

## **COUNCIL CORRESPONDENCE UPDATE TO MARCH 6, 2024 (8:30 a.m.)**

### **Correspondence**

- (1) February 23, 2024, regarding “Proposed “Forest Thinning” Woodburn/Westwood Drive and Eagle Lake Areas”**
- (2) 2 submissions, February 26 and 27, 2024, regarding Proposed 2024 Budget**
- (3) 2 submissions, February 26 and 29, 2024, regarding Pay Parking in West Vancouver Parks**
- (4) Arts & Culture Advisory Committee, February 27, 2024, regarding “Information on the timeline for the new Arts Centre”**
- (5) 2 submissions, March 3 and 4, 2024, regarding Traffic Calming Policy**
- (6) March 4, 2024, regarding “arch 4, 2024, Regular Council Meeting Agenda item #10 "Memorandum" dated 2/23/2024 and addressed to Council from Councillors Cassidy and Snider -- re: Notice of Motion regarding Amendments to Zoning Bylaw # 4662-2010”**
- (7) March 4, 2024, regarding “Pacific Wild with a grain of salt”**
- (8) 14 submissions, March 4-6, 2024, regarding Development Proposal for Daffodil Drive**
- (9) March 5, 2024, regarding “Dog faeces”**
- (10) March 5, 2024, regarding “Police Board”**
- (11) West Van Players, March 5, 2024, regarding “Proposal for Construction of Pickleball Courts in Ambleside Park”**
- (12) Committee and Board Meeting Minutes – Code of Conduct Committee meeting November 20, 2023; and Finance and Audit Committee meeting January 29, 2024**

### **Correspondence from Other Governments and Government Agencies**

- (13) P. Weiler, M.P. (West Vancouver-Sunshine Coast-Sea to Sky Country), February 29, 2024, regarding “February 2024 MP Newsletter”**
- (14) Metro Vancouver, March 1, 2024, regarding “Metro 2050 Type 2 Proposed Amendment City of Maple Ridge (Yennadon Lands)”**

### **Responses to Correspondence**

- (15) Director of Parks, Culture & Community Services, March 4, 2024 response to Arts & Culture Advisory Committee regarding “Information on the timeline for the new Arts Centre”**

Mayor and Council  
District of West Vancouver

February 23, 2024

Dear Mr. Mayor and Council

Re: Proposed "Forest Thinning"  
Woodburn/Westwood Drive and Eagle Lake Areas

I am extremely concerned that this proposed undertaking as presented by Bruce Blackwell at the last Environmental Committee meeting is counterproductive, destructive to our forest ecosystem, seriously questioned by many experts and scientists in the field and a waste of precious financial resources that are badly needed to support actions that are urgently required to protect our Urban Forest.

I urge you to not undertake this proposed "Forest Thinning" action.

Sincerely

s. 22(1)

West Vancouver s. 22(1)  
s. 22(1)

**From:** s.22(1)  
**Sent:** Monday, February 26, 2024 10:22 PM  
**To:** correspondence  
**Subject:** Fwd: Urgent Consideration for Increasing the Environment Levy and Incorporating Recommendations for Climate Action - letter from the Environment Committee Members

**CAUTION:** This email originated from outside the organization from email address s.22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

My apologies, I realise that I had not included the correspondence email in our letter.  
Please accept this email as part of the budget discussions.  
Thank you  
Kind regards  
Claudia

Begin forwarded message:

**From:** Claudia s.22(1)  
**Subject:** Urgent Consideration for Increasing the Environment Levy and Incorporating Recommendations for Climate Action - letter from the Environment Committee Members  
**Date:** 20 February 2024 at 13:45:14 GMT-8  
**To:** Mark Sager <[mark@westvancouver.ca](mailto:mark@westvancouver.ca)>, [ccassidy@westvancouver.ca](mailto:ccassidy@westvancouver.ca), Sharon Thompson <[sthompson@westvancouver.ca](mailto:sthompson@westvancouver.ca)>, [lwatt@westvancouver.ca](mailto:lwatt@westvancouver.ca), Nora Gambioli <[ngambioli@westvancouver.ca](mailto:ngambioli@westvancouver.ca)>, [ssnider@westvancouver.ca](mailto:ssnider@westvancouver.ca), Lambur Peter <[plambur@westvancouver.ca](mailto:plambur@westvancouver.ca)>  
**Cc:** Hundal Paul s.22(1)

Mayor and Council,  
West Vancouver Municipal Hall  
750 17th Street  
West Vancouver, BC, V7V 3T3

Subject: Urgent Consideration for Increasing the Environment Levy and Incorporating Recommendations for Climate Action

Dear Mayor and Council,

On behalf of the West Vancouver Environment Committee, we extend our sincere gratitude for your steadfast commitment and dedication to addressing environmental concerns in our municipality. Your efforts have laid a strong foundation for our community to tackle the challenges posed by climate change and advance towards a more sustainable future. We appreciate your attention to the following points:

### 1. General context

We, the members of the West Vancouver Environment Committee, are writing to you to address the pressing need for increased action and budget allocation towards climate action, management, and mitigation in our municipality. As we confront the challenges

posed by climate change, it has become increasingly apparent that our current efforts and budget allocations will not be sufficient to meet the needs of our community and achieve our yearly GHG emission reduction target (-6%, 17K tonnes of CO2 per year on the road to 2030).

Firstly, we urge the council to seriously consider increasing the environment levy by 0.5%. This modest increase is necessary to adequately fund the initiatives and programs required for effective climate action. We are deeply concerned that the expenses for climate action, management, and mitigation are likely to exceed the budgeted amounts, particularly in light of the escalating impacts of climate change on our community and environment.

Moreover, we look forward to the integration of the recommendations from the Environment Committee for the year 2024 into the budget. These recommendations are essential for enhancing our resilience to climate change and accelerating our progress towards achieving our GHG reduction targets. Since its establishment in November 2023, the Environment Committee has diligently convened several meetings to craft an action plan for 2024. Each recommendation stemming from this plan is expected to come with a corresponding budget allocation, which will likely be funded by the Environment Fund.

Finally, research indicates that delaying environmental action and spending can lead to significant economic costs in the long term, underscoring the importance of proactive measures to address environmental challenges and promote sustainability.

