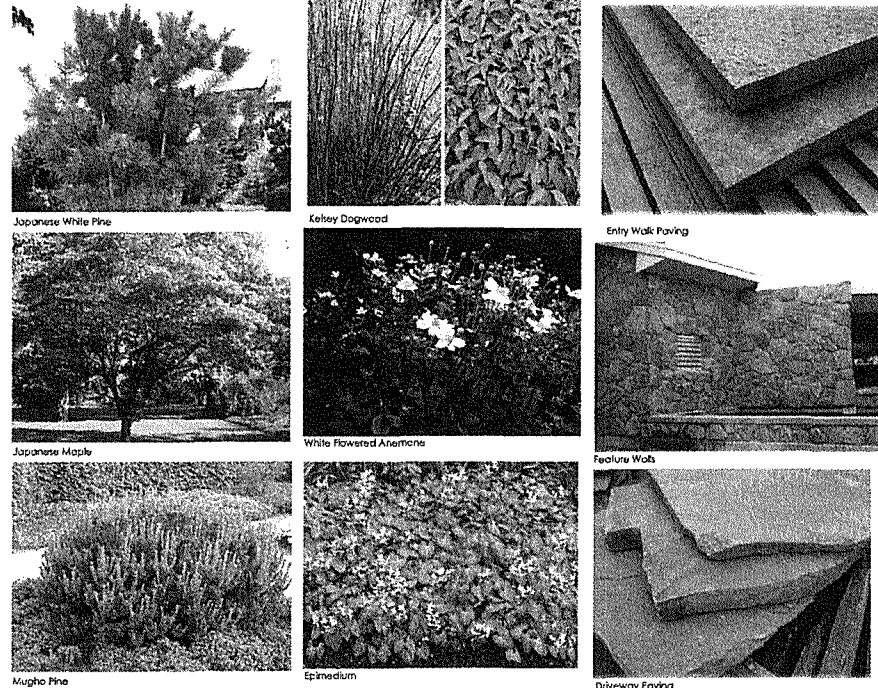
Ld 1 Tree Planting on Grade
Scale: 1" = 1'-0"



Ld 2 Shrub Planting on Grade
Scale: 1" = 1'-0"

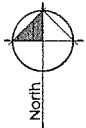


SECTION B: Proposed Hill House with Landscaped Area and Riparian Setbacks
Scale: 3/32"=1'-0"



PLANTING PALETTE

MATERIALS PALETTE



3 Feb 10 15 Revised per City Comments
1 Jun 08 15 Reissued for DP
1 Nov 25 13 Issued for DF
no: / date: / Rev: /
Revised:



Project:
2055 Queen's Ave

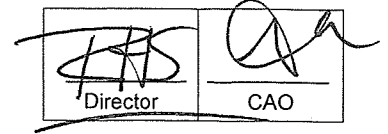
Drawn by: EN
Checked by: RES
Date: September 12, 2012
Scale: 3/32" = 1'-0"

Drawing Title:
Sections and Images

Project No.:
10076
Sheet No.:

COUNCIL AGENDA

Date: March 2, 2015 Item # 8



DISTRICT OF WEST VANCOUVER

750 17th STREET, WEST VANCOUVER, BC V7V 3T3

8

COUNCIL REPORT

Attachments for Item 8
provided under separate cover

Date: February 12, 2015 File: 1010-20-10-011
From: Stephen Mikicich, Manager of Community Planning
James Allan, Community Planner
Subject: **Proposed Heritage Revitalization Agreement, Heritage Designation, and Development Permit for 2055 Queens Avenue (Toby House)**

RECOMMENDED THAT:

1. Proposed Heritage Revitalization Agreement Bylaw No. 4813, 2015 be read a first time;
2. Proposed Heritage Designation Bylaw No. 4814, 2015 be read a first time;
3. Proposed Heritage Revitalization Agreement Bylaw No. 4813, 2015 and Proposed Heritage Designation Bylaw No. 4814, 2015 be presented at a public hearing scheduled for April 13, 2015 at 7:00 p.m. in the Municipal Hall Council Chamber, and that the Municipal Clerk give statutory notice of the scheduled Public Hearing; and
4. Proposed Development Permit No. 10-011 be presented at a public meeting scheduled for April 13, 2015 at 7:00 p.m. in the Municipal Hall Council Chamber, to be held concurrently with the public hearing scheduled for April 13, 2015 at 7:00 p.m. in the Municipal Hall Council Chamber, and that the Municipal Clerk give notice of the scheduled public meeting.

Purpose

The purpose of this report is to present for Council's consideration a proposed Heritage Revitalization Agreement (HRA) for 2055 Queens Avenue (Toby House), along with required implementing bylaws and a Development Permit under Official Community Plan (OCP) designations NE 6 and NE 13.

"Toby House" is listed on the West Vancouver Community Heritage Register, and is eligible for municipal conservation tools and incentives enabled under Part 27 of the *Local Government Act* (see Appendix 'A'). Per Council approved guidelines for the application of such incentives (see Appendix 'B'), an HRA has been used as the legal framework for drafting the conservation agreement between the property owner and the

District, and municipal heritage designation is to provide for ongoing legal protection for Toby House.

1.0 Background

1.1 Prior Resolutions

At the November 26, 2007 Council Meeting Council passed the following motion:

“THAT the District of West Vancouver Community Heritage Register be established, pursuant to Section 954 of the *Local Government Act*.”

At the June 15, 2009 Council Meeting Council passed the following motion:

“THAT staff utilize the following guidelines in the application of heritage conservation tools and incentives, which are enabled under the *Local Government Act* and *Community Charter*.

- (a) Properties that are formally recognized for their heritage value via listing on West Vancouver’s Community Heritage Register are considered eligible for municipal conservation incentives.
- (b) ‘Non-monetary’ and other ‘supportive’ incentives be made available for conservation of privately-owned heritage properties.
- (c) Heritage Revitalization Agreements (HRAs) will be used as the legal framework for drafting conservation agreements between the District and the owner of a heritage property, including the application of incentive tools.
- (d) Heritage Designation bylaws will be used in tandem with HRAs to provide for ongoing legal protection of heritage resources.”

1.2 History

West Vancouver’s Heritage Conservation Program

In June 2006, Council adopted the Heritage Strategic Plan. This document articulates the community’s values around heritage, and lays out the framework for building a robust heritage conservation program. The key implementation action following adoption of the Plan was the establishment of a Community Heritage Register in November 2007. The Register provides formal recognition of heritage value, and establishes eligibility for municipal conservation incentives. To date, 46 buildings and landscape resources have been added to the Register.

In June 2009, Council adopted a set of guidelines for the application of heritage conservation tools and incentives (see Appendix ‘B’), including the use of

Heritage Revitalization Agreements (HRAs) and Heritage Designation for continuing legal protection of heritage resources. Incentive tools endorsed by Council are 'non-monetary' in nature – i.e., land use and development incentives rather than municipal grants and permissive tax exemptions.

Proposed HRA for 2055 Queens Avenue

The Toby House was occupied by the Toby family for 47 years. In 2009, the family was recognized with a District of West Vancouver Heritage Achievement Award for its ongoing stewardship of this architecturally and historically significant building.

Around the same time, the Toby family initiated discussions with District staff about how the house could be saved if the property was sold (as was the intention). Discussions focussed on the use of an HRA that could allow for additional development on the property as an incentive for conserving and legally protecting the existing house. Towards this end, the Toby family undertook preliminary work on an infill development proposal.

The property was subsequently sold to the current owner, who has formalized a development proposal and made application for an HRA, Heritage Designation, and Development Permit – to enable subdivision of the property into two fee simple lots; with Toby House to be retained on one lot, and legally protected through municipal designation; and a new house to be constructed on the other lot.

While this application was first submitted in 2010, it has not advanced to the bylaw stage until this time, due in part to turnaround times for consultant reports and additional information, staff workload, and project refinements made by the applicant as recently as December 2014. Two other HRA applications are now under staff review, but the proposed HRA for 2055 Queens Avenue will be the first to be considered by Council.

2.0 Policy

2.1 Policy

Official Community Plan

Consideration of this development application is guided by OCP policies related to heritage conservation, and environmental and watercourse protection:

- OCP Policy HE 1 is to “encourage the preservation, retention and maintenance of buildings, sites and landscapes listed in the municipal heritage inventories.”¹
- OCP Policy NE 6 is to “recognize and manage environmentally sensitive areas”.
- Guidelines NE 6 apply to lands with difficult terrain within the Existing Neighbourhoods that are proposed for subdivision.
- Guidelines NE 13 apply to areas of land in the Existing Neighbourhoods² that contain watercourses and wetlands.

2.2 Bylaw

Implementation of the conservation and infill development proposal for 2055 Queens Avenue requires Council’s adoption of two bylaws: (1) Heritage Revitalization Agreement Bylaw No. 4813, 2015³; and (2) Heritage Designation Bylaw No. 4814, 2015. A Development Permit under OCP designations NE 6 and NE 13 is also required. These are attached respectively as Appendices ‘C’, ‘D’ and ‘E’.

Once designated, Toby House would be subject to the District’s maintenance standards for heritage designated buildings and sites, established under Heritage Maintenance Bylaw No. 4187, 1999.

3.0 Analysis

3.1 Discussion

3.1.1 Subject Property

2055 Queens Avenue is a unique property – given its large size, varied topography, mature vegetation, and significant riparian area. It comprises a site area of approximately 3504.8 m² (37,727 sq.ft.).

¹ The District of West Vancouver commissioned three heritage inventories in the late 1980s and early 1990s: (1) West Vancouver Heritage Inventory; (2) West Vancouver Landscape Heritage Inventory; (3) and West Vancouver Survey of Significant Architecture: 1945-1975. These documents have no legal status and are primarily used for information and research purposes, including development of a nomination list for the Community Heritage Register in 2008. The Register, on the other hand, has legal status: individual resources are listed by resolution of Council – providing formal recognition of their heritage value, and establishing eligibility for municipal conservation incentives.

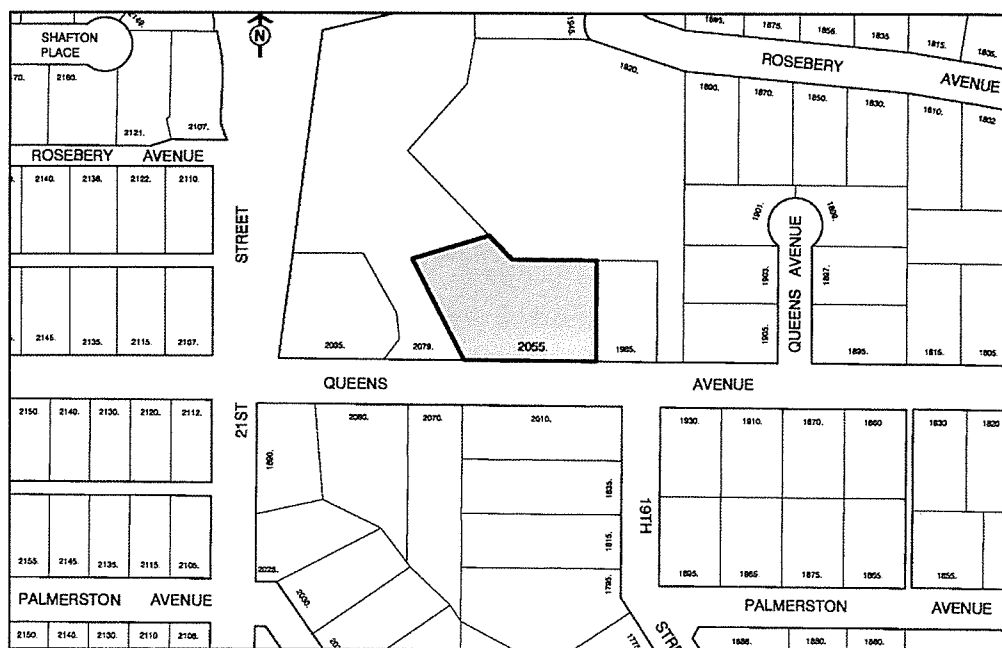
² “Existing neighbourhoods” as defined and illustrated on the Watercourse Protection Development Permit Area Designation Map NE 13 in the OCP.

³ As the subject property is located within 800 metres of a controlled access highway, the District must not enter into a heritage revitalization agreement unless the agreement is approved by the minister responsible for the administration of the *Transportation Act* [per section 966(6)(b) of the *Local Government Act*].

The site is zoned RS 3, which could accommodate a new replacement house of approximately 1,226.7 m² (13,204 sq.ft.) - based on a maximum floor area ratio (FAR) of 0.35, net of allowable FAR exemptions related to basement, garage, etc. A proposed new house may be subject to a Development Permit under OCP Designation NE 13 (watercourse protection).

The site is developed with an existing house (Toby House), situated on the upper (eastern) portion of the site, with a watercourse and riparian area situated on the lower western portion of the site, below a steep, treed slope. Toby House has a floor area of approximately 302.2 m² (3,253 sq.ft.) – i.e., an FAR of approximately 0.086. There is currently no legal protection for the house; it could be demolished and the site redeveloped under existing zoning. Similarly, there is no legal protection for mature trees and vegetation on the site, beyond 15 metres from top of bank (i.e., outside of the riparian area).

The minimum site area under RS 3 zoning is 1,115 m² (12,000 sq.ft.). While the subject property has a site area more than three times the minimum, a conforming subdivision would not be possible due to potential impacts on the large riparian area.



Context Plan for 2055 Queens Avenue (*subject property shown as shaded*)

3.1.2 Local Area Context

Most of the lots along Queens Avenue east of 21st Street, and surrounding blocks, were created through subdivisions between 1954 and 1962, resulting in a predominantly mid-century built form character. The character of this area is

reasonably intact, although there have been some new, larger houses constructed in recent years.

As noted above, the subject property could be redeveloped under current zoning with a very large replacement house (13,204 sq.ft. + basement), which is considered out of character with established development along Queens Avenue.

Conversely, the retention and legal heritage protection for the 53-year old Toby House, and the addition of a second moderate-sized dwelling on this property would protect established character, and be compatible with the predominant house sizes in the neighbourhood.

Locating a second building on the property, while respecting the site's environmental values and the proximity of the existing heritage building, requires an odd-shaped subdivision, and a unique building footprint for the proposed infill dwelling⁴. The heritage significance of Toby House allows for consideration of Zoning Bylaw and other variances to support heritage designation.

3.1.3 Toby House



Toby House viewed from the driveway on Queens Avenue circa early 1960s. [Source: Donald Luxton & Associates Inc. (Original Source: Toby Family)]

⁴ See architectural drawings in Appendix 'D' to Heritage Revitalization Agreement Bylaw No. 4813, 2015. 885814v1

Toby House is noted in the West Vancouver Survey of Significant Architecture: 1945-1975 as a 'primary' building⁵. It was featured on the West Vancouver Museum's West Coast Modern Tour in 2007. The property was added to the West Vancouver Community Heritage Register on June 9, 2008, which provides formal Council recognition of its heritage value, and establishes eligibility for conservation incentives.

Architect Ray L. Toby designed and built the house at 2055 Queens Avenue for his own family in 1962. This was shortly after his firm, Toby Russell Buckwell Architects, won the contract for the design of the new (current) District of West Vancouver Municipal Hall. The Toby House is considered a pioneer of the West Coast Style, and embodies many of the defining elements of that style.

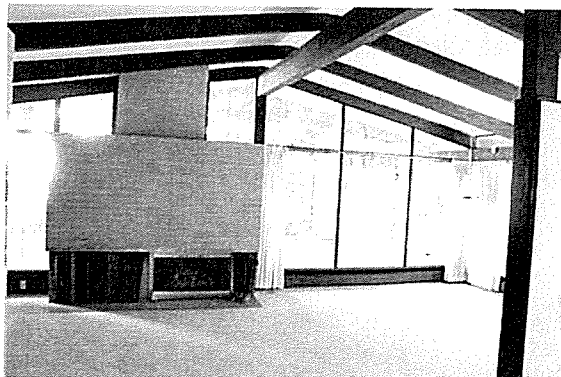
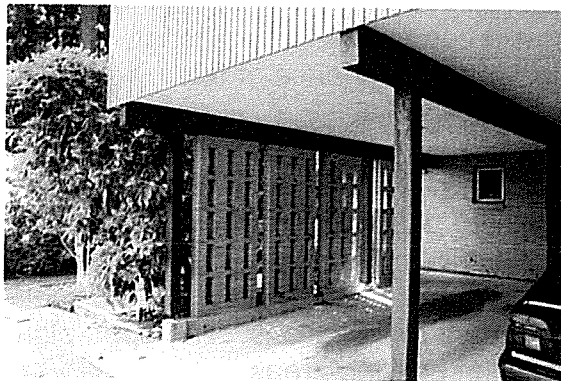
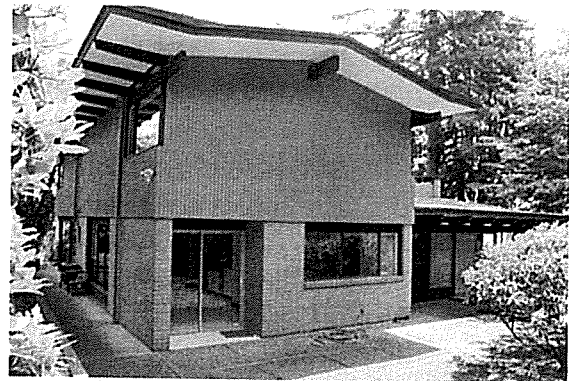
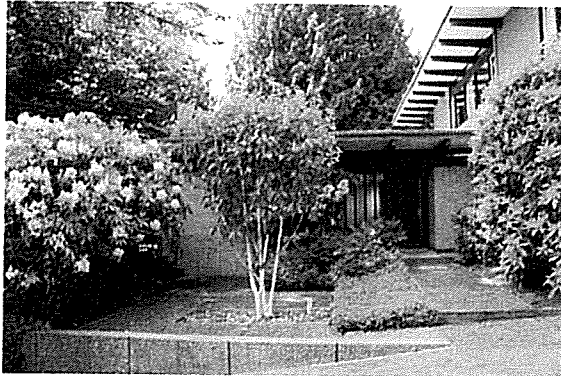
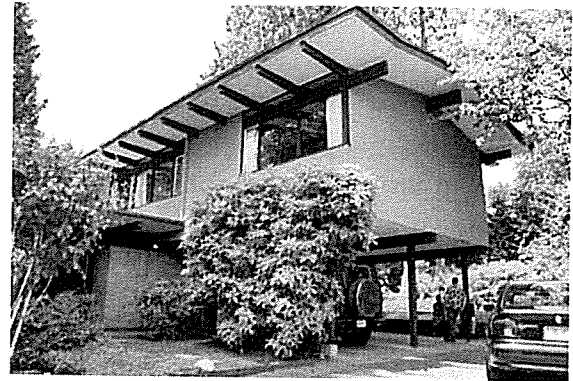
The house was sited with little alteration to the natural landform and minimal tree removal. The large floor-to-ceiling windows blur the line between interior and exterior space. The garden has been developed to emphasize the native species and natural topography of the site. Non-native plantings of maples and rhododendrons are limited to the area immediately adjacent to the house. On the west side, the site slopes steeply to a creek that has been kept in its natural course and is surrounded by native cedars, ferns, mosses and salal.

This style of gardening, where non-native species are limited and large portions of the 'found landscape' are retained, is a common and appropriate landscaping for West Coast Style buildings. It reflects the importance of retaining the integrity of the site and the connection to the natural world.

The Toby House is significant for the first use of glue-laminated wood beams in local residential architecture. Here they are used to provide very wide flaring eaves that appear to hover above the articulated pavilions of this house. The roofline and glazing give the exterior a light and floating look. On the interior, clerestory windows provide natural light from all directions. The open-plan layout and partial height walls allow for integration of living areas.

The Toby House epitomizes the design aesthetic and lifestyle of the mid-century modern period, and stands as an excellent example of a building perfectly integrated with its site.

⁵ *West Vancouver Survey of Significant Architecture: 1945-1975*, p. 21.



Exterior and Interior Views of Toby House [Source: Donald Luxton & Associates Inc.]

3.1.4 Proposed Development

The proposed development has been guided by a heritage conservation plan⁶ and is framed within the context of an HRA bylaw (Appendix 'C'); and includes the following components:

- Zoning Bylaw variances to enable subdivision⁷ of the property into two fee simple lots: a new eastern lot (proposed Lot A) of approximately 1573.4 m² (16,936 sq.ft.); and a new western lot (proposed Lot B) of approximately 1931.5 m² (20,791 sq.ft.)⁸;
- Retention of Toby House (in situ) on proposed Lot A;
- Conservation of Toby House in accordance with the above-noted conservation plan, including minor internal alterations, a rear addition of 812 sq.ft., and a new 313 sq.ft. accessory building – for a total floor area of 4,373 sq.ft. (0.26 FAR);
- Construction of an infill dwelling (referenced in the attached drawings as “Hill House”) of approximately 4,894 sq.ft. on proposed Lot B (0.24 FAR);
- Ongoing legal protection for Toby House via Heritage Designation (see Appendix 'D');
- Retention of mature trees and landscaping (outside of proposed building areas), and protection and enhancement of the riparian area on proposed Lot B; and
- The ability to make future changes, in accordance with the heritage conservation plan, and subject to a Heritage Alteration Permit.

Upon adoption of Heritage Designation Bylaw No. 4314, 2015, Toby House would also be subject to the District's standards for ongoing maintenance of heritage designated buildings and sites, in accordance with Heritage Maintenance Bylaw No. 4187, 1999.

3.1.5 Subdivision

While the subject property has an area more than three times greater than the minimum site area for subdivision under the RS 3 zone, subdivision of the

⁶ Prepared by Donald Luxton & Associates Inc., June 2010 (attached to proposed Heritage Revitalization Agreement Bylaw No. 4813, 2015, in Appendix 'C' to this report).

⁷ The proposed HRA allows for consideration of Zoning Bylaw variances to enable a non-conforming subdivision, as an incentive for retention and legal protection of Toby House.

⁸ The proposed subdivision plan showing proposed Lots A and B is attached as Appendix 'A' to proposed Heritage Revitalization Agreement Bylaw No. 4813, 2015 (see Appendix 'C' to this report).

property would not ordinarily be approvable due to potential impacts on the large riparian area. An HRA allows the District to vary its bylaws to incentivize conservation of a significant heritage building, while at the same time respecting environmental and other community objectives.

- If adopted, the proposed HRA bylaw would enable subdivision of the property into two fee simple lots.
- Locating a second building on the property in a manner that respects both environmental values and proximity to the heritage building necessitates an odd-shaped subdivision, and a unique building footprint for the proposed 'infill' house, as shown in the drawings in Appendix 'D' to Heritage Revitalization Agreement Bylaw No. 4813, 2015 (see Appendix 'C' to this report).
- Proposed Development Permit No. 10-011 establishes requirements for environmental enhancements to compensate for partial loss of riparian area to accommodate a second house on the (subdivided) property.

The proposed "Hill House" (to be constructed on Lot B) would be located outside the riparian area (beyond 15 metres from top of watercourse bank). An outdoor patio is proposed within the riparian area but located 10 metres from the top of bank. The applicant's environmental consultant has recommended removal of an existing gazebo and invasive plant species which have spread through the property, and an area of 120 m² to be planted with trees and shrubs.

3.2 Sustainability

According to Heritage Canada, the 'greenest' building may actually be the one that already exists⁹. Reusing older buildings saves the destruction of natural resources and habitat, saves the energy used to transport and process them to create new construction materials, and saves more green space from development.

Heritage conservation is a fundamental component of community sustainability, and is particularly significant in preserving community identity and character, and the cultural values around our built environment. The District of West Vancouver supports conservation of privately owned heritage property through the application of conservation tools and incentives enabled under Part 27 of the *Local Government Act*. The objectives are to make the conservation of significant buildings an economically-viable alternative to demolition and replacement, and to support the preservation and enhancement of established neighbourhood character.

⁹ www.heritagecanada.org

3.3 Consultation

3.3.1 Design Review Committee (DRC)

This project was first considered by the DRC at its meeting of September 30, 2010. The committee strongly supported the concept of the Hill House (i.e., proposed infill building) in conjunction with the HRA for the Toby House; and recommended that the application be advanced in the HRA process, with detailed development of the Hill House as per the DRC comments.

The committee also requested more information about the proposed Toby House addition and landscape treatment, which came in the form of a second submission to the DRC on February 24, 2011. At that meeting, the DRC recommended support of the proposed Toby House HRA. Comments taken from the minutes of these meetings are included in Appendix 'F'.

3.3.2 Public Input

Per Sections 966 and 968 of the *Local Government Act*, the proposed Heritage Revitalization Agreement and Heritage Designation Bylaws will be subject to a Public Hearing. In accordance with the Development Procedures Bylaw, formal notification of the Public Hearing will be given to owners and occupants of properties located within 100 metres of the subject property.

As this is the first HRA in West Vancouver, staff will hold a public open house prior to the Public Hearing to provide information about:

- the District's heritage conservation program – including the Community Heritage Register, Council-approved guidelines for the application of conservation incentives, and legal protection tools such as Heritage Revitalization Agreements and Heritage Designation; and
- details about the proposed heritage conservation and infill project at 2055 Queens Avenue.

The applicant will be in attendance to speak to this proposal, but the open house will be a District-led event. It is anticipated that a second HRA will be proceeding to Council this spring; and that a similar public open house would be appropriate at that time.

3.4 Communications Process

Given strong community interest in the conservation of West Vancouver's heritage buildings and preservation of neighbourhood character, staff will notify local heritage groups about this application, and other proposed heritage revitalization agreements currently under review. A media release to local newspapers may also be appropriate in this case.

4.0 Options

4.1 Council may

(as recommended)

- Give first reading to Heritage Revitalization Agreement Bylaw No. 4813, 2015 and Heritage Designation Bylaw No. 4814, 2015 and hold a Public Hearing on these bylaws on April 13, 2015, concurrent with a Public Meeting on proposed Development Permit No. 10-011.

(or, alternatively)

- Not advance the proposed implementation bylaws and Development Permit, and provide different direction to staff (to be specified).

Authors:



Stephen Mikicich, Manager of Community Planning



James Allan, Community Planner

Appendices:

- A. Continuing Protection Tools Enabled Under Part 27 of the *Local Government Act*
- B. Guidelines for the Application of Municipal Conservation Tools and Incentives (Per Council Resolution of June 15, 2009)
- C. Heritage Revitalization Agreement Bylaw No. 4813, 2015
- D. Heritage Designation Bylaw No. 4814, 2015
- E. Development Permit No. 10-011
- F. DRC Comments and Resolutions on proposed HRA for 2055 Queens Avenue (from minutes of September 30, 2010 and February 24, 2011 meetings)

CONTINUING PROTECTION TOOLS – *Local Government Act (Part 27)*

Municipal powers pertaining to heritage conservation are enabled under Part 27 of the *Local Government Act (LGA)*. These powers include continuing legal protection through Heritage Revitalization Agreements and Heritage Designation, which are described below:

Heritage Revitalization Agreement (LGA s.966)

A Heritage Revitalization Agreement or HRA is a legally binding agreement negotiated by the local government and an owner of heritage property. It is a powerful and flexible tool specifically written to suit unique properties and situations. The terms of the agreement supercede land use regulations and may vary use, density, and siting regulations. The terms of the agreement describe the duties, obligations and benefits for both parties (i.e., the local government and the property owner).

An HRA may:

- Vary or supplement the provisions of the following:
 - Zoning Bylaw
 - Subdivision Bylaw
 - Development Cost Charge Bylaw
 - Development Permit
 - Heritage Alteration Permit
- Establish the timing of agreement terms
- Include other terms or conditions agreed to by both parties

An HRA is implemented via bylaw. If the HRA provides for a change to the use or density of use that is not otherwise authorized by the applicable zoning of the property, the bylaw would be subject to a public hearing.

As of yet, No HRA bylaws have been presented to Council for consideration. However, the proposed HRA for 2055 Queens Avenue is one of three such applications currently under review.

Heritage Designation (LGA s 967)

In accordance with Council adopted guidelines for the application of municipal conservation tools and incentives, Heritage Designation bylaws will be used in tandem with HRAs to provide for ongoing legal protection of heritage resources.

A heritage designation bylaw may do one or more of the following:

- Apply to a single property or to part of a property
- Apply to more than one property, including properties owned by different persons
- Apply to affixed interior building features or fixtures identified in the bylaw
- Apply to landscape features identified in the bylaw

- Establish policies or procedures regarding the provision of financial or other support for the conservation of the heritage property
- Specify types of alterations to the property that are allowed without a heritage alteration permit
- Establish policies regarding the issuance of heritage alteration permits in relation to property covered by the bylaw

Except as provided for in the Heritage Designation Bylaw or authorized by a Heritage Alteration Permit, a person must not do any of the following to a property or specific features of the property protected under the bylaw:

- Alter the exterior of a building or structure
- Make a structural change to a building or structure
- Move a building or structure
- Alter, remove or take an action that would damage the following (if specifically protected): Interior feature or fixture; Landscape feature
- Alter, excavate or build on the land

To date, four properties in West Vancouver have been legally protected via heritage designation:

Building Name	Address	Year Designated
Ferry Building	1414 Argyle Avenue	1987
Gertrude Lawson House	680 – 17 th Street	1989
BC Binning House	2968 Mathers Crescent	1999
Wagner House	6003 Eagleridge Drive	2014

APPENDIX 'B'

GUIDELINES FOR THE APPLICATION OF MUNICIPAL CONSERVATION TOOLS AND INCENTIVES ENABLED UNDER THE LOCAL GOVERNMENT ACT, PART 27

(Per Council Resolution of June 15, 2009)

- Properties that are formally recognized for their heritage value via listing on West Vancouver's Community Heritage Register are considered eligible for municipal conservation incentives.
- 'Non-monetary' and other 'supportive' incentives will be made available for conservation of privately-owned heritage properties.
- Heritage Revitalization Agreements (HRAs) will be used as the legal framework for drafting conservation agreements between the District and the owner of a heritage property, including the application of incentive tools.
- Heritage Designation bylaws will be used in tandem with HRAs to provide for ongoing legal protection of heritage resources.

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District of West Vancouver

**Heritage Revitalization Agreement Bylaw
No. 4813, 2015 (2055 Queens Avenue)**

Effective Date:

District of West Vancouver

Heritage Revitalization Agreement Bylaw No. 4813, 2015 (2055 Queens Avenue)

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District of West Vancouver

Heritage Revitalization Agreement Bylaw No. 4813, 2015 (2055 Queens Avenue)

A bylaw to enter into a Heritage Revitalization Agreement (2055 Queens Avenue)

WHEREAS the property at 2055 Queens Avenue known as the Toby House is recorded in the District's Community Heritage Register and has heritage value; and

WHEREAS the District of West Vancouver and the Owner of the property at 2055 Queens Avenue wish to enter into a Heritage Revitalization Agreement in respect of the property to ensure conservation of the property;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as "Heritage Revitalization Agreement Bylaw No. 4813, 2015 (2055 Queens Avenue)".

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Heritage Revitalization Agreement

- 3.1 The Mayor and Municipal Clerk are authorized to sign and seal on behalf of the District the Heritage Revitalization Agreement attached to this bylaw as Schedule 'A'.

Schedules

Schedule A – Heritage Revitalization Agreement for 2055 Queens Avenue (Toby House)

READ A FIRST TIME on [Date]

PUBLICATION OF NOTICE OF PUBLIC HEARING on [Date]

PUBLIC HEARING HELD on [Date]

RECONVENED PUBLIC HEARING HELD on [Date]

READ A SECOND TIME on [Date]

READ A THIRD TIME on [Date]

APPROVED by the Minister responsible the administration of the Transportation Act on [Date]

ADOPTED by the Council on [Date]

Mayor

Municipal Clerk

Schedule A

to Bylaw No. 4813, 2015 Heritage Revitalization Agreement for 2055 Queens Avenue (Toby House)

THIS AGREEMENT dated as of the ___ day of ___, 2015

BETWEEN:

THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER, a
municipal corporation having offices at 750 – 17th Street, West Vancouver,
British Columbia, V7V 3T3

(the “District”)

AND:

VLAHOS HOLDINGS LTD., Post Office Box 1184, Jasper, AB T0E 1E0

(the “Owner”)

WHEREAS:

- A. The District may, by bylaw, enter into a Heritage Revitalization Agreement with the Owner of property identified as having heritage value, pursuant to Section 966 of the *Local Government Act*; and
- B. The Owner owns certain real property on the easterly portion of which is situated a building of heritage value known as the Toby House, listed on the Community Heritage Register, which property and building are located at 2055 Queens Avenue, West Vancouver, British Columbia, and legally described as Lot F District Lot 1091 Plan 11018 (the “Heritage Lands”); and
- C. The Owner has presented to the District a proposal for the use, development and conservation of the Heritage Lands that would change the density of use of the Heritage Lands, and has voluntarily and without any requirement by the District, entered into this Agreement pursuant to Section 966 of the *Local Government Act*; and
- D. The Heritage Lands are subject to Section 52 of the *Transportation Act* and the Minister responsible for the administration of the *Transportation Act* has approved the bylaw authorizing this Agreement; and

- E. The District must hold a Public Hearing before entering into, or amending, a Heritage Revitalization Agreement if the Agreement or amendment would permit a change to the use or density of use of the Heritage Lands that is not otherwise authorized by the applicable zoning, and the District has held a Public Hearing on this Agreement; and
- F. The Council of the District has, concurrently with the adoption of the bylaw authorizing the execution of this Agreement, adopted a bylaw pursuant to Section 967 of the *Local Government Act* designating the Toby House as protected heritage property (the "Heritage Designation Bylaw"); and
- G. The Council of the District has authorized the issuance of a development permit that enables the Owner to make an application to subdivide the Heritage Lands into two developable lots, being Lot A for the retention of the Toby House and Lot B for the development of an additional residential dwelling, in accordance with the proposed plan of subdivision attached to this Agreement as Appendix A (the "Development Permit");

NOW THEREFORE in consideration of the mutual promises contained in this Agreement and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

1.0 Conservation of Heritage Lands

- 1.1 The Owner agrees to conserve, protect, and maintain the Heritage Lands in accordance with this Agreement, including the Conservation Plan in Appendix B to this Agreement, and in accordance with Heritage Maintenance Bylaw No. 4187, 1999 as amended or replaced from time to time, and in the event of any inconsistency this Agreement shall prevail.
- 1.2 Without limiting the generality of Section 1.1, the Owner agrees not to do any of the following without the prior written approval of the District in the form of a Heritage Alteration Permit:
 - (a) make any interior or exterior structural alteration to the Toby House;
 - (b) replace the brick or wood siding or soffit finishes on the exterior of the Toby House, except with materials of like composition and colour;
 - (c) alter the appearance of the exposed wood beams whether on the exterior or in the interior of the Toby House, except to renew the existing finishes;
 - (d) replace any window or door of the Toby House except with a window or door replicating the original, provided that new

windows may differ from original windows to improve their thermal performance;

- (e) replace the roofing of the Toby House except with tar and gravel roofing;
- (f) alter brick fireplaces or chimneys in the Toby House except to replace unserviceable bricks or mortar with materials of like composition and colour;
- (g) alter or replace the ornamental wall screening the carport on the south side of the Toby House;
- (h) alter the open stair in the interior of the Toby House except to replace treads or railing elements with like materials;
- (i) alter or enlarge the wooden decks attached to the Toby House, except to replace decking and structural members with like materials or to improve structural support;
- (j) alter or remove landscape features on the Heritage Lands including stone steps and pathways and mature trees and plants including cedars, weeping willows, rhododendrons, ferns, mosses, and salal.

1.3 The Owner acknowledges that the District may refuse to issue a Heritage Alteration Permit required by Section 1.2 if, in its sole discretion, the District considers that the alteration that the permit would authorize is inconsistent with this Agreement or the Heritage Designation Bylaw, and without limiting the generality of the foregoing the District may refuse to authorize the alteration of any of the character-defining elements set out on Page 7 of the Conservation Plan.

1.4 If the Owner fails within the time specified in the notice to conserve, protect or maintain the Heritage Lands in accordance with this Agreement after having been given notice in writing to do so, which notice must specify the work that the Owner is required to undertake, the Owner agrees that the District may enter on the Heritage Lands to carry out the work, and may recover the cost of doing so from the Owner in the same manner and with the same remedies as taxes in arrears.

1.5 In the event of any dispute between the Owner and the District as to the necessity for any work required by the District pursuant to Section 1.4, the parties agree that the dispute will be resolved by a member of the Architectural Institute of British Columbia with training and experience in heritage conservation who has been chosen by the parties or, failing agreement between the parties, by the Architectural Institute of B.C., and that the fees of the architect

shall be borne by the Owner if the dispute is resolved in the District's favour and by the District if the dispute is resolved in the Owner's favour.

- 1.6 The Heritage Lands may, notwithstanding the provisions of the RS 3 Single Family Dwelling Zone 3 in District of West Vancouver Zoning Bylaw No. 4662, 2010, be used for and developed in the following manner, and in accordance with the further provisions of this Agreement:
 - (a) the Toby House shall remain on Lot A and may notwithstanding Section 1.1 be enlarged and altered in accordance with the architectural plans attached as Appendix C to this Agreement; and
 - (b) a new single-family dwelling ("Hill House") may be built on Lot B in accordance with the architectural plans attached as Appendix D to this Agreement.
- 1.7 The parties agree that the Owner may apply for and the District may in its sole discretion issue development and building permits that include minor variances from Appendices C and D, provided that any variance from Appendix C does not alter the character-defining elements of the Toby House as described in Appendix B, and that any variance from Appendix D does not interfere with the overall appearance of the Toby House or increase the total floor area or height of the Hill House.
- 1.8 The Owner agrees that the District may withhold any development permit, building permit, or occupancy permit in respect of the Toby House if the construction of the addition to the building is not in accordance with Appendix C and in respect of Hill House if the construction of Hill House is not in accordance with Appendix D, notwithstanding that the construction may be in compliance with the Building Code, the Zoning Bylaw and any applicable development permit or development permit guidelines.
- 1.9 The parties agree that, except as varied or supplemented by the provisions of this Agreement, all bylaws and regulations of the District and all laws of any authority having jurisdiction shall continue to apply to the Heritage Lands, the Toby House and Hill House.
- 1.10 The Owner agrees that the Development Permit and the zoning bylaw variances provided under this Agreement fully compensate the Owner for any reduction in the market value of the Heritage

Lands that may result from the adoption of the Heritage Designation Bylaw, and waives absolutely all claims for compensation that the Owner is otherwise entitled to make under Section 969 of the *Local Government Act* in respect of the adoption of the Heritage Designation Bylaw.

2.0 Zoning Bylaw Variances

2.1 The following variances to Zoning Bylaw No. 4662, 2010 are granted through this Agreement to enable an addition to the Toby House and the construction of Hill House in accordance with Appendices C and D respectively, and for those purposes only:

- (a) Lot 'A' (Toby House):
 - (i) Section 130.01(3)(b) (Accessory Building Height) is varied to allow the proposed accessory building to be a maximum height of 4.8 metres;
 - (ii) Section 203.04 (Site Width) is varied to allow Lot 'A' to be a minimum width of 22.2m.
 - (iii) Section 203.08 is varied to allow a minimum rear yard of 6.3 metres; and
 - (iv) Section 203.09(2) (a) (ii) is varied to allow a minimum side yard of 0.6 metres adjacent to the proposed deck; and 0.9 metres adjacent to the main floor deck of the Toby House.
- (b) Lot 'B' (proposed new house):
 - (i) Section 203.09 is varied to allow a minimum side yard of 1.1 metres, except for the basement level, where the minimum side yard is reduced to 0.2 metres;
 - (ii) Section 203.12 is varied to allow the Highest Building Face Envelope to be 10m in height.
 - (iii) Section 120.22(4) is varied to allow retaining walls of up to 3 metres in height adjacent to the Hill House and driveway.

3.0 Damage or Destruction

- 3.1 In the event that the Toby House is damaged by fire, earthquake, or any other cause, such that in the written opinion of a member of the Architectural Institute of British Columbia with training and experience in heritage conservation engaged and instructed by the District it is not possible or appropriate from a heritage conservation perspective to repair it, the Owner must construct on Lot A at the Owner's cost a replica of the Toby House in accordance with the original plans and specifications for the building, as modified by Appendix C if the Owner has by that time altered or commenced to alter the Toby House in accordance with Appendix C, and subject only to such variations from the original plans and specifications as are required to comply with the current Building Code. Thereafter the provisions of this Agreement pertaining to the conservation, protection and maintenance of the Toby House, including this provision, shall apply to the replica of the Toby House.
- 3.2 As an alternative to constructing a replica of the Toby House in the event of such damage, the owner may develop Lot A in accordance with the then current zoning regulations of the District, provided that no residential dwelling constructed on the lot shall have a floor area exceeding 301.7 square metres (3,248 square feet) in total, including basement and garage areas.
- 3.3 In the event that the Toby House is damaged, the Owner must repair the Toby House, within one year of the date of damage, after having obtained a Heritage Alteration Permit and a building permit, and must carry out all repairs in accordance with Appendix B. Section 1.4 shall apply in the event of any failure of the Owner to repair the Toby House in accordance with this Section.

4.0 Amendment

- 4.1 The parties acknowledge and agree that this agreement may only be amended by bylaw with the consent of the owner, provided that a Public Hearing shall be held if an amendment would permit a change to use or density of use of the Heritage Lands.

5.0 Representations

- 5.1 It is mutually understood and agreed upon between the parties that the District has made no representations, covenants, warranties, promises or agreements expressed or implied, other than those expressly contained in this Agreement.

6.0 Statutory Functions

- 6.1 Except as expressly varied or supplemented herein, this Agreement shall not prejudice or affect the rights and powers of the District or its approving officer in the exercise of their statutory functions and responsibilities and their rights and powers under any enactments, bylaws, order or regulations, including but not limited to the *Local Government Act* and the *Land Title Act*, all of which, except as expressly varied or supplemented herein, are applicable to the Heritage Lands, the Toby House and Hill House.
- 6.2 The Owner acknowledges that the subdivision of the Heritage Lands is subject to the jurisdiction of the District's approving officer, that the construction of or alteration of a building on any portion of the Heritage Lands requires both development permits and building permits, and that the District may impose off-site works and services requirements and development cost charges in respect of the subdivision and development of the Heritage Lands.

7.0 Enurement

- 7.1 This Agreement enures to the benefit of and is binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.
- 7.2 The District shall file a notice with the Land Title Office, as provided for in Section 966 of the Local Government Act, and upon registration of such notice, this Agreement and any amendment to it shall be binding on all persons who acquire an interest in the land affected by the Agreement.

8.0 Other Documents

- 8.1 The Owner agrees at the request of the District, to execute and deliver or cause to be executed and delivered all such further agreements, documents and instruments and to do and perform or cause to be done and performed all such acts and things as may be required in the opinion of the District to give full effect to the intent of this Agreement.

9.0 Notices

- 9.1 Any notice required to be given pursuant to this Agreement shall be in writing and shall be delivered mailed by registered mail as follows:

(a) To the District:

District of West Vancouver
750 – 17th Street
West Vancouver BC V7V 3T3
Attention: Manager of Legislative Services / Municipal Clerk

(b) To the Owner:

Vlahos Holdings Ltd.
PO Box 1184
Jasper AB T0E 1E0

10.0 No Partnership or Agency

10.1 The parties agree that nothing contained in this Agreement creates a relationship between the parties of partnership, joint venture or agency.

APPENDICES:

- A. Proposed Plan of Subdivision of Lot F District Lot 1091 Plan 11018 (2055 Queens Avenue)
- B. Conservation Plan for Toby House prepared by Donald Luxton & Associates, June 2010
- C. Architectural Drawings for Proposed Addition and Renovations to "Toby House" by Wensley Architecture, dated February 11, 2015
- D. Architectural Drawings for Proposed "Hill House" by Wensley Architecture, dated February 11, 2015
- E. Landscaping Plans prepared by Durante Kreuk Ltd dated September 12, 2012

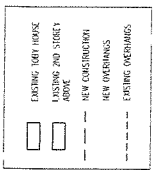
VLAHOS HOLDINGS LTD.

By its authorized signatory(ies):

CORPORATION OF THE DISTRICT OF WEST VANCOUVER

By its authorized signatories:

LEGEND



UNPROCESSED. ALL LINES OF PROPOSED ARE SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROPOSED WORK.

NO.	REVISION	DATE
1	REVISED FOR DEVELOPMENT PLAN	10/20/18
2	REVISED FOR DEVELOPMENT PLAN	10/20/18
3	REVISED FOR DEVELOPMENT PLAN	10/20/18
4	REVISED FOR DEVELOPMENT PLAN	10/20/18
5	REVISED FOR DEVELOPMENT PLAN	10/20/18
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18	REVISED FOR DEVELOPMENT PLAN	10/20/18
19	REVISED FOR DEVELOPMENT PLAN	10/20/18
20	REVISED FOR DEVELOPMENT PLAN	10/20/18

PROPOSED
TOBY HOUSE
ADDITION AND
NEW HILL HOUSE
2055 QUEENS AVE
WEST VANCOUVER,
B.C.



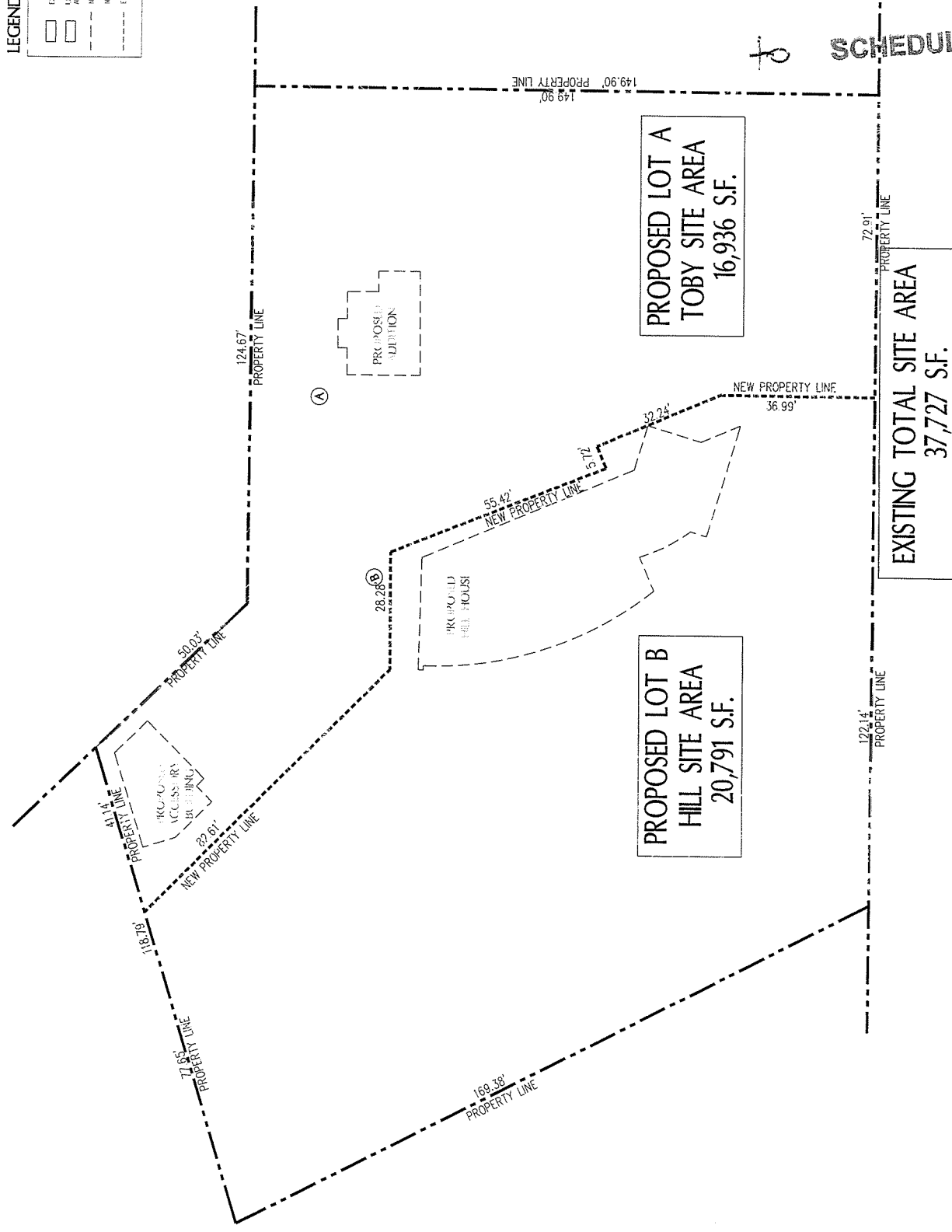
Wensley
Architecture Ltd

PROJECT NO: 1800
DATE: 10/20/18
SCALE: 1/8" = 1'-0"
DRAWN BY: J. WENSLEY
CHECKED BY: J. WENSLEY
DATE: 10/20/18

PROPOSED
SUBDIVISION

APPENDIX

SCHEDULE 'A'



EXISTING TOTAL SITE AREA
37,727 S.F.