## 2. A quick look at the numbers

From the 2022 and 2023 levy, a total amount of \$1,390,000 have been committed to projects related to GHG project, Coastal planning project, Tree inventory and condition assessment of public trees, Tree planting programs, Commitment to Howe Sound Biosphere Region, Community Programs/events, Heat pump rebates, Recycling in Parks expansion.

This leaves us a balance of \$1,010,000 (not counting any accrued interest).

Upon reviewing the DWV 2024 General Capital Requests document, it appears that a proposed amount of \$1,256,000 may potentially be allocated from the Environment Fund.

We strongly advise maintaining a buffer reserve of at least 9 months (\$900,000) within the Environment Fund. This reserve would serve to address unforeseen needs such as infrastructure upgrades, emergency response and disaster recovery efforts, and initiatives aimed at preserving public health and safety. The Centennial Seawalk portion of the coastline could be a very expensive climate adaptation project as well as the coastline further east along the seashore of Ambleside to give an example.

Regarding the Environment Committee Action Plan 2024, it is anticipated that this will result in additional proposed expenditures from the Environmental Reserve Fund in 2024. We would appreciate the opportunity to present the action plan, along with a detailed line-by-line budget analysis.

Balance end 2023 (not including any accrued interest)	\$1,010,000
2024 Levy including a 0.5% increase	+\$1,640,000
DWV General Capital Requests	-\$1,256,000

Suggested Buffer Reserve	-\$900,000
Proposed Budget Environment Committee	To be proposed and discussed

### 3. In conclusion

We urge the council to prioritize climate action and commit to bold and decisive measures to address the urgent challenges posed by climate change. The time for action is now, and we must act swiftly to safeguard the health, prosperity, and resilience of our community for generations to come. As we collectively strive to address our community's needs and priorities, it's heartening to note that 'The Environment & Climate Change' has been identified as the top priority in the Council's Strategic Plan for 2024 – 2025.

Thank you for your attention to this matter. We look forward to your thoughtful consideration and decisive action on this critical issue.

Claudia van der Vorm (Chair Environment Committee)

Paul Hundal (Vice-Chair Environment Committee)

s.22(1)

west Vancouver

s. 22(1)

Caring for our environment one step at a time  
Saying no to the status quo  
Say yes to stepping up

**From:** [REDACTED] s. 22(1)  
**Sent:** Tuesday, February 27, 2024 10:02 PM  
**To:** correspondence  
**Subject:** Municipal expenses

**CAUTION:** This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Mayor and Council:

I hear rumours of frivolous spending of taxpayers' money on such things as:

1. a resurfaced parking lot for St. Francis (in the woods), but none for the other churches, about \$90,000,
2. the filling in of a ditch in front of a friend's house, \$60,000,
3. a Savary Island Bakery coffee shop in the city hall, \$100,000.

I'm not sure all these numbers are correct, but none of them are necessary.

I should also mention the \$9 million spent on a new running track. The new sports track may have been necessary, but it certainly sounds overpriced.

Whatever the costs are, this is no way to spend taxpayers' money and then ask for more.

Sincerely,

[REDACTED] s. 22(1)

West Van

[REDACTED] s. 22(1)

**From:** s. 22(1)  
**Sent:** Monday, February 26, 2024 9:34 AM  
**To:** correspondence  
**Subject:** Annual Parking Fee

**CAUTION:** This email originated from outside the organization from email address s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Hello,

As Seniors (My Spouse and I are s. 22(1) years old respectively) and residents of W Van for s. 22(1) years each, I would have thought that our property taxes paid ANNUALLY, should easily cover the parking fee for the number of times the number of occasions that We "use" the areas for a walk once in awhile.

At any rate, We have stopped "visiting" 2 of the areas We used to take walks there-in because of the parking "fee".

One would think that Seniors, say over 60 and owning our own house, We should be exempt. .

At any rate, We now limit our walk to be to other attraction/areas including along the beach, West Van "Village" and Park Royal.

s. 22(1)

s. 22(1)

**From:** [REDACTED] s. 22(1)  
**Sent:** Thursday, February 29, 2024 6:52 PM  
**To:** correspondence  
**Cc:** Natalie Roizman  
**Subject:** Veteran's Parking

**CAUTION:** This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Natalie – good to speak with you today and thank you for making the time – I know you are making representation regarding this matter and I thank you in this regard.

Sir/Madam,

I note the implementation of parking fees at a number of West Vancouver parks. I have contacted Impark to enquire regarding exemptions to parking fees for cars displaying Veteran's Plates. They are not aware of any. I also see no mention of it in the documentation regarding this policy change. In conversation with Natalie today she confirms that no such dispensation exists.

Cars displaying Veteran's plates are exempt from on street and EasyPark fees in the majority of the Vancouver Municipalities and it would appear to me to be an oversight that such provision has not been granted in West Vancouver. This may reflect a lack of representation of this cohort or some other reason. Regardless, it does strike me as a somewhat of an embarrassment to the council.

The BC Veteran's Association have made eloquent representation on this matter elsewhere which I will recount here:

*"Veterans sacrificed their families, their homes, their professions and their LIVES in faraway lands, serving in the cause of peace. Veterans with great humility, viewed this as their civic duty to community and country and ask for nothing but the common mans' respect. It is unfortunate City officials do not understand this distinction upon which such reverence of decision making must be based. Furthermore, the act of offering veterans societal benefits such as free parking was never based upon a financial disadvantage. The reason for Veteran Free Parking is to honour and pay homage to those selfless individuals who gave of themselves so that future generations could live in a society with freedoms beyond compare throughout the world. Freedoms that are taken for granted because 'Military' service is so far removed from the common mans' thoughts. Our societal sacred obligation is to 'Remember' these sacrifices and honour with reverence, all that has been handed to us by those whose valour was neither fearful nor wanting."*

Furthermore, as [REDACTED] s. 22(1) who has served, I have first hand experience of the toll that this service can demand and the scars that former and current service personnel carry, both physical and psychological. Access to nature and its healing effects can be transformative for this population-at-risk. Being one of the few municipalities not to offer this small but significant allowance makes West Vancouver an outlier in comparison to its neighbours and potentially in breach of the unwritten Covenant between the society in which we live and enjoy, and those who defend it.

I might suggest you adopt the same policy as other municipalities and make allowance for Veteran's parking in West Vancouver. I might also suggest that this policy is adopted forthwith and prior to the Spring and Summer so as to not to discriminate against this cohort for this part of the year where they might most enjoy the natural bounty West Vancouver has to offer. As a West Vancouver resident myself, I do not take this for granted.

I look forward to your response which I will allow a month from the date of this email to be received.



If I have not heard from you within this timeline I will consider public discussion of this matter 'fair game', although I would prefer to obviate this to save the Council the embarrassment I alluded to above.

Yours sincerely,

s. 22(1)

s. 22(1)

West Vancouver

s. 22(1)

**From:** [REDACTED] s. 22(1)  
**Sent:** Tuesday, February 27, 2024 11:43 AM  
**To:** correspondence  
**Cc:** Sue Ketler; Doti Niedermayer  
**Subject:** Information on the timeline for the new Arts Centre

**CAUTION:** This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

February 27, 2023

Dear Mayor and Council,

At the last meeting of the new Arts & Culture Advisory Committee, several questions were raised concerning the current status of the planning for the new Arts & Culture Centre.

The previous Arts & Culture Advisory Committee (ACAC) sent a letter to Mayor and Council on July 11, 2023. We received a letter from Sue Ketler on September 14, 2023 stating that, "...further direction will be provided by Council...at this time we do not have a timeline when further direction will be provided".

As I stated in the previous letter, without clear knowledge of the process, it is not possible for the ACAC to effectively prioritize our Work Plan responsibilities or to fulfill our obligations to the Arts & Culture Strategy. As a result, we would greatly appreciate an update from Council at your earliest convenience.

In addition, we understand from Council's 2024 preliminary budget that there will be no allocation of funds (beyond those which already exist) for the continuing maintenance of the current facilities such as the Art Museum, Music Box and the Silk Purse. This is concerning as these facilities have been deemed to have "ongoing maintenance issues." \*

As members of the ACAC and citizens of West Vancouver, we believe that these existing buildings should be well maintained until the new facility is constructed. We are concerned that the existing buildings are as serviceable, welcoming, and safe as possible, for the large number of children, adults and seniors who participate in classes and activities in those locations.

Thanking you in advance for your attention to this matter.

Sincerely,

Scott Swan  
Chair  
Arts & Culture Advisory Committee

[REDACTED] s.22(1)  
West Vancouver [REDACTED] s.22(1)

\*West Vancouver Arts and Culture Centre: Vision and Governance Study, produced by Urban Arts Architecture Inc.

**From:** s. 22(1)  
**Sent:** Sunday, March 3, 2024 1:35 PM  
**To:** correspondence  
**Cc:** Mark Sager; Jenn Moller; Sean OSullivan; s. 22(1)  
**Subject:** Traffic Calming in West Vancouver - the wrong obstructions

**CAUTION:** This email originated from outside the organization from email address s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Mayor Sager and Councillors;

I wish to applaud you for considering an updated Traffic Calming Policy for the municipality. I also applaud staff in producing a report systematically setting out their basis for the policy changes. However, the concern I wish to raise is that the policy recommendations before you seem to reveal a bias towards the very vehicles that it seeks to protect people from. The cumbersome process and evaluation criteria recommended in staff's report will obstruct, not to say suffocate, any concerned resident's effort to improve neighbourhood traffic safety – a failure that will green light drivers to operate as they wish on streets that would continue to be unsafe for kids to play or for anyone to access nearby schools or parks or sports facilities.

The role of the road transport system is central to supporting our chosen lifestyles, not least in reducing delays in commerce and access to services. But, delay is primarily a matter for the road network arterials, not the residential neighbourhoods. In attempting to reduce delay, excessive speed has severely unproductive consequences, as demonstrated by the appalling traffic injury record on BC's roads and streets generally. Delay avoidance is not the most important determinant. The need (and public demand) for traffic calming in the absence of a well defined and safe network of facilities where people can safely walk, ride and roll is irrefutable.

The objectives of the policy, and the Council's overarching strategy to improve safety and mobility, are exemplary but they are not new. Similar objectives have been in place for many years but have not resulted in meaningful change. Central to the lack of progress is the availability of adequate funding. West Vancouver's expenditure on active transportation in the years I have lived here has been negligible, in fact by far the very lowest among the North Shore municipalities. This sad fact begs the question as to how will this Council make measurable progress in implementing the policies it seeks to adopt?

The attainment of 'Vision Zero' where no one is killed or seriously harmed on roads and streets is paramount among the changes urgently needed to current road transport legislation. The motor vehicle-centric policies promoted by the BC Motor Vehicle Act are no longer appropriate. A more effective means of achieving a safe network than the MVA's blanket 50km/h speed limit in urban areas is among the many changes needed to support active transport. Drivers operate their vehicles at what they perceive to be a safe speed under their circumstances. Posted speed limits have little bearing on their choices.

The selection of 50km/h illustrates the serious flaw in using a surveyed 85<sup>th</sup> percentile speed as safe – that is a speed that was chosen by drivers, decades ago. Times have changed and, in any event, the perception of a vehicle operator as to what is a safe speed is quite different to that of a person walking or biking, and vulnerable to harm. There is a 90% chance of serious or fatal personal injury in a collision between a person and a vehicle at 50km/h. Evidence shows those consequences diminish significantly in collisions at 30km/h or less. Even more effective is separating slow- and fast-moving users, whether it's Marine Drive or the Spirit Trail.

Success in ensuring low vehicle speeds on streets that must be shared by people and vehicles boils down to impeding vehicle flow. This is best done by means of obstructions, such as the various options recommended by

the BC Active Transport Design Guide, not merely speed humps. Speed humps and their variants which induce minimal sudden vertical acceleration are among the least effective obstructions.

And, while accident statistics can help set priorities, ideally the principles of 'universal design' to provide accessibility for all users should apply throughout a neighbourhood. Only then can driving habits change for the better, and residents feel safe for themselves and their children.