QUEENS AVENUE

HERITAGE CONSERVATION PLAN

APPENDIX 'B' TO

SCHEDULE 'A'

**TOBY
RESIDENCE**
2055 QUEENS AVENUE,
WEST VANCOUVER

JUNE 2010

prepared for:

WA

WENSLEY ARCHITECTURE LTD

prepared by:

DONALD LUXTON

ASSOCIATES Inc.

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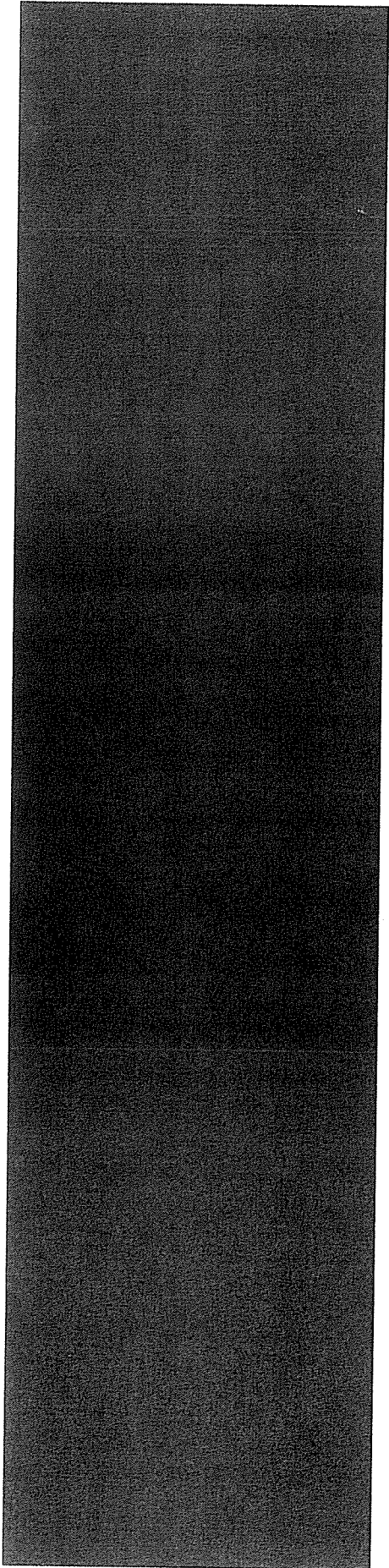
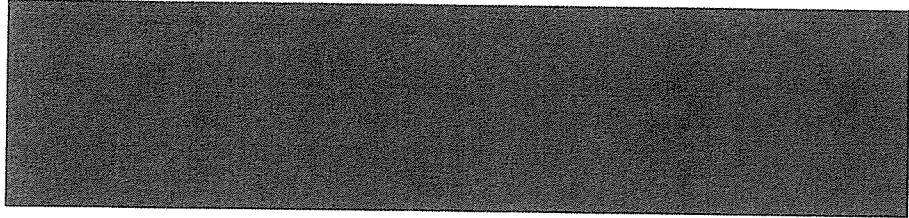


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INTRODUCTION



Toby Residence, view from west [photo courtesy Toby Family]



Subject Property: Toby Residence
2055 Queens Avenue
West Vancouver, British Columbia

Construction Date: 1962

Original Owner and Architect: Ray L. Toby

Historic Legal Description: Lot "F" of Portion of South-West
Quarter of District Lot 1091, Group 1,
New Westminster District

The Toby Residence is a two-storey house designed in the West Coast style by architect Ray L. Toby. He was among the young postwar generation of modern architects who developed the West Coast style in British Columbia. New architectural designs were adapted to accommodate local site conditions, particularly on the North Shore with its rocky terrain. This new style of building offered functional and simple solutions for the growing population in the Greater Vancouver region.

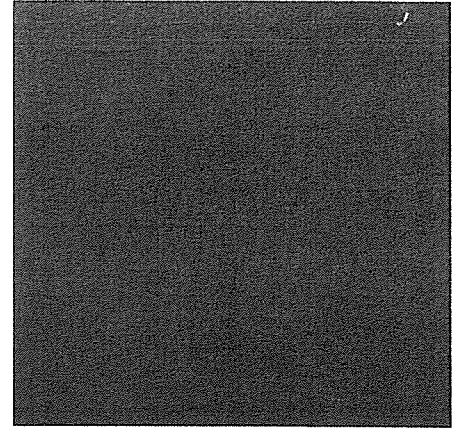
Toby was the first architect who used glue-laminated timber, also known as Glulam, for longer and curved beams in North Shore residential design. The application of engineered wood was an innovative structural solution, which allowed the efficient use of timber for contemporary architectural designs. This allowed wide-open interior spaces to be achieved that served multi-functional purposes. The Toby Residence was the first known use of glue-laminated beams in a residential context on the North Shore.

The 1962 Toby Residence and its surroundings remain in mostly original condition. The proposed heritage residential development for the Toby Residence and its property, prepared by Wensley Architecture Ltd., includes a subdivision of the lot, the preservation of the main characteristics of the house with an addition to the north, and construction of a new detached three-storey residential home on the subdivided lot to the west of the original house.

2 THE WEST COAST STYLE



Architect Ray Toby with family at main entrance [photo courtesy Toby Family]

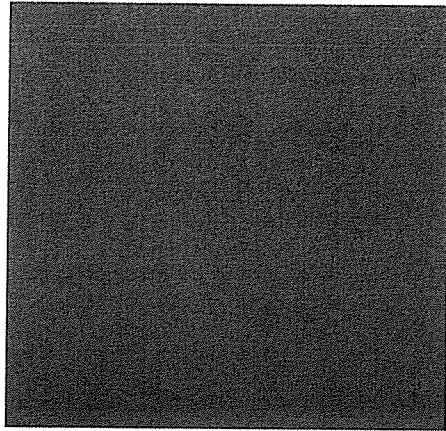


After 1945, the Greater Vancouver region became for approximately thirty years a centre of innovative residential designs in North America. Growing population and changes in lifestyle opened the door for new housing concepts, which were affordable for young families. Progressive and experimental architects developed the West Coast Style based on the principles of modern architecture: functionalism, simplicity, and flexibility.

Undeveloped and inexpensive land on the North Shore often comprised sloping and irregular sites with expansive views. Developing, and designing for such sites, offered a welcome opportunity for upcoming architects to experiment with new designs and building technology. Among the generation of emerging architects in the Greater Vancouver area were Ned Pratt (of Thompson, Berwick, Pratt), Arthur Erickson and Ron Thom, who designed publicized and award-winning homes.

The West Coast Style has several common features, which are also characteristic of the Toby Residence. The style responded to the rough topography and climate conditions of then “unbuildable” sites on the North Shore with expansive vistas over the ocean, native forests and mountain views. The entrance and parking were commonly placed facing the street to allow the living areas to open to private garden spaces at the rear.

The houses were designed in geometric forms with local and prefabricated materials used in modular fashion for cost-efficient construction. Modern materials of glass, steel, concrete, and new technology were used, often with cantilevered forms, ceiling-height fenestration and open floor plans.

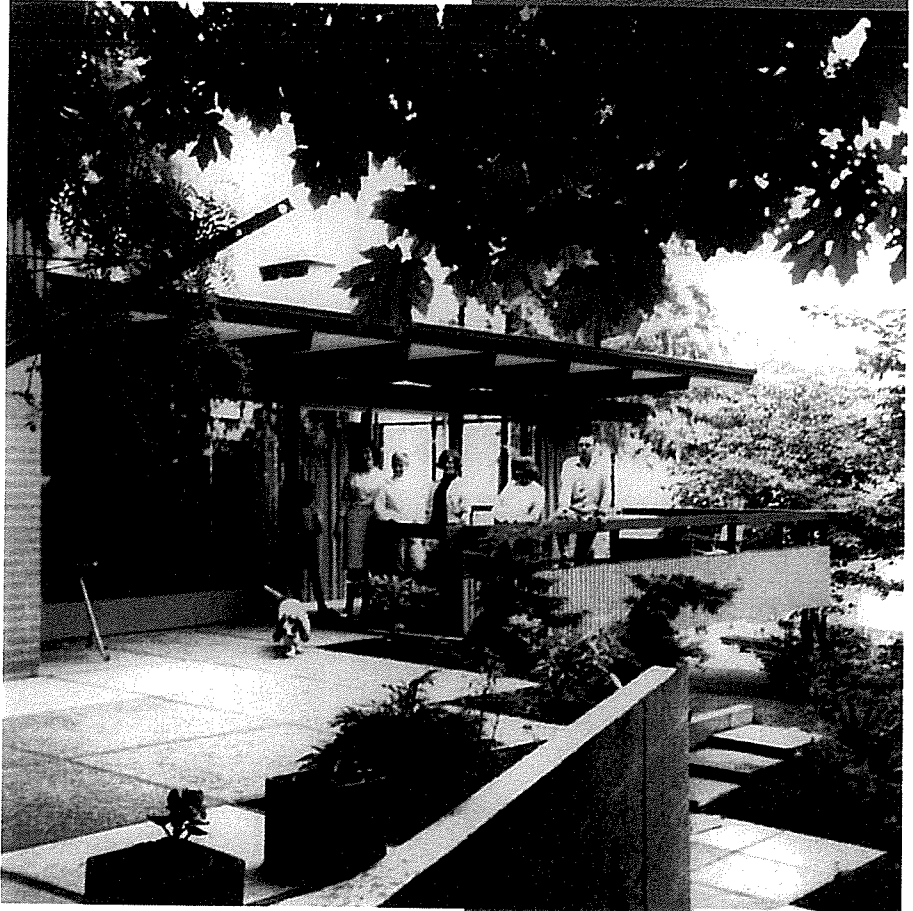


Flat or low-pitched roofs were decked with asphalt roofing material, which replaced the traditional and increasingly expensive cedar shingles.

Walls were filled with modular windows and panels to create a rhythmic pattern of solid and voids. Natural light was considered a key design element in this new modern architecture. Floor-to-ceiling windows provided ample daylighting of the interior. The large window elements connected the interior and exterior spaces in an almost seamless fashion and provided easy access to outdoor decks and patios, which extended the living area.

Traditional floor plans were replaced with flexible, multi-functional layouts to serve a new, more informal lifestyle. Interior spaces were not decorated with ornate features; contrasting natural materials such as wood, brick and plaster were used to create interesting visual effects. In particular timber structural members, and in case of the Toby Residence modern Glulam beams, were exposed and often stained to provide contrast with light plaster surfaces. Interior and exterior spaces were integrated by creating lines of vision through transparent windows and doors to patios, private garden spaces, zones designed for special uses, and distant vistas. The arrangement of hedges, shrubbery and beds of low growing plants formed abstract geometrical patterns. These geometrical patterns reinforced the horizontal and vertical planes of the modern house.

The functional and simple design of the West Coast Style homes responded to a new lifestyle. Open plan layouts with flowing interior open spaces and extensive glazing allowed flexible uses and interaction with the surrounding, and often scenic landscape.



Toby Family on open patio with cantilevered deck [photo courtesy Toby Family]

3 STATEMENT OF SIGNIFICANCE

The Toby Residence, built in 1962, is valued for its West Coast architecture and the integrity of exterior and interior character-defining elements. It is listed on the District of West Vancouver's Community Heritage Register.



Description of Historic Place

The Toby Residence, located at 2055 Queens Avenue in West Vancouver, is a detached two-storey single-family dwelling, designed and constructed in the West Coast Style of architecture. It features an exterior cladding of vertical tongue-and-groove wooden siding on the upper storey and tan brick on the ground level. Located on a large residential lot with views to the south of Burrard Inlet, the Toby Residence is distinguished by its integration with the natural environment, its shallow sloped roof with wide flaring eaves and exposed glue-laminated roof beams.

Heritage Value of the Historic Place

The Toby Residence is valued as a creative and early representation of the West Coast Style in West Vancouver. Represented by its design innovation, use of natural materials, sensitive integration with the natural environment, and the expression of new architectural technologies, the West Coast Style was a prevalent style of architecture between 1945 and 1970 on the north shore of Burrard Inlet in both North and West Vancouver. Characterized by post-war optimism, the West Coast Style evolved from an era of prosperity and growth that followed the disruption of World War Two. Designed by architect Ray Toby in 1962 as his own family residence, this house features glue-laminated roof beams, the first known local residential use of engineered wood products. These manufactured beams allowed for longer spans and unique non-linear configurations. The interior of the Toby Residence features floor to ceiling windows, ceilings that follow the shallow curve of the roofline while exposing the glue-laminated beams, ribbon windows, and brickwork on both the exterior and interior.

Built on a large residential lot in a developing area of West Vancouver, the Toby Residence is significant for its integration with the natural environment of its site. The house was carefully planned to take advantage of natural surroundings that were left in place with minimal disruption. Located amongst mature cedars, rhododendrons, and weeping willows, with a creek running through the property, the Toby Residence blends into the natural environment and utilizes abundant natural daylight through

Family member in dining room with wood panelling [photo courtesy Toby Family]

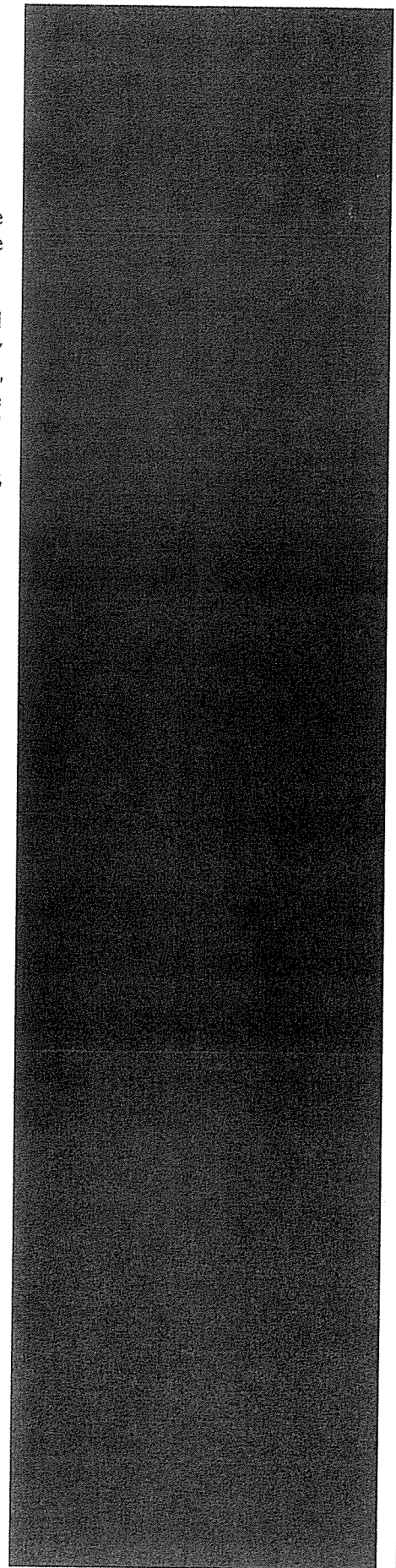
its many large windows and clerestories. With south-facing views to the ocean and the dense surrounding mature vegetation, the Toby Residence is an urban retreat integrated with the natural environment.

The Toby Residence is also valued for its association with prominent local architect Ray L. Toby. Part of the first graduating class of the University of British Columbia's School of Architecture program that began in 1945, Toby first worked for the prominent firm Semmens & Simpson before he became a partner in Toby, Russell & Buckwell, a Vancouver based architectural firm that continues to bear his name. In the design for his family home, Toby was able to experiment freely with texture, colour, materials, and open plan concepts.

Character-Defining Elements

Key elements that define the heritage character of the Toby Residence include its:

- setting amongst mature vegetation on a large lot, with views south to Burrard Inlet and the city of Vancouver;
- continuous residential use;
- residential form, scale and massing as expressed by its two-storey plus partial basement plan with shallow sloping rooflines, exposed glue-laminated roof beams, and horizontal, asymmetrical massing;
- West Coast Style architectural features such as: shallow sloping rooflines with wide flaring eaves; exposed glue-laminated wooden roof beams; solid brick walls on the main floor and brick veneer on the second floor, both in tan running bond brick; tan running bond brick chimney; vertical shiplap cedar siding cladding the upper storey; the wood posts of the east façade carport that support the second storey of the house; smooth interior wall surfaces; windows set flush with the outer wall plane; solid panel wooden front door; the use of local building materials; the relationship between the interior and exterior spaces; and the use of mature native trees and plants on the site;
- additional exterior architectural details such as the three patios, deck, and pool deck all with wooden plank flooring, and a carport located beneath the second storey of the east façade;
- windows such as: original large floor-to-ceiling wooden sash windows on the ground floor; three-part sash windows in the kitchen area; two- and three-part sash windows of the upper storey; plain, square windows of the east façade; narrow opaque glass sidelights at the front entryway; and clerestories above some walls, windows, and doorways;
- interior features such as its original running bond brick fireplace, exposed glue-laminated wood beams, and open floor plan with walls that stop short of the roofline; and
- landscape features such as the mature trees and plants including cedars, weeping willows, rhododendrons, ferns, mosses, and salal, and the stone steps and pathways that extend throughout the property.



4 DESCRIPTION OF THE HISTORIC SITE AND CONDITION ASSESSMENT



View of the south and east elevations

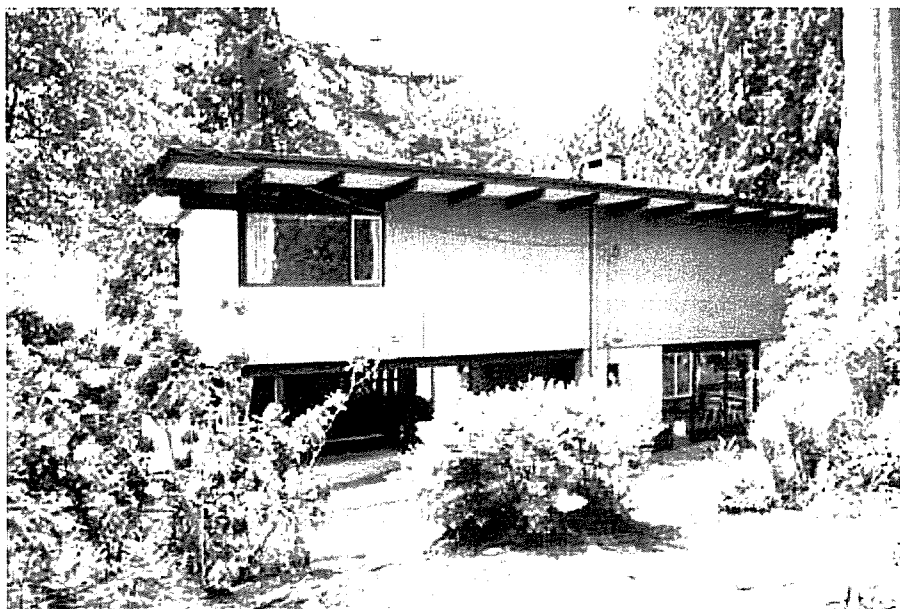
4.1 GENERAL DESCRIPTION

In 1962, the Toby Residence was built in a then undeveloped area on the periphery of central West Vancouver. The lot is irregular in shape with significant topographical changes in elevations and sloping hills. The mature vegetation is mostly native such as cedar trees, with a few introduced species including rhododendrons. There is a creek running on the west side of the lot.

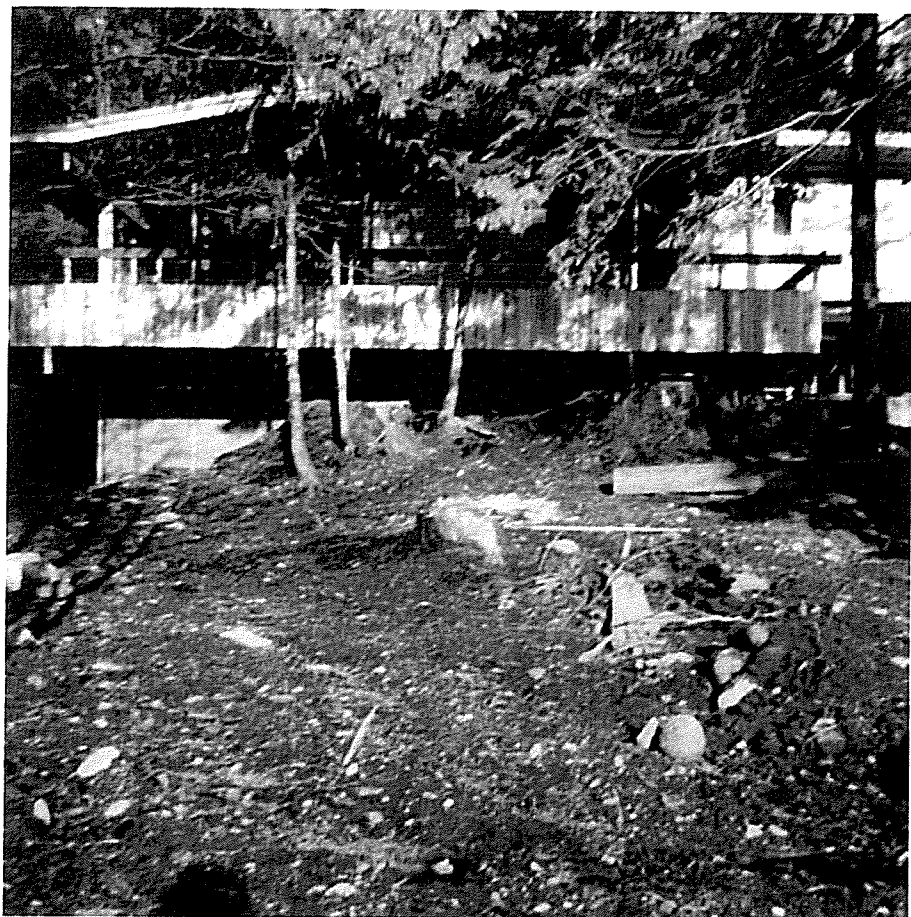
The subject property is bordered by Queens Avenue to the south and has a paved driveway to the east that provides access to the Toby Residence, which is located at one of the highest elevations of the property. The west,

north and east sides of the property are bordered by neighbouring residential lots.

The 1962 Toby Residence is a detached single-family home with a cubic ground floor level running from north to south, and a second floor level situated perpendicular to the ground floor. The east portion of the second floor projects out and the floor slab creates a carport with two stalls. The lot slopes to the west and the building is cantilevered on the rocky site. An outdoor pool with a surrounding wood and concrete deck is located to the northwest of the Toby Residence. The house has been immaculately maintained in mostly original condition.



View of the north elevation



Clockwise from left: West elevation after construction is completed [photo courtesy Toby Family]

Entrance door with patio

Street View with driveway and mature vegetation

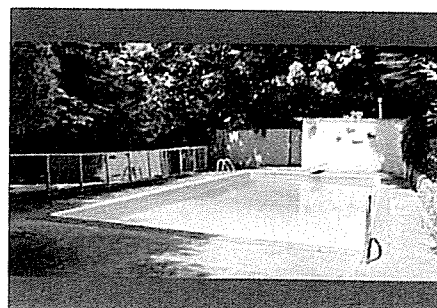
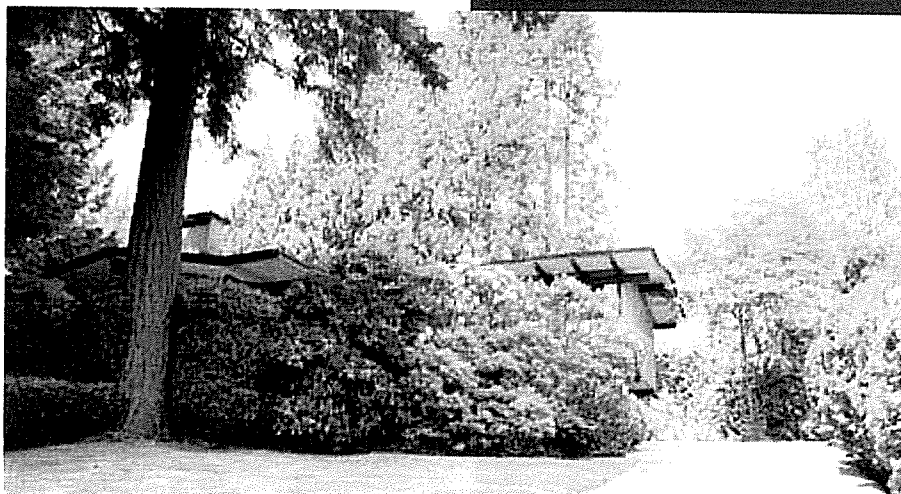
Swimming Pool

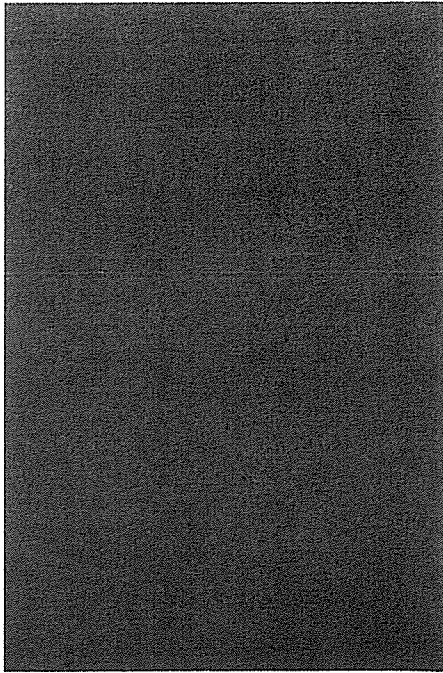


4.2 SITE AND LANDSCAPE

The rugged topography of the subject property at the North Shore Mountains was mostly retained during the construction of the house and provides distant views over Burrard Inlet. The two historic structures (house and outdoor pool) were built with minimal interventions to the environment. The site has mature vegetation, in particular cedar trees and other native and non-native species.

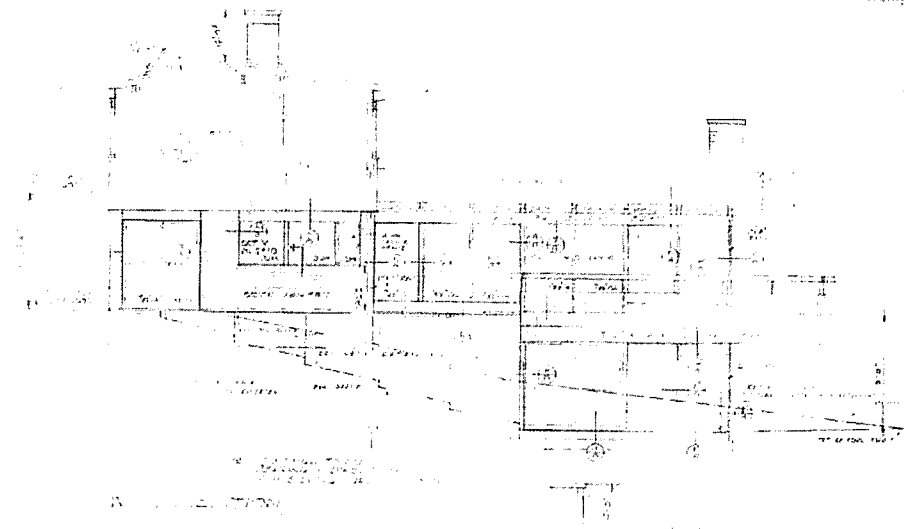
The lesser accessible areas of the property including the creek, remain in their natural state, whilst the landscaped area in the vicinity of the Toby Residence comprises a well-maintained lawn with mature shrubs at the driveway. The shrubbery separates the public front space at the street entrance to the south from the private patio and entry door of the house. The arrangement of hedges, shrubbery and beds of low growing plants form abstract geometrical patterns. These geometrical patterns reinforce the horizontal and vertical planes of the modern house, a simple design principle of this emerging architectural style.





The Toby Residence is oriented to outdoor patios and a garden that ensured privacy and intimacy with nature, leaving the residents undisturbed by traffic or neighbours. The outdoor spaces include fir-planked decks to the south, west and north sides and an outdoor swimming pool with a surrounding deck. A patio accentuates the main entrance to the east, with low growing plants and square-shaped, exposed aggregated concrete panels. A second patio to the west is accessible from the dining room and is used a seating area; the exposed aggregate concrete panels are repeated here. Concrete steps negotiate the terrain and provide access to the pool that is surrounded by a low stone wall and a wood railing mounted on a cantilevered deck. Surrounded by shrubs and grown trees, the swimming pool is private and protected from outside views.

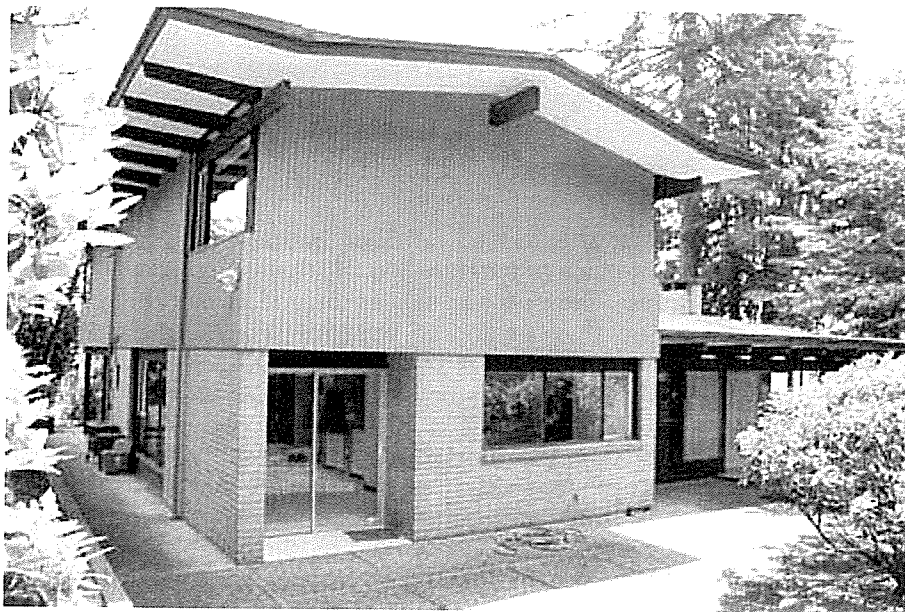
4.3 STRUCTURAL SYSTEM



The two-level house has a partially-excavated basement level below the living room area. The basement slab was poured in reinforced concrete with 8" foundations walls. The 4" foundation slab of the open carport was poured on concrete footings of various depth, located so that they reached solid bearing. Two 8" concrete retaining walls were constructed to the west and south of the house in order to stabilize the projecting patio and deck area, and to the east to provide structural support for the entrance area and driveway.

Historic drawing of the west elevation, 1962 [photo courtesy Toby Family]

The structural system of the Toby Residence consists of solid brick walls on the main floor and wood-frame construction with wooden siding and some brick veneer on the second floor. Newly-invented Glulam timber was utilized for the roof construction. Glue-laminated timber consists of multiple layers of wood glued together with the grain of all layers approximately parallel. This new technology was developed for structural wood members in aircraft during and after the Second World War and was extended to the construction of larger structural framing members used in buildings. The glue-laminated beams were suitable for designs with longer spans and non-linear configurations, which could not be achieved by regular wooden beams. They provide large overhanging eaves, which appear to hover above the various portions of modern houses of this era and served as rain- and sunscreens. A new generation of architects became aware of the significant advantages of glue-laminated members, in which the location and frequency of knots and strength-reducing characteristics can be controlled. The result is a structural member in which splits, checks and loosening of fasteners associated with drying are greatly reduced, and relatively high strength is achieved. The invention of synthetic resin glues with high moisture resistance allowed the application not only indoors, but also direct exposure to weather.



4.4 EXTERIOR WALLS

The exterior walls of the main level are constructed with solid tan brick walls in stretcher bond and cementitious mortar. These bricks and bond pattern are repeated on interior features, e.g. fireplaces and the inside of exterior walls. The second level of the Toby Residence is finished with 1" x 4" vertical cedar siding with extended shiplap joints. The wood siding is painted in grey colour.

The low-pitched gabled roofs above the one-storey living and dining rooms, and the two-storey portion to the north have a 1" rigid insulation. Two skylights exist on the northern slope of the main roof. The use of flat or slightly sloped roofs allowed the use of tar-and-gravel roofing and replaced the use of traditional cedar shingles, which became increasingly expensive. The exposed wood beams are stained in a dark brown varnish and the overhanging, white painted eaves provide an interesting contrast to the dark timber on all sides.

A smaller, interior brick chimney located in the kitchen protrudes from the ridge of the main roof. A second exterior chimney built in tan brick is situated on the south wall and has open fireplaces in the basement and the family room of the main floor.

The original fenestration on the ground floor comprises large aluminum sliding doors on the ground floor on the west and north elevations, and a three-part sash window in the kitchen area to the west. Fixed clerestory windows set between the exposed beams above the eastern brick wall provide the living room with additional natural light. Plain square windows provide daylight in utility and service rooms, e.g. a laundry on the east side. The main entrance configuration is original and is comprised of a single door with a solid fir core, surrounded by narrow opaque glass sidelights. The original hardware is intact. The upper storey has two- and three-part wooden sash windows, each with one narrower side element that is operable and accentuated in a different colour.

The concrete slab of the cantilevered second level is supported by three timber columns and creates an open carport for two stalls on the east side. The underside of the slab is finished with painted cement plaster. The carport is screened with four ornamented narrow walls on the south side built with the same tan brick used for the main house.

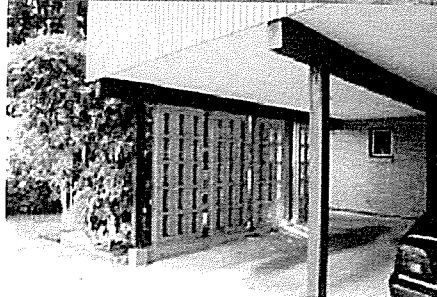
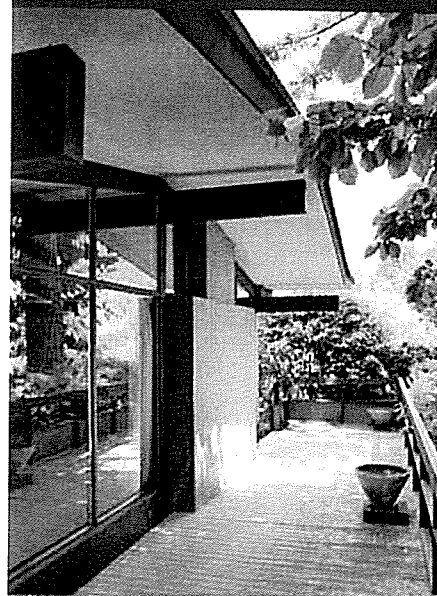


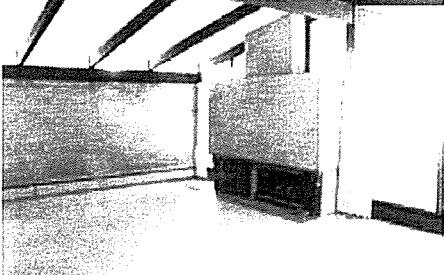
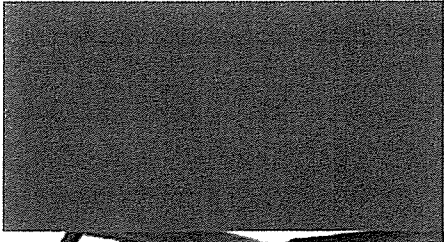
Clockwise from left: West elevation with brick wall, shiplap siding and aluminum door

Detail of eave with Glulam beams

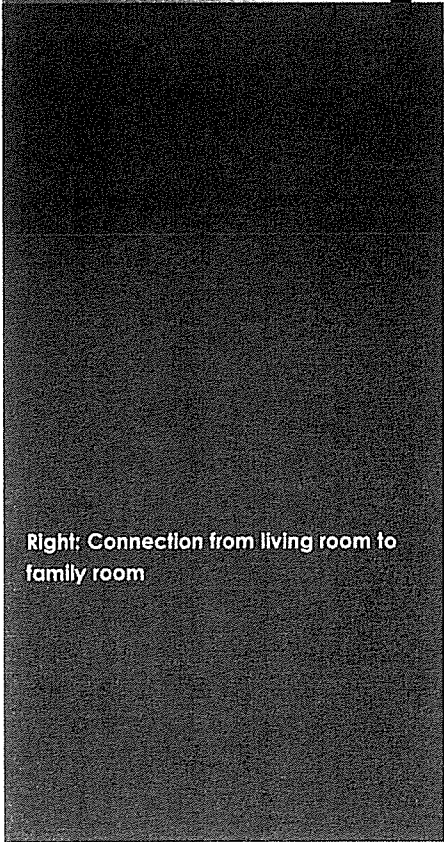
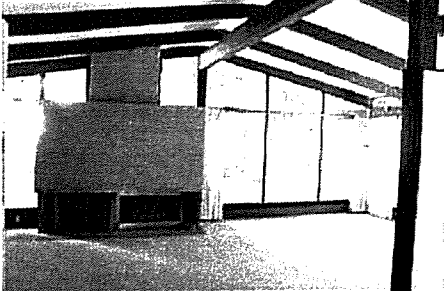
South wall with brick chimney and floor-to-ceiling glazing

Cantilevered 2nd floor carport





Above & Below: Living room facing south with brick chimney and fireplace



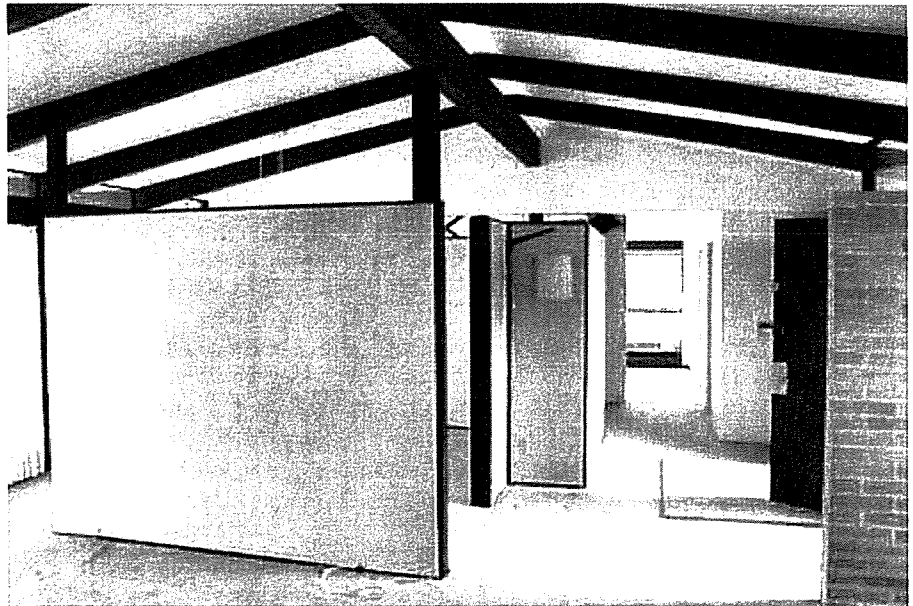
Right: Connection from living room to family room

4.5 INTERIOR CONFIGURATION

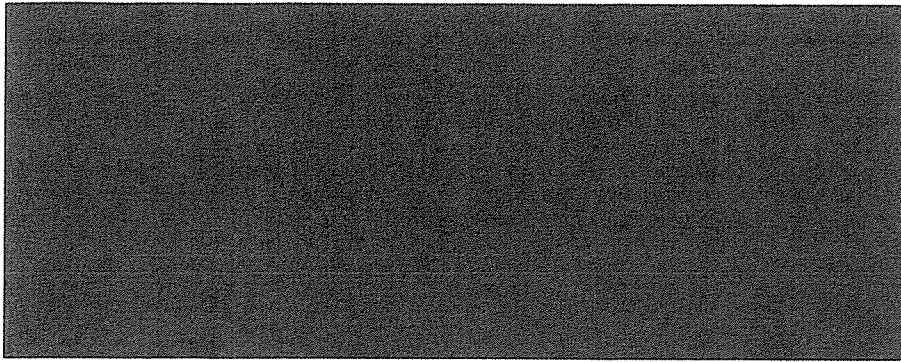
The post-war family of the modern era preferred an informal plan layout, simplicity and clarity over representative functions and decorative features of pre-war architectural styles. The open plan of the main floor of the Toby Residence contains the primary (entrance hall, living room) and secondary (kitchen, family room) living spaces. The private tertiary rooms, which comprise bedrooms and bathrooms, are located on the second floor.

The basement housed the utility and storage rooms; and a future recreational room with an open brick fireplace at the south wall. A sliding door and floor-to-ceiling windows opened the room to the west side, a typical feature of the Toby Residence that accentuates the seamless connection of the interior and exterior.

A large number of original architectural elements are extant and contribute to the generally intact appearance of the interior space of the Toby Residence. The main level is characterized by expansive views through large, ceiling-height windows and doors in the south, west and north walls, all opening to private patios and decks. The living room, the largest room in the house, has on the south side a glassed wall with an offset chimney and an open fireplace. The chimney is built with tan bricks in stretcher bond and surrounded by singled glazed window panels.



The living room is separated from the adjacent dining room with a stud screen finished with 1"x4" cedar siding that repeats on the other interior walls of this room. The dining room, also designed with floor-to-ceiling windows with views to the garden, is connected to the kitchen. Original features of the kitchen include the parallel counters, and built-in appliances



Far Left: Exposed Glulam beams on 2nd floor

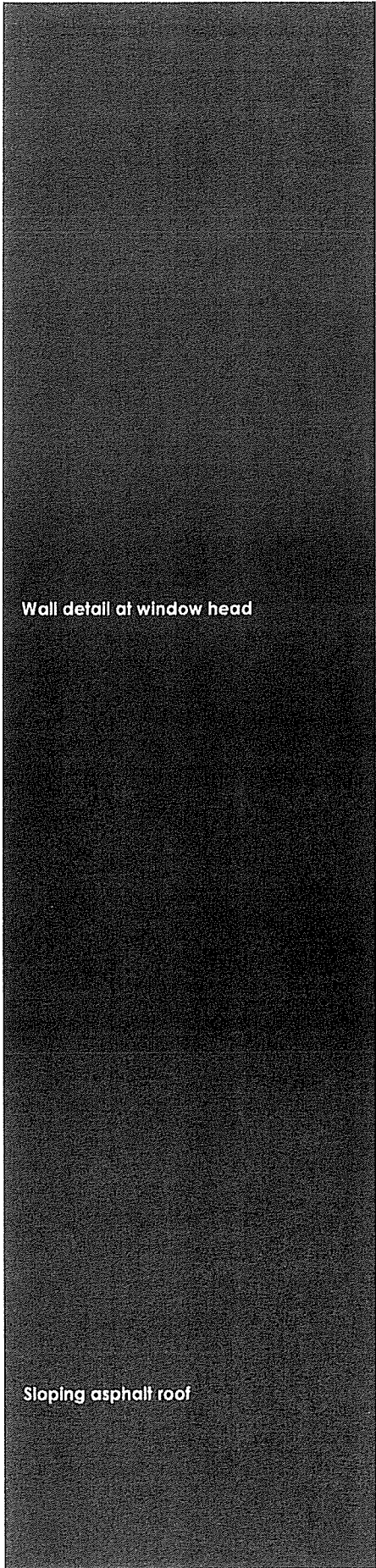
Left: open staircase

and cupboards. The kitchen and adjacent family room are finished with painted plastered walls, all in a monochrome white colour scheme. The original vinyl tiles in the kitchen and family room have been replaced with white floor tiles. The family room was a more private living room in which children could play. A smaller, open fireplace with tan running bond brick chimney is located on the south wall of the family room. Sliding patio doors connected the family room with the private patio to the west.

The original architectural drawings specify the room finish schedules. Carpets are listed for the main living areas and bedrooms. Interior walls and ceilings are predominantly plastered and painted as noted in the original finish schedule. The Glulam beams in the living, dining and entrance area are finished with a brown varnish, which is an interesting contrast with the white painted plaster of the ceilings.

An open stair with stone treads and a metal railing in the centre of the house is U-shaped and provides leads to the upper level with the tertiary rooms.

The second floor contains four bedrooms, which remained unchanged. The two bathrooms are equipped with their original appliances and finished with ceramic mosaic tile dado and colour-matching ceramic floor tiles. Mirror cabinets are mounted above washing basins with cabinets. The only source of natural light is the aforementioned skylights.



Wall detail at window head

Sloping asphalt roof



4.6. CONDITION ASSESSMENT

The overall condition of the 1962 Toby Residence is very good, with no indication of major alterations or damage. The large overhanging eaves of the low-pitch roof effectively protect the exterior wall assembly from weathering. These elements include the tan bricks, exposed timber beams, and plaster, as well as the wooden sash windows and aluminum doors. The ground level is almost flush with the finished floor level, and no dampness or water staining was recorded on the floor. The wood deck and railing are also intact and in good condition.

The exterior and interior wood and plaster rendering is painted and the paint is in good condition with no visible signs of decay. The plaster rendering of the carport ceiling shows signs of minor cracking in a few locations, which were repaired and painted in the past.

The original interior open plan layout, wall materials and most finishes are extant and are in good condition.

Interventions will be required to improve the structural support of projecting decks of the house and swimming pool. Additional load-bearing support was installed as an interim measure in the past and a structural analysis will be necessary to propose adequate stabilization.



CONSERVATION STRATEGY

5

5.1 DESCRIPTION OF THE PROPOSED DEVELOPMENT

The proposed design is part of a residential development prepared by Wensley Architecture Ltd., and includes for subdivision of the subject property into two lots. A modern detached three-storey family home ("Hill House") is designed for the subdivided lot to the west. The new concrete structure will be built into the base of the slope at a lower elevation than the Toby Residence. The new three storey residential building is contemporary in design and accessed by a separate driveway from Queens Avenue.

The conservation strategy for the historic site is to preserve the Toby Residence through a partial exterior and interior rehabilitation including an addition to the north side of the historic building. Significant exterior façade elements and the overall spatial configuration and interior features of the Toby Residence will be preserved. The extension to the north will increase the floor area on both levels. This intervention requires the removal of the existing north wall, the redesign of utility areas on the ground floor including the relocation of an exit door to the carport at the east wall, and the interior reconfiguration of the second level. The extension will also provide an additional parking space adjacent to the existing two spots. The addition to the north will not be visible from the street. The existing outdoor pool will be preserved and rehabilitated.

5.2 CONSERVATION STANDARDS

The Parks Canada *Standards & Guidelines for the Conservation of Historic Places in Canada* (2004) is the main source utilized to evaluate the proposed interventions at the historic site. Under the Standards and Guidelines, the work proposed to be carried out to the 1962 Toby Residence include aspects of **Preservation** and **Rehabilitation** as defined below:

Preservation: The action or process of protecting, maintaining and/or stabilizing the existing materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of an historic place or of an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

When assessing the impact on character-defining elements of an intervention, reference is made to the Standards and Guidelines, the national conservation principles of best practice.

The main conservation intervention proposed to the historic site is **Rehabilitation** and comprises the construction of a new residential house to the west of the Toby Residence. **Rehabilitation** of the north elevation is proposed for the Toby Residence in order to incorporate a new addition. Further upgrades to the existing mechanical and electrical systems and

other services of the heritage building are planned where necessary. **Preservation** and maximizing the retention of original exterior and interior elements is the conservation strategy for the remainder of the historic house. Aspects of **Restoration** will presumably not be carried out as almost all original exterior and interior features of the Toby Residence are in good to very good condition and significant alterations have not been undertaken in the past.

5.3 EVALUATION OF THE PROPOSED DEVELOPMENT

The following are an assessment of the proposed development at the historic site and how they relate to the Standards and Guidelines and the character-defining elements of the 1962 Toby Residence.

SITE LOCATION

The heritage value and character-defining elements of the historic site will be preserved. The 1962 Toby Residence will be retained in situ. The addition to the north of the historic house and the new residential structure to the west will not substantially alter the topographical features of the site. The interventions will not obstruct the scenic views typical for sites with West Coast style homes including the Toby Residence. The intact historic appearance of the heritage building from the street and its characteristic landscaping features will be preserved.

FORM, SCALE, MASSING

The addition to the Toby Residence is sympathetic in form, scale and massing and respectful to its heritage features. The design intent of the addition is planned with minimal intervention to the historic building and character-defining elements. The new work is physically and visually compatible with, subordinate to and distinguishable from the historic place. The essential form and integrity of the Toby Residence will be retained and the addition will not diminish the heritage value and appearance of the historic site.

The architecture of the new three-storey residential structure is contemporary in design and therefore consistent with the history of the site, as the modern style and technology of the present time are being used. Architect Ray Toby used innovative technology and modern architectural language for the Toby Residence, so the adoption of contemporary technology and style for the newly designed Hill House is appropriate. The location of the new structure at the foot of the hill, below the Toby Residence, is sensitive to, and compatible with, the historic place.