In conclusion, I urge Council and staff to embrace an active-transport-centric policy, and to seek a bolder and wider approach to traffic calming from staff, especially one that does not require exhausting public input. And, most importantly, to provide the necessary resources to make it happen, hopefully within my lifetime. Yours

sincerely, s. 22(1)

s. 22(1)

West Vancouver BC s. 22(1)

s. 22(1)

**From:** [REDACTED] s. 22(1)  
**Sent:** Monday, March 4, 2024 12:16 PM  
**To:** Scott Snider; Linda Watt; Christine Cassidy; Peter Lambur; Nora Gambioli; Mark Sager; Sharon Thompson; correspondence  
**Cc:** Jenn Moller  
**Subject:** Traffic Calming and other Measures for Safer Cycling  
**Attachments:** 2024-03-04 Hierarchy of Traffic Calming and Measures for Safer Cycling.pdf

**CAUTION:** This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Mayor and Councillors,

I was pleased to see this agenda item on the topic of traffic calming, which is an important component in making our roads safer for all users. As a cyclist who has been knocked off of my bike twice by automobiles, I am very much aware of the need for more measures to make our roads safer for cyclists and other users of rolling devices that can be considered active modes of transportation.

I would like to see much more than a budget of \$60,000 to be allocated to implementing traffic calming and other measures to make our roads safer. Focusing traffic calming measures at a limited number of prioritised locations such as intersections with a high collision record makes sense to me. This would also be valuable for all road users including people on bicycles and other rolling devices. However, I don't believe that it would be enough to help encourage more people to take up cycling as they not only need safer intersections, but also safe routes to travel on.

Implementing more traffic calming and other measures for people on bicycles and other rolling devices would contribute to your [Strategic Plan 2024–2025](#). In particular, it would contribute to the strategic objectives of having a more comprehensive, less autocentric mobility plan and diversify, expand, and improve the safety and appeal of active transportation.

In the attached table, I have listed a number of traffic calming and other road safety measures that are beneficial to people riding bicycles and other rolling devices. I have tried to list them in the order which I think would be most effective in making cycling safer in our community. You will note that most of the examples given are measures that have been implemented in our community. This is commendable and I would like to see increased resources earmarked for more similar implementations.

I believe that all of the listed measures have some value in making our roads more safe for people on bicycles and other rolling devices. Bellevue Ave between 18<sup>th</sup> and 25<sup>th</sup> Streets is one bike route that could become much safer for people on bicycles and other rolling devices through the implementation of more traffic calming measures.

Sincerely, [REDACTED] s. 22(1)

[REDACTED]  
West Vancouver, BC [REDACTED] s. 22(1)  
[REDACTED] s. 22(1)

## My Hierarchy of Traffic Calming and other Measures for Safer Cycling

	<u>Measures to Make Cycling Safer</u>	<u>Examples</u>
1.	Bike lanes physically protected from automobiles and pedestrians	1300 and 1600 blocks Argyle Ave and one block eastbound on Marine Drive leading up to Taylor Way
2.	Bicycle traffic signals at intersections along busy protected bike lanes	Southbound Hornby Street at Hastings Street
3.	Low traffic multi-use paths	Western Spirit Trail, Hugo Ray Connector and the Mountain Path above the Upper Levels Highway
4.	High traffic multi-use paths	Spirit Trail 13 <sup>th</sup> Street to Park Royal and across the Welch Street Bridge
5.	Road Crossings with elephants feet	Spirit Trail
6.	Painted-line bike lanes with a painted buffer and/or flexible delineator posts	26 <sup>th</sup> to 31 <sup>st</sup> on Marine Drive
7.	Painted-line bike lanes with green paint in automobile conflict zones	1100 block westbound Keith Road, 15 <sup>th</sup> Street northbound from Mathers Ave and Skilift Road west of 21 <sup>st</sup> Street
8.	Physical traffic lane diverters/barriers	Was one westbound on Bellevue Ave 23 <sup>rd</sup> Street
9.	Traffic circles	Intersection of Fulton Ave and 21 <sup>st</sup> Street,
10.	Painted bike boxes (usually green)	Intersection of 23 <sup>rd</sup> Street in North Van and Lonsdale Ave on the east side
11.	Painted-line bike lanes	Westport Road and uphill on Stevens Drive
12.	Bicycle sharrows in green-painted, mid-lane boxes on pavement	Welch Street Bridge over the Capilano River
13.	Bicycle sharrows on pavement	Keith Road between 13 <sup>th</sup> Street and Esquimalt Ave intersection and a few on Marine Drive west of 31 <sup>st</sup> Street
14.	Signage: no entry except bicycles	Westbound Keith at 11 <sup>th</sup> and southbound 16 <sup>th</sup> and Argyle
15.	Road crossings with flashing lights	Intersection of Bellevue Ave and 17 <sup>th</sup> Street
16.	Stop signs at intersections	All busy intersections in West Vancouver
17.	No right turn on red at traffic signals along marked bike routes	Southbound at West Grand Boulevard/Keith Road-Green Necklace intersection
18.	Speed Humps	Two on 13 <sup>th</sup> Street between Esquimalt and Duchess Ave
19.	Speed Pillows	15 <sup>th</sup> Street North Van, east of Pemberton Ave
20.	Reduced speed limits on bike routes	17 <sup>th</sup> to 29 <sup>th</sup> on Bellevue Ave, 11 <sup>th</sup> to Burley Drive on Kings Ave, Welch Street Bridge and all bike routes in Vancouver
21.	Narrowed traffic lanes	1100 block of Keith Road
22.	One-way streets	1400 -1600 blocks of Argyle Ave and eastbound 2400 block of Bellevue Ave
23.	Wayfinding signage	Spirit Trail and multi-use paths at the north end of the Lions Gate Bridge
24.	Bike route signage	All along the West Vancouver bike network

**From:** [REDACTED] s. 22(1)  
**Sent:** Monday, March 4, 2024 5:18 PM  
**To:** Mark Sager; Christine Cassidy; Linda Watt; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; correspondence  
**Subject:** arch 4, 2024, Regular Council Meeting Agenda item #10 "Memorandum" dated 2/23/2024 and addressed to Council from Councillors Cassidy and Snider -- re: Notice of Motion regarding Amendments to Zoning Bylaw # 4662-2010

**CAUTION:** This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Your Worship and Council,

The observations and remarks following pertain to the March 4, 2024, Regular Council Meeting Agenda item #10 "Memorandum" dated 2/23/2024 and addressed to Council from Councillors Cassidy and Snider -- re: Notice of Motion regarding Amendments to Zoning Bylaw # 4662-2010

Item #10, Proposes to add "a land use definition for 'financial services' use", specifically, 'Financial services' "will include the sale or trading of crypto-assets, ..., in addition to currency, gold or jewellery exchange, mortgage broker, insurance company, income tax services, bookkeeping, financial and investment services provided by a trust company or investment dealer, and similar uses providing financial services to businesses and to the public, but does not include bank or credit union;... " relating to: Bylaw # 4662 (2010) at Sec. 352 - "C2 - Commercial Zone 2" states at ss. 352.02, "Conditions of Use", para. (7)

"On Marine Drive between 14th Street and 17th Street, and between 24th Street and 25th Street: (a) Bank or credit union, financial services, real estate offices, and beauty and wellness centre combined must not occupy more than 20% of the width of the ground (sidewalk level) floor of each block face (in each block there is a north and a south block face). This is calculated in aggregate for all such uses on each block face."

The above paragraph was added pursuant to amendment bylaw # 5175 (ref. Nov. 27, 2023, Notice of Motion, Regular Council Meeting). The purpose of the amendment bylaw # 5175, as stated by the Mover during the council meeting was to increase or add "vibrancy" to the Ambleside and Dundarave commercial zones by limiting the type of business occupancy or use described in the amendment bylaw are allegedly detracting from the "vibrancy" of the street-level ambience in zones AC1, AC2, and C2. Neither the Mover (Cllr. Cassidy) nor the Seconder (Cllr. Thompson) defined the term "vibrancy" in the context of the commercial zones AC1, AC2, or C2 during the Nov. 27, 2023 Regular Council Meeting. Instead, the Mover provided anecdotal examples which related to a favourite shop that on being displaced from its leased premise in Ambleside could not find suitable replacement premises in the Ambleside commercial area and consequently relocated to Edgemont Village commercial area in the District of North



Vancouver. The Mover stated that the business owner now operating out of premises in Edgemont Village will not be returning to Ambleside Village. Two representatives of two separate retail business associations in West Vancouver noted the proliferation of the business occupancies now restricted by the language of Bylaw 4662 (2010) Sec. 352, ss. 352.02, para. (7) and stated that their association members and/or executive officers supported the motion moved by the Mover, claiming that it will result in an improvement in the commercial business retail areas covered by the bylaw. No other member of the public spoke to the motion during the Nov. 27, 2023, Regular Council Meeting.

Neither the Mover nor the Seconder of the motion presented during the Regular Council Meeting held on Nov. 27, 2023, provided concrete evidence that affected commercial areas were lacking "vibrancy", but the Mover wished to see more "wine bars" and "restaurants" in the AC1, AC2 and C2 zoned areas of the Ambleside and Dundarave villages. The inference that the Mover intended the public and council to draw is simply this: the paucity of "wine bars" and "restaurants" is indicative of a want of "vibrancy" in the targeted commercial areas.

No study was commissioned by Council or requested of the Planning Department. Council and staff assumed that the business case had been made by the Mover, and no further investigation was needed or called for. No factual information was provided by the Mover, or asked for by other members of Council.

The Mover and a different Seconder now propose to embellish the definition of the class of restricted business occupancies that come under the Bylaw 4662 (2010) Sec. 352, ss. 352.02, para. (7) "Conditions of Use" under the broad category of "financial services". Once again, the Mover does not offer a cogent rationale for the restriction or the broader definition or compass of the restriction under the category. Nor is there data to support the contention that the presence of the restricted business occupancies diminish or fail to enhance the "vibrancy" of AC1, AC2, or C2 commercial zones in Ambleside and Dundarave villages.

The undersigned wishes to throw some light on this development at this time. He will add further observations at a later date, but to commence the following observations are offered in an effort to fill in the blanks left by the Mover and Seconder of the Motion that gave rise to the amendment to the zoning bylaw sections relating to zones AC1, AC2, and C2.

To understand what makes a commercial area successful, one must comprehend the factors that draw custom to the commercial businesses and the area in general. For that one would look, for example, to the writings of Ms. Jane Jacobs (dec.), O.C., such as her book "The Death and Life of Great American Cities", (c) 1961, (c) 1989, Vintage Books Edition December 1992, Random House Inc., NY, NY. By all outward appearances, both the Ambleside Village and Dundarave Village commercial areas meet the Ms. Jacobs criteria "[to] generate exuberant diversity in a city's streets and districts,..." The criteria are:

- "1. The district, and indeed as many of its internal parts as possible, must serve more than one primary function; preferably more than two. These must ensure the presence of people who go outdoors on different schedules and are in the place for different purposes, but who are able to use many facilities in common.

"2. Most blocks must be short; that is, streets and opportunities to turn corners must be frequent.

"3. The district must mingle buildings that vary in age and condition, including a good proportion of old ones so that they vary in the economic yield they must produce. This mingling must be fairly close grained.

"4. There must be a sufficiently dense concentration of people, for whatever purposes they may be there. This includes dense concentration in the case of people who are there because of residence." Op. Cit., pp. 150-151.

Ambleside Village and Dundarave Village fill all four criterion, in this observer's opinion. Reinforcement is provided by a recent letter to the Editor of the North Shore News which was published online at [BLOCKEDnews\[.\]com/local-news/BLOCKED](https://www.blockednews.com/local-news/BLOCKED) on February 18th, 2024. The article, titled "Letter: West Van beauty business spotlighted for act of kindness. A small, honest gesture went a long way for one West Vancouver resident" URL: [BLOCKEDnews\[.\]com/local-news/letter-west-vancouver-8324963BLOCKED](https://www.blockednews.com/local-news/letter-west-vancouver-8324963BLOCKED) . The letter writer described what Ms. Jane Jacobs would likely have identified as a typical situation for a vibrant community -- a resident who regularly patronizes shops in Ambleside visited a beauty parlor for a manicure (a regular but not prearranged appointment by the letter writer who prefers to "drop in"). In the course of the manicure, the letter-writer removed a ring and placed on sidetable, but forgot to retrieve it when her manicure was completed. She left the establishment minus the ring. Some days later, as she was walking down the sidewalk abutting the manicurist's shop she was startled to hear the manicurist call out to her saying that she, the manicurist, had her ring and would she please come into the store and identify it. In this way the letter writer was re-united with her ring which she had not realized she had lost.