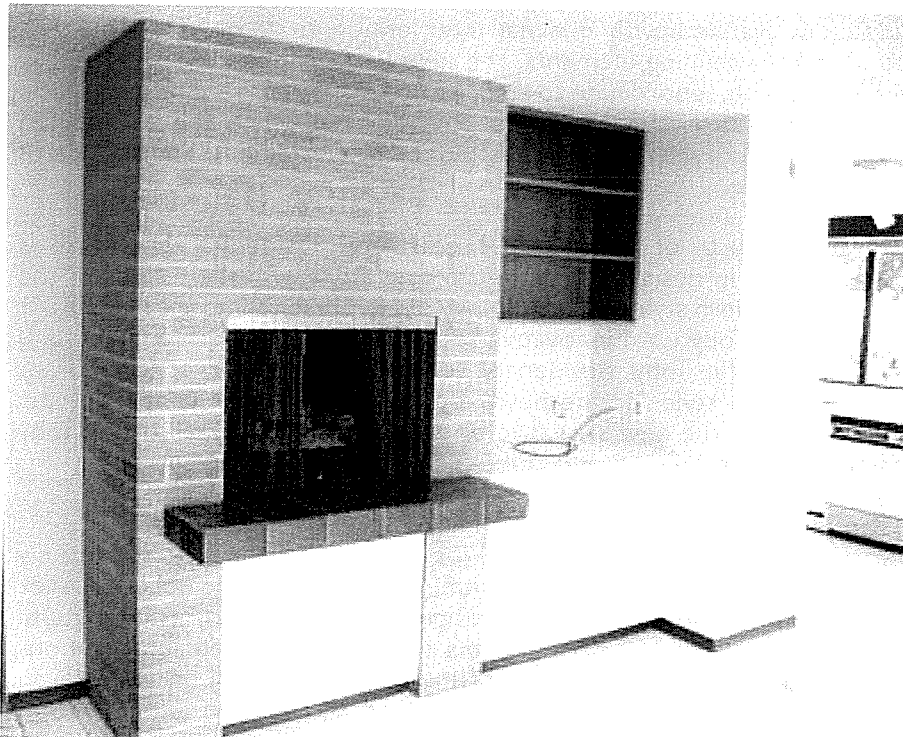
STRUCTURE, MATERIALS AND FINISHES

The proposed conservation work for the Toby Residence will mainly preserve the original structural system, wall and roof assemblies, interior finishes and built-in furniture. The original design of contrasting natural materials such as timber, brick and plaster will be retained. Interventions to improve the structural system of the historic site will be undertaken where required.

The only interventions to the original materials and finishes will be carried out on the north elevation to accommodate the new addition. Secondly the kitchen and service areas on the main floor, and the private rooms on second floor will require mechanical and electrical upgrades in order to meet modern living standards. These aspects of the building will be rehabilitated.

INTERIOR CONFIGURATION

The principal configuration of the interior primary, secondary and tertiary spaces will be preserved. The proposed addition to the Toby Residence will increase the floor area of the former family room and utility rooms on the main floor and the private rooms on the second floor in a manner that is sympathetic to the original open floor plan and arrangement of functions.



View of former family room with interior fire place

6 CONSERVATION RECOMMENDATIONS

The following is a summary of the overall conservation recommendations for the 1962 Toby Residence:

- Preserve the location and site vistas.
- Preserve the original exterior façade elements and features such as brick walls, Glulam timber system, wood siding, aluminum frame sliding doors and wooden sash window units, sloped roofs with large overhanging eaves, decks and patios where possible. Review their condition and repair only if necessary with minimal intervention to match existing appearance.
- New work and interventions should be sympathetic to the historic building and its character-defining elements. Local materials should be used where possible in keeping with the design intent of the house.
- Review the overall condition of the structural integrity and mechanical, electrical and plumbing systems of the 1962 Toby Residence. Upgrades should be respectful to the historic place and preserve its heritage value and character-defining elements where possible.
- Preserve the original interior finishes, furniture and in-built features of the Toby Residence and repair if necessary to match appearance.

The proposed new design development is in compliance with the Standard & Guidelines. The design intent for historic site and the extension of the Toby Residence is sympathetic to its heritage character and preserves most of the historic exterior and interior elements. The addition of a new residential building at the bottom of the sloping hill is respectful to the historic Toby Residence. The new addition does not interfere with the overall appearance of the Toby Residence.

The proposed Heritage Residential Development is a sensitive rehabilitation of the site and compatible with the integrity of the 1962 Toby Residence and its heritage value and character-defining elements.

RESEARCH SOURCES

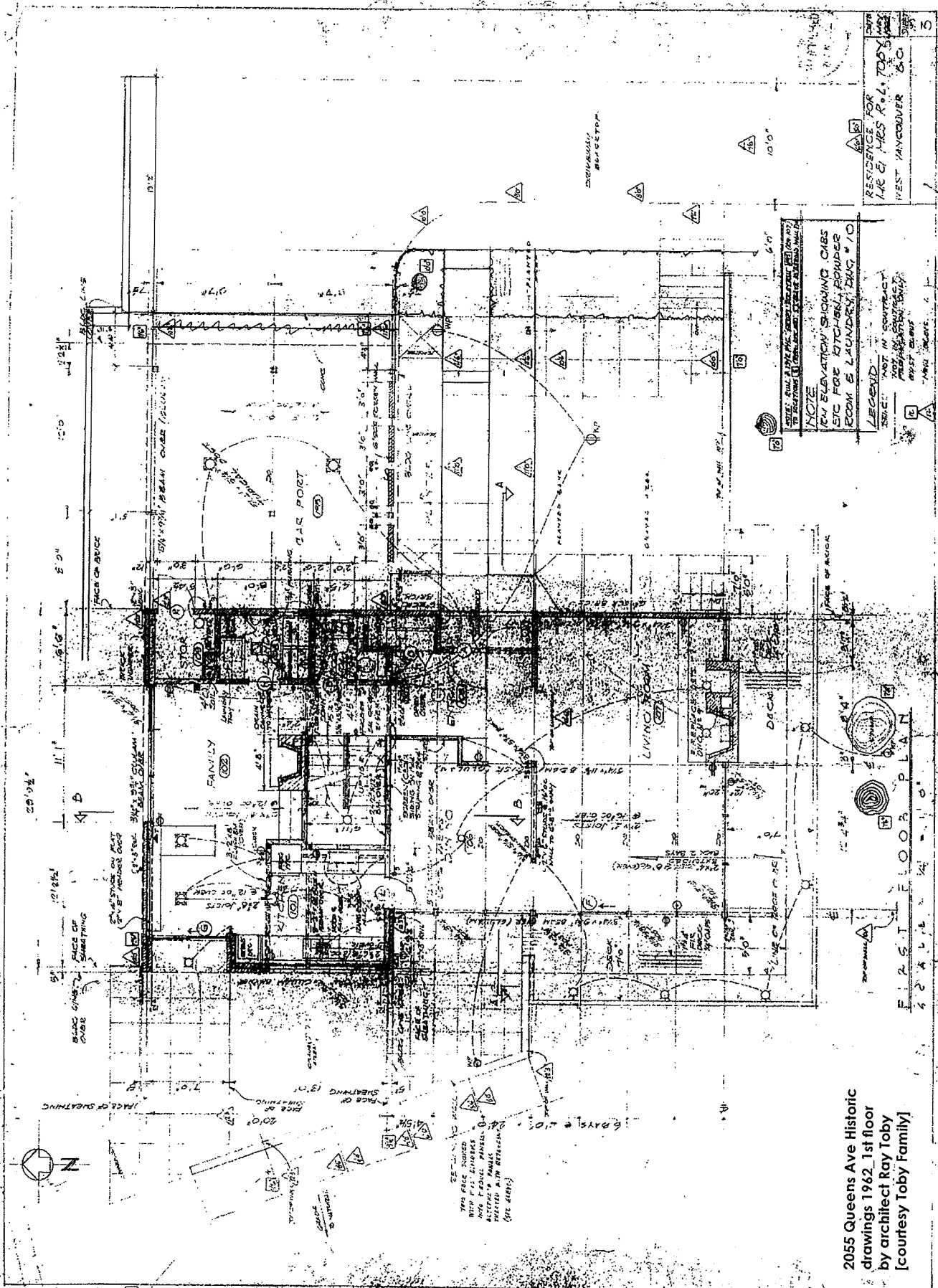
Algie, Susan; Ashby, James: *Conserving the Modern in Canada: buildings, ensembles, and sites, 1945-2005*: conference proceedings, Trent University, 2005.

F.G. Architectural & Planning Consultants: *The West Vancouver Survey of Significant Architecture 1945-1975*.

Luxton, Donald: *The Rise and Fall of West Coast Modernism in Greater Vancouver, British Columbia*; in: APT Bulletin, Vol. XXXI, Number 2-3 (2000), pp. 55-61.

Original architectural drawings by Ray L. Toby, revised September 1962, and historic photos of the Toby Residence (courtesy of the Toby Family).

A APPENDIX: HISTORIC DRAWINGS

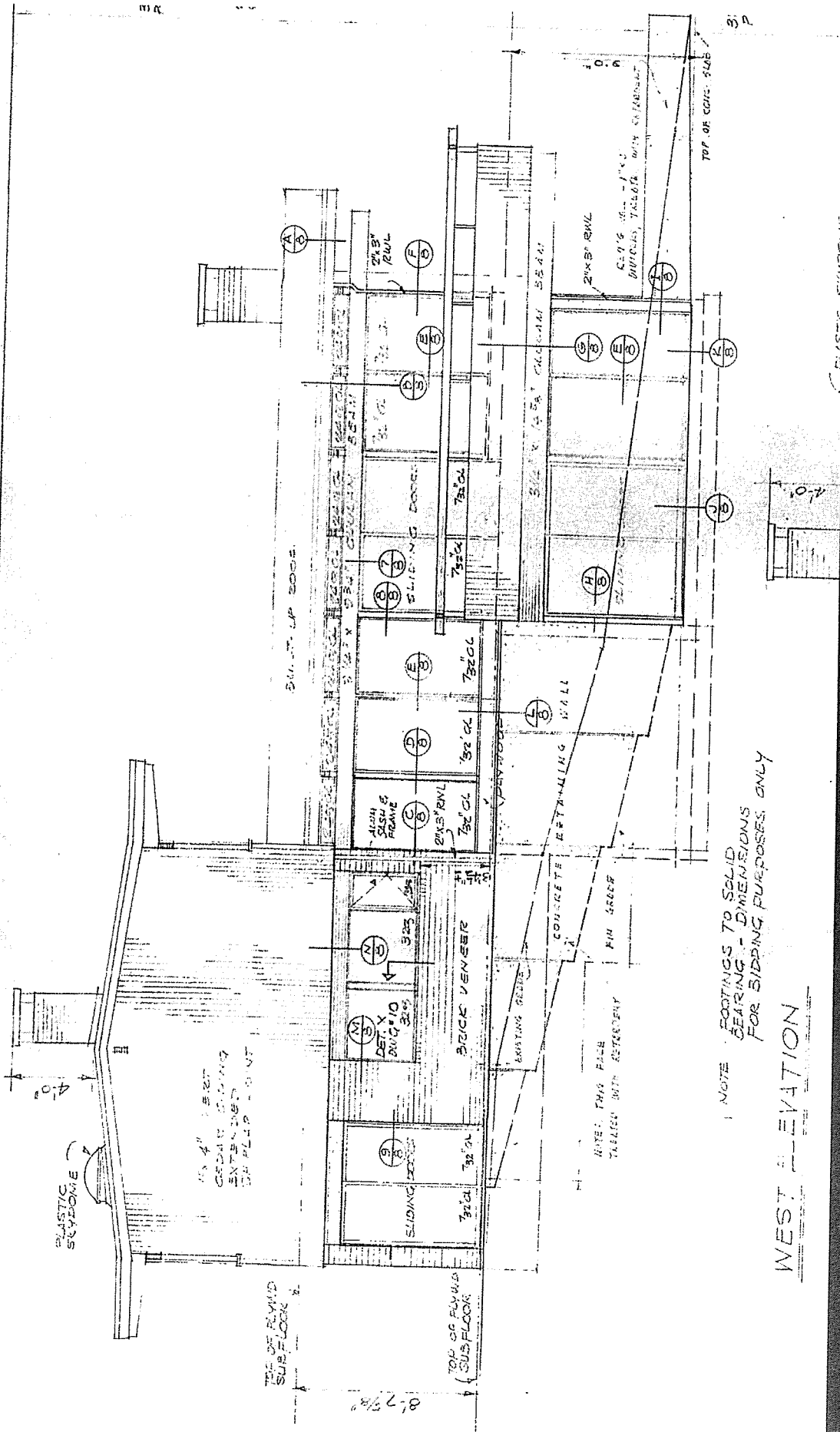


NOTE
 NEW ELEVATION SHOWING CHBS
 SIC FOR KITCHEN, POWDER
 ROOM & LAUNDRY, BRG # 10

LEGEND
 [Symbol] NOT IN CONTRACT
 [Symbol] NOT IN CONTRACT
 [Symbol] NOT IN CONTRACT
 [Symbol] NOT IN CONTRACT

RESIDENCE FOR
 MRS. E. M. R. L. 700 S.
 WEST HANCOCK ST.
 WEST HANCOCK ST.

2055 Queens Ave Historic
 drawings 1962, 1st floor
 by architect Roy Toby
 [courtesy Toby Family]



NOTE: FOOTINGS TO SOLID
 BEARING - DIMENSIONS
 FOR BIDDING PURPOSES ONLY

WEST ELEVATION

2055 Queens Ave Historic
 drawings 1962 west elevations
 by architect Ray Toby
 [courtesy Toby Family]



District of West Vancouver

**Heritage Designation Bylaw No. 4814, 2015
(2055 Queens Avenue)**

Effective Date:

District of West Vancouver

Heritage Designation Bylaw No. 4814, 2015 (2055 Queens Avenue)

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District of West Vancouver

Heritage Designation Bylaw No. 4814, 2015 (2055 Queens Avenue)

A bylaw to designate 2055 Queens Avenue as protected heritage property

WHEREAS the Council of The Corporation of the District of West Vancouver considers that the Toby House located at 2055 Queens Avenue has heritage value and heritage character, and that the designation of the property is desirable for its conservation; and

WHEREAS the owner of the Property has requested that this bylaw be adopted; and

WHEREAS the owner of the Property has entered into a heritage revitalization agreement with the District pursuant to Section 966 of the *Local Government Act* in which, in return for certain variances of District bylaws that would otherwise prohibit the development in accordance with the owner's plans for the Property, the owner has waived any entitlement to compensation to which the owner would be entitled by Section 969 of the *Local Government Act* should the designation effected by this Bylaw reduce the market value of the Property;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

1.1 This bylaw may be cited as "Heritage Designation Bylaw No. 4814, 2015".

Part 2 Severability

2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Definitions

3.1 In this bylaw:

“Normal repair” means the replacement of elements of the structure or finishing materials of a building with components that are equivalent to those being replaced in material composition, dimensions and quality, except where the element being replaced is not original to the building in which case a heritage alteration permit is required;

“Property” means that parcel of land in West Vancouver, British Columbia, having a civic address of 2055 Queens Avenue and a legal description of Parcel Identifier: 009-182-900, Lot F District Lot 1091 Plan 11018;

“DBH” means diameter measured 1.4 metres from the ground;

“Toby House Statement of Significance” means the document having that name prepared by Donald Luxton and Associates Inc., and dated June 2010, a copy of which is attached to this Bylaw as Schedule A.

Part 4 Heritage Designation

- 4.1 The property having a civic address of 2055 Queens Avenue and a legal description of Parcel Identifier: 009-182-900, Lot F District Lot 1091 Plan 11018 is designated as protected heritage property under Section 967 of the *Local Government Act*.
- 4.2 The designation applies to the following:
 - 4.2.1 All aspects of the exterior of the Toby House including without limitation the exterior aspects that are specifically listed as Character-Defining Elements of the building in the Toby House Statement of Significance;
 - 4.2.2 Those aspects of the interior of the Toby House that are specifically listed as Character-Defining Elements of the building in the Statement of Significance;
 - 4.2.3 All native trees on the Property having a DBH greater than 25 cm; and
 - 4.2.4 Other landscape features identified as Character-Defining Elements of the property in the Statement of Significance.

Part 5 Heritage Alteration Permits

- 5.1 All alterations to the elements and features of the Property referred to in Section 4.2 require a heritage alteration permit, except:

- 5.1.1 Normal repair and maintenance of the Toby House carried out in accordance with Heritage Maintenance Bylaw No. 4187, 1999;
- 5.1.2 The removal or pruning of a native tree which, due to its location, condition, health or any other circumstances, as determined in writing by an Arborist certified by the International Society of Arboriculture, or by the Municipal Arborist, presents an imminent danger of falling and causing injury to a person or damage to property, provided that:
- (a) the District is notified of the removal or pruning within two business days and that the tree or portion thereof is left on the Property for the District's inspection and instructions as to disposal, and
 - (b) within 24 hours of the date of removal, or in the case of a removal which takes place on a weekend or holiday, on the next business day after the date of removal, apply for a Heritage Alteration Permit for such removal and take all action necessary to obtain issuance of such tree permit and shall abide by any terms and conditions of the permit, including a requirement to plant replacement trees.

Part 6 Delegation

- 6.1 The Council delegates to the Director of Planning and Development the authority to issue heritage alteration permits to authorize alterations not otherwise permitted by this Bylaw or by Heritage Maintenance Bylaw No. 4187, 1999, provided that the alterations are in the opinion of the Director appropriate to the general period and style of the Toby House and the Property, and do not remove, replace or substantially alter its intact or repairable character-defining elements, as identified in the Statement of Significance attached as Schedule 'A' to this bylaw.

Schedules

Schedule A – Statement of Significance for Toby House (2055 Queens Avenue)

READ A FIRST TIME on [Date]

PUBLICATION OF NOTICE OF PUBLIC HEARING on [Date]

PUBLIC HEARING HELD on [Date]

RECONVENED PUBLIC HEARING HELD on [Date]

READ A SECOND TIME on [Date]

READ A THIRD TIME on [Date]

ADOPTED by the Council on [Date].

Mayor

Municipal Clerk

Schedule A - Statement of Significance for Toby House (2055 Queens Avenue)

Prepared by Donald Luxton & Associates Inc., June 2010

DESCRIPTION OF HISTORIC PLACE

The Toby House, located at 2055 Queens Avenue in West Vancouver, is a detached two-storey single-family dwelling, designed and constructed in the West Coast Style of architecture. It features an exterior cladding of vertical tongue-and-groove wooden siding on the upper storey and tan brick on the ground level. Located on a large residential lot with views to the south of Burrard Inlet, the Toby House is distinguished by its integration with the natural environment, its shallow sloped roof with wide flaring eaves and exposed glue-laminated roof beams.

HERITAGE VALUE OF THE HISTORIC PLACE

The Toby House is valued as a creative and early representation of the West Coast Style in West Vancouver. Represented by its design innovation, use of natural materials, sensitive integration with the natural environment and the expression of new architectural technologies, the West Coast Style was a prevalent style of architecture between 1945 and 1970 on the north shore of Burrard Inlet in both North and West Vancouver. Characterized by post-war optimism, the West Coast Style evolved from an era of prosperity and growth that followed the disruption of World War Two. Designed by architect Ray Toby in 1962 as his own family residence, this house features glue-laminated roof beams, the first known local residential use of engineered wood products. These manufactured beams allowed for longer spans and unique non-linear configurations. The interior of the Toby House features floor to ceiling windows, ceilings that follow the shallow curve of the roofline while exposing the glue-laminated beams, ribbon windows, and brickwork on both the exterior and interior.

Built on a large residential lot in a developing area of West Vancouver, the Toby House is significant for its integration with the natural environment of its site. The house was carefully planned to take advantage of natural surroundings that were left in place with minimal disruption. Located amongst mature cedars, rhododendrons, and weeping willows, with a creek running through the property, the Toby House blends into the natural environment and utilizes abundant natural daylight through its many large windows and clerestories. With south-facing views to the ocean and the dense surrounding mature vegetation, the Toby House is an urban retreat integrated with the natural environment.

The Toby House is also valued for its association with prominent local architect Ray L. Toby. Part of the first graduating class of the University of British Columbia's School of Architecture program that began in 1945, Toby first worked for the prominent firm Semmens & Simpson before he became a partner in Toby, Russell & Buckwell, a Vancouver based architectural firm that continues to bear his name. In the design for his family home, Toby was able to experiment freely with texture, colour, materials, and open plan concepts.

CHARACTER-DEFINING ELEMENTS

Key elements that define the heritage character of the Toby House include its:

- Setting amongst mature vegetation on a large lot, with views south to Burrard Inlet and the city of Vancouver;
- Continuous residential use;
- Residential form, scale and massing as expressed by its two-storey plus partial basement plan – with shallow sloping rooflines, exposed glue-laminated roof beams, and horizontal asymmetrical massing;
- West Coast Style architectural features such as:
 - shallow sloping rooflines with wide flaring eaves;
 - exposed glue-laminated wooden roof beams;
 - solid brick walls on the main floor and brick veneer on the second floor, both in tan running bond brick;
 - tan running bond brick chimney;
 - vertical shiplap cedar siding cladding the upper storey;
 - the wood posts of the east façade carport that support the second storey of the house;
 - smooth interior wall surfaces;
 - windows set flush with the outer wall plane;
 - solid panel wooden front door;
 - the use of local building materials;
 - the relationship between the interior and exterior spaces; and
 - the use of mature native trees and plants on the site;
- Additional exterior architectural details such as:
 - three patios, deck, and pool deck all with wooden plan flooring; and
 - carport located beneath the second storey of the east façade;
- Windows such as:
 - original large floor-to-ceiling wooden sash windows on the ground floor;
 - three-part sash windows in the kitchen area;

- two- and three-part sash windows of the upper storey;
 - plain, square windows on the east façade;
 - narrow opaque glass sidelights at the front entryway; and
 - clerestories above some walls, windows, and doorways;
- Interior features such as:
 - original running bond brick fireplace;
 - exposed glue-laminated wood beams;
 - open floor plan with walls that stop short of the roofline; and
 - Landscape features such as:
 - mature trees and plants including cedars, weeping willows, rhododendrons, ferns, mosses, and salal; and
 - stone steps and pathways that extend throughout the property.

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District of West Vancouver
Proposed
Development Permit No. 10-011

Registered Owner: Vlahos Holdings Ltd

This Development Permit applies to:

Civic Address: 2055 Queens Avenue

Legal Description: Lot F District Lot 1091 Plan 11018
PID: 009-182-900
(the "Lands")

-
1. This Development Permit:
 - (a) imposes requirements and conditions for the development of the Lands: which are designated by the Official Community Plan as Development Permit Areas to avoid hazardous conditions, ensure greater environmental compatibility of development on sloping sites, protect the natural environment on difficult terrain, minimize site disturbance, and protect and enhance watercourses within the Existing Neighbourhoods; and are subject to Guidelines NE6 and NE13 specified in the Official Community Plan; and
 - (b) is issued subject to the Registered Owner's compliance with all of the Bylaws of the District applicable to the Lands, except as specifically varied or supplemented by this permit.

 2. The following requirements and conditions shall apply to the Lands:
 - 2.1 The Lands may only be subdivided and developed in accordance with the plans attached as Schedules 'A' and 'B'. Notwithstanding, the Approving Officer may determine that the subdivision plan conforms to the Development Permit plan if there is a minor difference between the Development Permit plan and Subdivision Plan that does not materially affect the intent of the plans attached to this Development Permit or is a technical requirement of the subdivision.
 - 2.2 The Hill House to be constructed on Lot 'B' shall:
 - (a) achieve a minimum Energuide rating of 80 at the completion of construction; and
 - (b) shall be constructed with electrical conduits to allow for electric vehicle charging and roof-mounted solar.
 - 2.3 Riparian planting must be generally undertaken in accordance with the plan attached as Schedule 'C'.
 - 2.4 Prior to building permit issuance, the Registered Owner must:
 - (a) provide and implement a plan for traffic management during construction, to the satisfaction of the Manager of Development Engineering;

-
- (b) submit a Tree Protection and Removal plan to the Director of Planning, Land Development and Permits for review and approval that:
 - i. provides details of tree protection measures for all trees that are to be retained on the Lands; and
 - ii. complies with the Wildlife Act regarding tree removal.
 - (c) Provide a report from a suitably qualified engineer confirming that the proposed habitable space in the Hill House on Lot 'B' will not be subject to flooding.
- 2.5 Prior to any site clearing, rock removal, grubbing, stripping, shrub or tree removal, re-contouring or construction on the Lands, the Registered Owner must:
- (a) install the tree protection measures required under 2.4 above to the approval onsite of the Environmental Protection Officer; and
 - (b) install sediment and erosion control works (generally in accordance with the attached Schedule 'D') to the approval onsite of the District's Environmental Protection Officer.
- 2.6 The sediment and erosion control and tree protection works required under 2.4 and 2.5 above may only be altered and must only be removed upon written approval from the District's Environmental Protection Officer.
3. Prior to the issuance of this Development Permit and as security for the due and proper completion of the measures to preserve, protect, restore or enhance the environment and landscaping of the Lands set forth in Section 2 of this Development Permit (the "Works"), the Owner must:
- (a) provide security in the amount of \$15,000 to the District in the form of cash or an unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union; and
 - (b) maintain the security for a minimum of one year after completion of the Works, and not prior to the date on which the District's Environmental Protection Officer authorizes in writing the release of the security.
4. This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.
- In the event the Owner is delayed or interrupted or prevented from commencing the work specified herein by reason of any Act of God, labour unrest (including strikes and lockouts), weather conditions or any similar cause reasonably beyond the control of the Owner, the time for the commencement of the work shall be extended for a period equal to the duration of the contingency that occasioned the delay, interruption or prevention, provided that the commercial or financial circumstances of the Owner shall not be viewed as a cause beyond the control of the Owner.

THE COUNCIL OF THE DISTRICT OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON _____, 2015.

MAYOR

MUNICIPAL CLERK

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO. IT IS UNDERSTOOD THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION.

Owner: Signature

Owner: Print name above

Date

FOR THE PURPOSES OF SECTION 4, THIS PERMIT IS ISSUED ON .

Schedules:

A – Proposed Plan of Subdivision

B - Building Plans for the "Hill House" prepared by Wensley Architecture dated February 11, 2015.

C - Riparian Planting Plan prepared by Sartori Environmental Services dated January 2012.

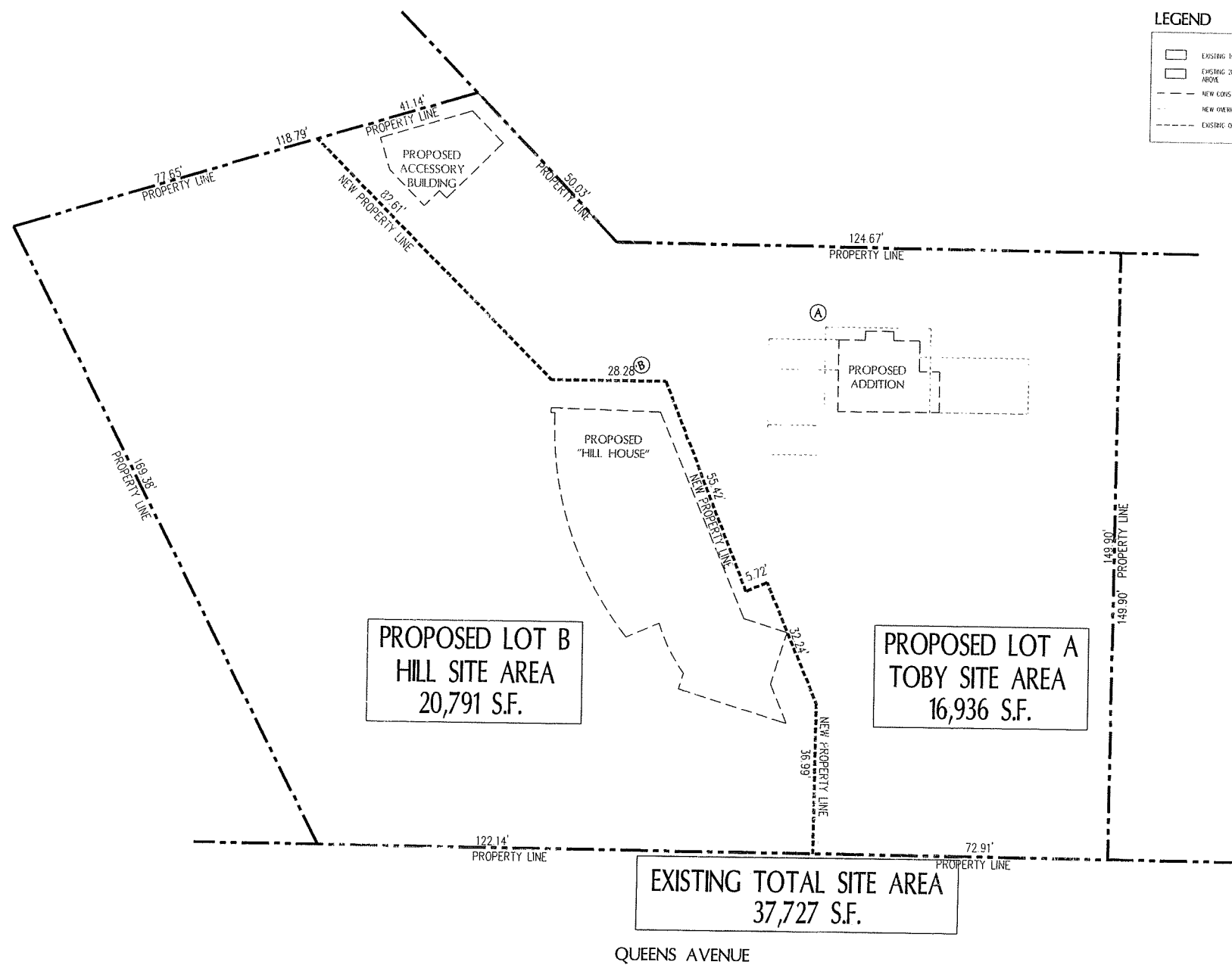
D - Sediment and Erosion Control Measures provided by Sartori Environmental, dated January 2012.

Schedule A

LEGEND

	EXISTING TOBY HOUSE
	EXISTING 2ND STOREY ABOVE
	NEW CONSTRUCTION
	NEW OVERHANGS
	EXISTING OVERHANGS

GENERAL NOTES: ALL PARTS OF THIS DRAWING ARE THE PROPERTY OF WENSELY ARCHITECTURE LTD. NO PART IS TO BE USED WITHOUT THE APPROVED SIGNATURE OF WENSELY ARCHITECTURE LTD. ALL DIMENSIONS SHALL BE MEASURED BY THE DISTANCE FROM TO PROTECTING WITH THE WALL.



NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	03/20/12
2	REVISION FOR DEVELOPMENT PERMIT	03/20/12
3	REVISION FOR DEVELOPMENT PERMIT	03/20/12
4	ISSUED FOR DEVELOPMENT PERMIT	03/20/12
5	REVISION	03/20/12

PROPOSED TOBY HOUSE ADDITION AND NEW HILL HOUSE
2055 QUEENS AVE WEST VANCOUVER, B.C.

Wensley Architecture Ltd

CONSULTANTS:
STRUCTURAL
MECHANICAL
ELECTRICAL
LANDSCAPE

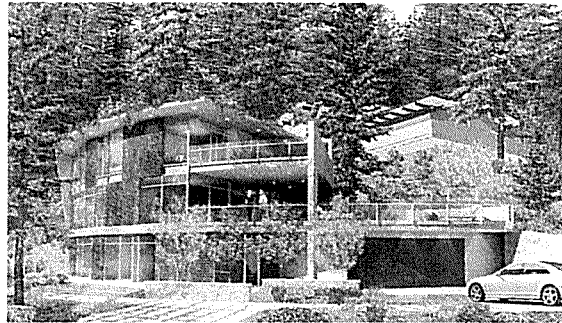
PROPOSED SUBDIVISION

PROJECT NO.	0185	ISSUED BY:	DL
SCALE	3/32" = 1'-0"	DATE:	03/20/12
DATE	03/20/12		

A101A

A.A.

PROPOSED NEW "HILL HOUSE"
2055 QUEENS AVE.
WEST VANCOUVER, B.C.



FEBRUARY 11, 2015

PROJECT # 0909



301 - 1444 Alberni St.
Vancouver, BC V6G 2Z4
tel 604.685.3329 fax 604.685.6574
info@wensleyarch.com

SCHEDULE

B

PROPOSED NEW "HILL HOUSE" Project # 0909



UNIT MIX/STATISTICS	(REVISION NO. 3)	February 10, 2015		
LEGAL DESCRIPTION	Lot F District Lot 1091 Plan 11018			
CIVIC ADDRESS	2055 Queens Ave. West Vancouver BC			
EXISTING ZONING	RS3	PROPOSED ZONING CD		
EXISTING SITE AREA (SF)	37,727			
SITE WIDTH	22.2m <24.4m min	(measured at front setback line)		
PROPOSED HILL HOUSE SITE AREA (SF)	20,791 (1,932 m ²)	>(min 1,115 m ²) VARIANCE REQUIRED		
SITE WIDTH	42.0m >24.4m min	(measured at front setback line)		
SITE DEPTH	less than <4x Site Width (max 168m)			
MAX. ALLOWABLE F.S.R	BYLAW	PROPOSED	UNUSED	FSR
HILL HOUSE	35%	24%	11%	4,894sf / 20,791 = 0.24 FSR
MAX. ALLOWABLE SITE COVERAGE	BYLAW	PROPOSED	UNUSED	
HILL HOUSE	30%	11%	19%	
MAX. BUILDING HEIGHT	BYLAW	PROPOSED		
HILL HOUSE	25' (2 STOREY+BSMT)	0.0	2 STOREYS + BSMT	AVERAGE GRADE -402.5'
BUILDING HEIGHT	HILL HOUSE			
Storeys	2			
Average Grade (ft)	0.0			
Building Height Above Avg. Grade (ft)	17.5'			
Elevation at roof peak (ft)	420'			
Elevation of Bsmt (ft)	390'			
Elevation of Main floor (ft)	400'			
Elevation of 2nd floor (ft)	410'			
SET BACKS	BYLAW			
HILL HOUSE	SIDE SETBACK #1	Max 3m or 10% lot width (4.2m)	88.75' (27.1m)	
	SIDE SETBACK #2	Max 2m or 10% lot width (4.2m)	N/A	
	SIDE SETBACK #3	Max 2m or 10% lot width (4.2m)	5.83' (2.1m)	VARIANCE REQUIRED (house encroaching)
	SIDE SETBACK #4	Max 2m or 10% lot width (4.2m)	3.83' (1.2m)	VARIANCE REQUIRED (house encroaching)
	SIDE SETBACK #5	Max 3m or 10% lot width (4.2m)	0.66' (0.2m)	VARIANCE REQUIRED (house encroaching)
	FRONT (SOUTH)	29.55' (9.1m)	32.13' (9.8m)	
	REAR (NORTH)	29.86' (9.1m)	79.33' (24.2m)	
BUILDING AREA	EXISTING (sq. ft.)	PROPOSED (sq. ft.)	COMBINED (sq. ft.)	
HILL HOUSE		4,894	4,894	
BUILDING FOOTPRINT	EXISTING (sq. ft.)	PROPOSED (sq. ft.)	COMBINED (sq. ft.)	
HILL HOUSE (SF)		2,228	2,228	
PARKING	BYLAW	EXISTING	PROPOSED	TOTAL
HILL HOUSE	Min. 1		2	2

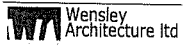
CONTACT LIST	
CLIENT	
VLAHOS HOLDINGS LTD 701 Patricia Street, Jasper, AB T0E 1E0 Tel: 780-852-3617 Cell: 780-883-0667	
CONTACT: Gus Vlahos	Email:
ARCHITECTS	
WENSLEY ARCHITECTURE LTD. 301-1444 Alberni Street, Vancouver, BC V6G 2Z4 Tel: 604-685-3529 Fax: 604-685-4574	
CONTACT: David McGrath	Email: dmcgrath@wensleyarch.com
WENSLEY ARCHITECTURE LTD. (Victoria) # 108, 2800 Bryn Maur Road, Victoria, BC V8B 3T4 Tel: 250-391-4933 Fax: 250-391-4964	
CONTACT: Doug Wong Neil Jacobson	Email: dwong-victoria@wensleyarch.com Email: njacobson-victoria@wensleyarch.com
STRUCTURAL	
LONDON MAH & ASSOCIATES LTD. #108-1847 West Broadway, Vancouver, BC V6J 1Y6 Tel: 604-739-8544 Fax: 604-739-1468	
CONTACT: Jim Mah	Email: londonmah@telus.net
LANDSCAPE	
DURANTE KREUK LANDSCAPE ARCHITECTS 102-1637 W 5th Avenue, Vancouver, BC V6J 1N5 Tel: 604-684-4611 Cell: 604-880-7229	
CONTACT: Jennifer Stamp	Email: jennifer@dkl.bc.ca
GEOTECHNICAL	
PUAR ENGINEERING CONSULTANTS INC. 200-100 Park Royal S, West Vancouver, BC V7T 1A2 Tel: 604-913-7827 Cell: 604-802-8229	
CONTACT: Surinder Puar	Email: surinder@puar.ca
SURVEY	
CHAPMAN LAND SURVEYING LTD. 107-100 Park Royal South, West Vancouver, BC V7T 1A2 Tel: 604-926-7311 Fax: 604-926-6923	
CONTACT: Sandy Chapman	Email: sandy@chapmansurvey.com
ENVIRONMENTAL	
SARTORI ENVIRONMENTAL SERVICES 106-185 Forester Street, North Vancouver, BC V7H 0A6 Tel: 604-987-5588 Cell: 604-220-0199	
CONTACT: Alex Sartori	Email: alex@sartorienv.com
MUNICIPAL	
DISTRICT OF WEST VANCOUVER 750-17th Street, West Vancouver, BC V7V 3T3 Tel: 604-925-7056 Fax: 604-925-6083	
CONTACT: Stephen Mikich	Email: smikich@westvancouver.ca

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NO.	REVISION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	1/27/15
2	RE-CHECKED FOR DEVELOPMENT PERMIT	1/29/15
3	RE-CHECKED FOR DEVELOPMENT PERMIT	03/19/15
4	RE-CHECKED FOR DEVELOPMENT PERMIT	03/26/15
5	ISSUED FOR DEVELOPMENT PERMIT	03/26/15
6	ISSUED FOR DEVELOPMENT PERMIT	03/27/15

**PROPOSED
NEW "HILL
HOUSE"**

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.



301-1444 Alberni St.
Vancouver, BC V6G 2Z4
Tel: 604-685-3529 Fax: 604-685-4574
www.wensleyarch.com

- VEGETATION
- STRUCTURAL
- MECHANICAL
- ELECTRICAL
- LANDSCAPE

DATE: 1/28/15

PROJECT DATA	
PROJECT NO	0909
DATE	1/28/15
PROJECT BY	DM
DATE	1/28/15
PROJECT BY	DM
DATE	1/28/15
PROJECT BY	DM
DATE	1/28/15
PROJECT BY	DM
DATE	1/28/15

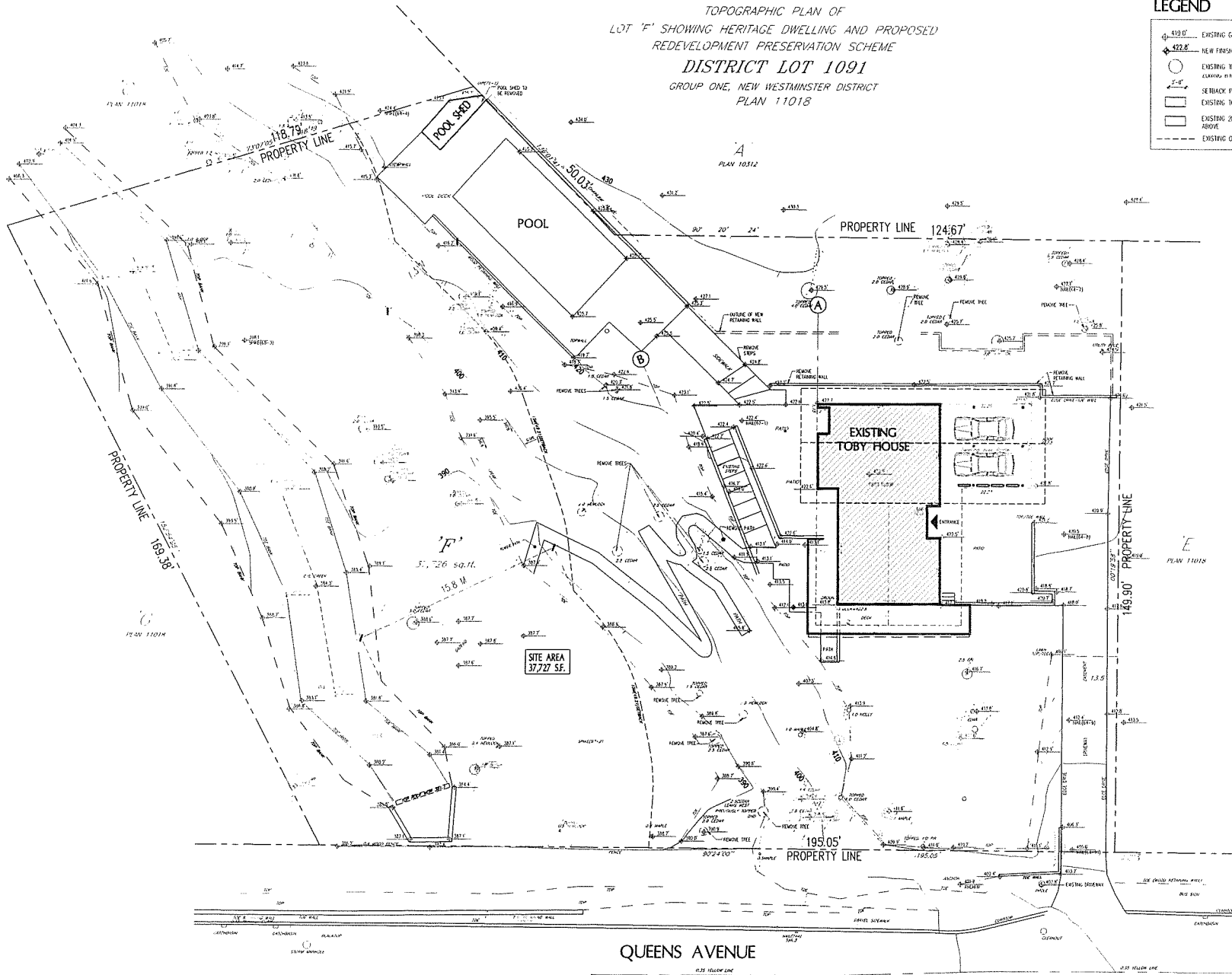
A001

TOPOGRAPHIC PLAN OF
 LOT 'F' SHOWING HERITAGE DWELLING AND PROPOSED
 REDEVELOPMENT PRESERVATION SCHEME
DISTRICT LOT 1091
 GROUP ONE, NEW WESTMINSTER DISTRICT
 PLAN 11018

LEGEND

	EXISTING GRADE
	NEW FINISHED GRADE
	EXISTING TREE (AS SHOWN IN PLAN #32)
	SETBACK PROPOSED
	EXISTING TOBY HOUSE
	EXISTING 2ND STOREY ABOVE
	EXISTING OVERHANGS

NOT TO SCALE
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NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	11/2015
2	RE-DESIGN FOR DEVELOPMENT PERMIT	12/2015
3	RE-DESIGN FOR DEVELOPMENT PERMIT	03/2016
4	ISSUED FOR DEVELOPMENT PERMIT	05/2016
5	REVISION	09/2016

**PROPOSED
 NEW "HILL
 HOUSE"**

2055 QUEENS AVE.
 WEST VANCOUVER,
 B.C.

**Wenzley
 Architecture Ltd**

301 - 1444 Bloor St. W.
 Toronto, ON M6P 1A5
 416-593-2279 or 416-593-0274
 www.wenzleyarch.com

CONSULTANT:
 STRUCTURAL
 MECHANICAL
 ELECTRICAL
 EMERGENCY

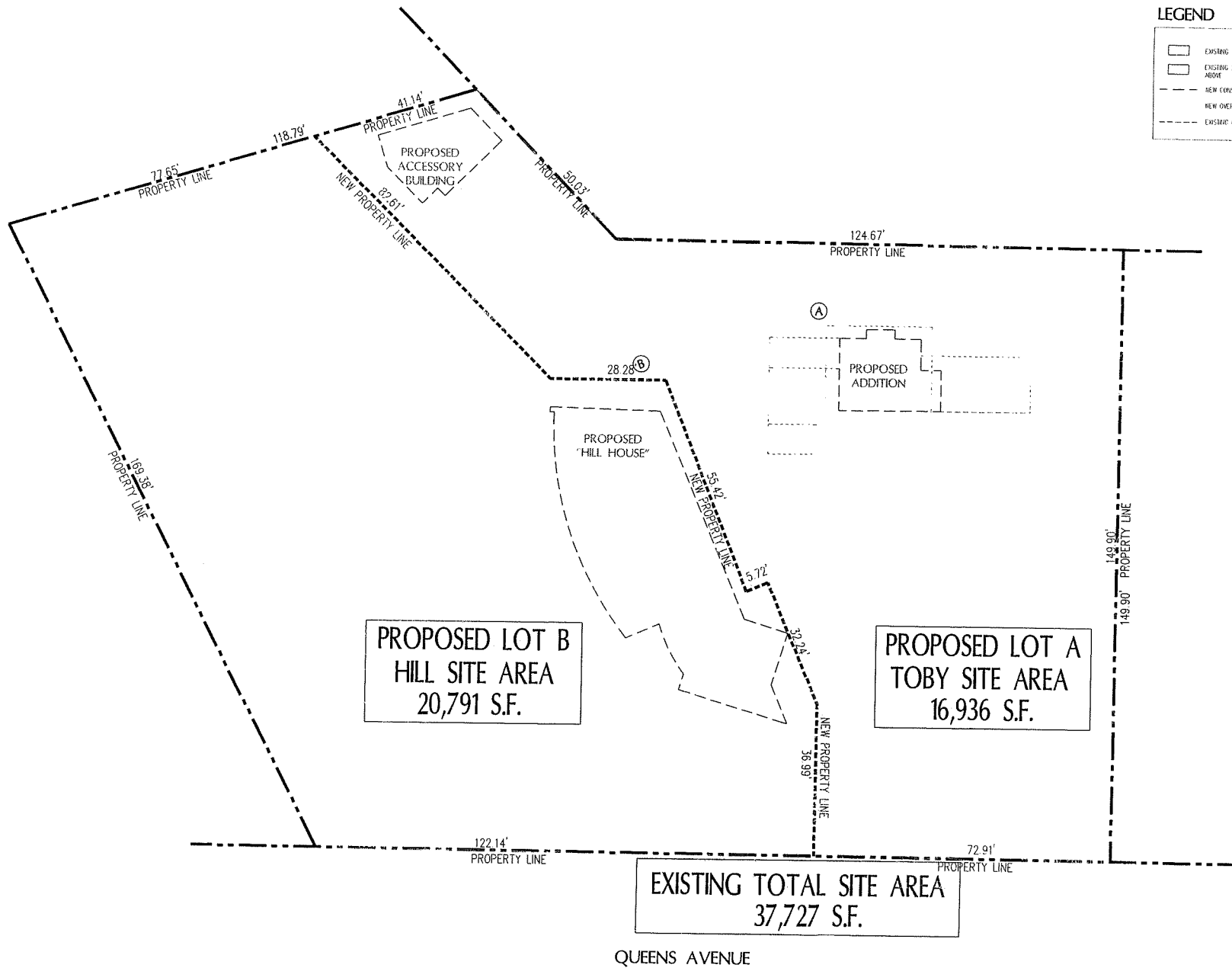
DRAWN BY:

**EXISTING
 SITE PLAN**

PROJECT NO. 1091 DRAWN BY: WJ

SCALE: 3/32" = 1'-0" CHECKED BY: DM

DATE: 12/2015 DRAWING NO.: A101



LEGEND

- EXISTING TOBY HOUSE
- EXISTING 2ND STOREY ABOVE
- NEW CONSTRUCTION
- NEW OVERHANGS
- EXISTING OVERHANGS

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NO.	REVISION	DATE
1	PRELIMINARY PLAN	12/20/15
2	REVISED PLAN	12/24/15
3	REVISED PLAN	03/01/16
4	REVISED PLAN	07/07/16

PROPOSED TOBY HOUSE ADDITION AND NEW HILL HOUSE

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B.C.