What this episode demonstrates is the vitality that shopkeepers who identify strongly with the community, its residents, and their custom, and values which we commonly call "neighbourliness", bring to the District's commercial areas in Ambleside and Dundarave, and the benefits their small independent businesses contribute to the community that make even the restricted business occupancies enumerated in Bylaw 4662 (2010), Sec. 352, ss. 352.02 para. (7) attractive to residents and visitors alike. By restricting the number of such business entities, or excluding those entities from store front locations at street level, zoning conditions such as Bylaw 4662 (2010), Sec. 352, ss. 352.02 para. (7) go against the grain of Ms. Jane Jacob's four criterion quoted above. We, the residents of West Vancouver, can only be the losers in such restrictive bylaw language. Fortunately, for the time being, the affected businesses and stores can continue to operate as if the zoning bylaw #4662 (2010) did not include ss. 352.02, para. (7). For this, we must properly acknowledge the wisdom of the provincial authorities and the Local Government Act.

Will Council and/or staff of the Corporation of The District of West Vancouver ever consider the ramifications of their impulses to legislate restrictions on organic growth and diverse ("exuberant diversity") vibrant neighbourhoods? Only time will tell.

Your Servant,

s. 22(1)

West Vancouver,

s. 22(1)



---

**From:** [REDACTED] s. 22(1)  
**Sent:** Monday, March 4, 2024 6:01 PM  
**To:** correspondence  
**Subject:** Pacific Wild with a grain of salt

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Council,

I hope you have your grain of salt ready for listening to the Pacific Wild delegation tonight - while knowing you are going to put 10,000 residents plus significant commercial space up at Cypress Village and Upper Campus etc

Another done deal... with little accompanying infrastructure... definitely not the reason for 5 creeks work.

Btw, Mayor Sager you are an ongoing embarrassment for West Van.

[REDACTED] s. 22(1)  
[REDACTED]  
Maple Ridge Bc

Sent from my iPhone

**From:** [REDACTED] s.22(1)  
**Sent:** Monday, March 4, 2024 12:20 PM  
**To:** correspondence  
**Subject:** Monday meeting for eagle harbour development.

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

> Good day,

>

> I'm emailing about the proposed development of the 30+ units in Eagle harbour. We live in horseshoe bay, and are really excited about this opportunity to purchase. I'm [REDACTED] s.22(1) and want to keep [REDACTED] s.22(1). This development is something that I will be able to afford, once [REDACTED] s.22(1). It would be such a shame if this development doesn't get passed. Single family homes in this area are beyond what I can afford on my own. It was a pleasant surprise to discover this opportunity might be coming. I'm also [REDACTED] s.22(1) who are very keen on this project.

>

> I hope that the council considers passing this great opportunity.

>

> Thank you for your time.

>

> Regards,

>

> [REDACTED] s.22(1)

>

> [REDACTED] s. 22(1)

>

**From:** Tori McDonald <tori@torimcdonald.ca>  
**Sent:** Monday, March 4, 2024 1:13 PM  
**To:** correspondence  
**Subject:** Aquila Development

**CAUTION:** This email originated from outside the organization from email address tori@torimcdonald.ca. Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Hello,

I felt the need to reach out as local resident and realtor in regards to the very much needed development that is being proposed in Eagle Harbour by Sterling Pacific Developments.

West Vancouver is an incredible place to reside and it is a place I am proud to have been raised, and now have the privilege to raise my young family. However, there is a very large barrier to entry for young families to be able to afford to reside in our community.

As a realtor, I see countless families that would absolutely love to live in our beautiful district. However, they are unable to afford the cost of detached housing. The entry level detached home in West Vancouver is well over \$2,000,000 and that is generally for a home that needs major renovations or a complete tear down. In addition, if individuals are looking to rent a home that is livable you are once again at an extremely high entry point of at least \$6,000 with very little inventory available. Both of these price points are rising each year. This is increasingly making it harder and harder for young families being able to afford to relocate to West Van. These barriers to entry severely limits the buyers that can purchase or even rent homes in our district.

Another big limiting factor, outside of cost of housing, is the housing options available. There is a very sharp need for more diversity in our housing options. Single family housing is a large majority of the housing available in West Vancouver - over 60% of our housing options are for detached homes. Without alternative and more affordable options that work for families, then there are few other options that are available to young families. Other cities and districts, such as North Vancouver, have done far more to be able to give families more options both in affordability and diversity of housing type in order to attract more young families to their communities.

The final point of consideration, and an extremely concerning factor, would be the aging population of West Vancouver. In West Vancouver the median age of our districts population is over 50 years old. The average age of our population is just below that at 47.6 years old. Those 65 and older make up more than 28.5% of our population. Millennials (age 25-40) make up merely 10.8% of our population. It may not be as apparent or concerning at the moment how the effects of an aging population would be on our district. I can say with certainty that in the future, if changes are not implemented and if affordable housing options are not created then we will have some potential irreversible problems down the road. It is very clearly outlined in the draft OCP how severe this problem could be if solutions are not put in place to interrupt this cycle.

Aquila is an amazing option for both young families and those looking to downsize in our district. The only newly developed townhomes in West Vancouver are the ones located at the Bellevue and a few available at Sanctuary in Horseshoe Bay. These options are FAR from affordable for the average person. Outside of that development townhomes only make up 3% of housing options in West Vancouver. There are little to no townhome options available in areas of our community that have a large family presence; like Eagle Harbour.

This development is directly in line with goals and objectives of the OCP for West Vancouver. We need more diversity in our housing; that is a fact. We need younger families moving to our community to mitigate our aging population; that is a fact. We need more affordable housing options; once again this is a fact. The Aquila Development is a viable solution to help begin the process or resolving all three of these major issues we face in

West Vancouver. West Vancouver needs this development to allow our community to thrive and survive the aging demographics our community naturally has fallen into.

I would love nothing more than to help more families move into West Vancouver. A development like Aquila would be a perfect options for so many looking to relocate to West Vancouver. Our community needs this and I am 100% in support of this development.

Kind Regards,

Tori McDonald  
West Vancouver Resident

s. 22(1)

West Vancouver BC

s. 22(1)



tori@torimcdonald.ca  
604.880.5232  
torimcdonald.ca

**BELLEVUE REALTY GROUP**

2479 Bellevue Avenue, West Vancouver  
BC V7V 1E1 Canada



**From:** [REDACTED] s. 22(1)  
**Sent:** Monday, March 4, 2024 3:07 PM  
**To:** correspondence  
**Subject:** Aquila - Westport Rd Development - Support

**CAUTION:** This email originated from outside the organization from email address [REDACTED] s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Hello,

My name is [REDACTED] s. 22(1) and my family and I live at [REDACTED] s. 22(1) West Vancouver, BC [REDACTED] s. 22(1). I also used to work in the [REDACTED] s. 22(1) and focused on [REDACTED] s. 22(1).