Wensley Architecture Ltd

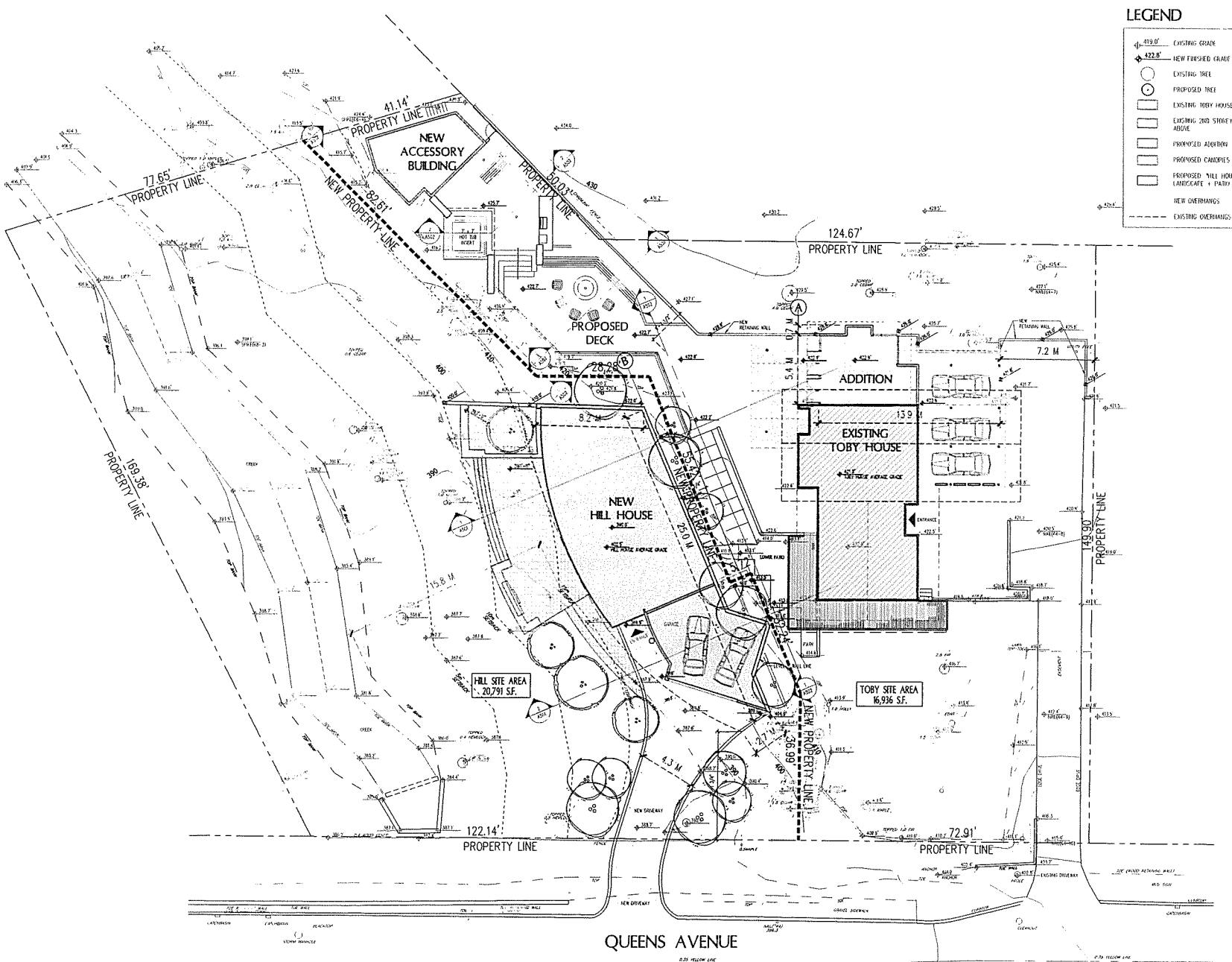
201 - 1444 Alchemie St.
Vancouver, BC V6S 2T6
416-644-4422 or 604-681-6204
info@wensleyart.com

- TOPOGRAPHY
- STRUCTURAL
- Mechanical
- ELECTRICAL
- LANDSCAPE

PROPOSED SUBDIVISION

PROJECT NO.	0701	ISSUE NO.	01
SCALE:	1/2" = 1'-0"	DATE:	12/20/15
		DATE:	12/20/15

A101A



LEGEND

- ◊ 419.0' EXISTING GRADE
- ◊ 422.8' NEW FINISHED GRADE
- EXISTING TREE
- PROPOSED TREE
- EXISTING TOBY HOUSE
- EXISTING 2ND STOREY ABOVE
- PROPOSED ADDITION
- PROPOSED CANOPIES
- PROPOSED "HILL HOUSE" LANDSCAPE + PATH
- NEW OVERHANGS
- - - EXISTING OVERHANGS

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NO.	REVISION	DATE
4	RE-DESIGNED FOR DEVELOPMENT PERMIT	11/22/20
3	RE-DESIGNED FOR DEVELOPMENT PERMIT	12/05/20
2	RE-DESIGNED FOR DEVELOPMENT PERMIT	03/24/21
1	ISSUED FOR DEVELOPMENT PERMIT	02/25/21
01	PRELIMINARY	04/27/21

**PROPOSED
NEW "HILL
HOUSE"**

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

**Wensley
Architecture Ltd**

361 - 1414 Albany St.
Vancouver, BC V6C 2S4
416-604-8822 or 604-685-4574
info@wensleyarch.com

CONTRACT NO:
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:
DRAWN BY: R32

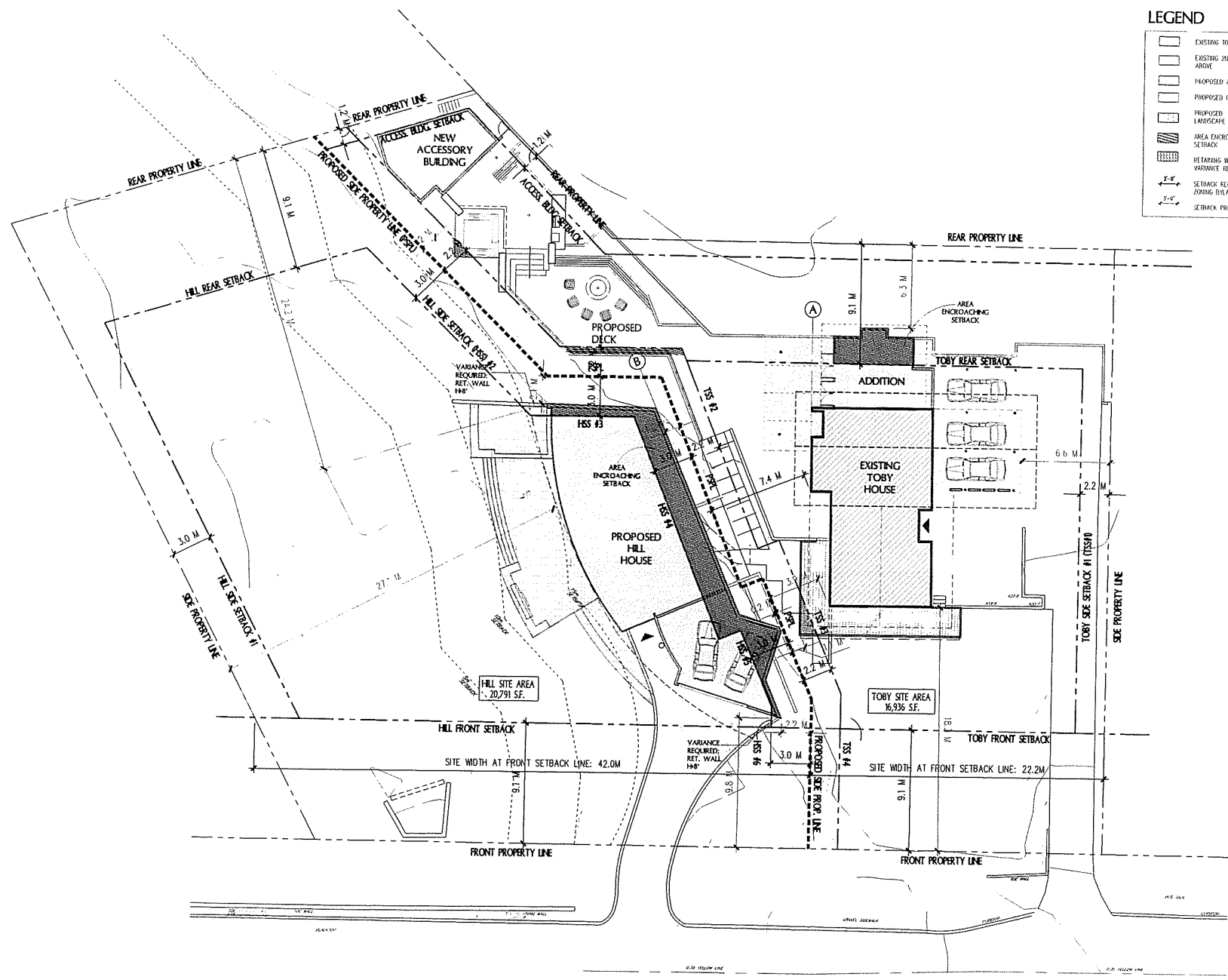
**PROPOSED
SITE PLAN**

PROJECT NO:	2020	DRAWING NO.:	001
SCALE:	1/8" = 1'-0"	REVISION:	001
DATE:	12/01/21	DRAWING BY:	A102

LEGEND

- EXISTING TOBY HOUSE
- EXISTING 2ND STOREY ABOVE
- PROPOSED ADDITION
- PROPOSED CANOPIES
- PROPOSED "HILL HOUSE" LANDSCAPE + PATIO
- AREA ENCRDACHING INTO SETBACK
- RETAINING WALL VARIANCE REQUIRED
- SETBACK REQUIRED BY ZONING BYLAW R52
- SETBACK PROPOSED

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NO.	REVISION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	02/20/20
2	REVISED FOR DEVELOPMENT PERMIT	03/24/20
3	REVISED FOR DEVELOPMENT PERMIT	05/14/20
4	REVISED FOR DEVELOPMENT PERMIT	02/22/21

**PROPOSED
NEW "HILL
HOUSE"**

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

W Wensley
Architecture Ltd

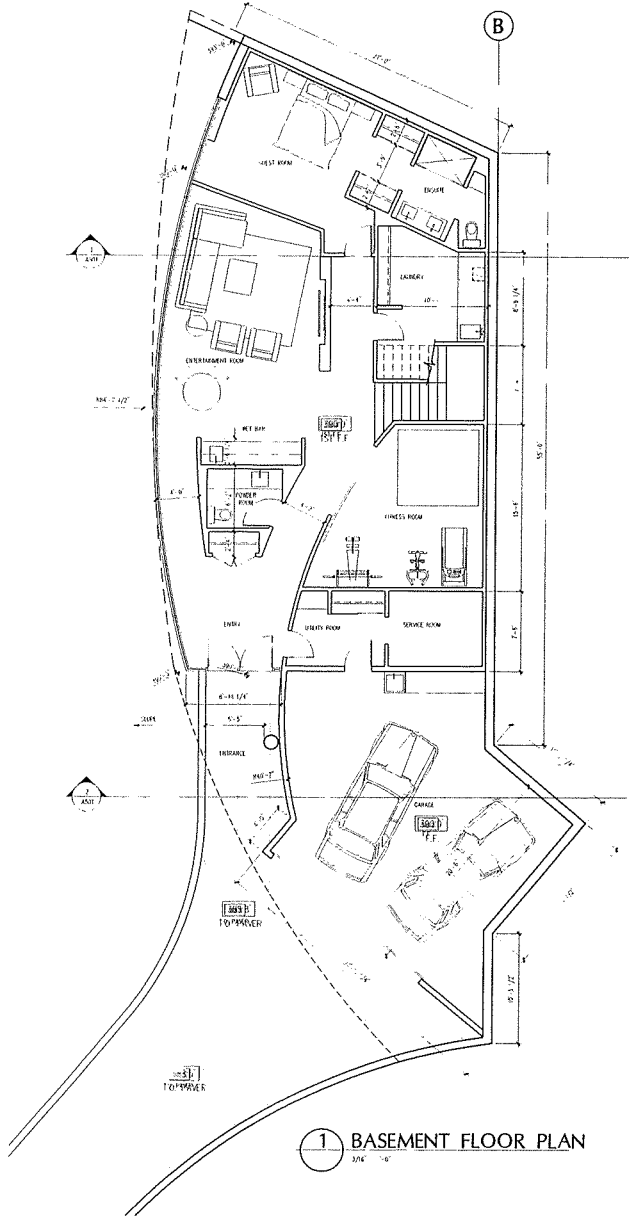
301 - 1444 Avenue St.
West Vancouver, BC V8V 2T1
Tel: 604 645 3225 Fax: 604 645 4574
www.wensleyarch.com

TYPICAL NOTES:
STRUCTURAL
MECHANICAL
ELECTRICAL
LANDSCAPE

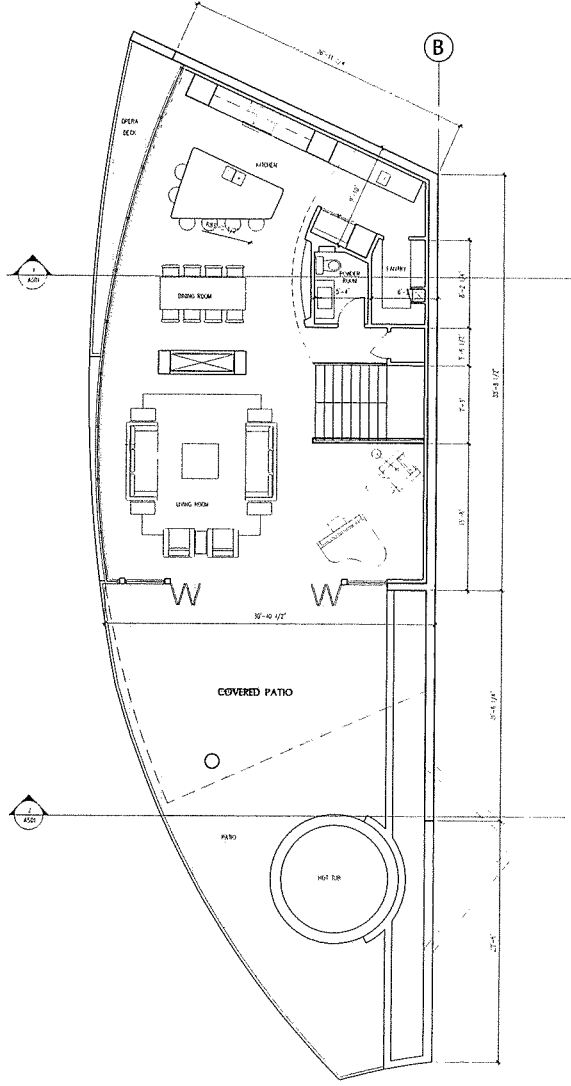
STANDARD TITLE
**PROPOSED
SETBACKS**

PROJECT NO. 2019	DRAWING NO. 128
SCALE: 1/8" = 1'-0"	DESIGN BY: SW
DATE: 12/20/21	DRAWN BY: A103

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1 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION	DATE
1	PRELIMINARY DEVELOPMENT PLAN	1/27/20
2	REVISED DEVELOPMENT PLAN	2/12/20
3	REVISED DEVELOPMENT PLAN	2/12/20
4	REVISED DEVELOPMENT PLAN	2/12/20
5	REVISED DEVELOPMENT PLAN	2/12/20
6	REVISED DEVELOPMENT PLAN	2/12/20
7	REVISED DEVELOPMENT PLAN	2/12/20
8	REVISED DEVELOPMENT PLAN	2/12/20
9	REVISED DEVELOPMENT PLAN	2/12/20
10	REVISED DEVELOPMENT PLAN	2/12/20
11	REVISED DEVELOPMENT PLAN	2/12/20
12	REVISED DEVELOPMENT PLAN	2/12/20
13	REVISED DEVELOPMENT PLAN	2/12/20
14	REVISED DEVELOPMENT PLAN	2/12/20
15	REVISED DEVELOPMENT PLAN	2/12/20
16	REVISED DEVELOPMENT PLAN	2/12/20
17	REVISED DEVELOPMENT PLAN	2/12/20
18	REVISED DEVELOPMENT PLAN	2/12/20
19	REVISED DEVELOPMENT PLAN	2/12/20
20	REVISED DEVELOPMENT PLAN	2/12/20

PROPOSED
NEW "HILL
HOUSE"

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

Wensley
Architecture Ltd

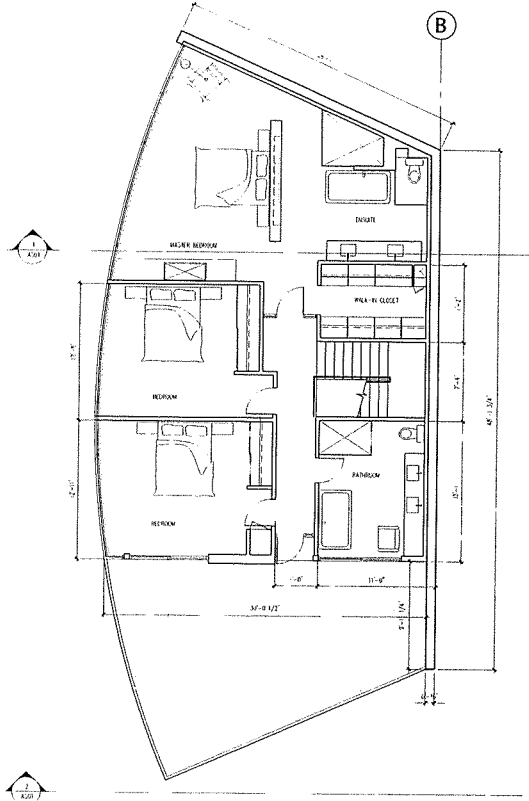
300 - 1444 AVENUE 26
VANCOUVER, BC V6M 2E1
416-445-2025 Fax: 416-445-4714
info@wensleyarch.com

CONTRACTS
STRUCTURAL
MECHANICAL
ELECTRICAL
LANDSCAPE

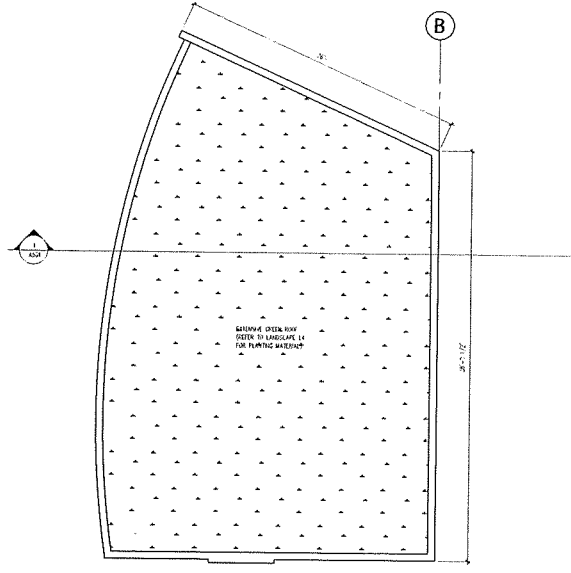
PREPARED BY:
**PROPOSED HILL
HOUSE PLANS**

PROJECT NO.	17009	BY DATE	4/2
SCALE	3/16" = 1'-0"	DATE	2/12/20
DATE	1/27/20	SCALE	A205

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1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 ROOF PLAN
SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION	DATE
1	PRELIMINARY DESIGN	12/20/15
2	REVISED FOR DEVELOPMENT PERMIT	12/20/15
3	REVISED FOR DEVELOPMENT PERMIT	12/20/15

**PROPOSED
NEW "HILL
HOUSE"**

2055 QUEENS AVE
WEST VANCOUVER,
B.C.

**Wensley
Architecture Ltd**

301 - 1414 Avenue St.
Vancouver, BC V6L 2P6
Tel: 604.483.3579 Fax: 604.483.4574
info@wensleyarch.com

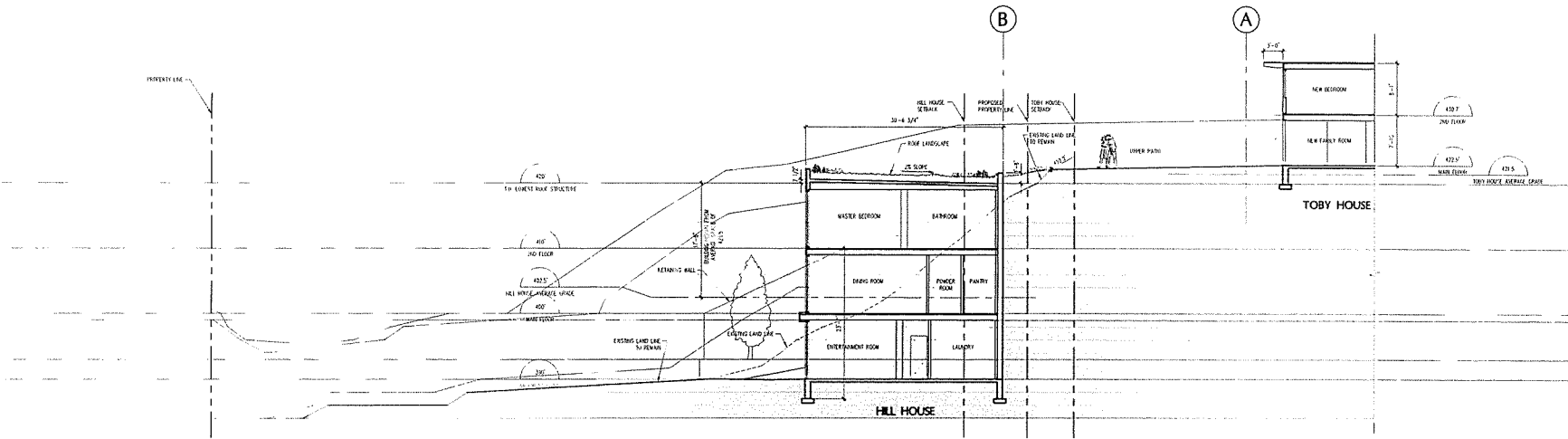
DESIGN TEAM:
ARCHITECT
MECHANICAL
ELECTRICAL
LANDSCAPE

**PROPOSED HILL
HOUSE ROOF PLAN**

PROJECT NO.	2055	DATE	12/20/15
SCALE	1/8" = 1'-0"	DESIGNER	WJ
DATE	12/20/15	CHECKER	WJ
		DATE	12/20/15

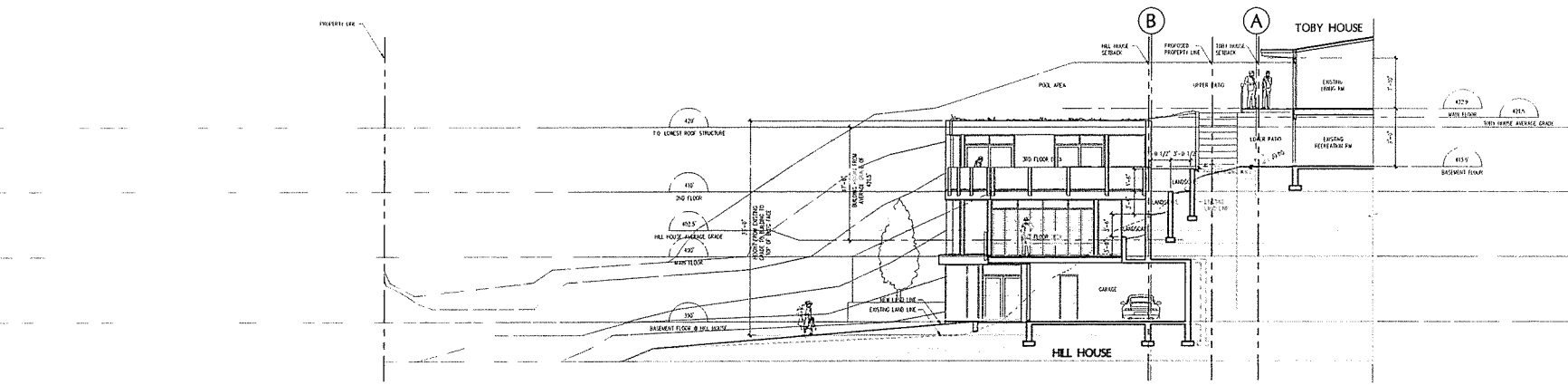
A206

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1 SITE SECTION
1/8" = 1'-0"

NO.	REVISION	DATE
1	REVISED FOR DEVELOPMENT PERMIT	12/22/20
2	REVISED FOR DEVELOPMENT PERMIT	12/22/20
3	REVISED FOR DEVELOPMENT PERMIT	12/22/20
4	REVISED FOR DEVELOPMENT PERMIT	12/22/20
5	REVISED FOR DEVELOPMENT PERMIT	12/22/20
6	REVISED FOR DEVELOPMENT PERMIT	12/22/20



2 SITE SECTION
1/8" = 1'-0"

PROPOSED
NEW "HILL
HOUSE"

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

Wensley Architecture Ltd

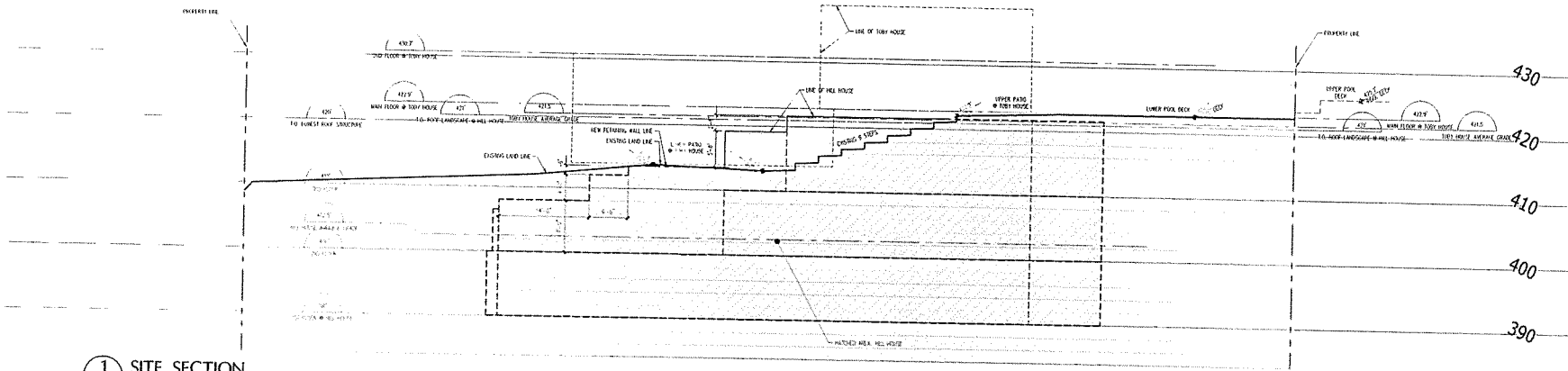
301 - 1414 BROADWAY
VANCOUVER, BC V6Z 2E1
PH: 604 683 3329 FAX: 604 683 4574
www.wensleyarch.com

CONSULTANTS
STRUCTURAL
MECHANICAL
ELECTRICAL
LANDSCAPE

DATE: 01/21/21
DRAWING TITLE:
**BUILDING &
SITE SECTIONS**

PROJECT NO: 2008 DRAWN BY: JLL
SCALE: 1/8" = 1'-0" CHECKED BY: JRP
DATE: 01/21/21 DRAWING NO: A501

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1 SITE SECTION
1/8" = 1'-0"

NO.	REVISION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	12/27/15
2	ISSUED FOR DEVELOPMENT PERMIT	12/29/15
3	ISSUED FOR DEVELOPMENT PERMIT	12/29/15
4	ISSUED FOR DEVELOPMENT PERMIT	12/29/15
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20	ISSUED FOR DEVELOPMENT PERMIT	12/29/15

PROPOSED
NEW "HILL
HOUSE"

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B.C.

W Wensley
Architecture Ltd

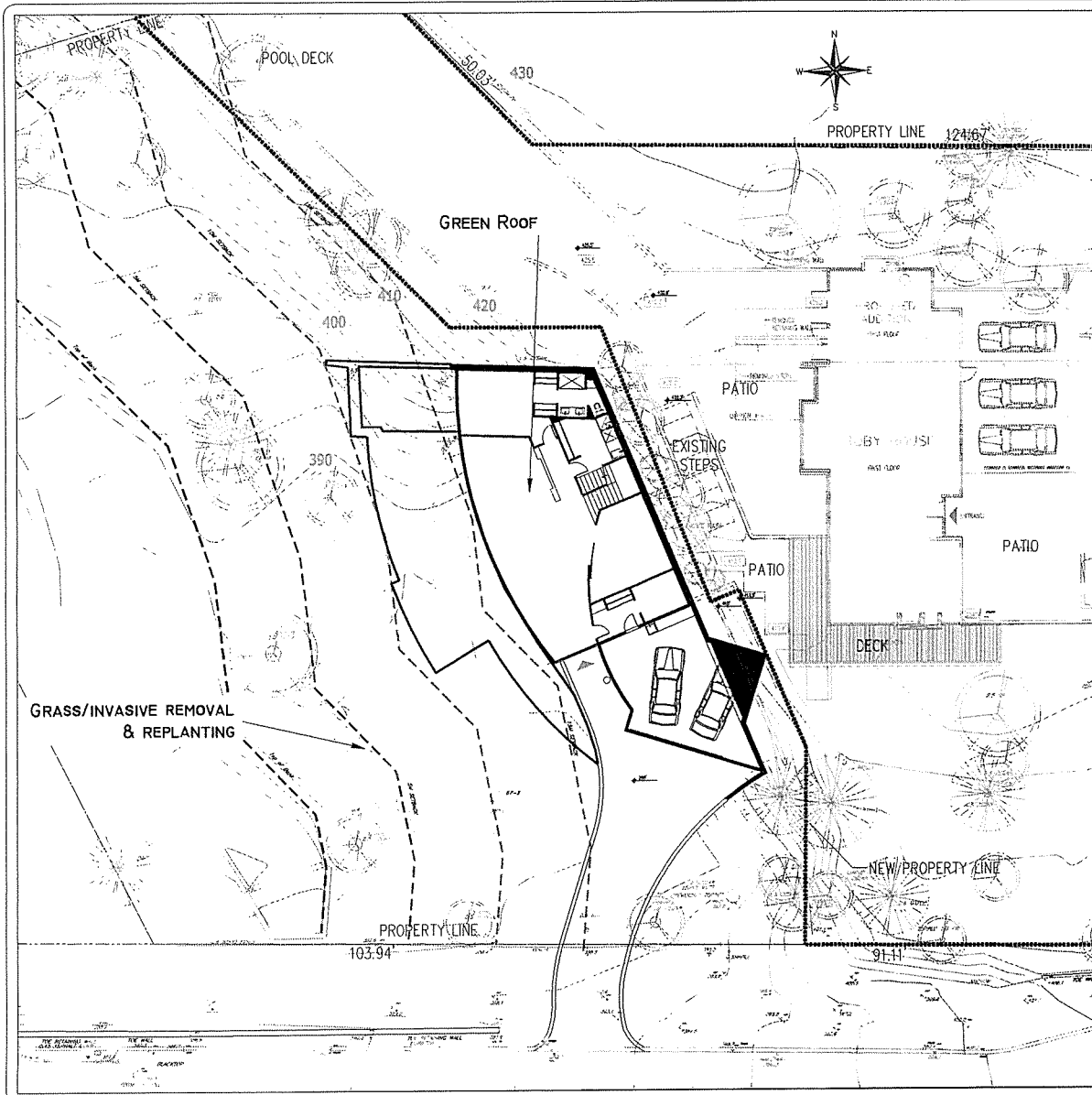
301 - 1188 BURNHAMTHORPE RD.
VICTORIA, BC V8W 2K4
TEL: 250-443-8775 FAX: 250-443-8776
OFFICE@WENSLEYARCHITECTURE.COM

- STRUCTURAL
- MECHANICAL
- ELECTRICAL
- LANDSCAPE

DRAWING TITLE:
**BUILDING &
SITE SECTIONS**

PROJECT NO. 0502	DRAWN BY: [initials]
SCALE 1/8" = 1'-0"	CHECK BY: [initials]
DATE 07/2015	PROJECT NO. A502

Schedule C



Revegetation Plan

Approximately 120 sq. metres of planting area is proposed within existing non-native/grass vegetated area. Plants are to be placed at an average of 1.0m² density. The following planting list is recommended:

TREES	SHRUBS
6 VINE MAPLE (<i>ACER CIRCINATUM</i>)	20 SWORD FERN (<i>POLYSTICHUM MUNITUM</i>)
6 PACIFIC WILLOW (<i>SALIX LUCIDA SSP LASIANDRA</i>)	20 SALAL (<i>GAULTHERIA SHALLON</i>)
6 PACIFIC CRABAPPLE (<i>MALUS FUSCA</i>)	20 REO-OSIER DOGWOOD (<i>CORNUS SERICEA</i>)
	10 NOOTKA ROSE (<i>ROSA NUTKANA</i>)
	20 OREGON GRAPE (<i>MAHONIA NERVOSA</i>)
	10 RED HUCKLEBERRY (<i>VACCINIUM PARVIFOLIUM</i>)

TOTAL - 18 TREES

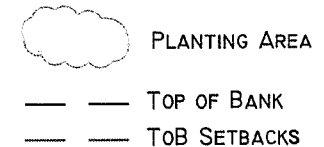
TOTAL - 100 SHRUBS

Trees should be a minimum of 1.2 m high at time of purchase and planted 1.5 to 3.0m apart dependent on the mature height and drip line of the species. Shrubs should be planted 1.0 to 2.0m apart.

All plant materials shall be healthy, with well developed root systems and top growth. All plant materials shall be free of disease and insect infestation and the following defects at all times:

- broken tops, torn roots and abrasions of bark on trunk end branches;
- dried out root systems;
- prematurely opened or damaged buds;
- dry, loose or broken ball of earth;
- evidence of heating, moulding, or freezing damage;
- thin, poor root or top systems; and,
- abnormal leaf colour.

Removal and proper disposal of invasive plants to be conducted under the direction of SES or Landscape Architect



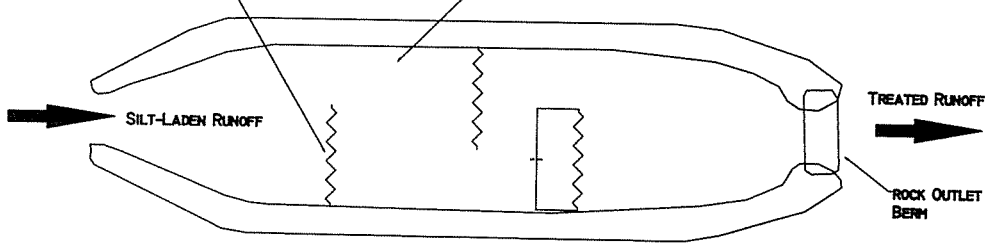
2055 QUEENS -
RIPARIAN PLANTING PLAN

DATE January 2012	SCALE 1:250	DRAWING NO. 2055 Queens
DRAWN BY AS		

SCHEDULE C

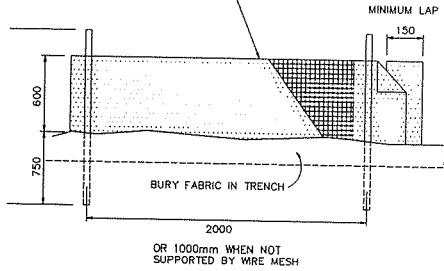
NON-WOVEN GEOTEXTILE FABRIC STAKED AND BOTTOM 4" BURIED

EXCAVATE TO DEPTH 1.0M



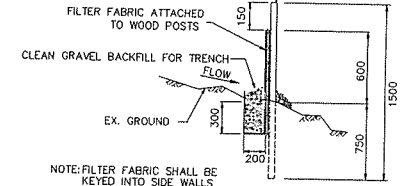
LENGTH TO WIDTH RATIO TO BE 3:1 OR GREATER
CALCULATIONS: POND VOLUME REQUIREMENTS ARE 150M³/HA OF DISTURBED SOIL

FILTER FABRIC SUPPORTED ATTACHED TO SUPPORTS

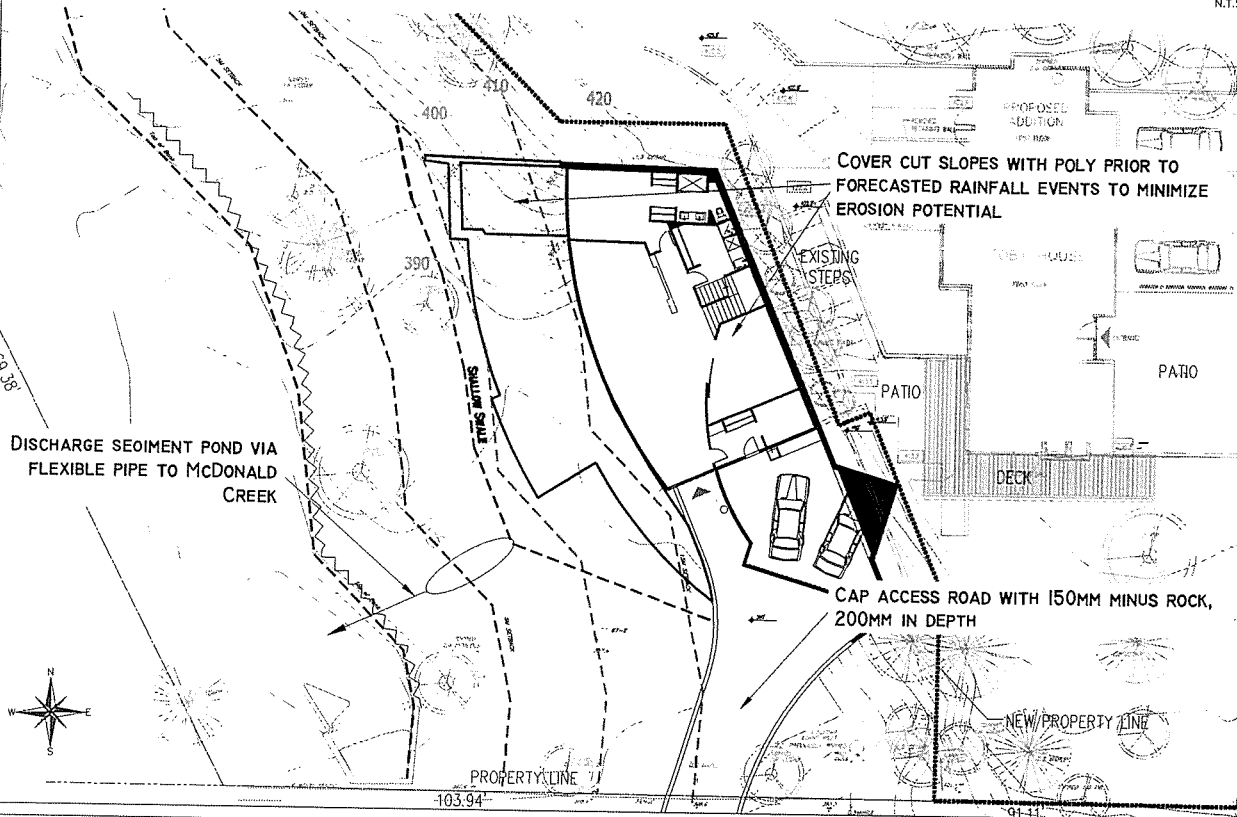


SILT FENCE DETAIL - PLAN VIEW
N.T.S.

75mm² FIR POSTS AT 2.0m O.C. (OR 1.0m IF NO WIRE MESH)



SILT FENCE DETAIL - ELEVATION VIEW
N.T.S.



DISCHARGE SEDIMENT POND VIA FLEXIBLE PIPE TO McDONALD CREEK

EROSION & SEDIMENT CONTROL PLAN

- INSTALLATION OF THE SEDIMENT CONTROL POND WILL BE NECESSARY DUE TO THE LARGE EXCAVATION REQUIREMENTS
- CUT SLOPES SHOULD BE COVERED WITH POLY PRIOR TO FORECASTED RAINFALL EVENTS TO MINIMIZE EROSION POTENTIAL
- SEDIMENT FENCING SHOULD BE INSTALLED NEAR THE TOP OF BANK OF McDONALD CREEK
- ALL STOCKPILES OF EXCAVATED MATERIAL WILL BE PACKED AND COVERED WITH POLYETHYLENE SHEETS TO PREVENT EROSION
- CONCRETE POURS OF FOUNDATION WALLS OR SLABS SHOULD BE COVERED OVER AFTER POURING TO PREVENT HIGH PH RUNOFF FROM ENTERING THE CREEK
- LIMIT MACHINE ACCESS AND OPERATION TO PREPARED ACCESS AREAS ONLY, IN PARTICULAR THE DRIVEWAY ACCESS SHOULD BE CAPPED WITH 200MM THICK OF 150MM MINUS ROCK PRIOR TO EXCAVATION ACTIVITIES COMMENCING
- MAINTAIN LOCAL ROADS CLEAR OF TRACKED MATERIAL FROM TRUCKING ACTIVITIES. IF SIGNIFICANT TRUCKING IS EXPECTED, CATCH BASIN PROTECTION BAGS SHOULD BE INSTALLED IN SURROUNDING DOWNSLOPE CATCH BASINS