I am a proud and vocal supporter that Sterling Pacific Developments be able to rezone and build out the proposed development in Eagle Harbour (Aquila - Daffodil Drive).

- Since moving to Eagle Harbour [REDACTED] s. 22(1), I have watched the neighbourhood blossom into a family-filled and family-friendly neighbourhood.
- Anecdotally, every family I know here has been able to buy a single family home partially due to intergenerational wealth (ie. access to The Bank of Mom and Dad). We are the privileged, the lucky, and the few.
- I welcome diversity, and the best way to get more diversity of incomes, ethnicities, cultures and perspectives is by offering a lower housing price point.
- **Lower housing price points can only be achieved by building and offering multifamily offerings.**
- **Increasing supply by adding more housing, and denser housing, is the single best way to address our housing affordability issues.**
- Aquila would be walking distance to our best neighbourhood amenities - Montessori school, the Eagle Harbour beach, two playgrounds, hiking trails, and a school field where [REDACTED] s. 22(1) kids at daytime recess and the youth play baseball on summer evenings.
- More kids and families walking on our streets will encourage cars to follow the 30km speed limit in certain areas.

Will the development add more people? Yes. Will it increase traffic? Yes. Will it likely attract other families who are perhaps cognizant of driving more slowly and looking out for children? This is also likely.

Adding more families to the neighbourhood will encourage business owners to continue to add private sector amenities such as restaurants and daycares.

YES I want this development "in my backyard".

I will put up with construction, and more traffic, in order to help be part of our housing affordability problem. **It is simply the right thing to do.**

Thank you for your time and consideration,

[REDACTED] s. 22(1)  
[REDACTED] s. 22(1)  
[REDACTED] s. 22(1) West Vancouver  
[REDACTED] s. 22(1)



**From:** [REDACTED] s.22(1)  
**Sent:** Monday, March 4, 2024 6:43 PM  
**To:** correspondence  
**Cc:** [REDACTED] s. 22(1)  
**Subject:** Aquila Daffodil

**CAUTION:** This email originated from outside the organization from email address [REDACTED] s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Hello

I am writing this to voice my family's support for the Aquila Daffodil Drive development in Eagle Harbour, West Vancouver. It is very welcomed in the area and, I would suspect, is inline with the general trend towards sustainable densification.

Thank you.

Best Regards,

[REDACTED] s.22(1)

[REDACTED] Vancouver BC [REDACTED] s.22(1)

**From:** [REDACTED] s. 22(1)  
**Sent:** Monday, March 4, 2024 9:06 PM  
**To:** correspondence  
**Subject:** Aquila project - 5665 Daffodil drive

**CAUTION:** This email originated from outside the organization from email address [REDACTED] s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Council,

I live in and own [REDACTED] s. 22(1) Eagle Harbour.

I'm writing to you in support of the Aquila project on 5665 Daffodil drive. We are a small community in need of more density, more young families and more available housing at accessible price points and the Aquila project would address those needs.

More density in Eagle Harbour would be good for younger families and downsizers. We need more houses that are affordable and more people to help our community thrive. A project like this will give the much needed access to younger families who will be able to move in to the area and it'll bring in improved amenities and help small business in the surrounding areas like Horseshoe bay to thrive. More houses and residents will mean a stronger community.

As a resident of Eagle Harbour I hope project is approved and believe it will benefit us all

Sincerely  
[REDACTED] s. 22(1)

**From:** s. 22(1)  
**Sent:** Monday, March 4, 2024 10:28 PM  
**To:** Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Linda Watt; Mark Sager; correspondence  
**Subject:** Daffodil Development

CAUTION: This email originated from outside the organization from email address s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Hello Councillors,

My name is s. 22(1) and I am an owner/resident in West Vancouver. Previous to living on s. 22(1), we lived a number of years on s. 22(1). We know the Eagle Harbour neighbourhood well. I am emailing (again) to show my support of the development plans by Aquila. I see the duplexes as enabling senior neighbours to downsize and "age in place" in our beautiful Eagle Harbour. In addition, the duplexes will be affordable to young families and those stretched financially as the interest rates and inflation continue to rise. I believe this development is visually beautiful and will support many different generations of local people to stay in their beloved neighbourhood and continue to call it "home".

Please accept my email as support for the Aquila Development.

Thank you for your time.

Kind regards,

s. 22(1)

West Vancouver

s. 22(1)

---

**From:** [REDACTED] s. 22(1)  
**Sent:** Tuesday, March 5, 2024 1:23 PM  
**To:** correspondence  
**Subject:** Aquila development Westport

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Hi There,

I am writing a letter as a resident of Eagle Harbour in regards to the Aquila Development off Westport. There has been much discussion about the possible development happening in our neighborhood.

I would like to offer an opinion that is in favour of the development. My husband and I both feel that West Vancouver is in need of some multi density housing. There is definitely a need to bring housing space for renters, downsizers and families trying to get into the real estate market.

We have seen the frustrations first hand in having to find childcare help that will travel the distance to Eagle Harbour as well as finding homes for our elderly parents to downsize into while staying in proximity to children and grandchildren. I know that the objectors to this development have been quite loud in making their case. I thought it was important for west Vancouver Council to understand that there are also people very much in favour of developments such as the Aquila development off of Westport.

Sincerely,

[REDACTED] s. 22(1)

[REDACTED] s. 22(1)

**From:** [REDACTED] s. 22(1)  
**Sent:** Tuesday, March 5, 2024 1:30 PM  
**To:** correspondence  
**Subject:** Support for Aquila Proposal Coming Before Council on March 11, 2024

**CAUTION:** This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

March 5, 2024

To Mayor and Council,

This letter is to urge you to support Aquila's initiative, coming before Council on March 11, 2024, to build 36 homes (34 duplex units plus 2 detached units) at the Eagle Harbour site in West Vancouver.

Their proposal would provide much-needed housing for middle income families seeking to live where they work in the community.

Their site-sensitive, well thought out plan also takes into account access to transit, parklands, and local amenities; meets all of the requirements of the Official Community Plan; and is environmentally responsible.