- ➔ ANTICIPATED RUNOFF PATH
- ~~~~ SILT FENCE
- - - - TOP OF BANK
- - - - TOB SETBACKS



2055 QUEENS -
EROSION & SEDIMENT CONTROL PLAN

DATE January 2012

DRAWN BY AS

SCALE 1:250

DRAWING NO. 2055 Queens.dwg

SCHEDULE D

D

DRC COMMENTS AND RESOLUTIONS ON PROPOSED HRA FOR 2055 QUEENS AVENUE (from minutes of September 30, 2010 and February 24, 2011 meetings)

DRC MEETING OF SEPTEMBER 30, 2010

Questions:

The Committee asked staff to clarify the approval process for an HRA, specifically wishing to know whether everything had to be finalized before initiating the bylaw or whether the bylaw would allow for refinements before building permit. The question was asked as some members felt that the project includes some excellent innovations but lacks detail in other areas. Staff advised that the HRA should include well-developed plans but would allow for refinements prior to building permit.

Comments:

The Committee provided comments on the proposal including the following:

Toby House

- Toby House looks good but hard to comment on with the information available. Need more information on the proposed Toby House addition to fully critique the proposal.
- Trees and landscape are the character of old West Vancouver; encourage applicant to keep as many trees as possible to retain existing character of site.
- Chimney at front looks weak; can something be done to spruce it up?
- Existing house is celebrated as heritage; new addition needs to be more expressive as an expansion, but doesn't need to be a copy.
- Would like to see elevation of existing house showing the addition.

Hill House

- Good idea to cut into hill, modern approach is valid; however three storeys looks really big, seems out of scale - creating a "cliff house", feel it should step down and be more sympathetic to site. Key to integrating with existing house is to terrace it down.
- House could encroach into riparian setback to expand bottom floor. Feel face is very stark and institutional, needs some stepping back.
- Include some reference to Toby House such as outrigger rafters, some sort of subtle play to reinforce that house.
- Great concept to allow this kind of development, Hill House is a great infill project; key is showing some terracing.
- Like to see more details about lighting and overhangs; and feel that the (apparent) building scale could be reduced.
- Hill House interface to west needs design development as it hits the landscape.

- Not troubled by three-storey aspect of the Hill House, but think of ways to set back the upper level. Like design but look at ways to make more referential (to Toby House).
- Like the design; feels it is elegant and simple. Encourage applicant to keep it simple and keep the distinction between the two houses. Like massing and three storeys, but at far end think about wrapping grade around corner.
- Flying buttress seems too heavy.
- Stone-faced retaining walls should be concrete, keep it simple.
- Like distinction between the two buildings.
- No need to gussy up walls, nicely designed concrete with form ties, save high grade stone materials for ground plane.

General comments

- Sensitivity in building and landscape design; project well presented.
- Feel this is a great thing; scale of project is appropriate for West Vancouver, and awesome and interesting.
- Overgrown plants will need replacing sooner or later; landscape strategy must understand the maturity of the existing planting.

Resolution:

The Design Review Committee:

- (a) STRONGLY SUPPORTS the concept of the Hill House in conjunction with the Heritage Revitalization Agreement for the Toby House at 2055 Queens Avenue; and
- (b) Recommends that the application be advanced in the HRA process, with detailed development of the Hill House as per the DRC comments, and a further submission to the DRC on the Toby House addition and landscape treatment.

DRC MEETING OF FEBRUARY 24, 2011

Comments:

The Committee provided the following comments on the renovation:

- Feel the blend provides an elegant look to building and achieves its own stamp.
- Great project with right amount of care and crafting going into it.
- Concern with mature landscape and possible over maturity of plants, ensure future landscape has longevity.

Resolution:

The Design Review Committee recommends SUPPORT of the Toby House Heritage Revitalization Agreement at 2055 Queens Avenue.

PROPOSED TOBY HOUSE ADDITION

2055 QUEENS AVE.
WEST VANCOUVER, B.C.



EXISTING TOBY HOUSE

FEBRUARY 11, 2015

PROJECT # 0909



Wensley
Architecture Ltd

301 - 1444 Alberni St.
Vancouver, BC V6G 2Z4
tel 604.685.3529 fax 604.685.4574
office@wensleyarch.com

PROPOSED TOBY HOUSE ADDITION Project # 0909



UNIT MIX/STATISTICS	(REVISION NO. 3)		February 10, 2015	
LEGAL DESCRIPTION	Lot F District Lot 1091 Plan 11018			
CIVIC ADDRESS	2055 Queens Ave. West Vancouver BC			
EXISTING ZONING	RS3	PROPOSED ZONING	CD	
EXISTING SITE AREA (SF)	37,727			
PROPOSED TOBY HOUSE SITE AREA (SF)	16,936 (1,573 m ²) >(min 1,115 m ²)			
SITE WIDTH	22.2m <24.4m min		(measured at front setback line) VARIANCE REQUIRED	
SITE DEPTH	less than <4x Site Width (max 97.6m)			
MAX. ALLOWABLE F.S.R	BYLAW	PROPOSED	UNUSED	FSR
TOBY HOUSE + ACCESSORY BUILDING	35%	0%	9%	4,373sf / 16,936sf = 0.26 FSR
MAX. ALLOWABLE SITE COVERAGE	BYLAW	PROPOSED	UNUSED	
TOBY HOUSE + ACCESSORY BUILDING	30%	0%	30%	
MAX. BUILDING HEIGHT	BYLAW	PROPOSED		
TOBY HOUSE	25' (2 STOREY + BSMT)	21.3'	2 STOREYS + BSMT	AVERAGE GRADE - 421.5'
TOBY ACCESSORY BUILDING	12.1' (1 STOREY + BSMT)	13.7'	1 STOREY	AVERAGE GRADE - 422.1' VARIANCE REQUIRED
BUILDING HEIGHT	TOBY HOUSE	TOBY POOLHOUSE		
Storeys	2	1		
Average Grade (ft)	421.5'	422.1'		
Building Height Above Avg. Grade (ft)	21.3'	13.7'		
Elevation at roof peak (ft)	442.75'			
Elevation of Bsmt ft)	413.9'			
Elevation of Main floor (ft)	422.9'			
Elevation of 2nd floor (ft)	430.7'			
SET BACKS	BYLAW			
TOBY HOUSE	SIDE SETBACK #1	Max 3m or 10% lot width (2.2m)	21.71' (6.6m)	
	SIDE SETBACK #2	Max 3m or 10% lot width (2.2m)	24.42' (7.4m)	
	SIDE SETBACK #3	Max 3m or 10% lot width (2.2m)	3.48' (1.1m)	VARIANCE REQUIRED (deck encroaching)
	FRONT (SOUTH)	29.86' (9.1m)	53.06' (18.3m)	
	REAR (NORTH)	29.86' (9.1m)	20.75' (6.3m)	VARIANCE REQUIRED (house encroaching)
ACCESSORY BUILDING	SIDE SETBACK	Max 10' or 10% lot width (2.2m)	4.08' (1.2m)	VARIANCE REQUIRED (pool deck encroaching)
	FRONT (SOUTH)	N/A	N/A	
	REAR (NORTH)	3.94' (1.2m)	4.0' (1.2m)	
	REAR (NORTH-EAST)	3.94' (1.2m)	0'	NOT REQUIRED
BUILDING AREA	EXISTING (sq. ft.)	PROPOSED (sq. ft.)	COMBINED (sq. ft.)	
TOBY HOUSE	3,248	812	4,060	
ACCESSORY BUILDING		313	313	
TOTAL	3,248	1,125	4,373	
BUILDING FOOTPRINT	EXISTING (sq. ft.)	PROPOSED (sq. ft.)	COMBINED (sq. ft.)	
TOBY HOUSE (SF)	1,785	423	2,208	
ACCESSORY BUILDING (SF)		400	400	
TOTAL	1,785	823	2,608	
PARKING	BYLAW	EXISTING	PROPOSED	TOTAL
TOBY HOUSE	Min. 1	2	1	3

CONTACT LIST	
CLIENT	
VLAHOS HOLDINGS LTD. 701 Patricia Street, Jasper, AB T0E 1E0	Tel: 780-852-3617 Cell: 780-883-0667
CONTACT: Gus Vlahos	Email:
ARCHITECTS	
WENSLEY ARCHITECTURE LTD. 301-1444 Alberni Street, Vancouver, BC V6G 2Z4	
Tel: 604-685-3529 Fax: 604-685-4574	
CONTACT: David McGrath	Email: dmcgrath@wensleyarch.com
WENSLEY ARCHITECTURE LTD. (Victoria) # 108, 2800 Bryn Maur Road, Victoria, BC V9B 3T4	
Tel: 250-391-4933 Fax: 250-391-4964	
CONTACT: Doug Wong Neil Jacobson	Email: dwong-victoria@wensleyarch.com Email: njacobson-victoria@wensleyarch.com
STRUCTURAL	
LONDON MAH & ASSOCIATES LTD. 103-1444 West Broadway, Vancouver, BC V6J 1Y6	
Tel: 604-739-8544 Fax: 604-739-1468	
CONTACT: Jim Mah	Email: londonmah@telus.net
LANDSCAPE	
DURANTE KREUK LANDSCAPE ARCHITECTS 102-1637 W 5th Avenue, Vancouver, BC V6J 1N5	
Tel: 604-684-4611 Cell: 604-880-7229	
CONTACT: Jennifer Stamp	Email: jennifer@dkl.bc.ca
GEOTECHNICAL	
PUAR ENGINEERING CONSULTANTS INC. 200-100 Park Royal S, West Vancouver, BC V7T 1A2	
Tel: 604-913-7827 Cell: 604-802-8229	
CONTACT: Surinder Puar	Email: surinder@puar.ca
SURVEY	
CHAPMAN LAND SURVEYING LTD. 107-100 Park Royal South, West Vancouver, BC V7T 1A2	
Tel: 604-926-7311 Fax: 604-926-6923	
CONTACT:	Email: sandy@chapmansurvey.com
ENVIRONMENTAL	
SARTORI ENVIRONMENTAL SERVICES 106-185 Forester Street, North Vancouver, BC V7H 0A6	
Tel: 604-987-5588 Cell: 604-220-0199	
CONTACT: Alex Sartori	Email: alex@sartorienv.com
MUNICIPAL	
DISTRICT OF WEST VANCOUVER 750-17th Street, West Vancouver, BC V7V 3T3	
Tel: 604-925-7056 Fax: 604-925-6083	
CONTACT: Stephen Mikicich	Email: smikicich@westvancouver.ca

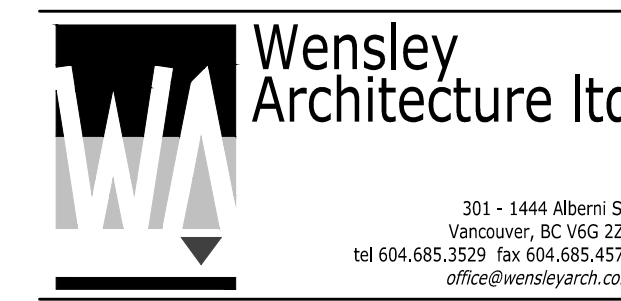
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NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/08/13
2	REISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

PROPOSED TOBY HOUSE ADDITION

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.



CONSULTANTS:
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

DRAWING TITLE:

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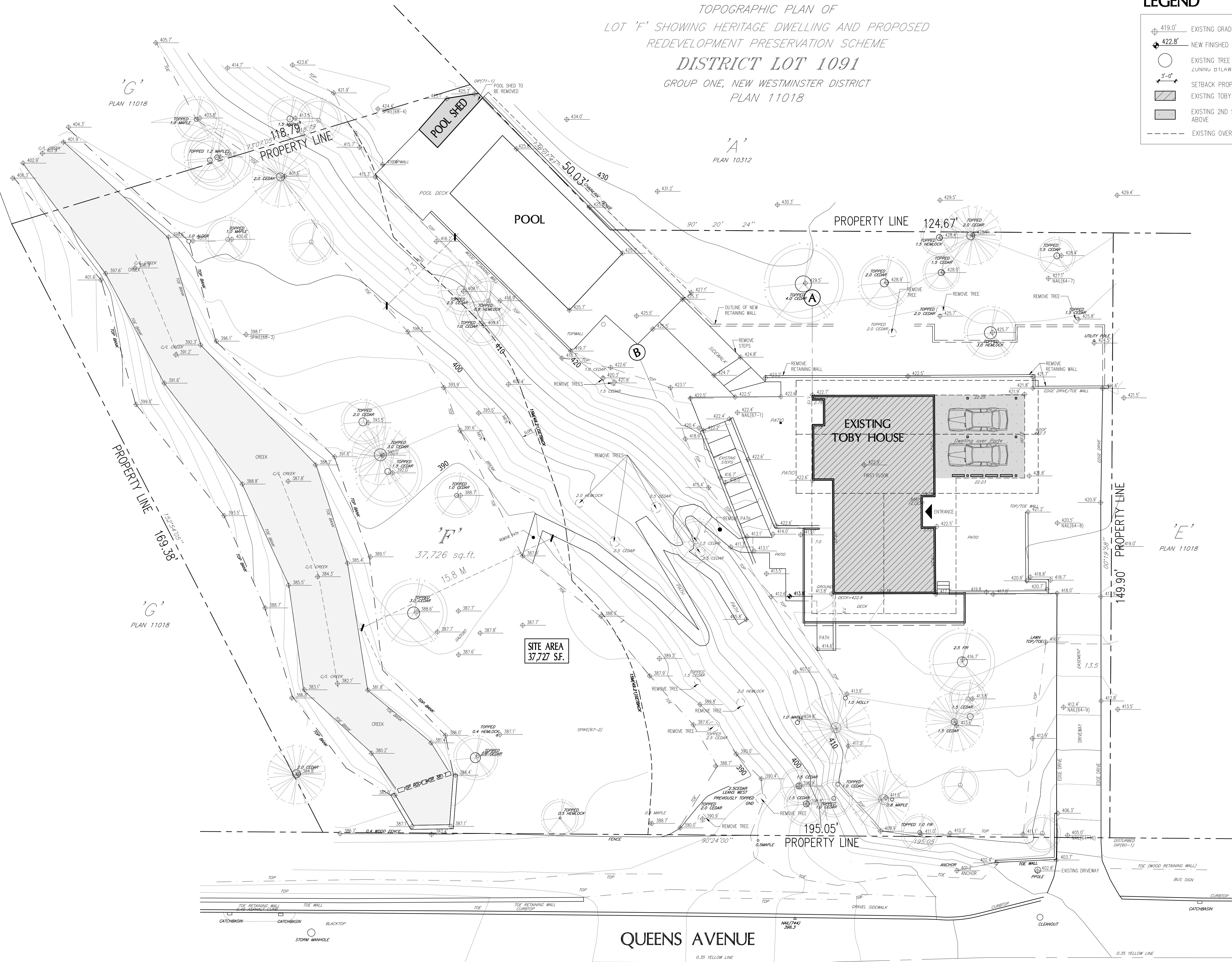
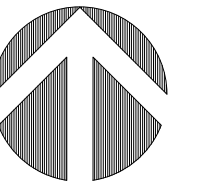
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SCALE:	REVIEW BY: DM
DATE: 17JAN11	DRAWING NO: A001

TOPOGRAPHIC PLAN OF
 LOT 'F' SHOWING HERITAGE DWELLING AND PROPOSED
 REDEVELOPMENT PRESERVATION SCHEME
DISTRICT LOT 1091
 GROUP ONE, NEW WESTMINSTER DISTRICT
 PLAN 11018

LEGEND

	EXISTING GRADE
	NEW FINISHED GRADE
	EXISTING TREE DUNING D1/LAW K5.5
	SETBACK PROPOSED
	EXISTING TOBY HOUSE
	EXISTING 2ND STOREY ABOVE
	EXISTING OVERHANGS

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NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
2	RE-ISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

PROPOSED TOBY HOUSE ADDITION

2055 QUEENS AVE.
 WEST VANCOUVER,
 B.C.



CONSULTANTS:
 STRUCTURAL:
 MECHANICAL:
 ELECTRICAL:
 LANDSCAPE:

EXISTING SITE PLAN

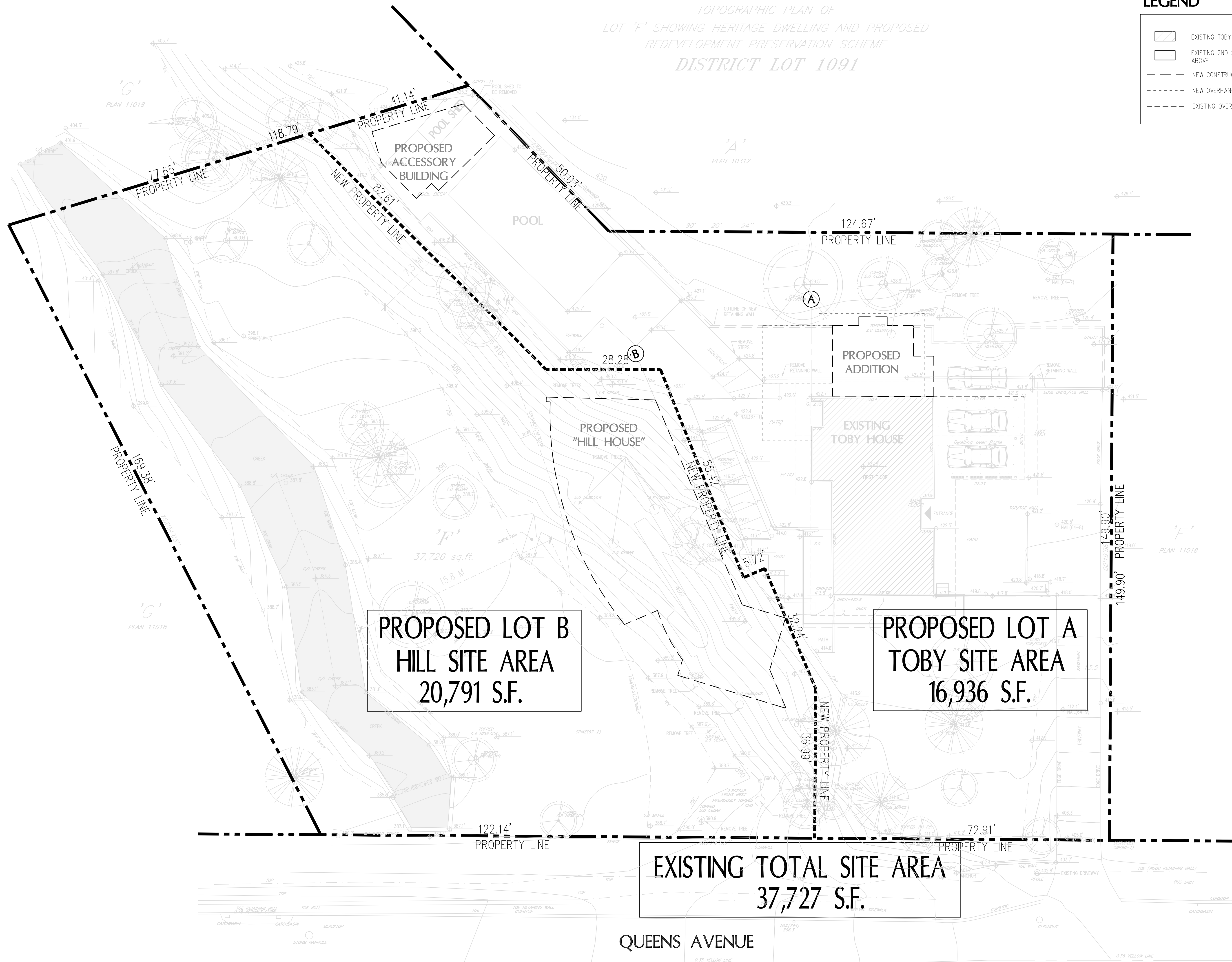
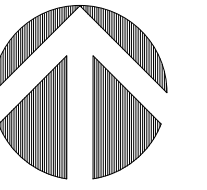
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SCALE: 3/32" = 1'-0"	REVIEW BY: DM
DATE: 17/JAN/11	DRAWING NO: A101

TOPOGRAPHIC PLAN OF
 LOT 'F' SHOWING HERITAGE DWELLING AND PROPOSED
 REDEVELOPMENT PRESERVATION SCHEME
 DISTRICT LOT 1091

LEGEND

	EXISTING TOBY HOUSE
	EXISTING 2ND STOREY ABOVE
	NEW CONSTRUCTION
	NEW OVERHANGS
	EXISTING OVERHANGS

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NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
2	RE-ISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

PROPOSED TOBY HOUSE ADDITION AND NEW HILL HOUSE

2055 QUEENS AVE.
 WEST VANCOUVER,
 B.C.



CONSULTANTS
 STRUCTURAL:
 MECHANICAL:
 ELECTRICAL:
 LANDSCAPE:

DRAWING TITLE:
PROPOSED SUBDIVISION

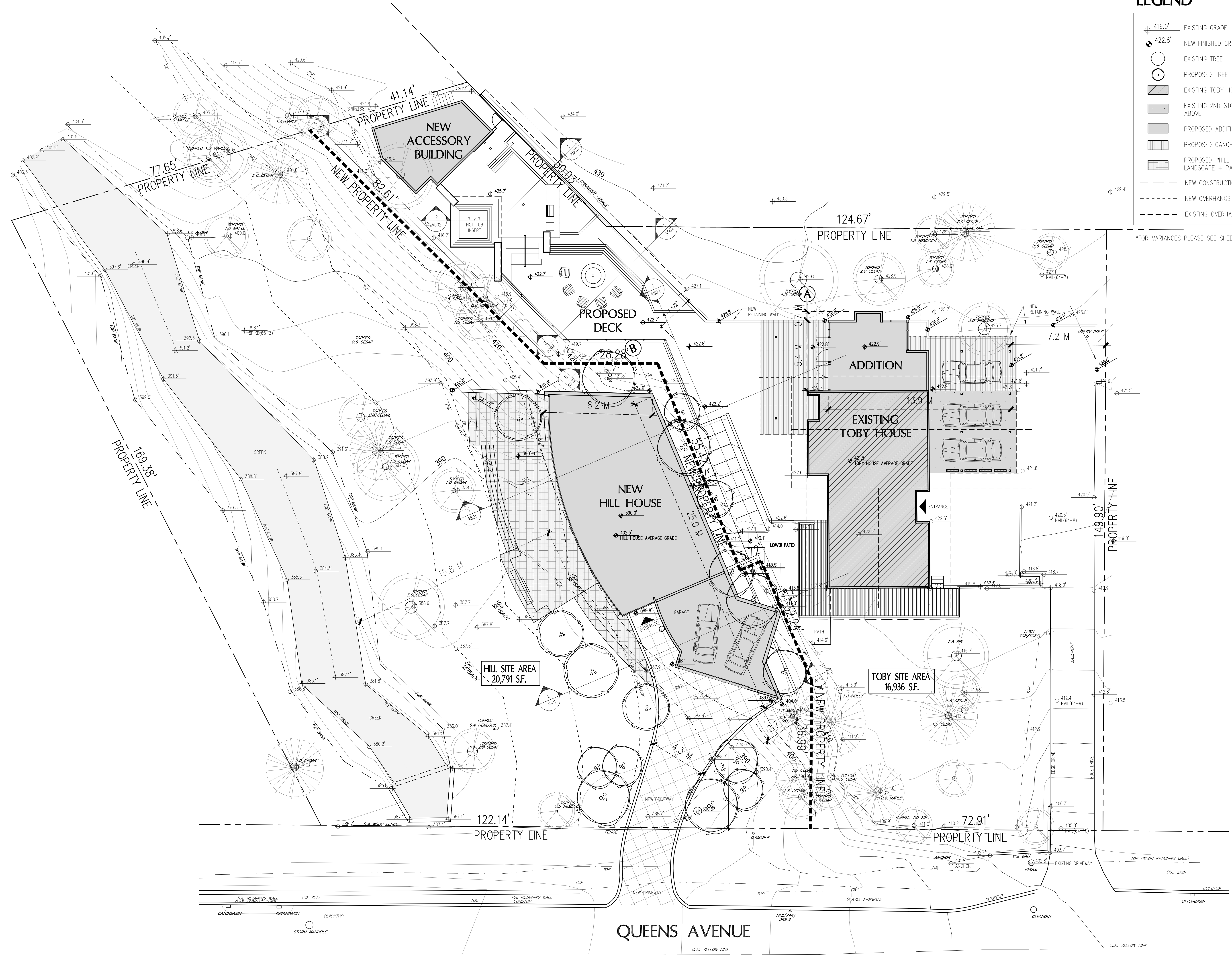
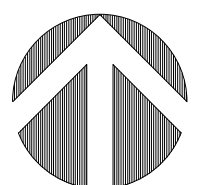
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SCALE: 3/32" = 1'-0"	REVIEW BY: DM
DATE: 17JAN11	DRAWING NO: A101A

LEGEND

- ⊕ 419.0' EXISTING GRADE
- ⬇ 422.8' NEW FINISHED GRADE
- EXISTING TREE
- ⊙ PROPOSED TREE
- ▨ EXISTING TOBY HOUSE
- ▩ EXISTING 2ND STOREY ABOVE
- ▧ PROPOSED ADDITION
- ▨ PROPOSED CANOPIES
- ▨ PROPOSED "HILL HOUSE" LANDSCAPE + PATIO
- NEW CONSTRUCTION
- - - NEW OVERHANGS
- - - EXISTING OVERHANGS

*FOR VARIANCES PLEASE SEE SHEET A103

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NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
2	RE-ISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

PROPOSED TOBY HOUSE ADDITION

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.












CONSULTANTS:
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

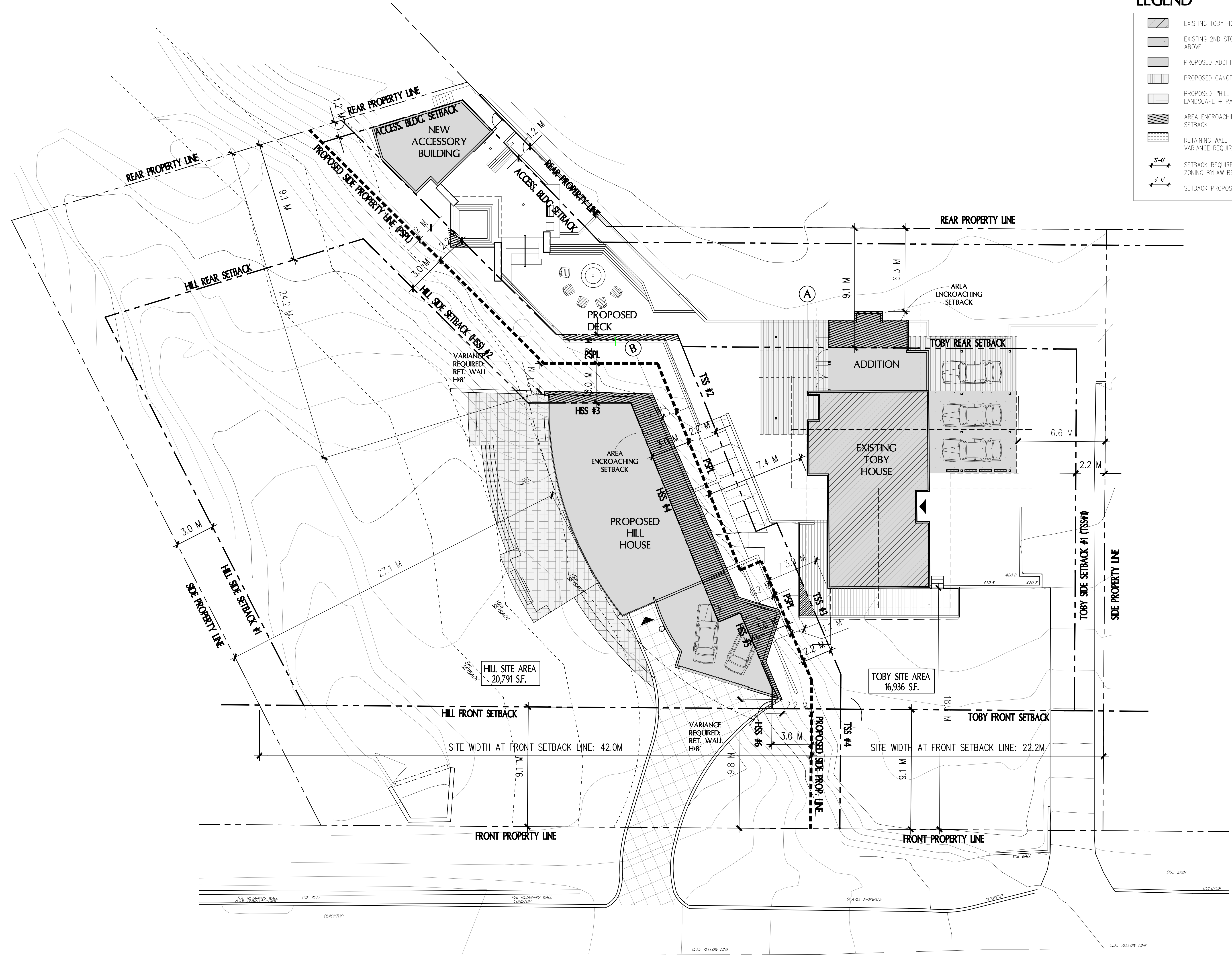
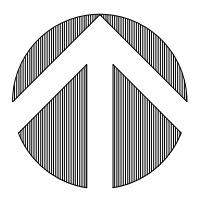
PROPOSED SITE PLAN

PROJECT NO: 0909 DRAWN BY: NJ
SCALE: 3/32" = 1'-0" REVIEW BY: DM
DATE: 17JAN11 DRAWING NO: **A102**

LEGEND

-  EXISTING TOBY HOUSE
-  EXISTING 2ND STOREY ABOVE
-  PROPOSED ADDITION
-  PROPOSED CANOPIES
-  PROPOSED "HILL HOUSE" LANDSCAPE + PATIO
-  AREA ENCRONCHING INTO SETBACK
-  RETAINING WALL VARIANCE REQUIRED
-  3'-0" SETBACK REQUIRED BY ZONING BYLAW R53
-  3'-0" SETBACK PROPOSED

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NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
2	RE-ISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

PROPOSED TOBY HOUSE ADDITION

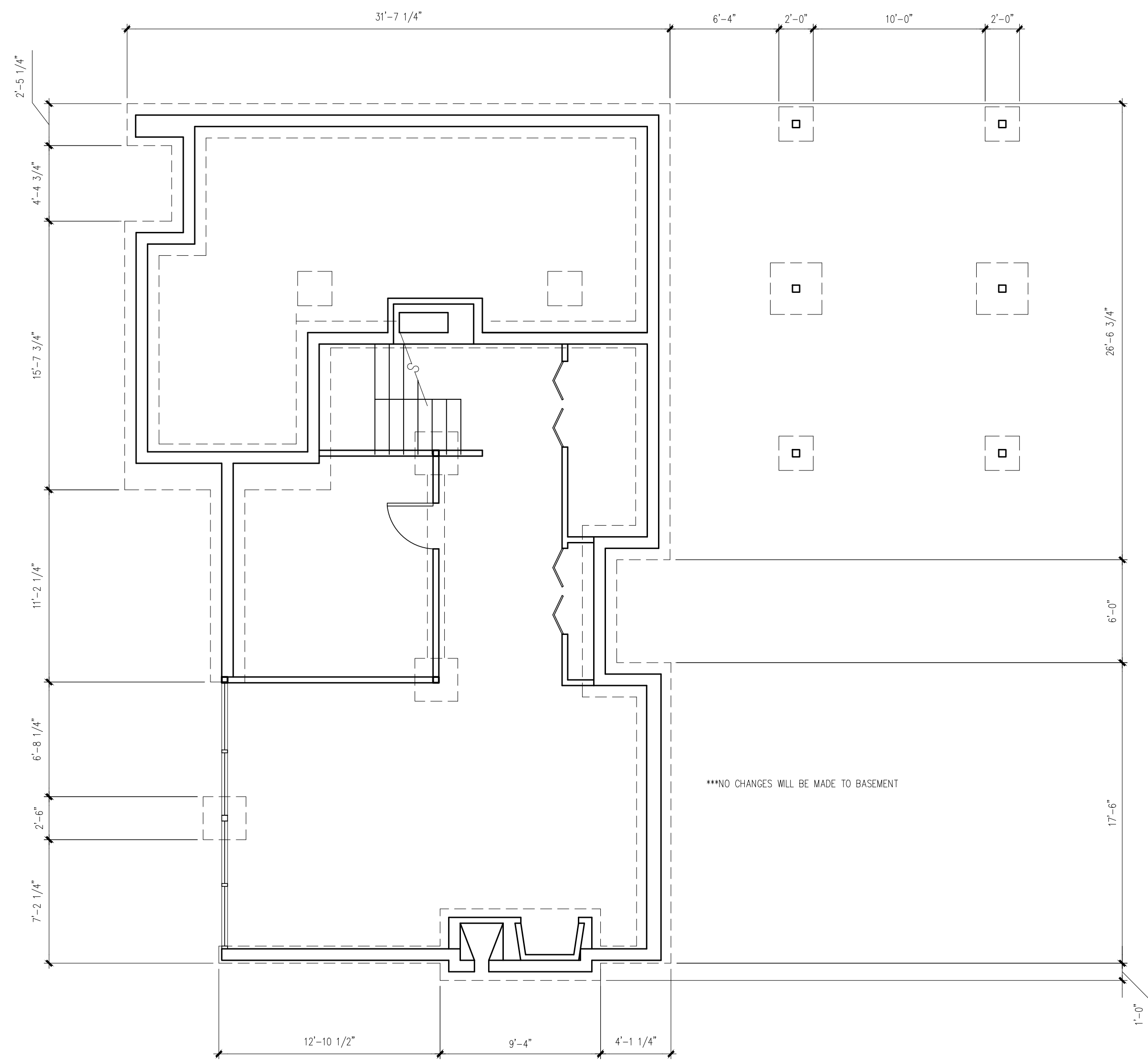
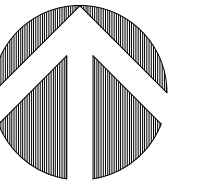
2055 QUEENS AVE.
WEST VANCOUVER,
B.C.



CONSULTANTS:
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

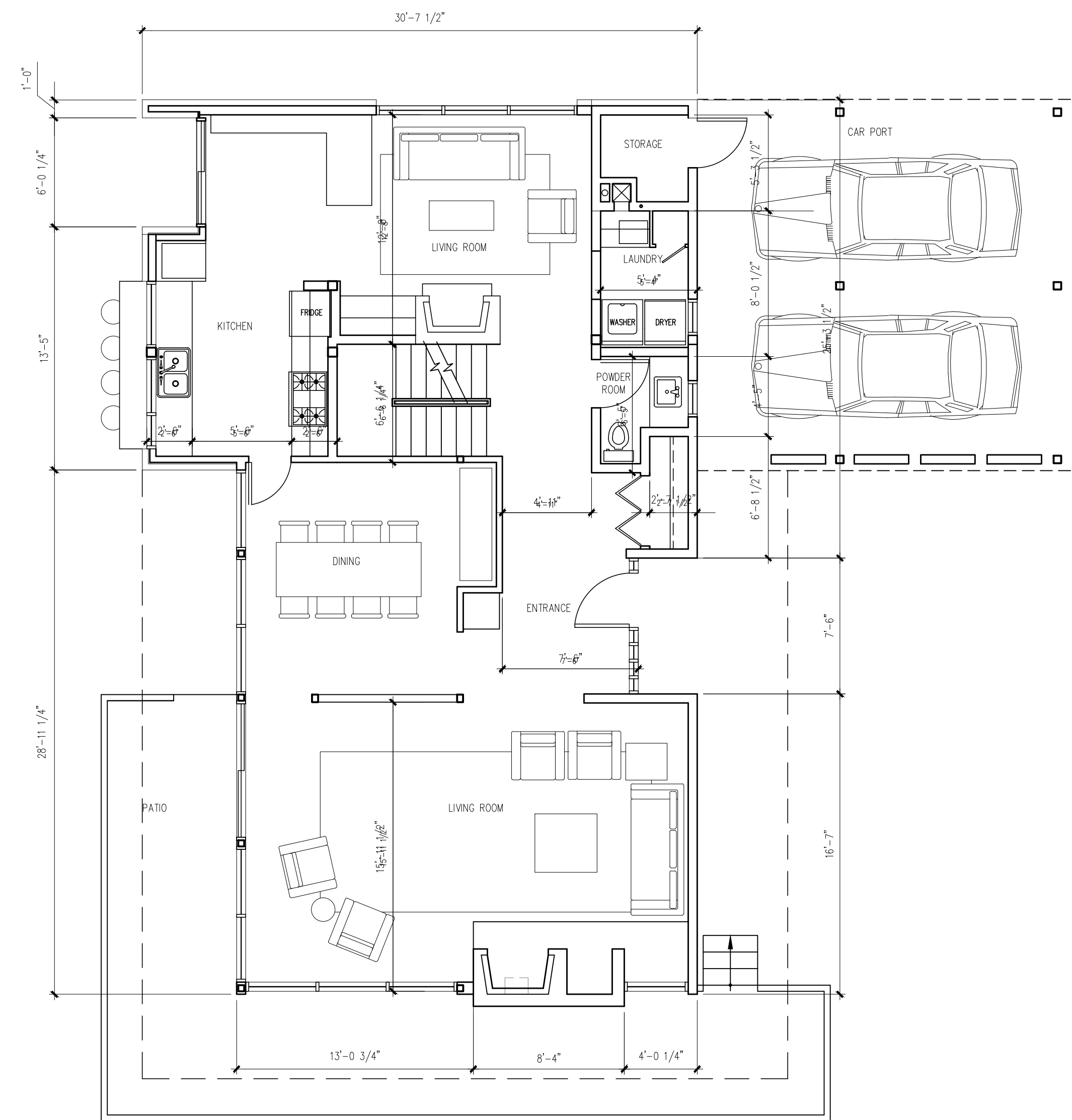
DRAWING TITLE:
PROPOSED SETBACKS

PROJECT NO: 0909	DRAWN BY: NJ
SCALE: 3/32" = 1'-0"	REVIEW BY: DM
DATE: 17JAN11	DRAWING NO: A103



1 BASEMENT PLAN

3/16" = 1'-0"



2 MAIN FLOOR PLAN

3/16" = 1'-0"

NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
2	RE-ISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

PROPOSED TOBY HOUSE ADDITION

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

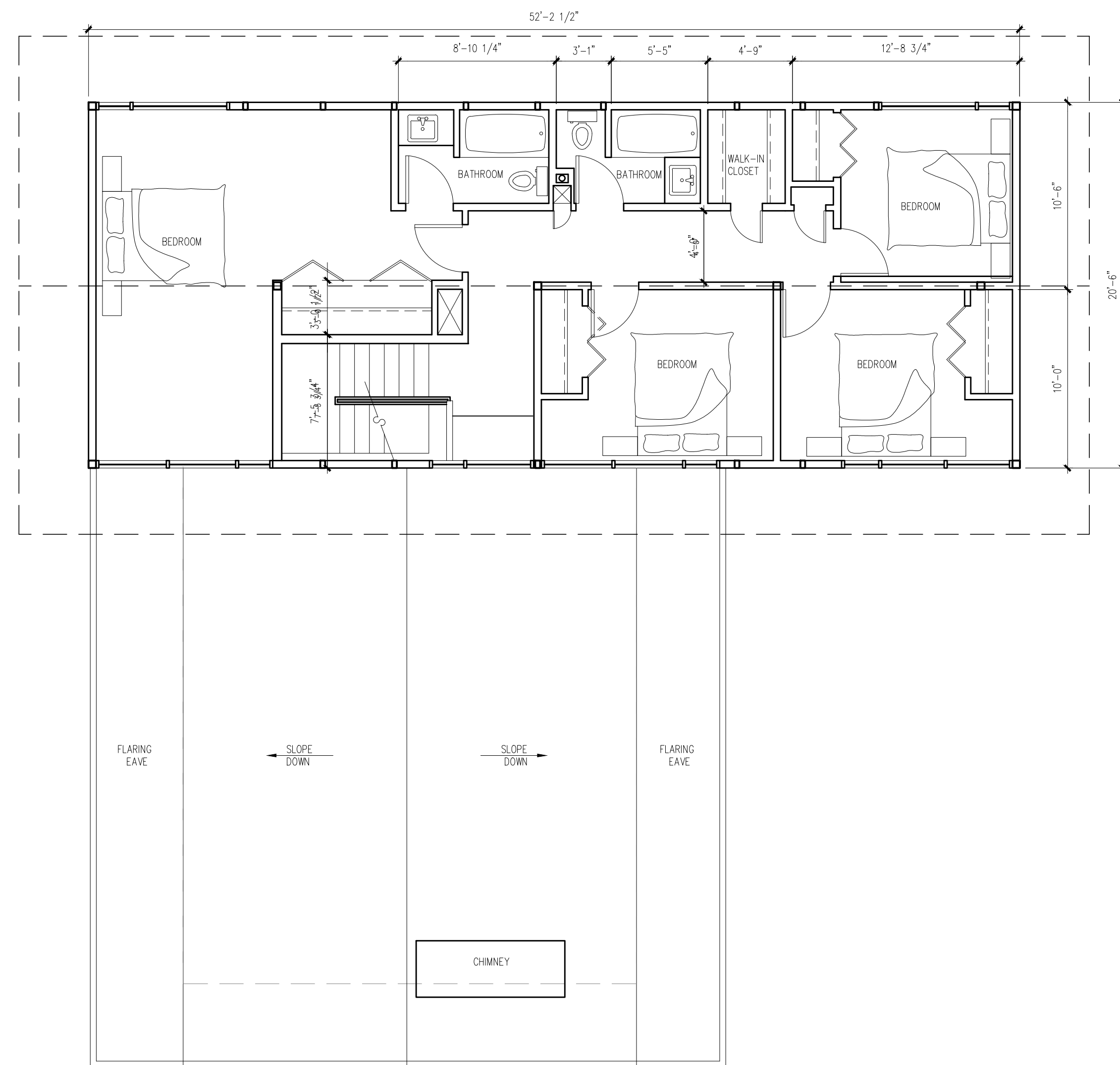
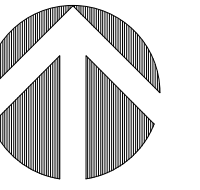
Wensley Architecture Ltd
301 - 1444 Alberni St.
Vancouver, BC V6G 2Z4
tel 604.685.3529 fax 604.685.4574
office@wensleyarch.com

- CONSULTANTS
- STRUCTURAL:
- MECHANICAL:
- ELECTRICAL:
- LANDSCAPE:

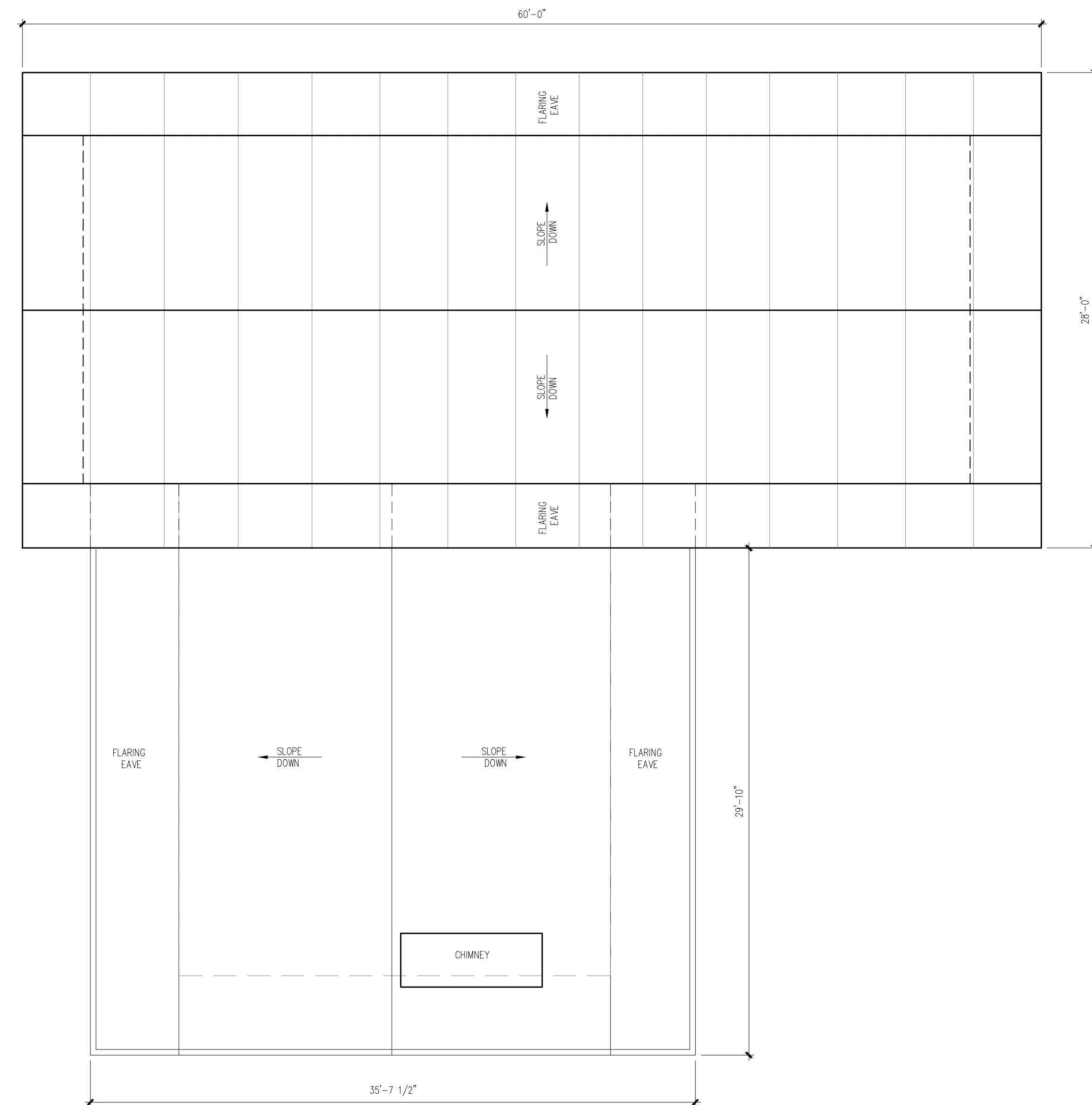
DRAWING TITLE:

EXISTING TOBY HOUSE FLOOR PLANS

PROJECT NO:	0909	DRAWN BY:	NJ
SCALE:	3/16" = 1'-0"	REVIEW BY:	DM
DATE:	17JAN11	DRAWING NO:	A201



1 SECOND FLOOR PLAN
3/16" = 1'-0"



2 ROOF PLAN
3/16" = 1'-0"

NO.	REVISION	M/D/Y
3	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
2	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
1	RE-ISSUED FOR DEVELOPMENT PERMIT	03/14/13

SEAL:

**PROPOSED
TOBY HOUSE
ADDITION**

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

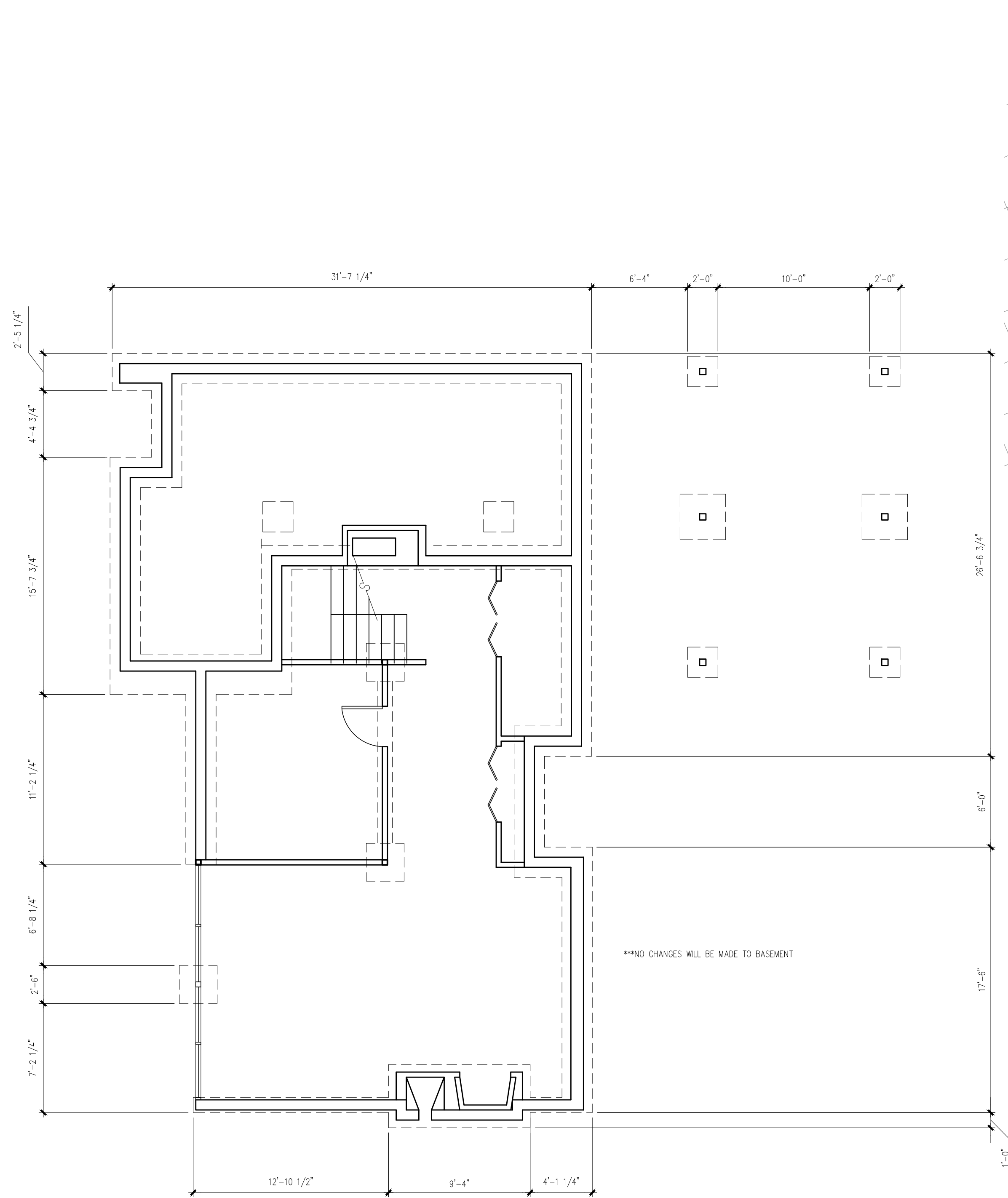
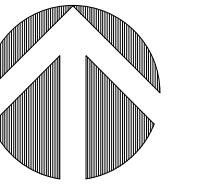
**Wensley
Architecture Ltd**

301 - 1444 Alberni St.
Vancouver, BC V6G 2Z4
tel 604.685.3529 fax 604.685.4574
office@wensleyarch.com

CONSULTANTS
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

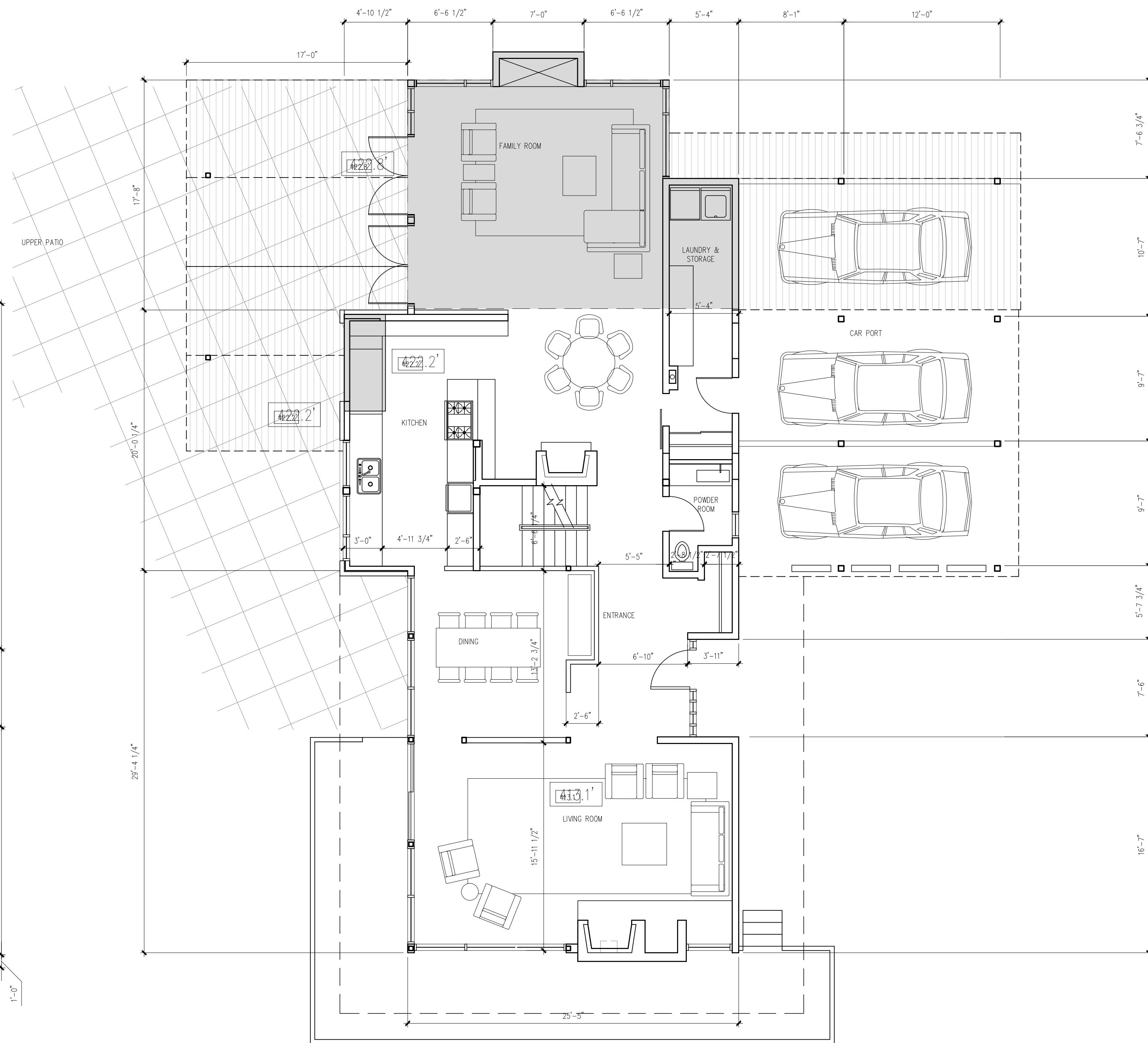
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HOUSE ROOF PLAN**

PROJECT NO: 0909	DRAWN BY: NJ
SCALE: 3/16" = 1'-0"	REVIEW BY: DM
DATE: 17JAN11	DRAWING NO: A202



1 BASEMENT PLAN

3/16" = 1'-0"



2 MAIN FLOOR PLAN

3/16" = 1'-0"

LEGEND

- PROPOSED ADDITION
- PROPOSED CANOPIES AND NEW ROOF

NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
2	RE-ISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

PROPOSED TOBY HOUSE ADDITION

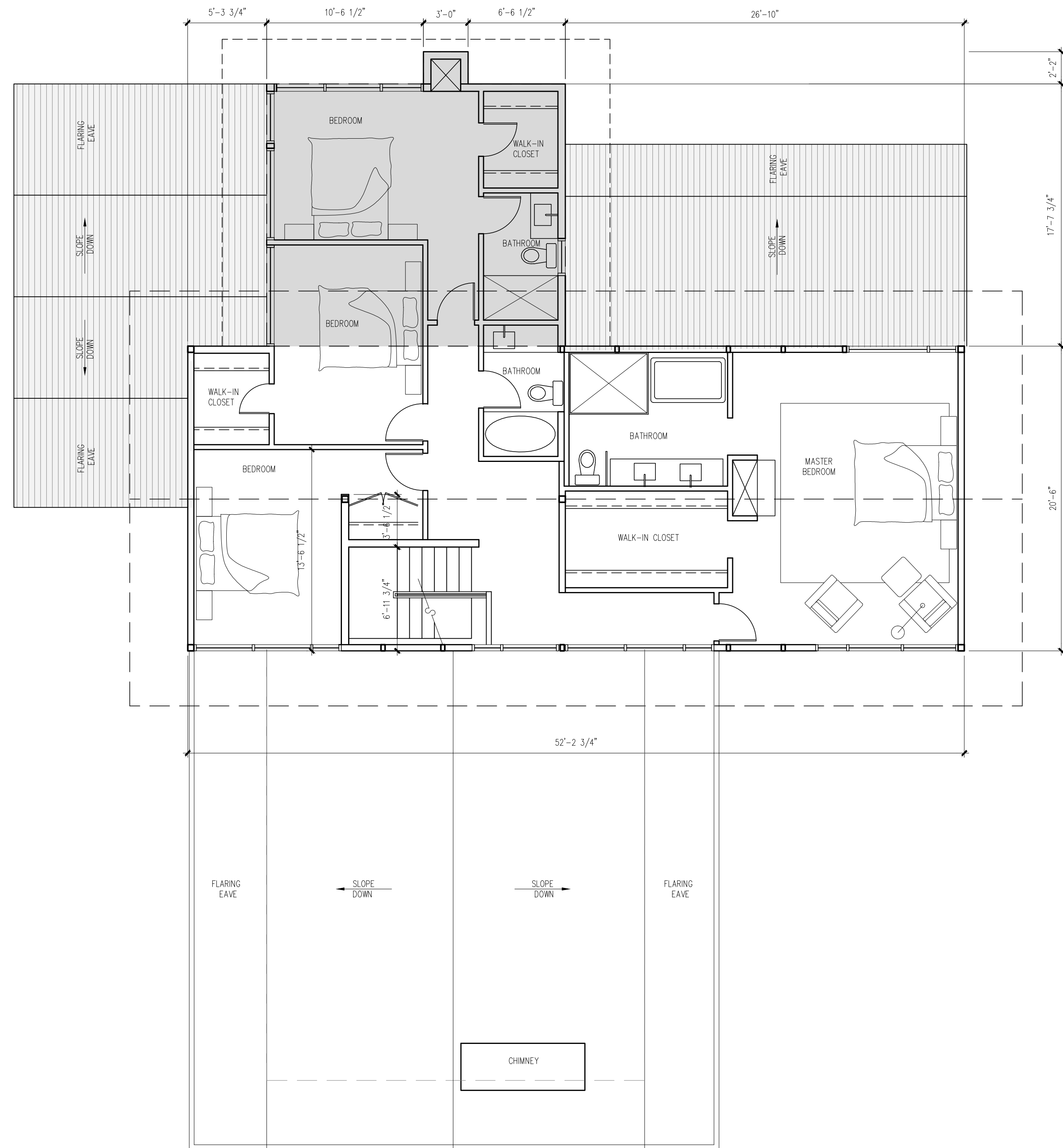
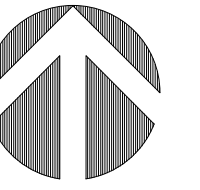
2055 QUEENS AVE.
WEST VANCOUVER,
B.C.



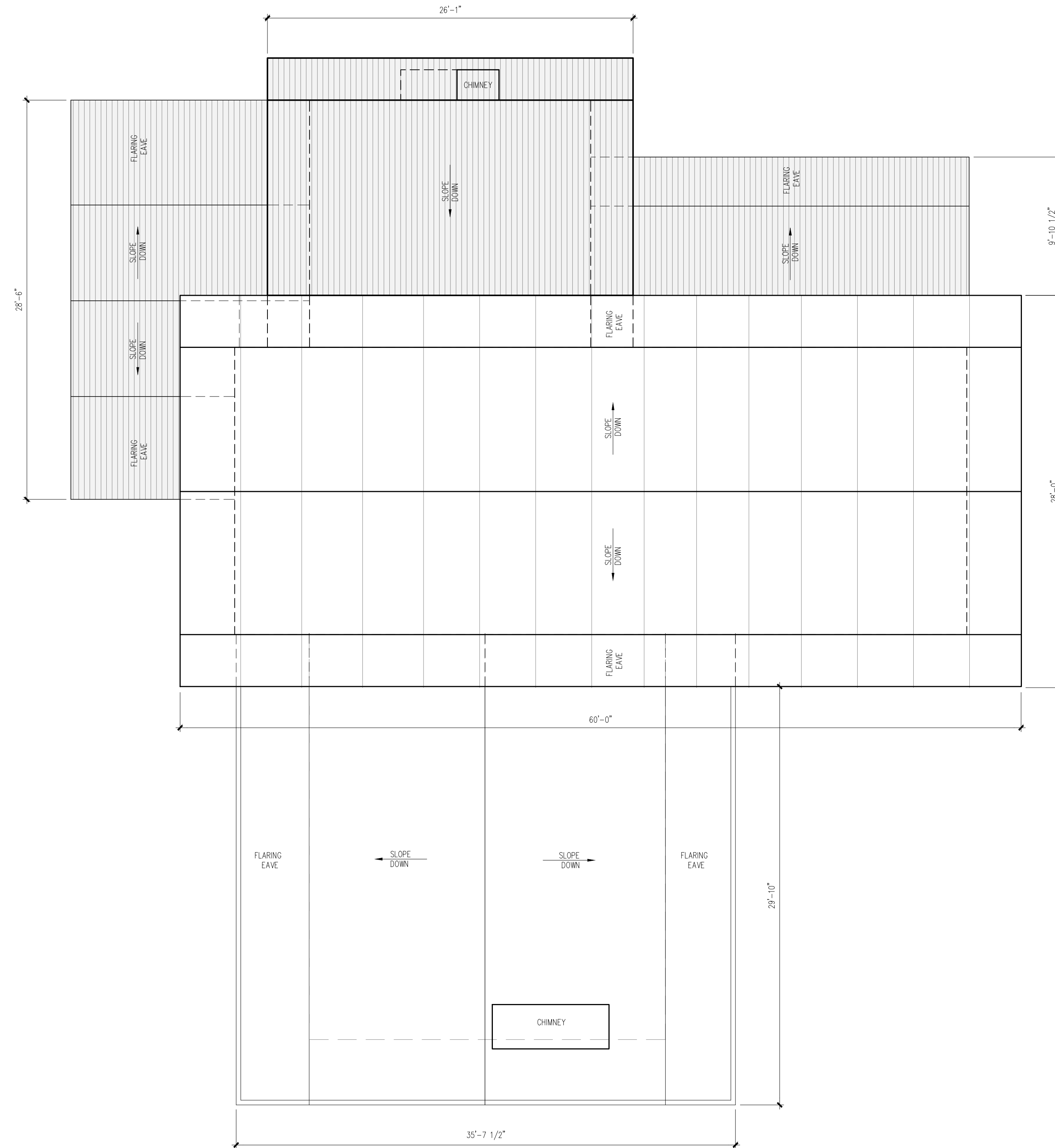
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STRUCTURAL:
MECHANICAL:
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LANDSCAPE:

DRAWING TITLE:
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PROJECT NO:	0909	DRAWN BY:	NJ
SCALE:	3/16" = 1'-0"	REVIEW BY:	DM
DATE:	17JAN11	DRAWING NO:	A203



1 SECOND FLOOR PLAN
3/16" = 1'-0"



2 ROOF PLAN
3/16" = 1'-0"

LEGEND

	PROPOSED ADDITION
	PROPOSED CANOPIES AND NEW ROOF

NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
2	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
1	RE-ISSUED FOR DEVELOPMENT PERMIT	03/14/13

SEAL:

PROPOSED TOBY HOUSE ADDITION

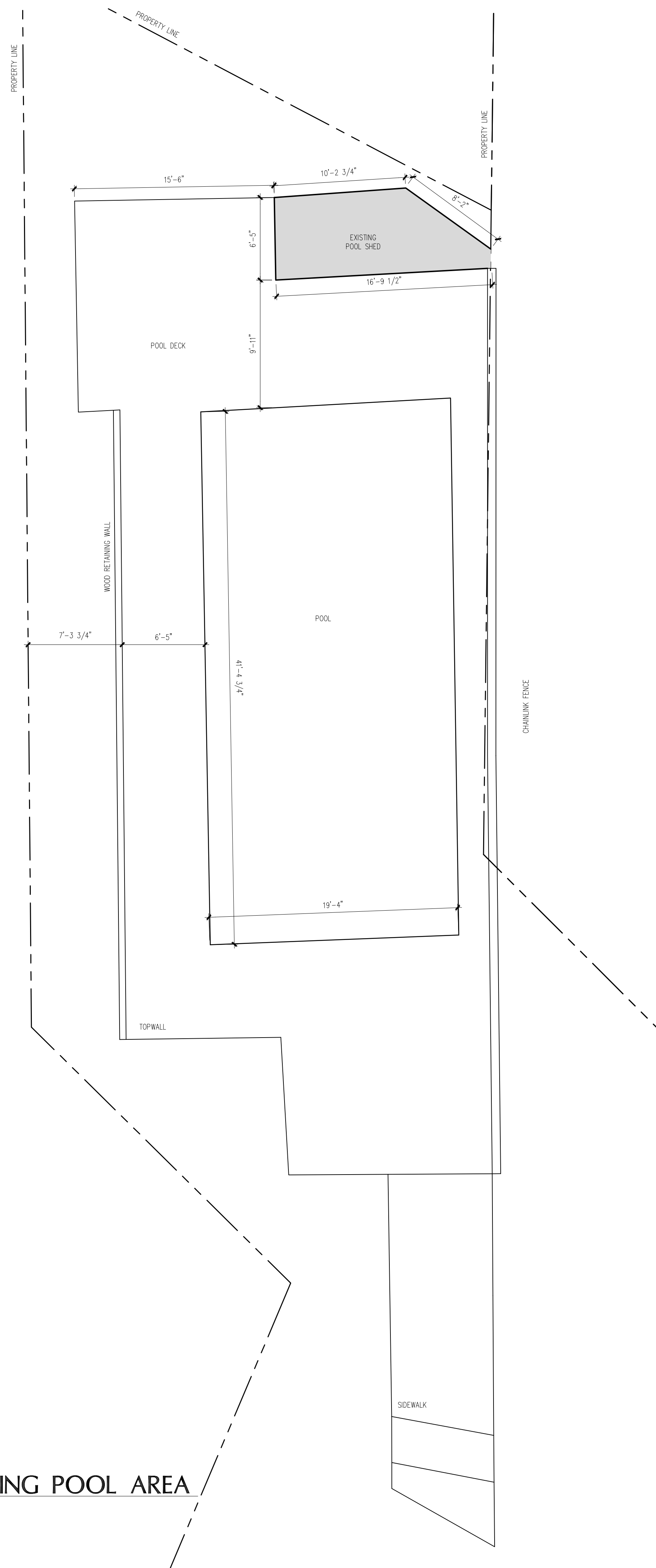
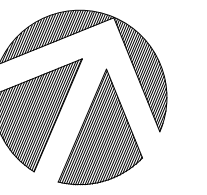
2055 QUEENS AVE.
WEST VANCOUVER,
B.C.



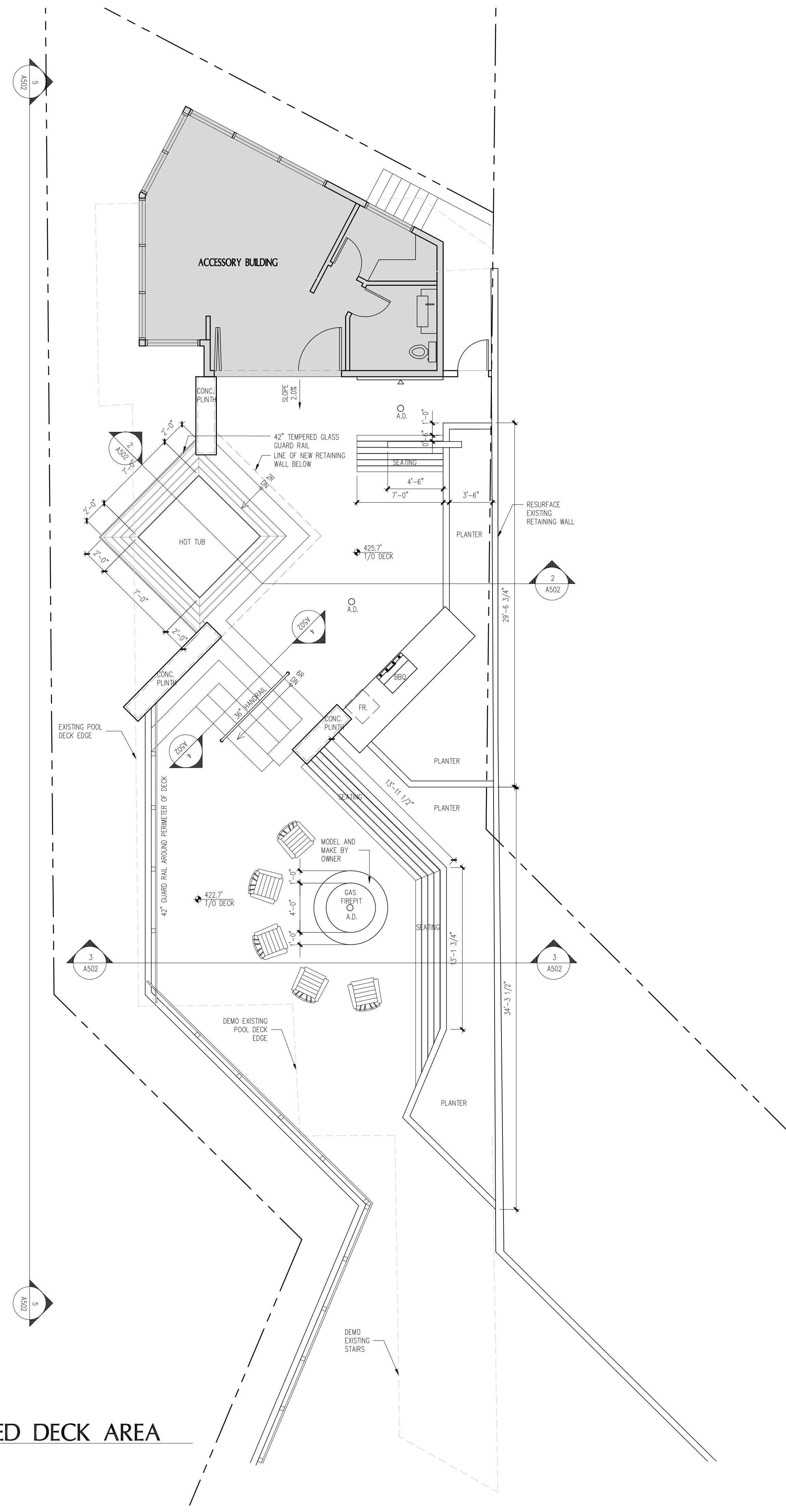
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STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

DRAWING TITLE:
PROPOSED TOBY HOUSE ROOF PLAN

PROJECT NO: 0909	DRAWN BY: NJ
SCALE: 3/16" = 1'-0"	REVIEW BY: DM
DATE: 17JAN11	DRAWING NO: A204



1 EXISTING POOL AREA
3/16" = 1'-0"



2 PROPOSED DECK AREA
3/16" = 1'-0"

NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/08/14
2	RE-ISSUED FOR DEVELOPMENT PERMIT	11/03/14
1	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13

SEAL:

PROPOSED TOBY HOUSE ADDITION

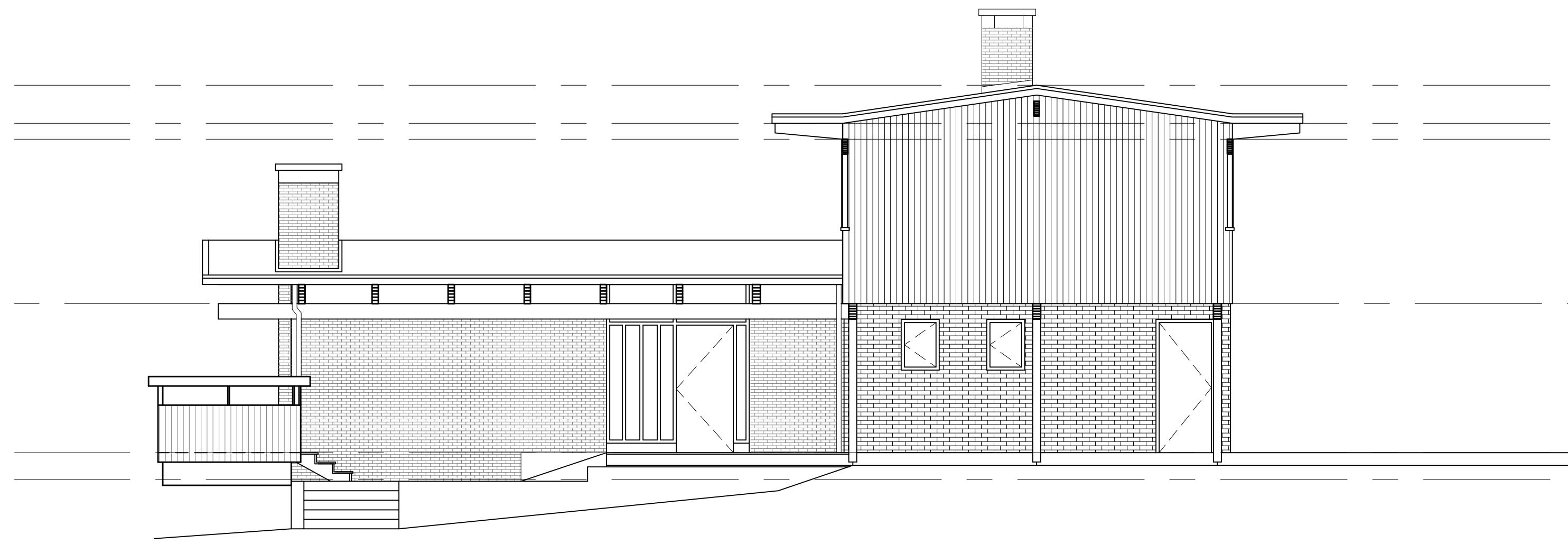
2055 QUEENS AVE.
WEST VANCOUVER,
B.C.



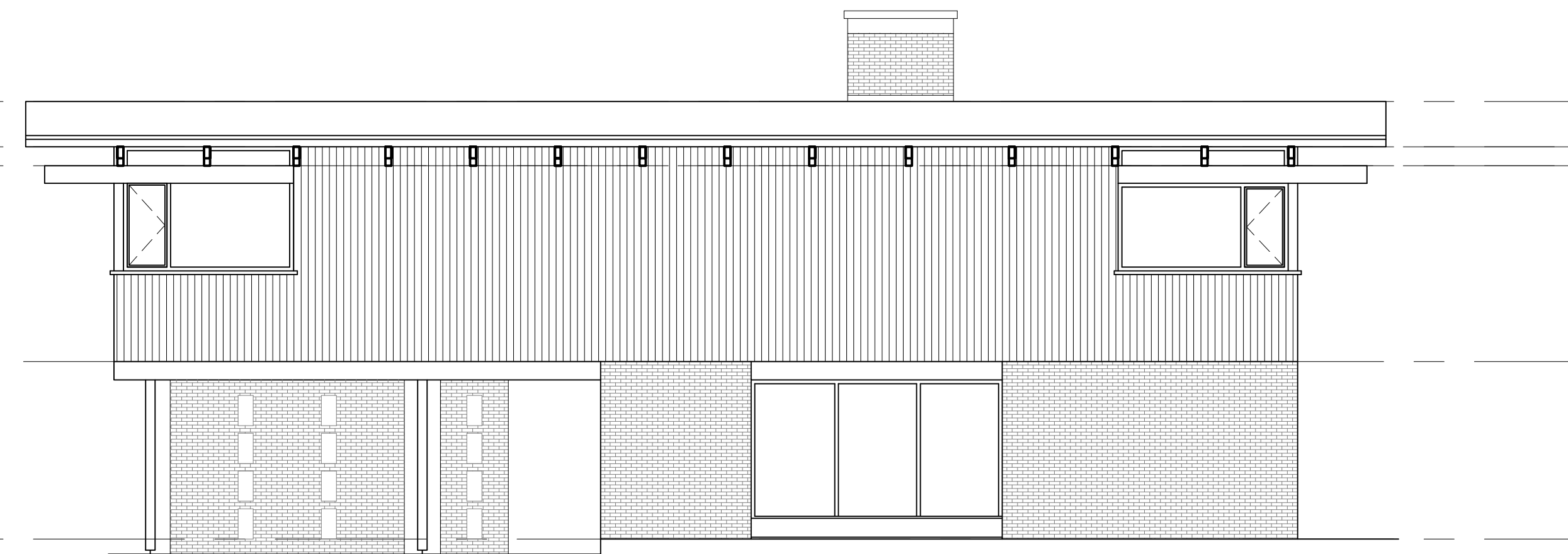
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STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

DRAWING TITLE:
**EXISTING POOL/
PROPOSED DECK**

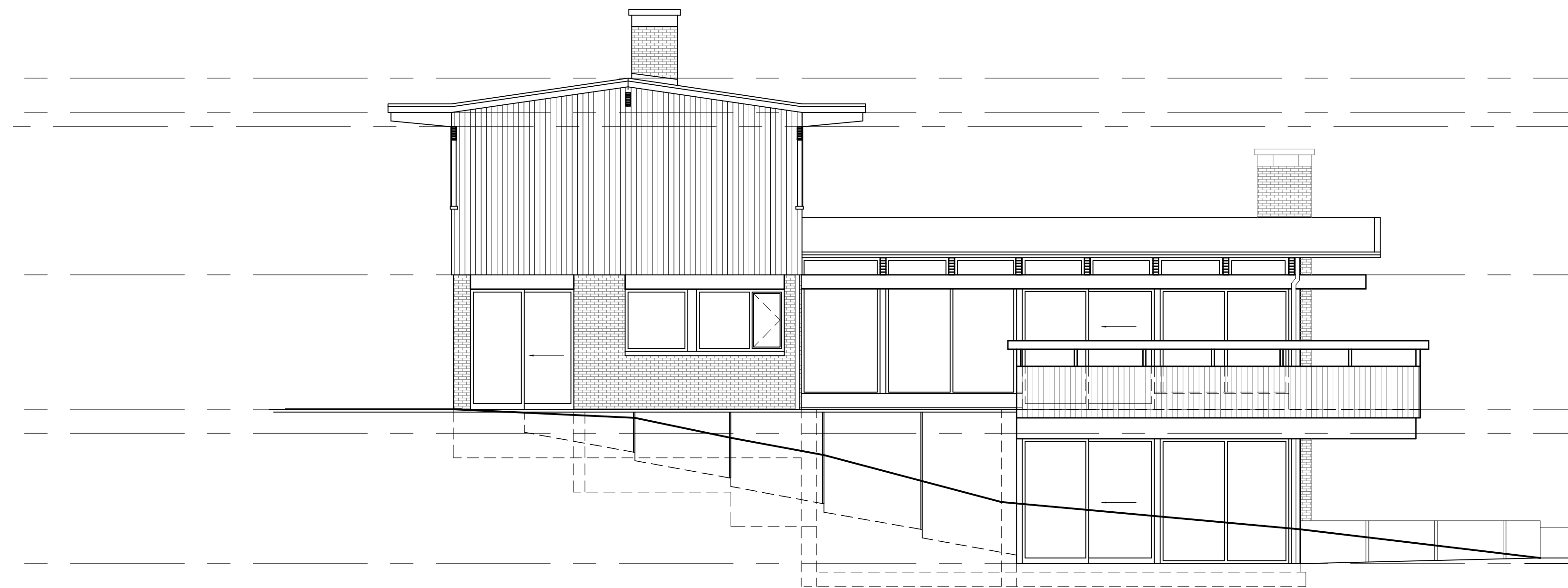
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SCALE: 3/16" = 1'-0" REVIEW BY: DM
DATE: 17JAN11 DRAWING NO: **A207**



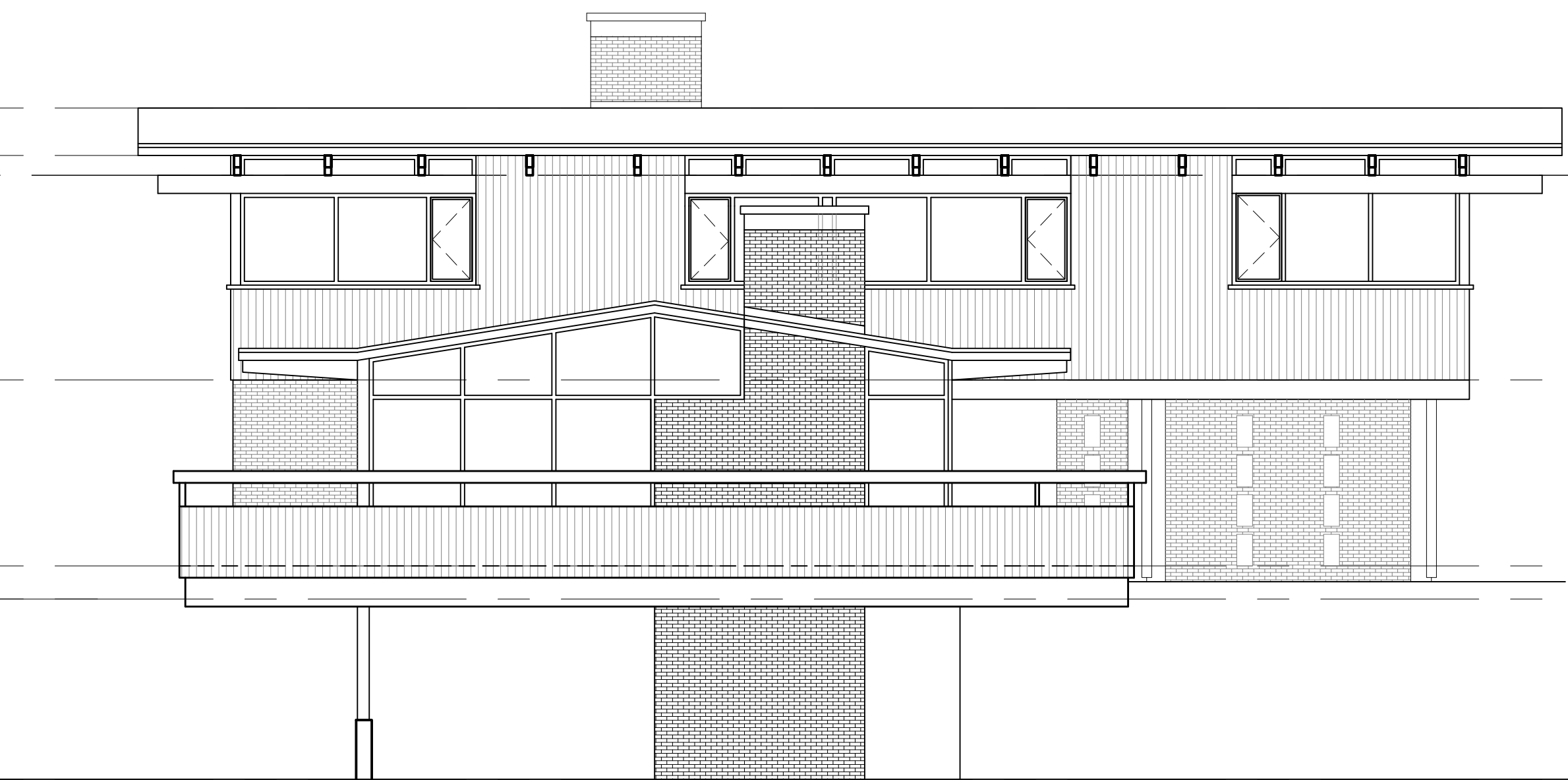
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3/16" = 1'-0"



2 EXISTING NORTH ELEVATION
3/16" = 1'-0"



3 EXISTING WEST ELEVATION
3/16" = 1'-0"



4 EXISTING SOUTH ELEVATION
3/16" = 1'-0"

NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
2	RE-ISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

PROPOSED
TOBY HOUSE
ADDITION

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.



CONSULTANTS
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

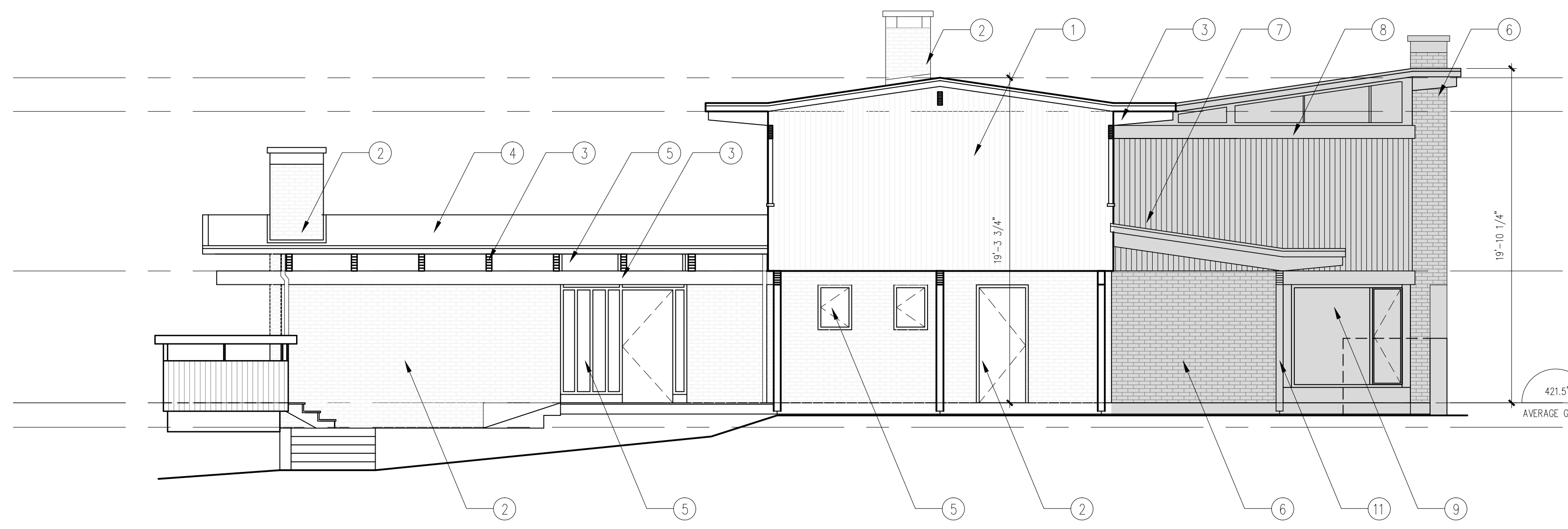
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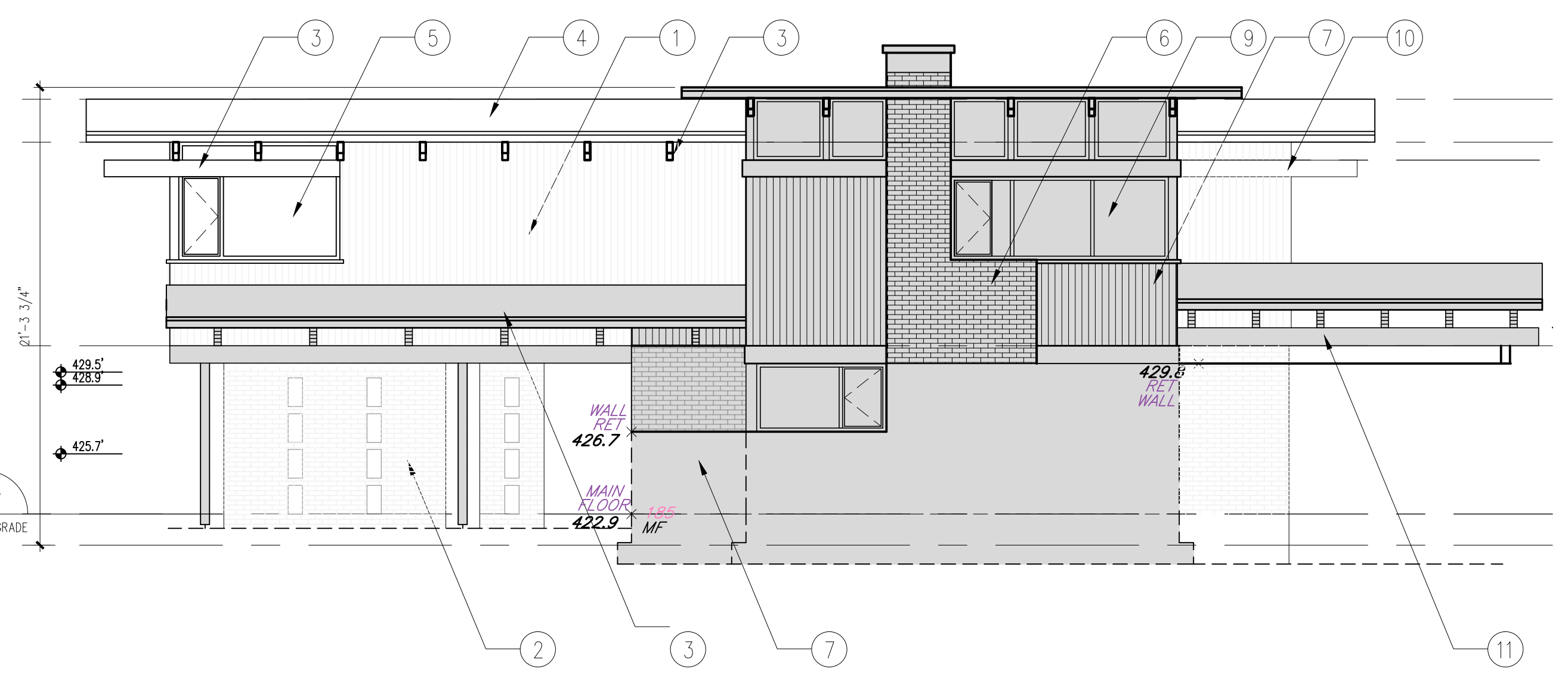
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DATE:	17JAN11	DRAWING NO:	A301

MATERIALS FINISH LEGEND

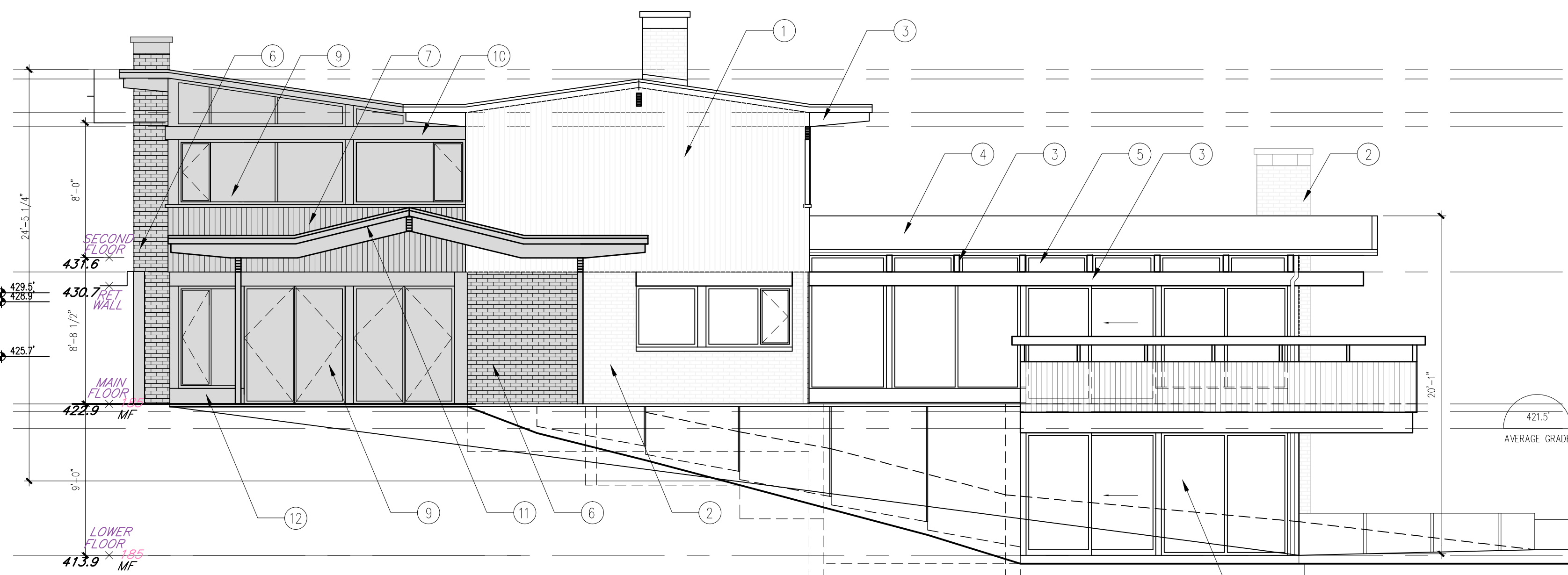
- PROPOSED NEW CONSTRUCTION
- ① EXISTING WOOD SIDING
- ② EXISTING BRICK VENEER
- ③ EXISTING STAINED WOOD BEAM
- ④ EXISTING ASPHALT ROOFING MEMBRANE
- ⑤ EXISTING GLAZING
- ⑥ NEW BRICK VENEER (TO MATCH EXISTING COLOR: (TO MATCH EXISTING))
- ⑦ NEW 3/8" VERT. V GROVE CEDAR SIDING (TO MATCH EXISTING)
- ⑧ NEW WOOD TRIM (TO MATCH EXISTING)
- ⑨ NEW GLAZING W/ POWDER COATED TRIM (TO MATCH EXISTING)
- ⑩ NEW STAINED WOOD BEAM (TO MATCH EXISTING)
- ⑪ NEW STAINED WOOD PORTE CORCHERE (TO MATCH EXISTING WOOD TRIM)



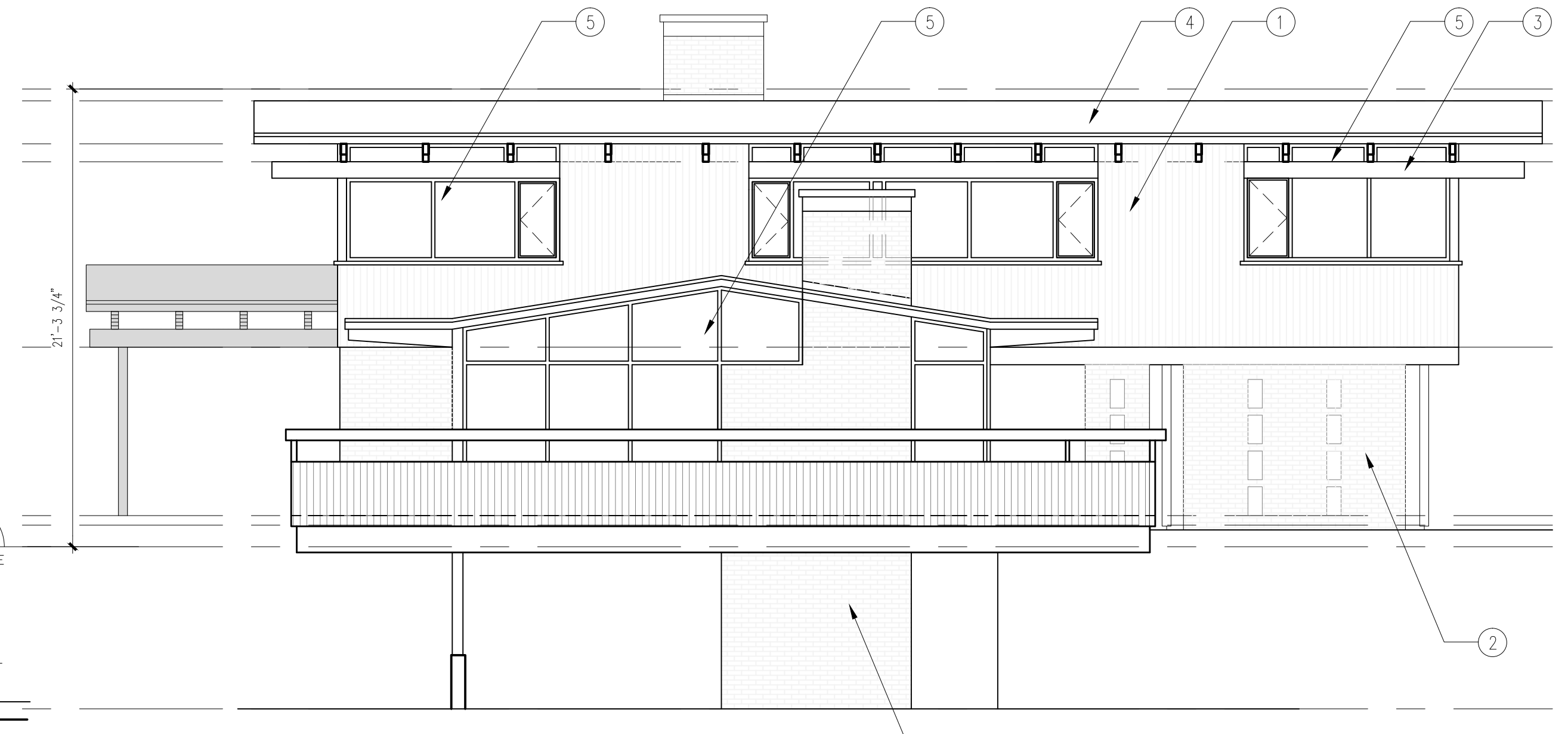
1 PROPOSED EAST ELEVATION
3/16" = 1'-0"



2 PROPOSED NORTH ELEVATION
3/16" = 1'-0"



3 PROPOSED WEST ELEVATION
3/16" = 1'-0"



4 PROPOSED SOUTH ELEVATION
3/16" = 1'-0"

NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
2	RE-ISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

PROPOSED TOBY HOUSE ADDITION

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

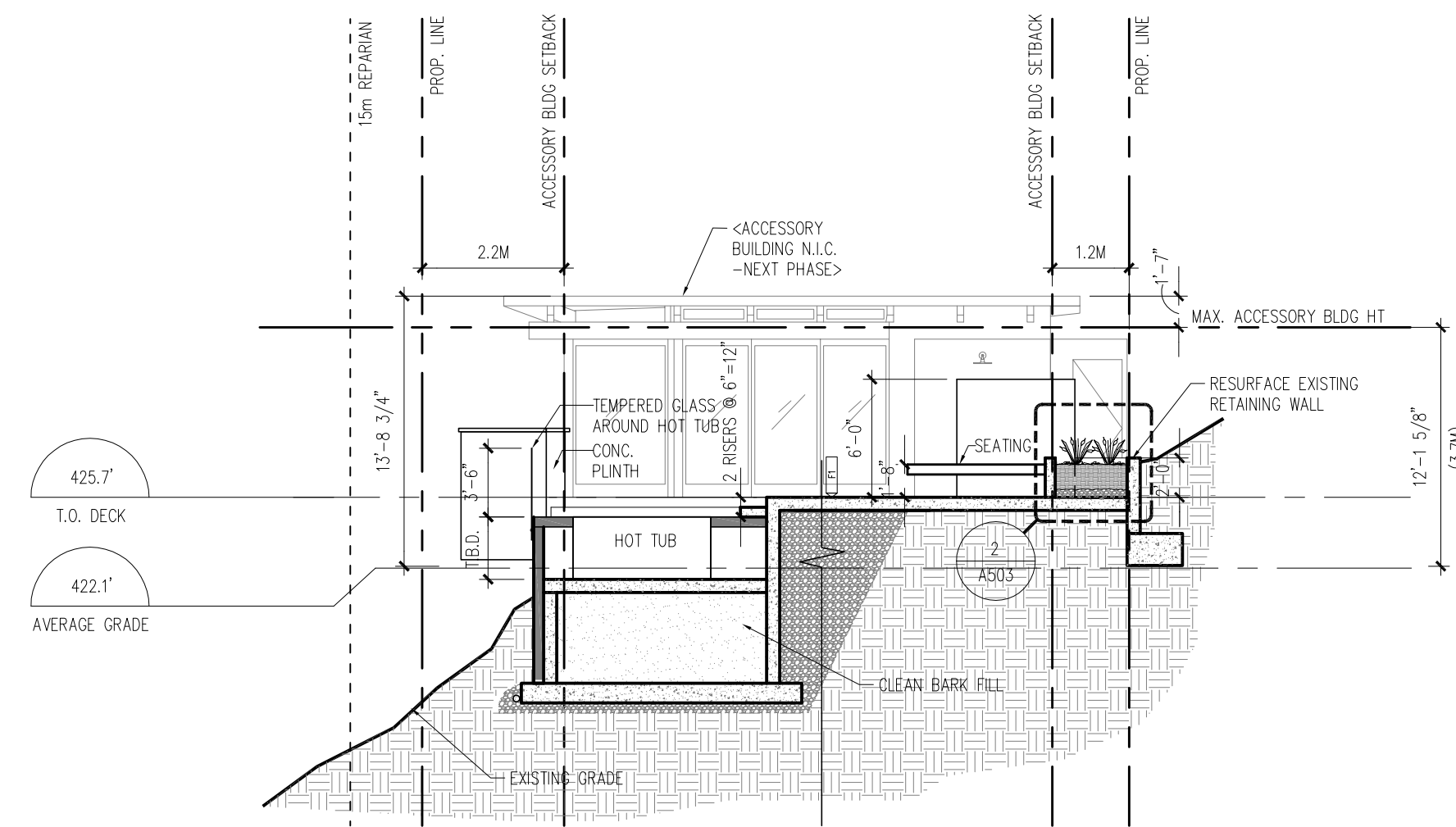
Wensley Architecture Ltd

301 - 1444 Alberni St.
Vancouver, BC V6G 2E4
tel 604.685.3529 fax 604.685.4574
office@wensleyarch.com

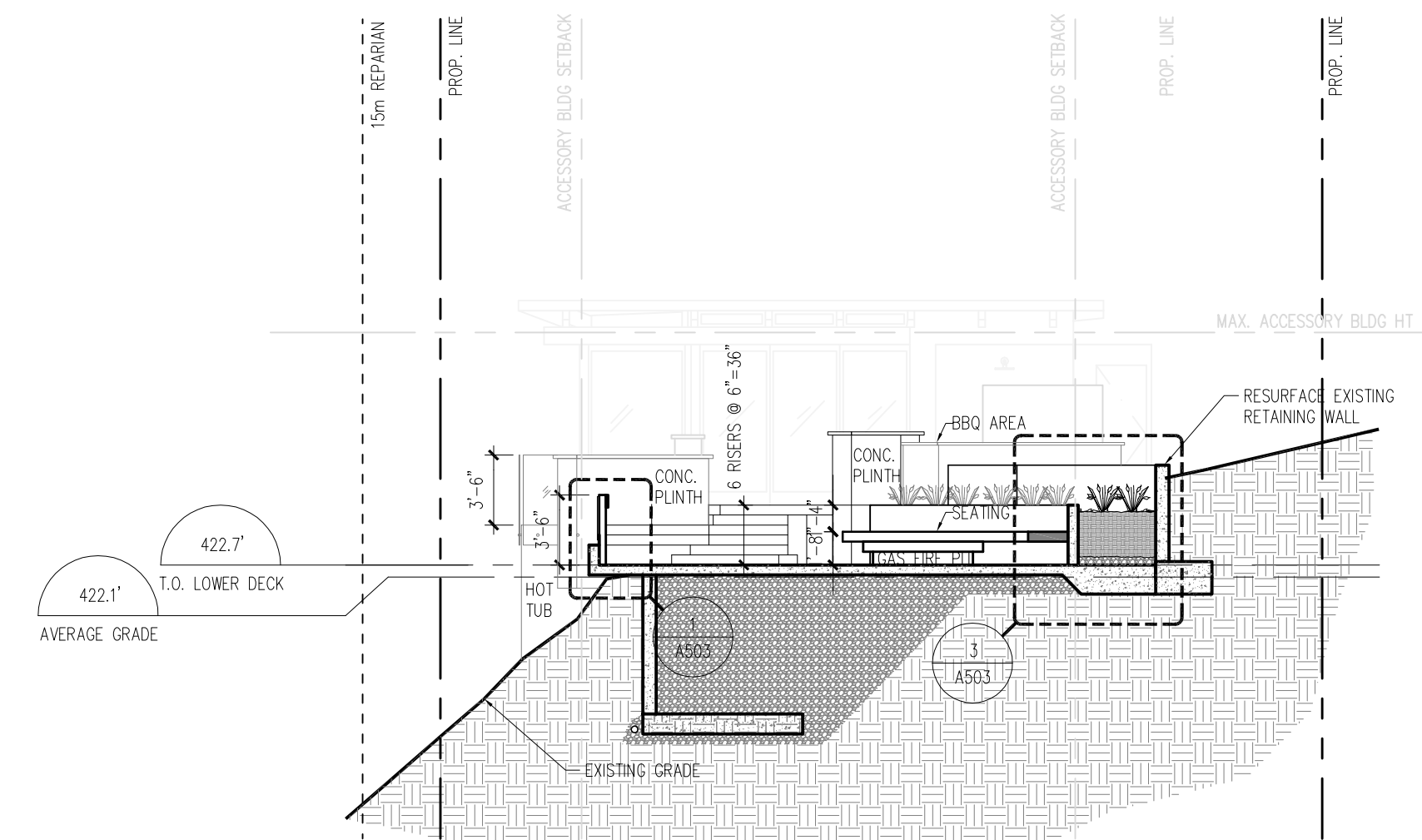
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STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

DRAWING TITLE:
PROPOSED TOBY HOUSE ELEVATIONS

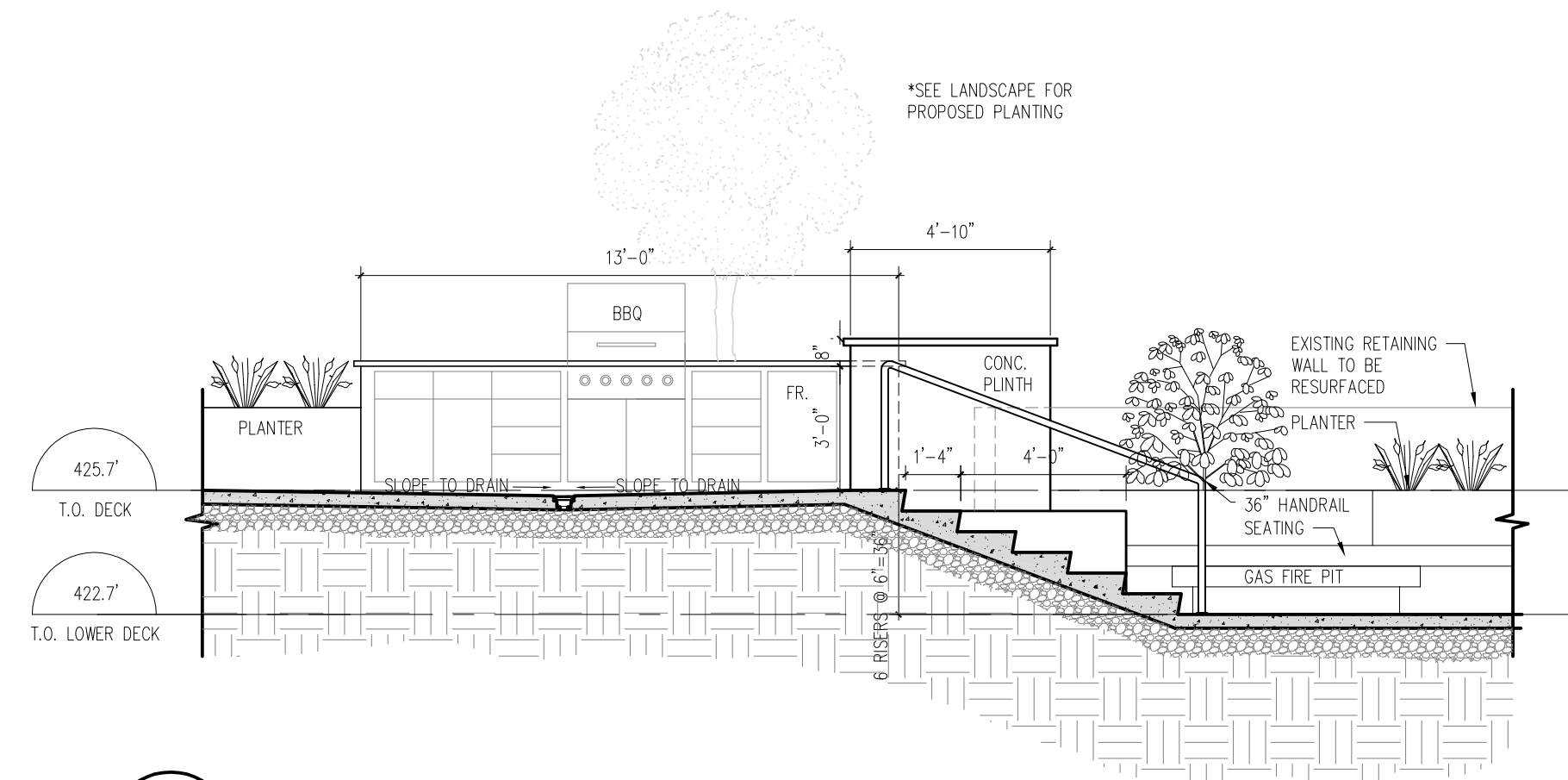
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DATE: 17JAN11	DRAWING NO: A302



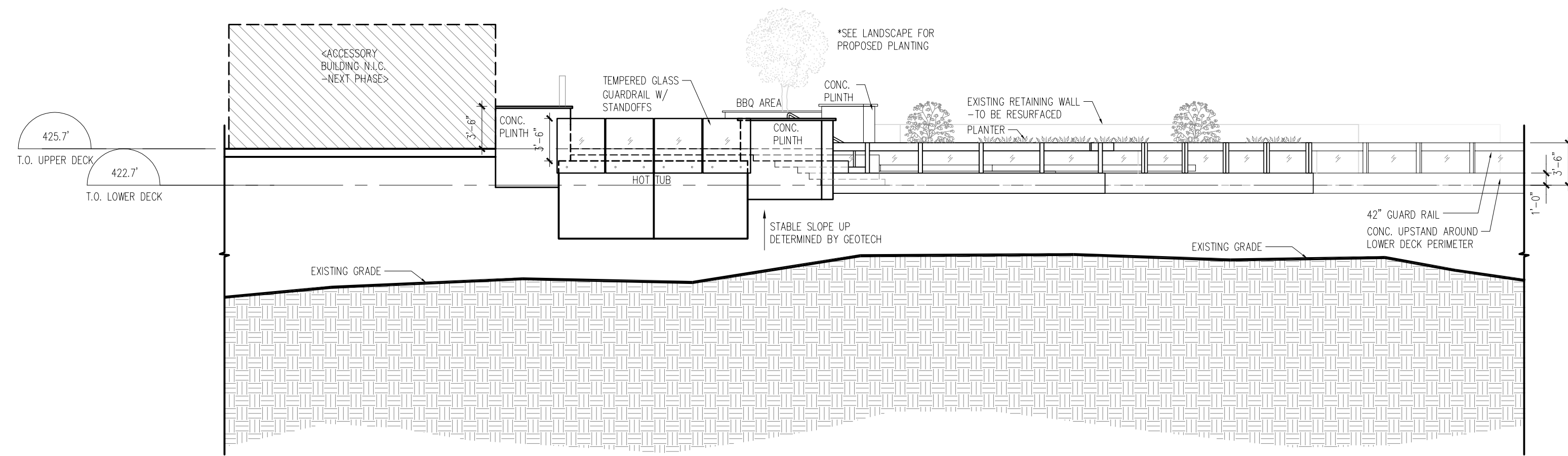
1 DECK SECTION
A102 1/8" = 1'-0"



2 DECK SECTION
A102 1/8" = 1'-0"



3 DECK SECTION
A102 1/4" = 1'-0"



4 SITE SECTION
A102 1/8" = 1'-0"

NO.	REVISION	DATE
6	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
5	RE-ISSUED FOR DEVELOPMENT PERMIT	12/08/14
4	RE-ISSUED FOR DEVELOPMENT PERMIT	11/03/14
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
2	RE-ISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12
		M/D/Y

SEAL:

**PROPOSED
TOBY HOUSE
ADDITION**

**2055 QUEENS AVE.
WEST VANCOUVER,
B.C.**

**Wensley
Architecture Ltd**

301 - 1444 Alberni St.
Vancouver BC V6G 2E4
tel 604.685.3529 fax 604.685.4574
office@wensleyarch.com

CONSULTANTS:
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

DRAWING TITLE:
DECK SECTIONS

PROJECT NO: 0909	DRAWN BY: NJ
SCALE: 1/8" = 1'-0"	REVIEW BY: DM
DATE: 17JAN11	DRAWING NO: A503

PROPOSED NEW “HILL HOUSE”
2055 QUEENS AVE.
WEST VANCOUVER, B.C.



FEBRUARY 11, 2015

PROJECT # 0909



Wensley
Architecture Ltd

301 - 1444 Alberni St.
Vancouver, BC V6G 2Z4
tel 604.685.3529 fax 604.685.4574
office@wensleyarch.com

PROPOSED NEW "HILL HOUSE" Project # 0909



UNIT MIX / STATISTICS		(REVISION NO. 3)		February 10, 2015	
LEGAL DESCRIPTION	Lot F District Lot 1091 Plan 11018				
CIVIC ADDRESS	2055 Queens Ave. West Vancouver BC				
EXISTING ZONING	RS3	PROPOSED ZONING	CD		
EXISTING SITE AREA (SF)	37,727				
SITE WIDTH	22.2m	<24.4m min	(measured at front setback line)		VARIANCE REQUIRED
PROPOSED HILL HOUSE SITE AREA (SF)	20,791 (1,932 m ²) >(min 1,115 m ²)				
SITE WIDTH	42.0m >24.4m min (measured at front setback line)				
SITE DEPTH	less than <4x Site Width (max 168m)				
MAX. ALLOWABLE F.S.R		BYLAW	PROPOSED	UNUSED	FSR
HILL HOUSE		35%	24%	11%	4,894sf / 20,791 = 0.24 FSR
MAX. ALLOWABLE SITE COVERAGE		BYLAW	PROPOSED	UNUSED	
HILL HOUSE		30%	11%	19%	
MAX. BUILDING HEIGHT		BYLAW	PROPOSED		
HILL HOUSE		25' (2 STOREY+BSMT)	0.0	2 STOREYS + BSMT	AVERAGE GRADE - 402.5'
BUILDING HEIGHT		HILL HOUSE			
Storeys	2				
Average Grade (ft)	0.0				
Building Height Above Avg. Grade (ft)	17.5'				
Elevation at roof peak (ft)	420'				
Elevation of Bsmt (ft)	390'				
Elevation of Main floor (ft)	400'				
Elevation of 2nd floor (ft)	410'				
SET BACKS		BYLAW			
HILL HOUSE	SIDE SETBACK #1	Max 3m or 10% lot width (4.2m)	88.75' (27.1m)		