Thank you for positively reviewing the plan on March 11 before it moves to the formal public hearing stage and final approval later this spring.

Sincerely,

[REDACTED] s. 22(1)

West Vancouver, BC [REDACTED] s. 22(1)

[REDACTED] s. 22(1)

---

**From:** [REDACTED] s. 22(1)  
**Sent:** Tuesday, March 5, 2024 3:05 PM  
**To:** correspondence  
**Subject:** Sterlings proposal

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Hi

I am emailing you to voice my vote that I am in full support for Sterling's proposal for 38 homes for their new development This is much needed in west Vancouver and it is time this community considers other residents than those with extended wealth If there is a town hall I should attend I would be grateful for the heads up Many thanks [REDACTED] s. 22(1)

[REDACTED] West Vancouver, [REDACTED] s. 22(1)  
[REDACTED] s. 22(1) mobile

**From:** Stu Bell <stu@stubell.com>  
**Sent:** Tuesday, March 5, 2024 3:48 PM  
**To:** correspondence  
**Subject:** Aquila Support

**CAUTION:** This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Council,

As a residential realtor in West Van for 16 years and a life time resident, 38 years, I wanted to email to show my support of the proposed Aquila development.

I think it fills a housing need in the community and I believe in the design, developer, and development.

Thank You,

Stu Bell

[REDACTED] s. 22(1), North Vancouver, [REDACTED] s. 22(1)

StuBell.com

---

**From:** [REDACTED] s. 22(1)  
**Sent:** Tuesday, March 5, 2024 4:46 PM  
**To:** correspondence  
**Cc:** [REDACTED] s. 22(1)  
**Subject:** Aquila Development

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

I am writing to provide my unqualified support for this development. We are currently living in a large single family house and would seriously consider this development as a solution to our future housing needs. Please vote to support this much needed development.

[REDACTED] s. 22(1)  
[REDACTED]  
West Vancouver BC  
[REDACTED] s. 22(1)



**From:** s.22(1)  
**Sent:** Tuesday, March 5, 2024 9:25 PM  
**To:** correspondence  
**Subject:** Aquila Development in Eagle Harbour

**CAUTION:** This email originated from outside the organization from email address s.22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

I am fully in support of Sterling's proposed 36 units (for clarity 17 buildings comprised of 34 half duplex homes plus 2 detached homes) .

Here is why I believe in this project:

- The total building area of 36 homes is roughly the same as 10 large homes
- West Vancouver is lacking in "affordable " (affordable for our market) middle market product that is not an apartment or condo. This project will provide 36 units on 5 acres off West Port Road and Cranley Drive. This development is well hidden and built into the slope and does not impact any views.
- Currently, West Vancouver has 144 homes for sale over \$5,000,000 and sold only 61 in the last 12 months. That is over two years supply based on absorption, far too many for a diverse community.
- Currently, there are only 3 half duplex or townhomes available for sale under the highway ( above are very expensive and not comparable) and west of Dundarave. In the last 12 months, 14 units have sold. That is under 3 months supply, clearly we lack this type of product.
- I was very surprised to find out that over 200 townhomes and/or half duplexes are in and around the Caulfield area within projects like Sahalee and Caulfield Cove etc. Most people don't even know they exist, yet they sell quickly and have limited turn over.

WHY do we need this product?

- 43% of West Vancouver are over 55 (largest in Vancouver), aging population
- 32% of West Vancouver is over 65, BC average is 19% for other municipalities in BC, empty nesters in large homes
- 70% of West Vancouver homes are over 44 years old (aging inventory) that requires ongoing maintenance
- West Vancouver has the highest percentage of mortgage free homes owners in the lower mainland at 56%

So why does this matter ?

We have older people living in older homes. They want to sell and put some money in the bank for retirement, BUT, they have no options other than:

1. buy a different home and not save any money;
2. buy a new apartment which largely won't save them any money, but more importantly a lot of seniors don't want an apartment. They want a garden, their own garage, put their feet on the lawn while they BBQ, etc. a home experience.

I heard a wise person say "we decide who lives in our community by what we build." I also believe "we decide who stays in our community by what we build ."

These duplex homes give options to maintain people in our community such as older couples, single parent families and young families that want to be in West Vancouver.

The price point for these half duplexes is \$1,500,000 - \$2,300,000M (roughly 1739 sqft -3600 sqft) and 60% of the units are under \$2,000,000 which is a great price in today's market.

In comparison, the new Weston Place development (as an example is a good quality project) beside the Community Centre, which is on leased land is \$2000/sq ft. For example, Unit 703 is 1215 sq ft for \$2,500,000M.

Aquila will offer homes which allows people to sell an older home and buy a new duplex and put some money in the bank. Single parents can have options to stay in West Vancouver and new young families can get into our market, near schools and the beach.

I really believe this is important and frankly I am shocked it's taken 5 years to get to this point. I am not blaming Council or staff but it's time to get this done. We need this type of product to maintain our aging population in West Vancouver and open up opportunity to people that don't want an apartment but want to own a home with a piece of land in West Vancouver.

s.22(1)

[REDACTED]

West Vancouver, BC

s.22(1)

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

**From:** [Redacted] s.22(1)  
**Sent:** Tuesday, March 5, 2024 6:48 PM  
**To:** correspondence  
**Subject:** Aquila Project in West Vancouver

**CAUTION:** This email originated from outside the organization from email address [Redacted] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear West Vancouver Council Members

I have lived in West Vancouver for over 50 years now and have appreciated the thoughtfulness that most council members have paid to the growth of West Vancouver over the years and the approval process relating to new builds in the area.

I wanted to chime in here on my own account (something I have rarely done in my time) and tell you that I am fully in support of the new proposed project Aquila. I have thoroughly reviewed the plans and believe that this is a very worthwhile project that needs to proceed in order to ensure that affordability can walk in lock-step with the class and quality that West Vancouver deserves.

I hope that you approve this project and welcome 36 new families into our community.

[Redacted] s.22(1)  
[Redacted], West Vancouver  
[Redacted] s.22(1)

---

**From:** [REDACTED] s. 22(1)  
**Sent:** Wednesday, March 6, 2024 7:37 AM  
**To:** correspondence  
**Subject:** Aquila

**CAUTION:** This email originated from outside the organization from email address [REDACTED] s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

I am writing in support of the proposed