	SIDE SETBACK #2	Max 3m or 10% lot width (4.2m)	N/A		
	SIDE SETBACK #3	Max 3m or 10% lot width (4.2m)	6.83' (2.1m)	VARIANCE REQUIRED	(house encroaching)
	SIDE SETBACK #4	Max 3m or 10% lot width (4.2m)	3.83' (1.2m)	VARIANCE REQUIRED	(house encroaching)
	SIDE SETBACK #5	Max 3m or 10% lot width (4.2m)	0.66' (0.2m)	VARIANCE REQUIRED	(house encroaching)
	FRONT (SOUTH)	29.86' (9.1m)	32.13' (9.8m)		
	REAR (NORTH)	29.86' (9.1m)	79.33' (24.2m)		
BUILDING AREA		EXISTING (sq. ft.)	PROPOSED (sq. ft.)	COMBINED (sq. ft.)	
HILL HOUSE			4,894	4,894	
BUILDING FOOTPRINT		EXISTING (sq. ft.)	PROPOSED (sq. ft.)	COMBINED (sq. ft.)	
HILL HOUSE (SF)			2,228	2,228	
PARKING		BYLAW	EXISTING	PROPOSED	TOTAL
HILL HOUSE		Min. 1		2	2

CONTACT LIST	
CLIENT	
VLAHOS HOLDINGS LTD. 701 Patricia Street, Jasper, AB T0E 1E0 Tel: 780-852-3617 Cell: 780-883-0667	
CONTACT:	Gus Vlahos
Email:	
ARCHITECTS	
WENSLEY ARCHITECTURE LTD. 301-1444 Alberni Street, Vancouver, BC V6G 2Z4 Tel: 604-685-3529 Fax: 604-685-4574	
CONTACT:	David McGrath
Email:	dmcgrath@wensleyarch.com
WENSLEY ARCHITECTURE LTD. (Victoria) # 108, 2800 Bryn Maur Road, Victoria, BC V9B 3T4 Tel: 250-391-4933 Fax: 250-391-4964	
CONTACT:	Doug Wong
Email:	dwong-victoria@wensleyarch.com
	Neil Jacobson
Email:	njacobson-victoria@wensleyarch.com
STRUCTURAL	
LONDON MAH & ASSOCIATES LTD. 103-1847 West Broadway, Vancouver, BC V6J 1Y6 Tel: 604-739-8544 Fax: 604-739-1468	
CONTACT:	Jim Mah
Email:	londonmah@telus.net
LANDSCAPE	
DURANTE KREUK LANDSCAPE ARCHITECTS 102-1637 W 5th Avenue, Vancouver, BC V6J 1N5 Tel: 604-684-4611 Cell: 604-880-7229	
CONTACT:	Jennifer Stamp
Email:	jennifer@dkl.bc.ca
GEOTECHNICAL	
PUAR ENGINEERING CONSULTANTS INC. 200-100 Park Royal S, West Vancouver, BC V7T 1A2 Tel: 604-913-7827 Cell: 604-802-8229	
CONTACT:	Surinder Puar
Email:	surinder@puar.ca
SURVEY	
CHAPMAN LAND SURVEYING LTD. 107-100 Park Royal South, West Vancouver, BC V7T 1A2 Tel: 604-926-7311 Fax: 604-926-6923	
CONTACT:	
Email:	sandy@chapmansurvey.com
ENVIRONMENTAL	
SARTORI ENVIRONMENTAL SERVICES 106-185 Forester Street, North Vancouver, BC V7H 0A6 Tel: 604-987-5588 Cell: 604-220-0199	
CONTACT:	Alex Sartori
Email:	alex@sartorienv.com
MUNICIPAL	
DISTRICT OF WEST VANCOUVER 750-17th Street, West Vancouver, BC V7V 3T3 Tel: 604-925-7056 Fax: 604-925-6083	
CONTACT:	Stephen Mikicich
Email:	smikicich@westvancouver.ca

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NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
2	ISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

**PROPOSED
NEW "HILL
HOUSE"**

**2055 QUEENS AVE.
WEST VANCOUVER,
B.C.**



CONSULTANTS:
 STRUCTURAL:
 MECHANICAL:
 ELECTRICAL:
 LANDSCAPE:

DRAWING TITLE:

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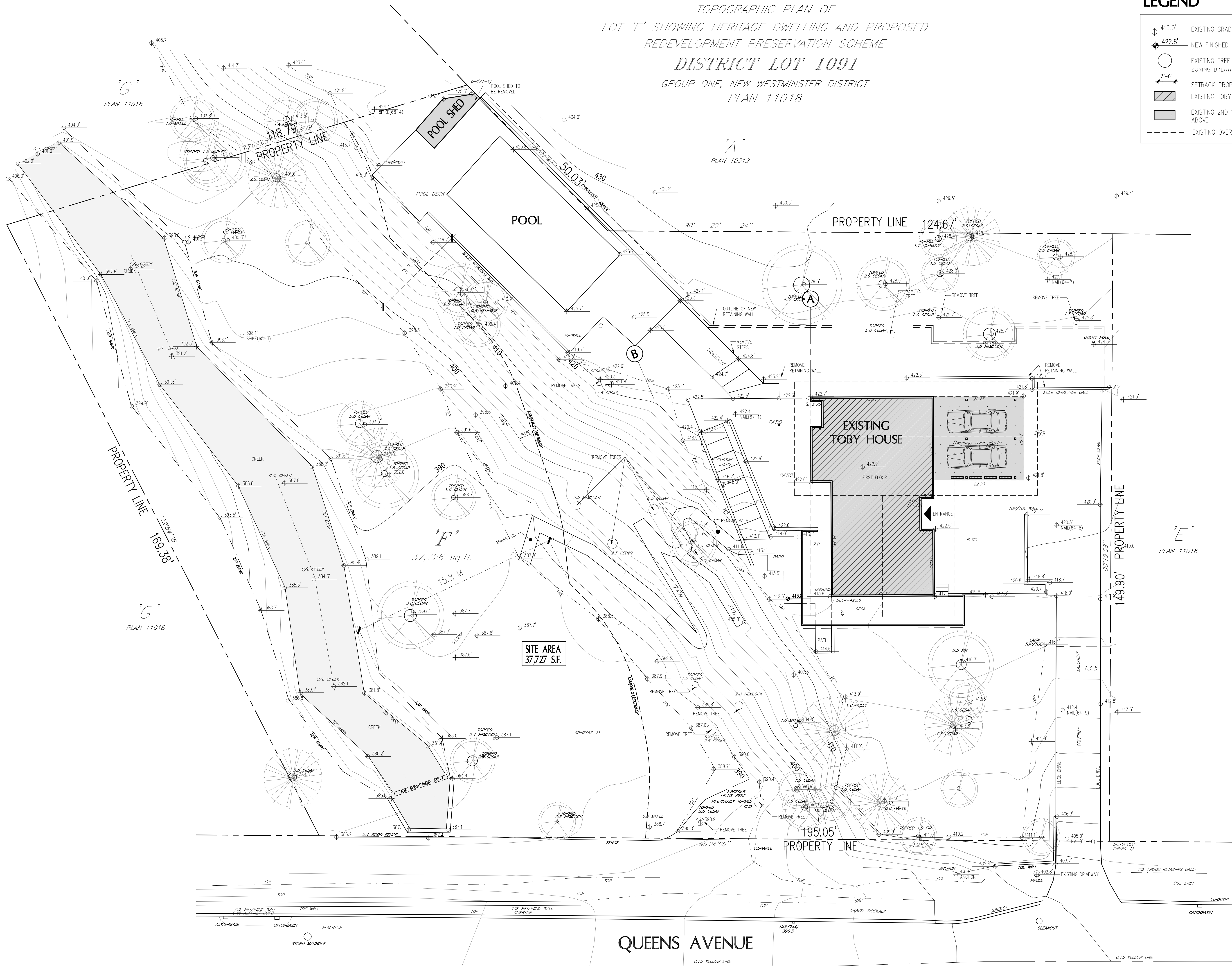
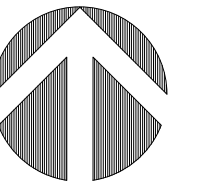
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DATE:	17/JAN/11	DRAWING NO:	A001

TOPOGRAPHIC PLAN OF
 LOT 'F' SHOWING HERITAGE DWELLING AND PROPOSED
 REDEVELOPMENT PRESERVATION SCHEME
DISTRICT LOT 1091
 GROUP ONE, NEW WESTMINSTER DISTRICT
 PLAN 11018

LEGEND

	EXISTING GRADE
	NEW FINISHED GRADE
	EXISTING TREE LUNING D15LAW K33
	SETBACK PROPOSED
	EXISTING TOBY HOUSE
	EXISTING 2ND STOREY ABOVE
	EXISTING OVERHANGS

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NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
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1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

**PROPOSED
 NEW "HILL
 HOUSE"**

2055 QUEENS AVE.
 WEST VANCOUVER,
 B.C.



CONSULTANTS:
 STRUCTURAL:
 MECHANICAL:
 ELECTRICAL:
 LANDSCAPE:

DRAWING TITLE:
**EXISTING
 SITE PLAN**

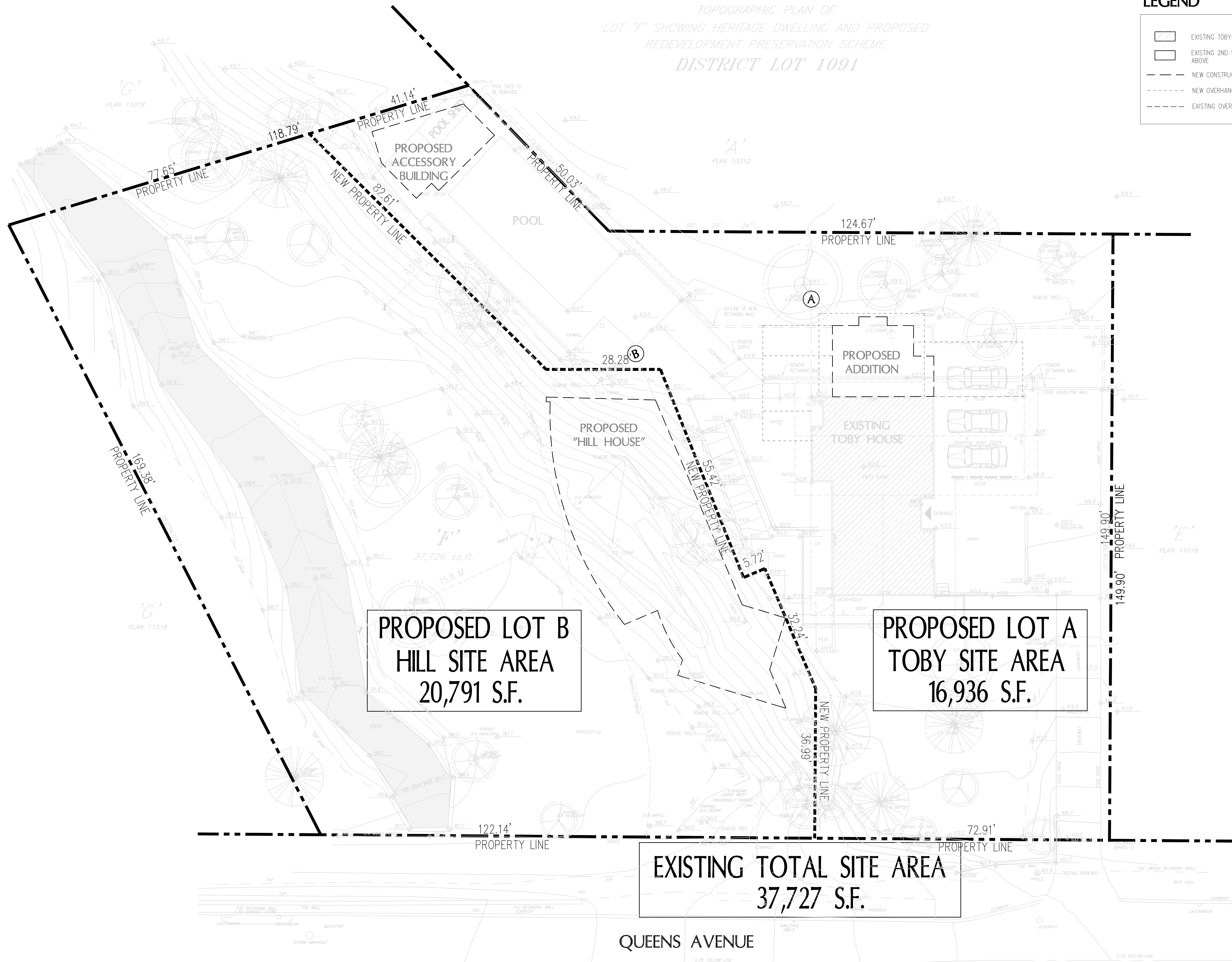
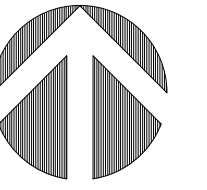
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SCALE: 3/32" = 1'-0"	REVIEW BY: DM
DATE: 17/JAN/11	DRAWING NO: A101

TOPOGRAPHIC PLAN OF
 LOT 'F' SHOWING HERITAGE DWELLING AND PROPOSED
 REDEVELOPMENT PRESERVATION SCHEME
 DISTRICT LOT 1091

LEGEND

	EXISTING TOBY HOUSE
	EXISTING 2ND STOREY ABOVE
	NEW CONSTRUCTION
	NEW OVERHANGS
	EXISTING OVERHANGS

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NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
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2	RE-ISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

PROPOSED TOBY HOUSE ADDITION AND NEW HILL HOUSE

2055 QUEENS AVE.
 WEST VANCOUVER,
 B.C.



CONSULTANTS
 STRUCTURAL:
 MECHANICAL:
 ELECTRICAL:
 LANDSCAPE:

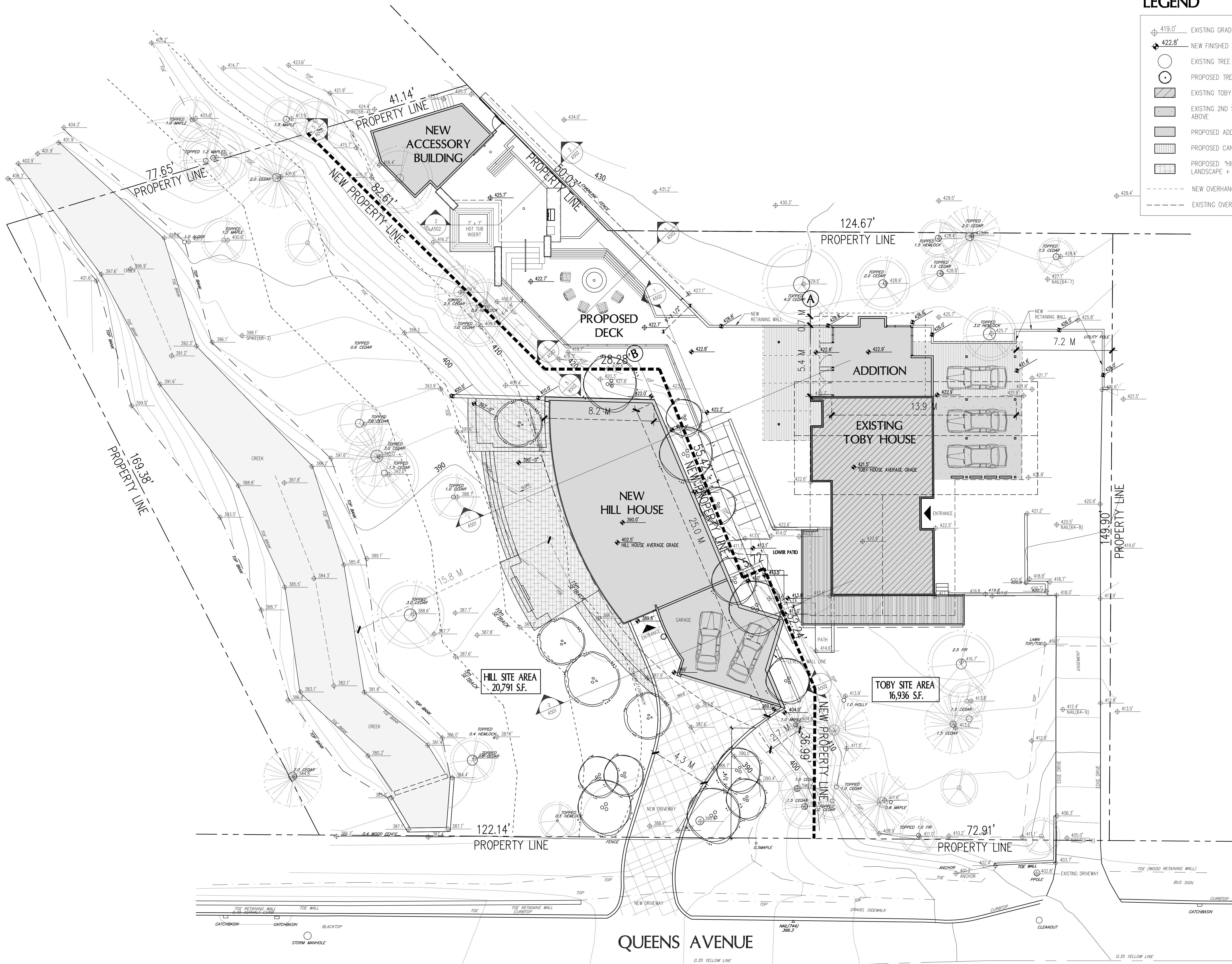
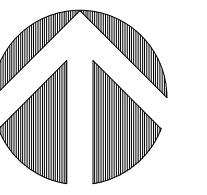
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PROPOSED SUBDIVISION

PROJECT NO: 0909	DRAWN BY: NJ
SCALE: 3/32" = 1'-0"	REVIEW BY: DM
DATE: 17JAN11	DRAWING NO: A101A

LEGEND

- ⊕ 419.0' EXISTING GRADE
- ⬇ 422.8' NEW FINISHED GRADE
- EXISTING TREE
- ⊙ PROPOSED TREE
- ▨ EXISTING TOBY HOUSE
- ▩ EXISTING 2ND STOREY ABOVE
- ▧ PROPOSED ADDITION
- ▨ PROPOSED CANOPIES
- ▨ PROPOSED "HILL HOUSE" LANDSCAPE + PATIO
- - - - NEW OVERHANGS
- - - - EXISTING OVERHANGS

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NO.	REVISION	M/D/Y
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1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

**PROPOSED
NEW "HILL
HOUSE"**

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

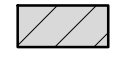
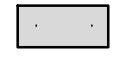
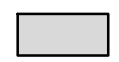

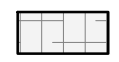

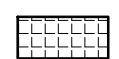
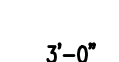
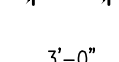


CONSULTANTS:
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

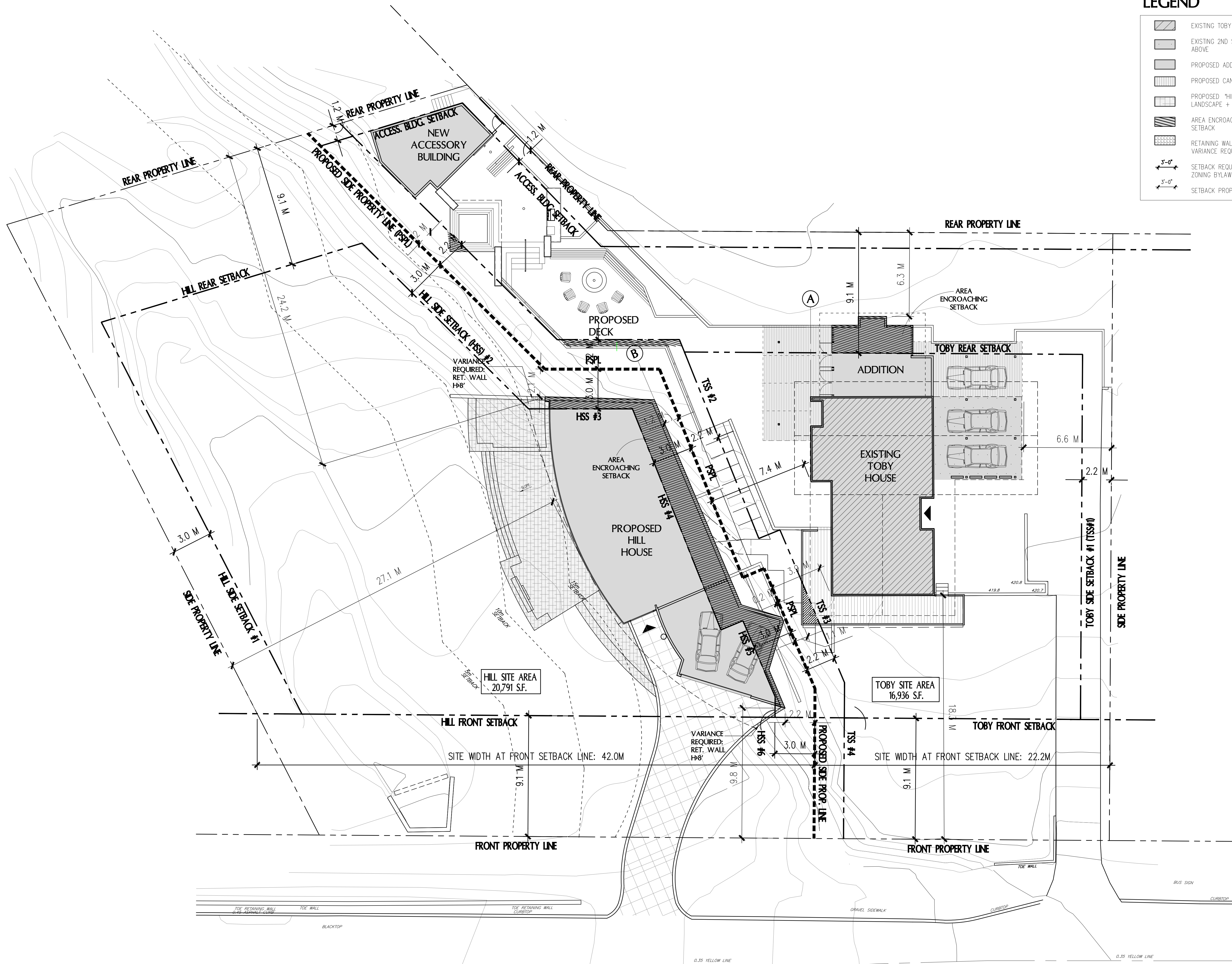
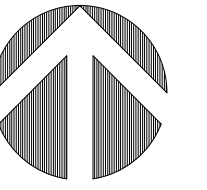
**DRAWING TITLE:
PROPOSED
SITE PLAN**

PROJECT NO: 0909	DRAWN BY: NJ
SCALE: 3/32" = 1'-0"	REVIEW BY: DM
DATE: 17JAN11	DRAWING NO: A102

LEGEND

-  EXISTING TOBY HOUSE
-  EXISTING 2ND STOREY ABOVE
-  PROPOSED CANOPIES
-  PROPOSED CANOPIES
-  PROPOSED "HILL HOUSE" LANDSCAPE + PATIO
-  AREA ENCRDCHING INTO SETBACK
-  RETAINING WALL VARIANCE REQUIRED
-  SETBACK REQUIRED BY ZONING BYLAW RS3
-  SETBACK PROPOSED

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NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
2	RE-ISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

PROPOSED NEW "HILL HOUSE"

2055 QUEENS AVE. WEST VANCOUVER, B.C.

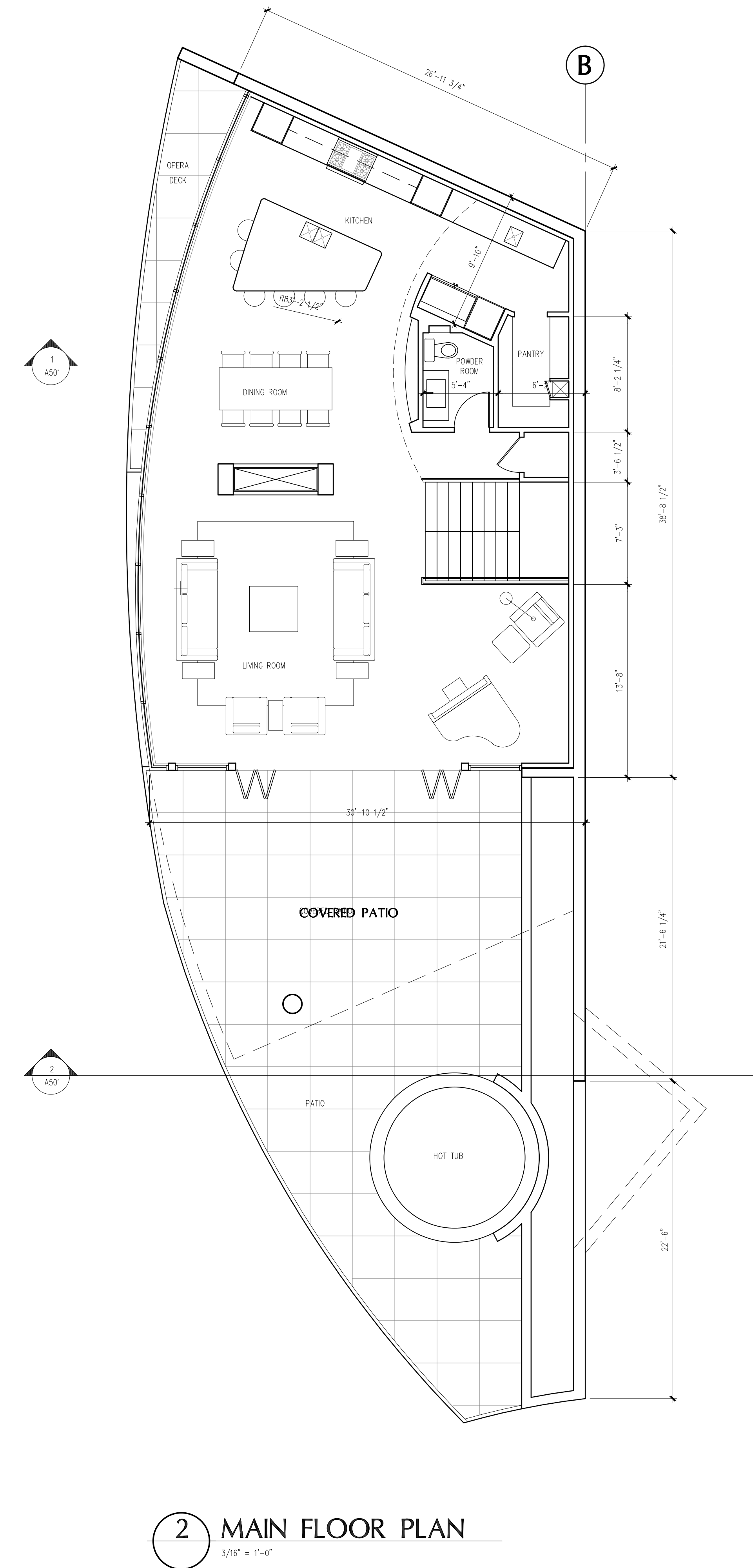
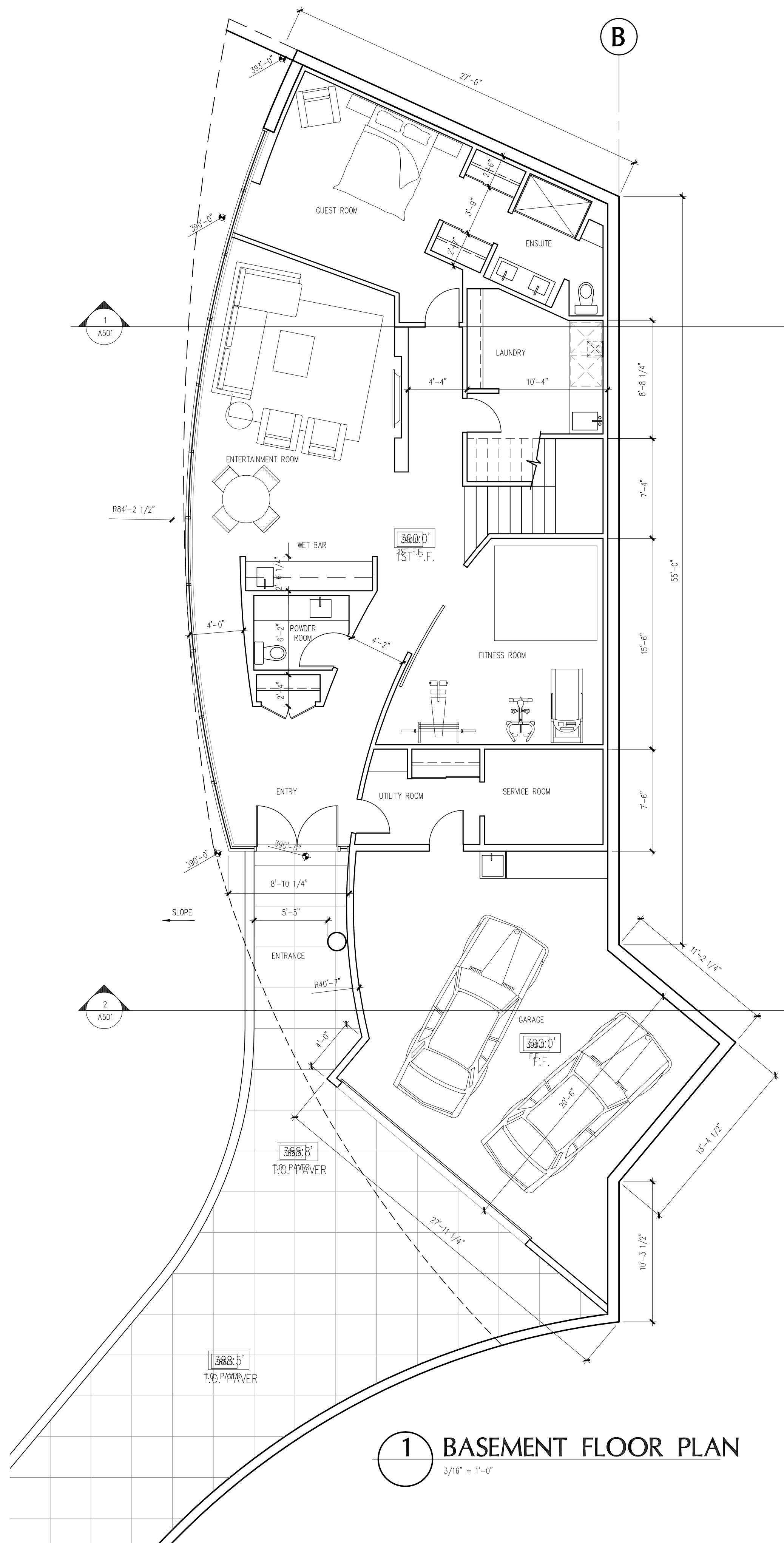
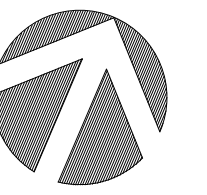
Wensley Architecture Ltd

301 - 1444 Alberni St. Vancouver, BC V6G 2E4
tel 604.685.3529 fax 604.685.4574 office@wensleyarch.com

CONSULTANTS:
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

DRAWING TITLE: **PROPOSED SETBACKS**

PROJECT NO: 0909 DRAWN BY: NJ
SCALE: 3/32" = 1'-0" REVIEW BY: DM
DATE: 17JAN11 DRAWING NO: **A103**



NO.	REVISION	M/D/Y
4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
2	RE-ISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

**PROPOSED
NEW "HILL
HOUSE"**

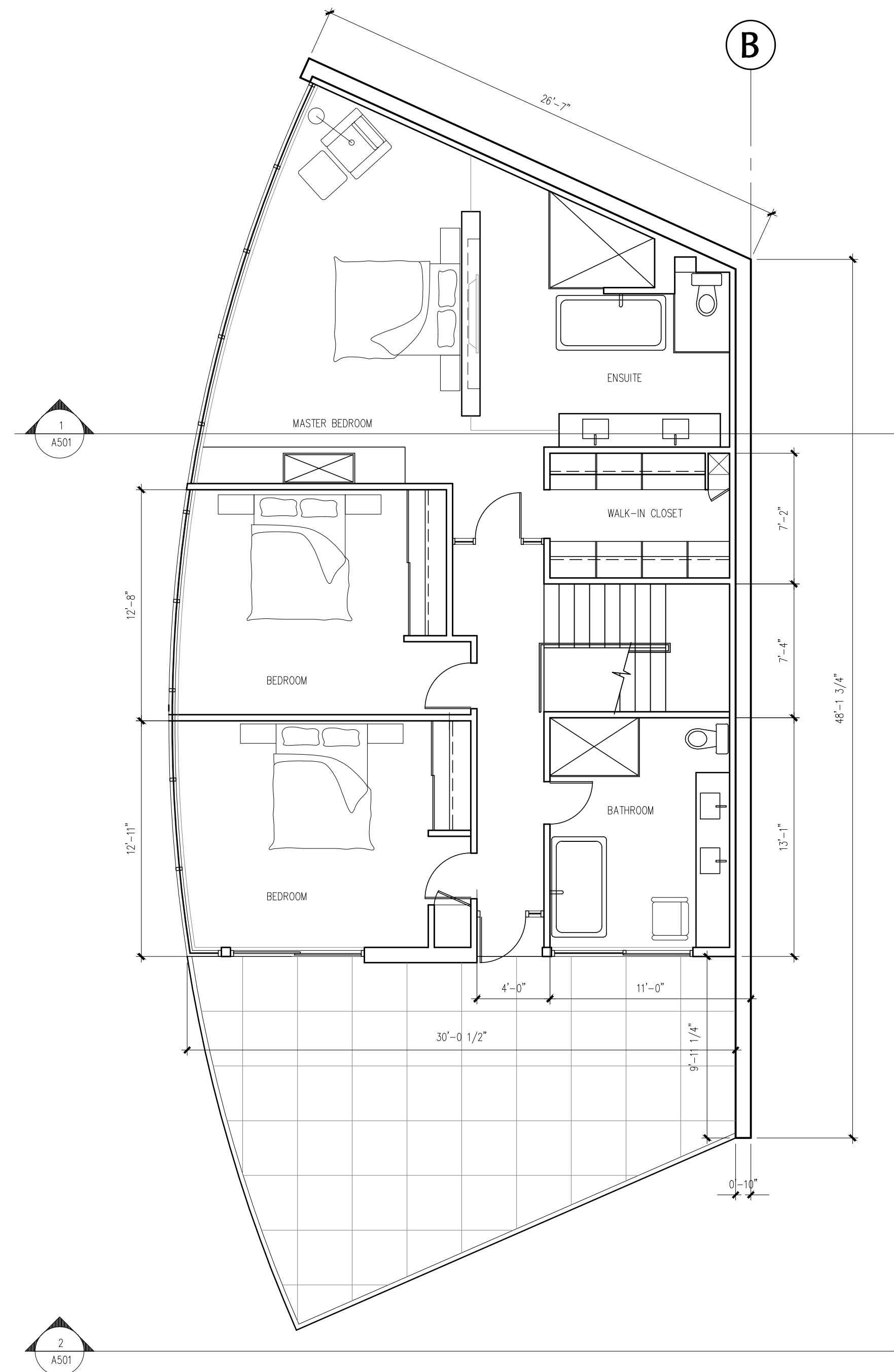
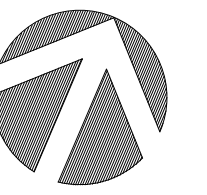
2055 QUEENS AVE.
WEST VANCOUVER,
B.C.



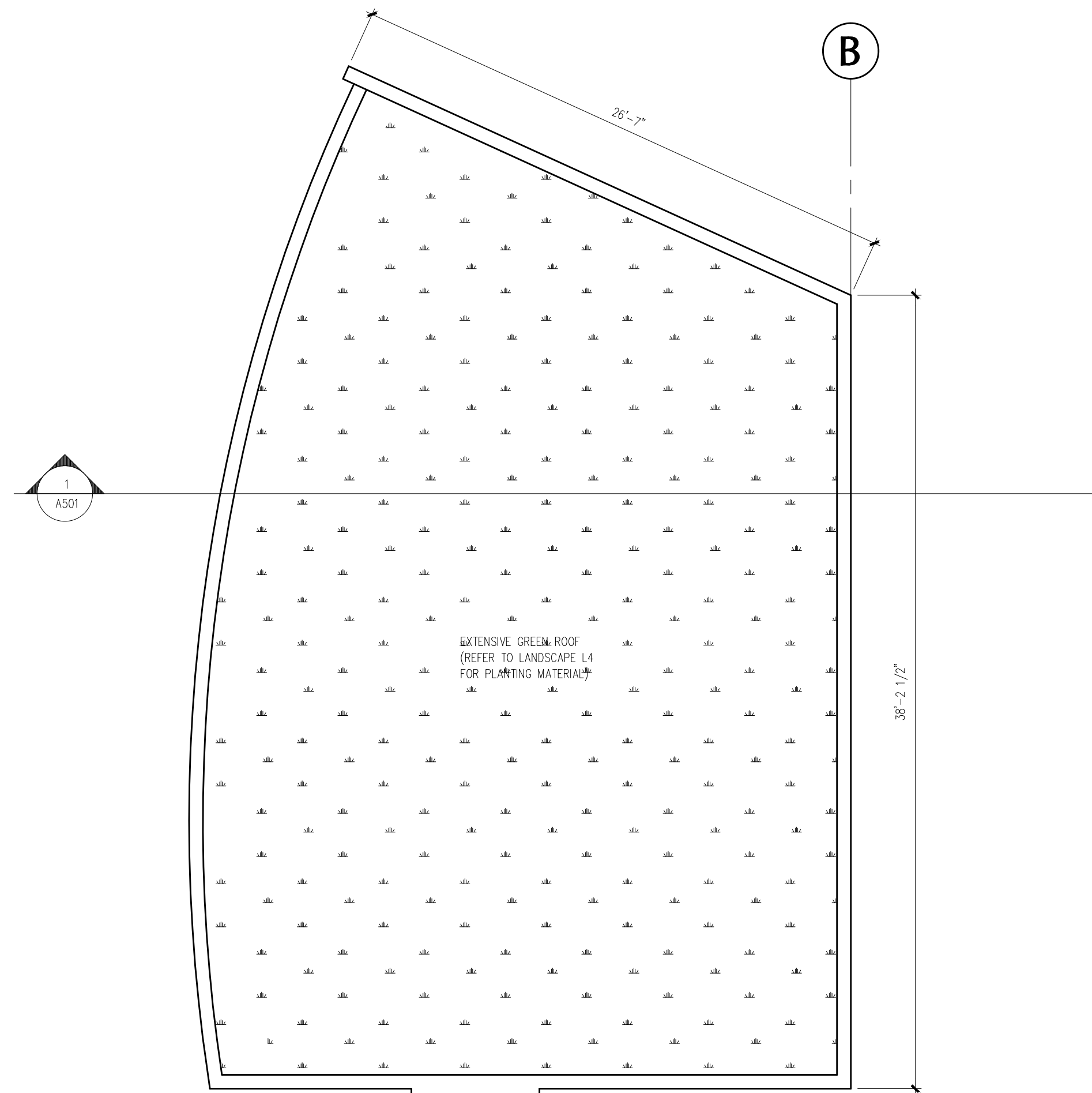
CONSULTANTS
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

DRAWING TITLE:
**PROPOSED HILL
HOUSE PLANS**

PROJECT NO:	0909	DRAWN BY:	NJ
SCALE:	3/16" = 1'-0"	REVIEW BY:	DM
DATE:	17JAN11	DRAWING NO:	A205



1 SECOND FLOOR PLAN
3/16" = 1'-0"



2 ROOF PLAN
3/16" = 1'-0"

NO.	REVISION	M/D/Y
2	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
1	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13

SEAL:

**PROPOSED
NEW "HILL
HOUSE"**

2055 QUEENS AVE.
WEST VANCOUVER,
B.C.

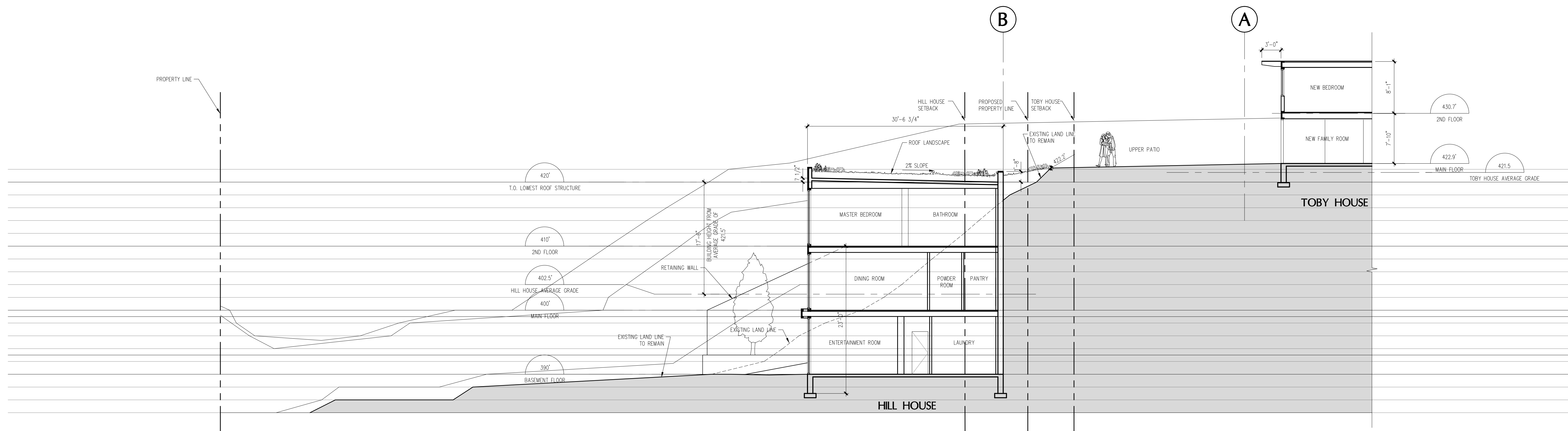


CONSULTANTS
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

DRAWING TITLE:

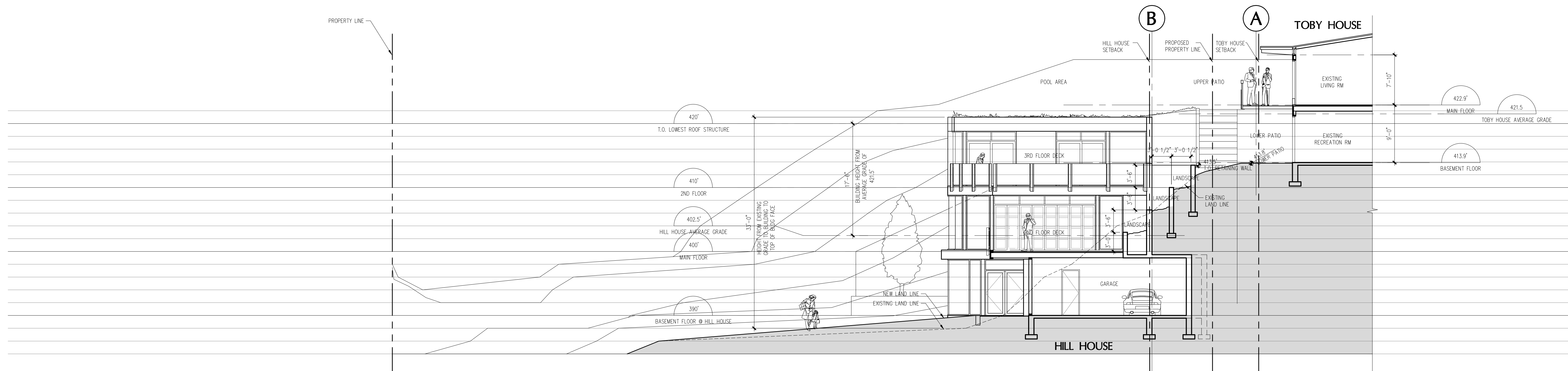
**PROPOSED HILL
HOUSE ROOF PLAN**

PROJECT NO:	0909	DRAWN BY:	NJ
SCALE:	3/16" = 1'-0"	REVIEW BY:	DM
DATE:	17JAN11	DRAWING NO:	A206



1 SITE SECTION
A102 1/8" = 1'-0"

4	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
2	ISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12
NO.	REVISION	M/D/Y



2 SITE SECTION
A102 1/8" = 1'-0"

SEAL:

**PROPOSED
NEW "HILL
HOUSE"**

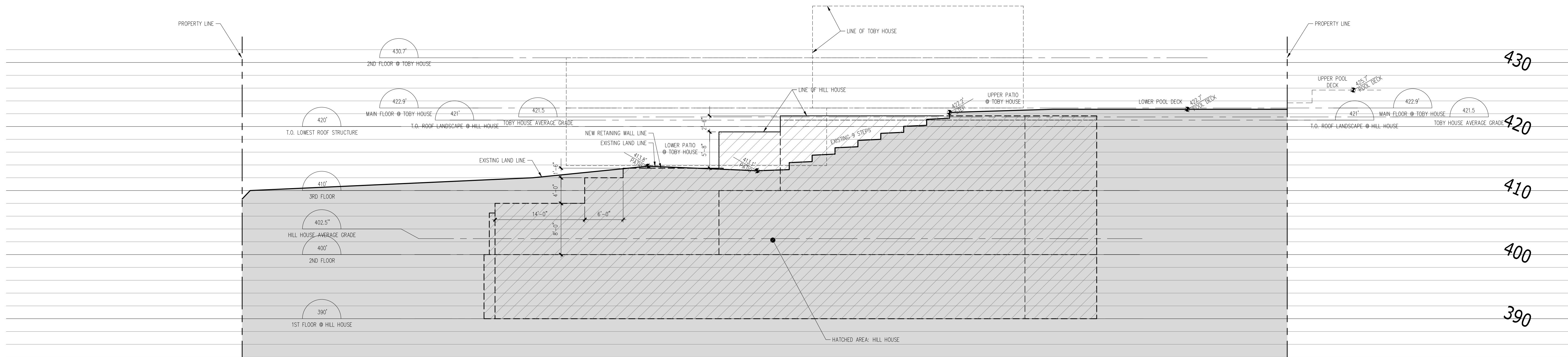
2055 QUEENS AVE.
WEST VANCOUVER,
B.C.



CONSULTANTS
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
LANDSCAPE:

DRAWING TITLE:
**BUILDING &
SITE SECTIONS**

PROJECT NO: 0909 DRAWN BY: NJ
SCALE: 1/8" = 1'-0" REVIEW BY: DM
DATE: 17JAN11 DRAWING NO: A501



1 SITE SECTION
 A102 1/8" = 1'-0"

NO.	REVISION	M/D/Y
6	RE-ISSUED FOR DEVELOPMENT PERMIT	1/22/15
5	RE-ISSUED FOR DEVELOPMENT PERMIT	12/08/14
4	RE-ISSUED FOR DEVELOPMENT PERMIT	11/03/14
3	RE-ISSUED FOR DEVELOPMENT PERMIT	12/06/13
2	ISSUED FOR DEVELOPMENT PERMIT	03/14/13
1	ISSUED FOR DEVELOPMENT PERMIT	02/09/12

SEAL:

**PROPOSED
 NEW "HILL
 HOUSE"**

2055 QUEENS AVE.
 WEST VANCOUVER,
 B.C.



CONSULTANTS
 STRUCTURAL:
 MECHANICAL:
 ELECTRICAL:
 LANDSCAPE:

DRAWING TITLE:
**BUILDING &
 SITE SECTIONS**

PROJECT NO:	0909	DRAWN BY:	NJ
SCALE:	1/8" = 1'-0"	REVIEW BY:	DM
DATE:	17/JAN/11	DRAWING NO:	A502

HILL HOUSE LANDSCAPE RATIONALE

The approach for the landscape design has been to have the exterior rooms be an extension of the interior living spaces and relate strongly to into the surrounding naturalistic landscape. The site is dominated by an arm of MacDonald Creek along the western property line, a steep embankment to the northeast adjacent the Toby residence, and many mature Douglas Fir and Western Hemlock Trees.

The intervention of built form in the naturalistic landscape has been informed by the riparian setbacks from the stream. Within 10m from the top of bank the only intervention is native riparian planting. Between the 10m zone and the facade of the house (15m) there are low stone walls, a patio and planting patterned to be sympathetic to the built form.

It is within the 10 - 15m zone that more intensive uses of the ground plane occur. The simple lines in plan tie in with the architecture. Low stone walls and small trees to direct views and frame spaces. The material palette has been minimized to cut stone and flagstone paving. The still, quiet plant palette is meant to compliment not compete with the naturalistic environment.

Specific landscape initiatives have been developed to preserve the natural quality of the property and create livable outdoor areas for both the proposed house and the Toby residence.

REMOVE INVASIVE SPECIES + REPLANT WITH NATIVES

Much of the area within the 15m riparian setback is vegetated with English Ivy, English Holly, Himalayan Blackberry, Periwinkle, and Impatiens. These invasive species would be removed. The 5m riparian setback would be replanted with robust native species, and the 15m setback would be a mixture of native and non-invasive exotic species. The exotic plant palette would focus on using predominantly evergreen plants with lush foliage that tie in and compliment our native plant species.

Invasive planting outside the property line and including the city boulevard will also be removed. Replanting will be to the satisfaction of the District of West Vancouver.

STORM WATER MANAGEMENT

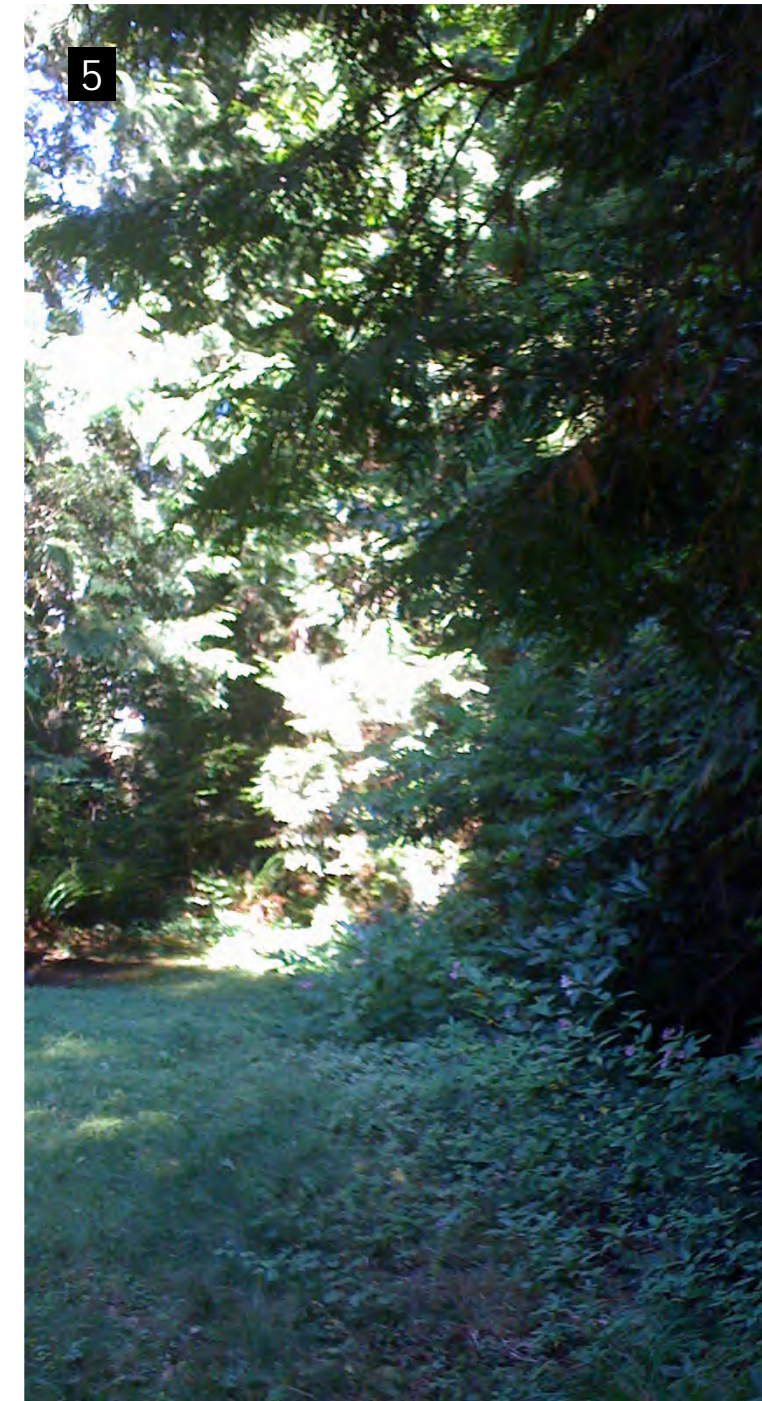
Several measures are proposed to manage storm water for the proposed house. A green roof is proposed for the top floor of the house. Not only does it slow down storm water but it also creates a pleasant outlook from the Toby house. Areas of permeable paving are proposed within the 15m riparian setback area thus allowing ground water infiltration. Storm water runoff from hard landscape areas such as the patios and driveway would be collected in a rock pit prior to connecting to the arm of MacDonald Creek that runs along the west side of the property.

CREATE LIVABLE OUTDOOR SPACES THAT PRESERVE PRIVACY

The Toby residence sits higher than the proposed residence. Effort has been made to buffer cross views and minimize the effect of the new house to the Toby residence. The roof of the proposed house sits at grade with the land to the north and is roughly 3 feet below in elevation as the main floor of the Toby residence. The intention is for the green roof planting to blend with the planting on grade so that the parapet edge disappears. The second floor patio of the new house is screened from the basement patio of the Toby residence with both a guardrail and tree planting. This basement patio is retained with a feature stone wall that is the backdrop of the second floor patio. The hot tub has been set into the landscape between the properties up against the feature stone wall.

TOBY HOUSE LANDSCAPE RATIONALE

The Toby house landscape is to remain and be restored to its heritage state. Mature shrubs and trees are to be protected during construction. Invasives, such as English Ivy will be removed.

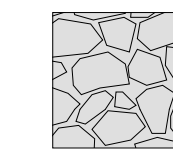


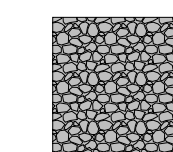
EXISTING SITE PHOTOS Refer to sheet L-3 for locations


APPENDIX 'E' TO SCHEDULE 'A'

MATERIALS LEGEND

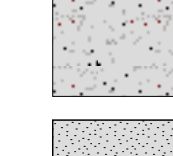
Paving / Planting

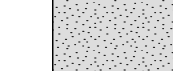
 Driveway and patio paving
 Prairie Moon Oversize Random Flagstone
 20" x 30" x .75"-1"
 Northwest Landscape and Stone Supply: 604 435 4842

 Stone Wall Facing
 Weathered Face Mix
 8" x 18" x 3"-5"
 Northwest Landscape and Stone Supply: 604 435 4842


 Entry walk paving
 Bohemian Flamed Basalt Pavers
 12" x 24" x 1.5"
 Northwest Landscape and Stone Supply: 604 435 4842

 C.I.P Concrete Steps

 C.I.P Exposed aggregate paving
 c/w Charcoal coloured monochromatic aggregate

 Ornamental Planting
 Refer to Plant list


 Native Planting
 Refer to Plant list

 Extensive Green Roof
 Refer to Plant list

 Property Line

 Extent of Work

 Riparian Setback


 Silt Fence - Refer to Erosion and
 Sedimental Control Plan

 Wall Light

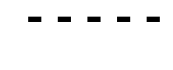
 Entry Light

 LED RGB strip light c/w
 controller

DRAWING LEGEND

 Property Line

 Extent of Work

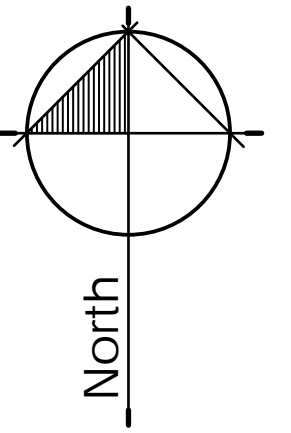
 Riparian Setback

 Silt Fence - Refer to Erosion and
 Sedimental Control Plan

 Wall Light

 Entry Light

 LED RGB strip light c/w
 controller



3	Feb 10-15	Revised per City Comments
1	Jan 28-15	Re-Issued for DP
1	Nov25-13	Issued for DP
no.:	date:	Item:

Revisions:



Project:

2055 Queen's Ave

Drawn by: EN

Checked by: JES

Date: September 12, 2012

Scale: 3/32" = 1"0"

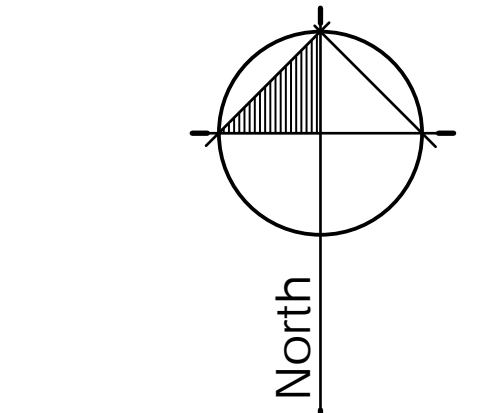
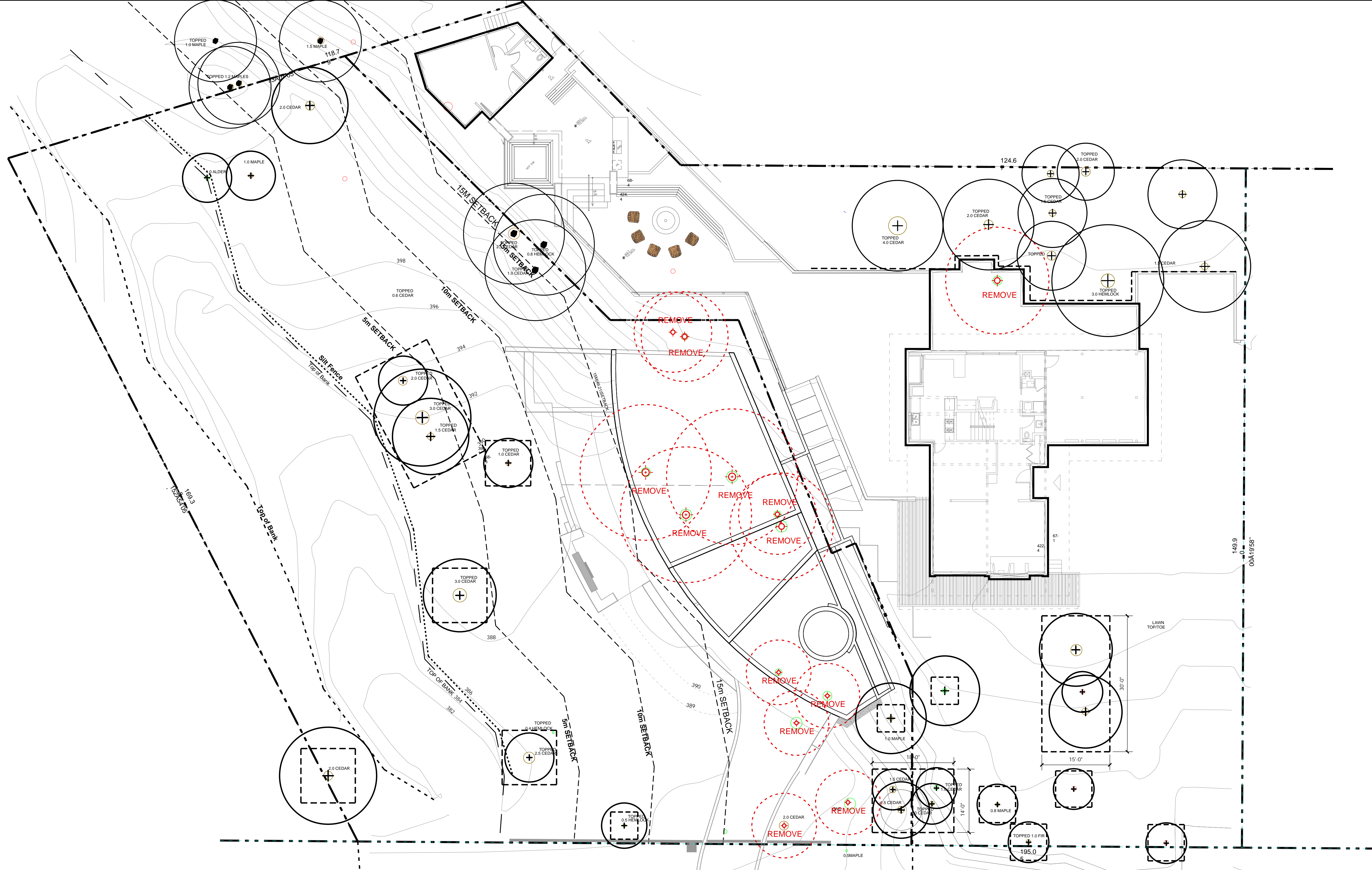
Drawing Title:

Cover Page

Project No.:

10076

Sheet No.:



3	Feb 10-15	Revised per City Comments
1	Jan 28-15	Re-Issued for DP
1	Nov25-13	Issued for DP
no.:	date:	Item:

Revisions:

dk Durante Kreuk Ltd.
 102 - 1637 West 5th Avenue
 Vancouver BC V6J 1N5
 t: 604 684 4611
 f: 604 684 0577
 www.dkl.bc.ca

Project:
 2055 Queen's Ave

Drawn by: EN
 Checked by: JES
 Date: September 12, 2012
 Scale: 3/32" = 1"

Drawing Title:
 Tree Retention

Project No.:
 10076
 Sheet No.:

Schedule D - Tree Protection Distance Table

Trunk Diameter (cm)	Minimum Protection Req'd Around Tree (distance from trunk in metres)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5
100	6.0

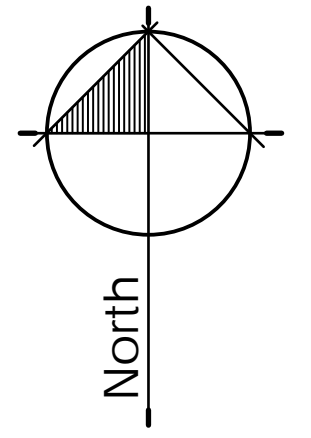
* Table reproduced from the By-law

Tree protection fence

EXISTING TREES TO BE RETAINED
 -DBH noted in feet

EXISTING TREES TO BE REMOVED

Figure 3 - Tree Protection Barrier



Revisions:	no.:	date:	Item:
	3	Feb 10-15	Revised per City Comments
	1	Jan 28-15	Re-Issued for DP
	1	Nov25-13	Issued for DP

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 Vancouver BC V6J 1N5
 t: 604 684 4611
 f: 604 684 0577
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Project:
 2055 Queen's Ave

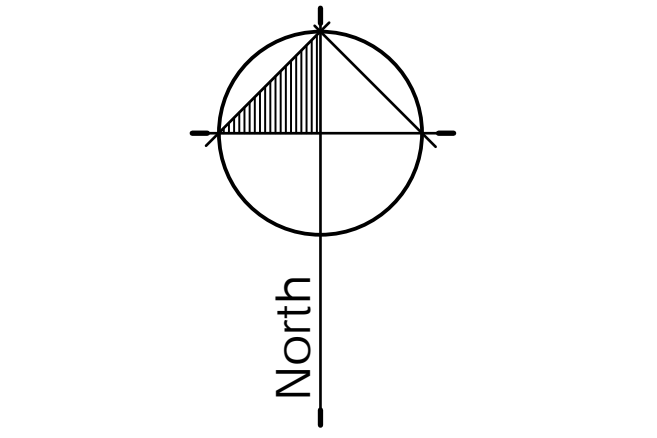
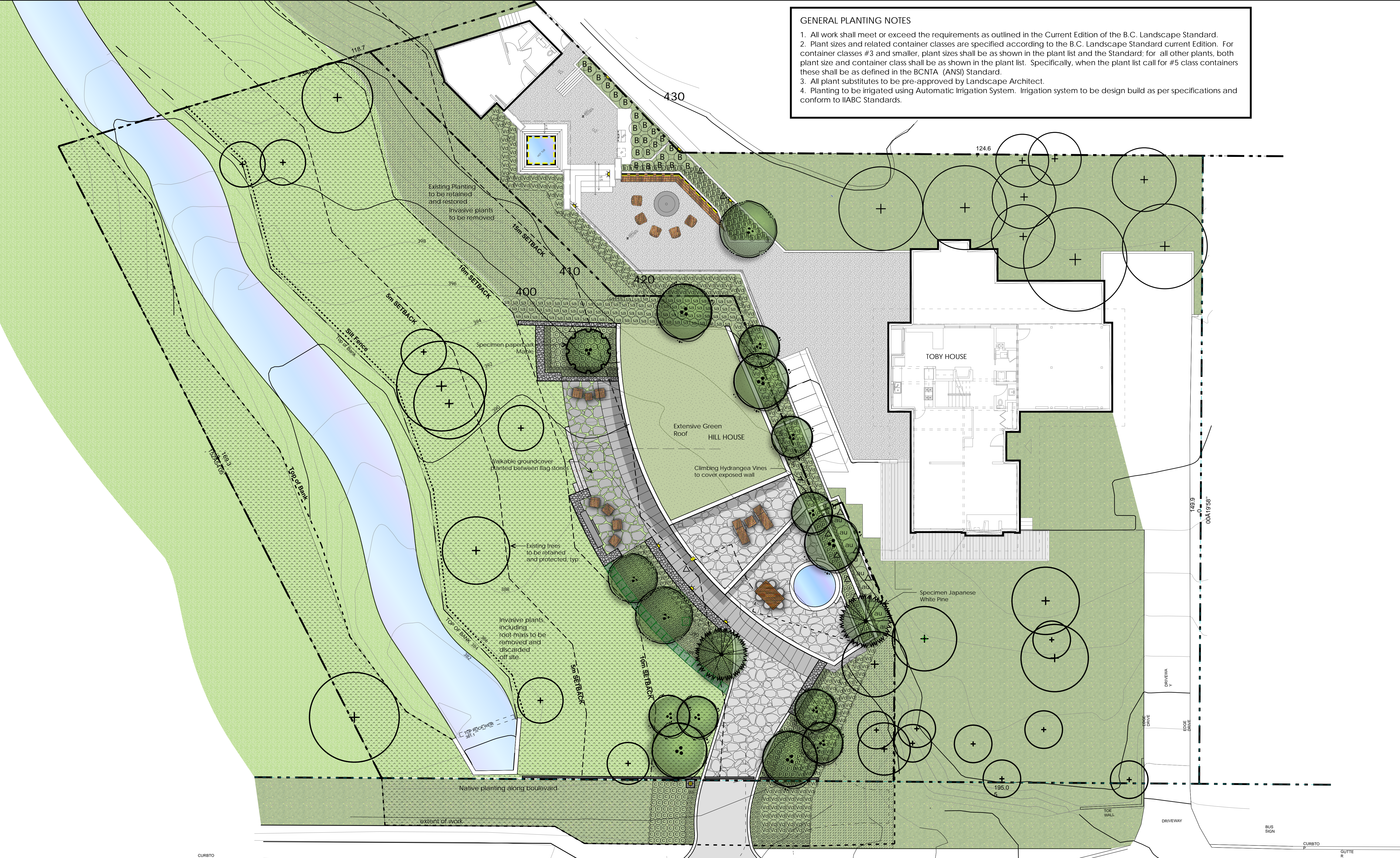
Drawn by: EN
 Checked by: JES
 Date: September 12, 2012
 Scale: 3/32" = 1"

Drawing Title:
 Site Plan

Project No.:
 10076
 Sheet No.:

GENERAL PLANTING NOTES

- All work shall meet or exceed the requirements as outlined in the Current Edition of the B.C. Landscape Standard.
- Plant sizes and related container classes are specified according to the B.C. Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers these shall be as defined in the BCNTA (ANSI) Standard.
- All plant substitutes to be pre-approved by Landscape Architect.
- Planting to be irrigated using Automatic Irrigation System. Irrigation system to be design build as per specifications and conform to IABC Standards.



3	Feb 10-15	Revised per City Comments
1	Jan 28-15	Re-Issued for DP
1	Nov25-13	Issued for DP
no.:	date:	Item:

Revisions:

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Project:
2055 Queen's Ave

Drawn by: EN
Checked by: JES
Date: September 12, 2012
Scale: 3/32" = 1"

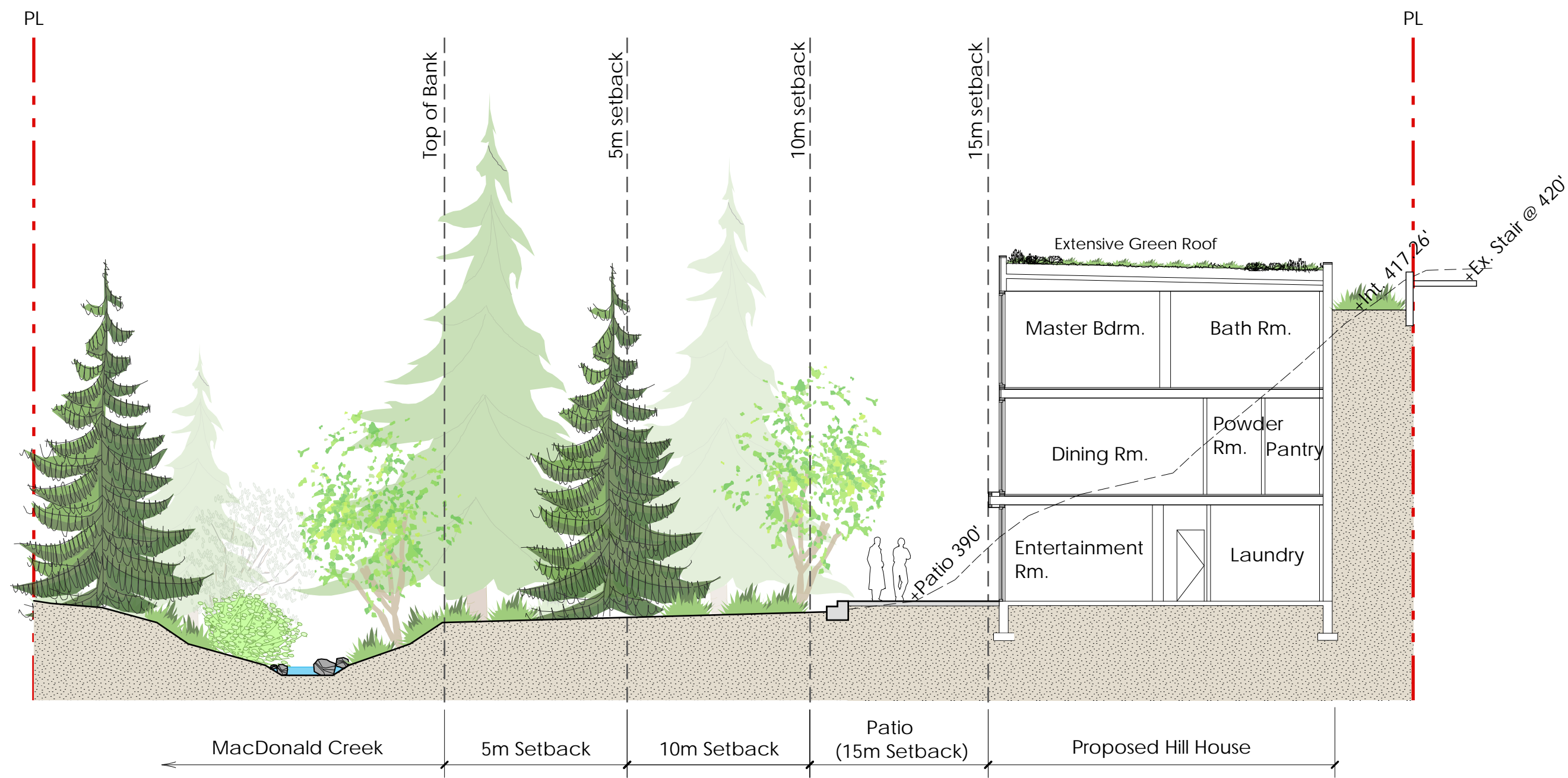
Drawing Title:
Planting Plan

Project No.:
10076
Sheet No.:

Sym	Qty	Botanical Name	Common Name	Size	Spacing/Comments
PLANT LIST					
Trees					
4	7	Acer circinatum	Vine Maple	1.5m ht. B&B	
5	5	Acer Circinatum	Vine Maple	2m ht., B&B	
1	1	Acer Griseum	Paperbark Maple	2m ht, B&B; multi-stem	Specimen quality
2	2	Acer palmatum	Japanese Maple	2m ht, B&B; multi-stem	Specimen
1	1	Acer palmatum	Japanese Maple	1.5m ht. B&B; multi-stem	Specimen
2	2	Pinus parviflora 'Templehof'	Japanese White Pine	3m ht. B&B; 3' standard	

Sym	Qty	Botanical Name	Common Name	Size	Spacing/Comments
Shrubs Perennials, Vines					
an	45	Anemone x hybrida 'Honrine Jobert'	White Flowered Anemone	#1 pot	18" o.c.
au	10	Arbutus unedo	Strawberry shrub	3.5'	#5 pot
a	218	Arctostaphylos uva-ursi 'Vancouver Jade'	Kinnickinnick	#1 pot	10" o.c.
b	22	Buxus microphylla	Boxwood	#3 pot	18" o.c.
c	131	Cornus kelseyii	Kelsey Dogwood	#2 pot	18" o.c.
e	324	Epimedium x perralchium 'Fronleiten'	Barrenwort	#1 pot	14" o.c.
11	11	Hydrangea anomala subsp. 'Petiolaris'	Climbing Hydrangea	#2 pot	min. 3 x 3' leads; staked
li	65	Liriope muscari	Lilyturf	#1 pot	18" o.c.
220	220	Leptinella gruveri	Dwarf Brass Buttons	4" pot	6" o.c.; interplant pavers at patio
B	24	Phyllostachys nigra	Black Bamboo	#3 pot	3" o.c.
p	92	Pinus mugho 'Pumilio'	Dwarf Mugho Pine	#2 pot	18" o.c.
sa	96	Symphoricarpos albus	Snowberry	#3 pot	2' o.c.
22	22	Taxus x media 'Hicksii'	Taxus Hedge	3' ht. B&B	2' o.c.
vd	288	Viburnum davidii	David's Viburnum	#3 pot	18" o.c.

1265 sf. Native Species for Revegetation			
Trees			
Acer circinatum	Vine Maple	1.2m ht. B&B	
Malus fusca	Pacific Crabapple	1.2m ht. B&B	
Oemleria cerasiformis	Indian Plum	1.2m ht. B&B	
Shrubs			
Gaultheria Shallon	Satal	#1 pot	20" o.c.
Cornus sericea	Red-Osier Dogwood	#3 pot	2.5' o.c.
Rosa nutkana	Nootka Rose	#3 pot	2.5' o.c.
Mahonia nervosa	Oregon Grape	#1 pot	18" o.c.
Symphoricarpos albus	Snowberry	#3 pot	2' o.c.
Sambucus racemosa	Red Elderberry	#5 pot	3' o.c.
Vaccinium parvifolium	Red Huckleberry	#3 pot	2' o.c.
Herbs			
Filipina grandiflora	Fringecup	#1 pot	8" o.c.
Isarella trifoliata	Foam Flower	#1 pot	8" o.c.
Dicentra spectabilis	Pacific Bleeding Heart	#1 pot	8" o.c.
Maianthemum dilatatum	False Lily of the Valley	#1 pot	8" o.c.
Smilacina racemosa	False Solomon's Seal	#1 pot	1' o.c.
Polystichum munitum	Western Sword Fern	#1 pot	20" o.c.
1265 sf. Extensive Green Roof			
Mix of locally adapted sedums and fescues			

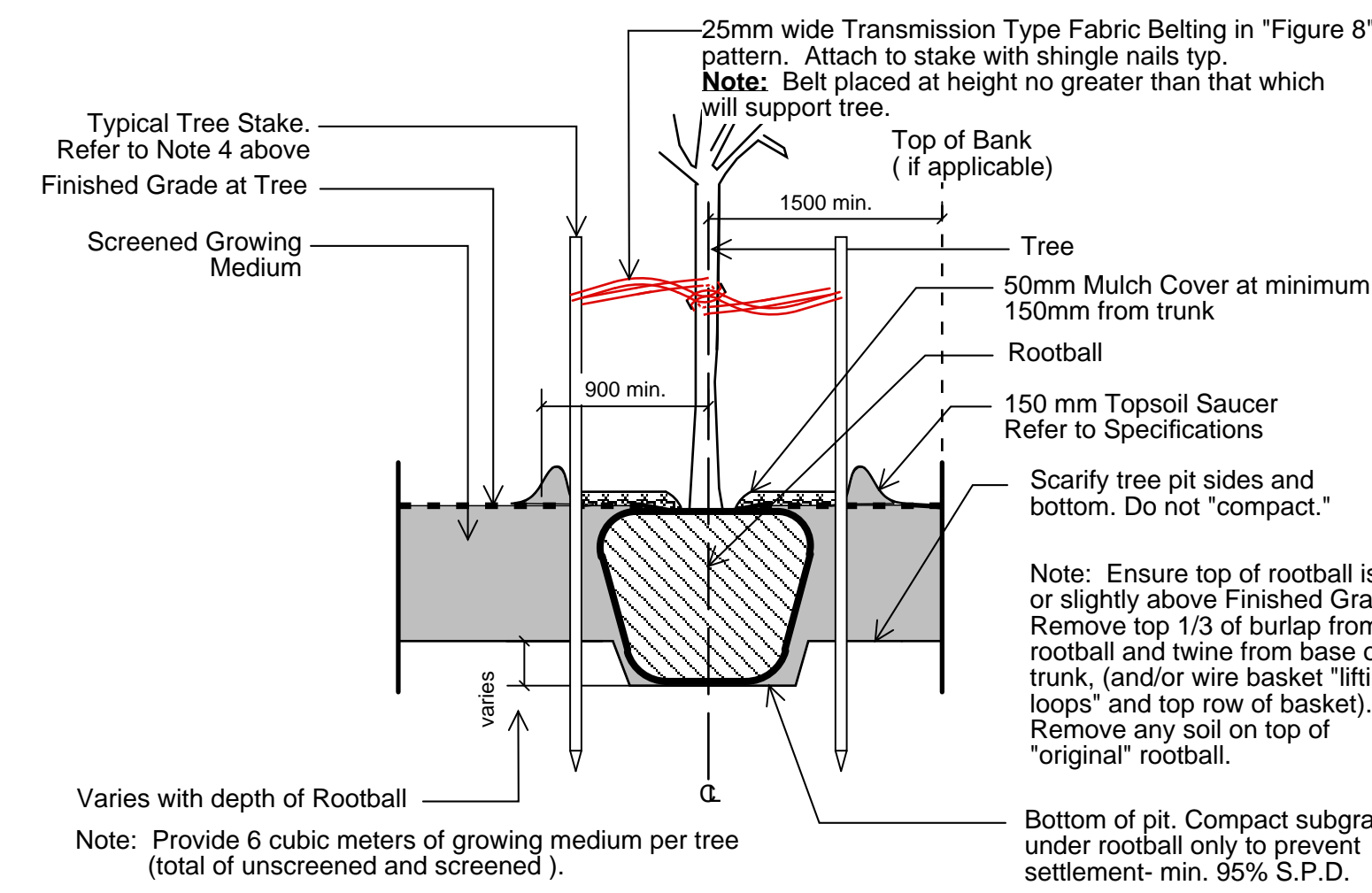


SECTION A: Proposed Hill House and MacDonald Creek

Scale: 3/32"=1'-0"

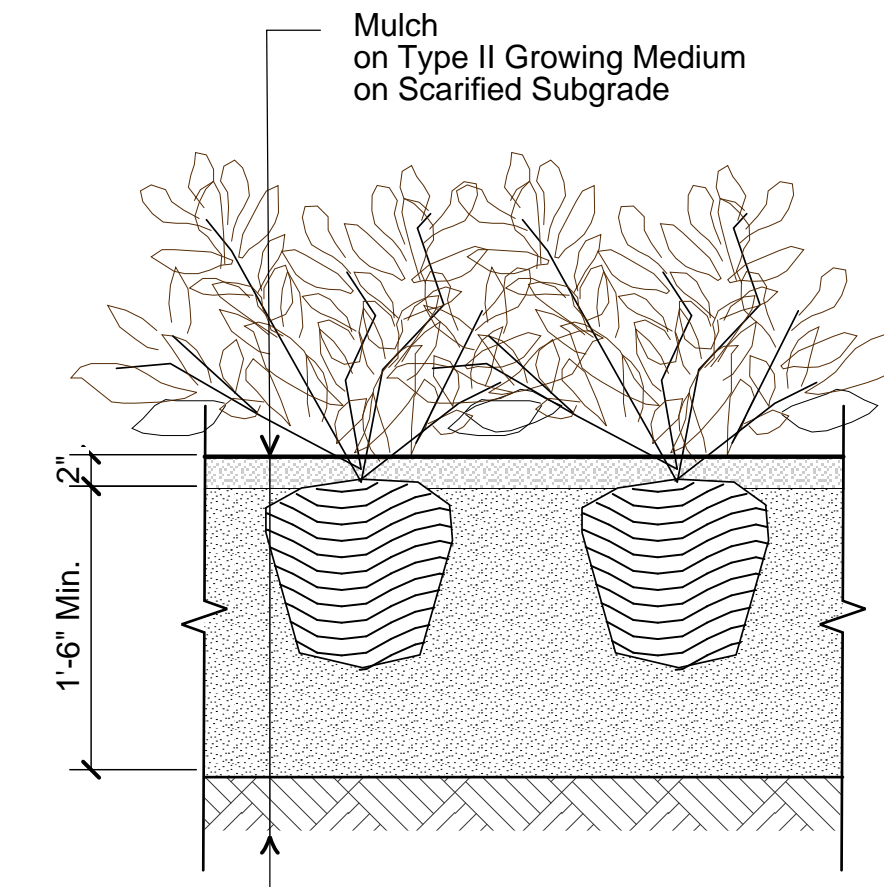
- General Notes:**
- Do not cut Tree Leader.
 - Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Dessication.
 - Ensure tree location does not conflict with Underground Services. "Call before digging".
 - All street trees to be staked with 2 - 100mmØ x 2.5m long. Minimum depth of stake embedment is 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
 - Provide min. 6 cubic meters of growing medium per tree.
 - Refer to Growing Medium Chart below for surface area depth of Growing Medium.

Depth of Growing Medium Total (mm)	Area (M2)	Variation 1 Size of Surface Square	Variation 2 Size of Surface Circle
450	11.11	3.3 M x 3.3 M	3.80 M Ø
600	8.33	2.9 M x 2.9 M	3.25 M Ø
750	6.67	2.6 M x 2.6 M	2.90 M Ø



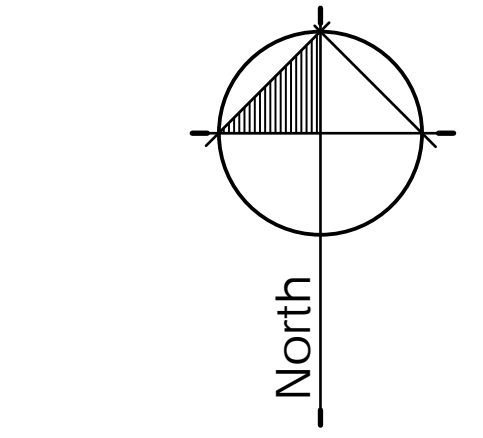
Ld 1 Tree Planting on Grade

Scale: 1" = 1'-0"



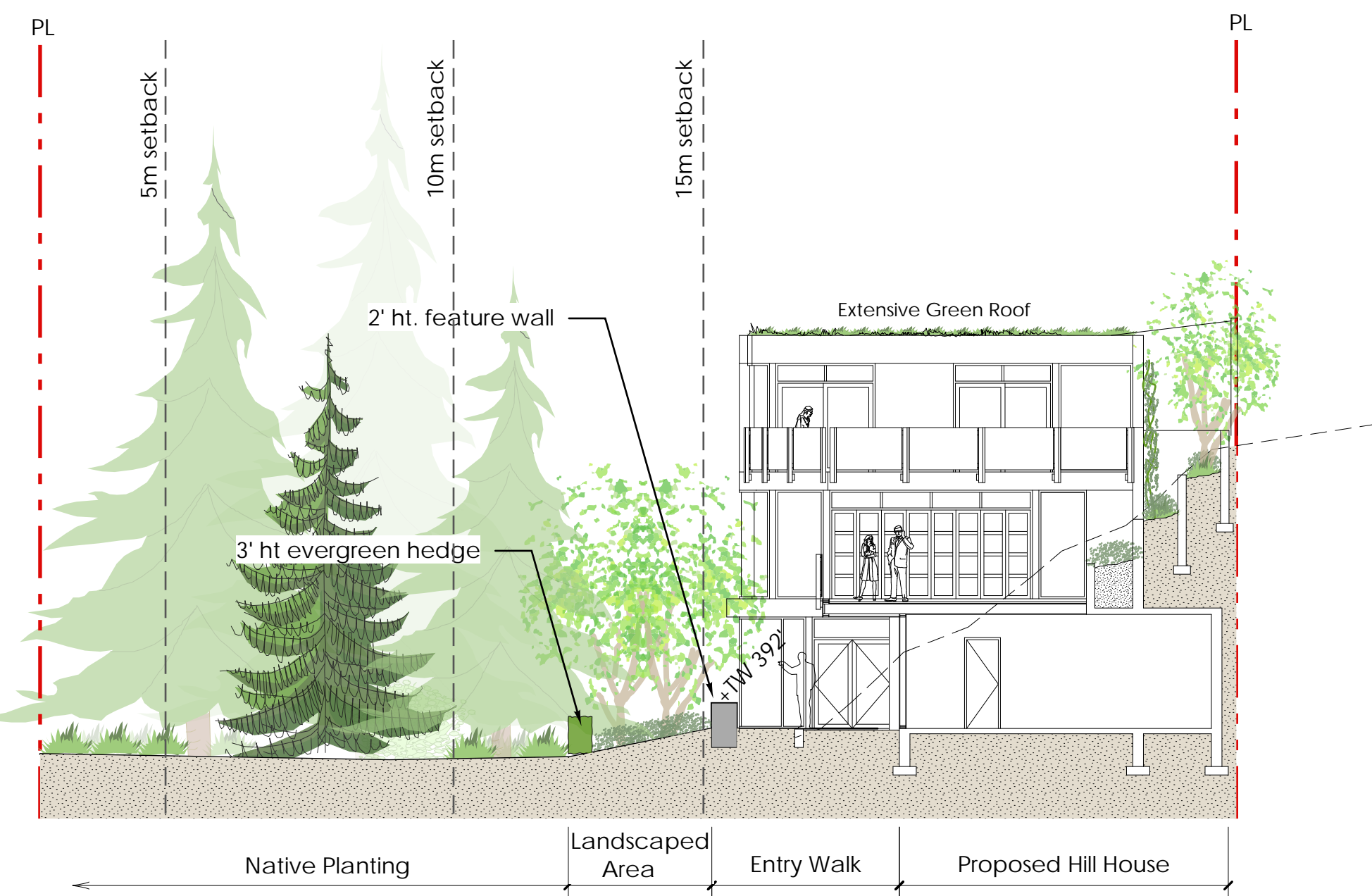
Ld 2 Shrub Planting on Grade

Scale: 1" = 1'-0"



Revisions:

3	Feb 10-15	Revised per City Comments
1	Jan 28-15	Re-Issued for DP
1	Nov25-13	Issued for DP
no.:	date:	Item:



SECTION B: Proposed Hill House with Landscaped Area and Riparian Setbacks

Scale: 3/32"=1'-0"



Japanese White Pine



Kelsey Dogwood



Japanese Maple



White Flowered Anemone



Mugho Pine



Epimedium



Entry Walk Paving



Feature Walls



Driveway Paving

PLANTING PALETTE

MATERIALS PALETTE

Project:
2055 Queen's Ave

Drawn by: EN
Checked by: JES
Date: September 12, 2012
Scale: 3/32" = 1"

Drawing Title:
Sections and Images

Project No.:
10076

Sheet No.: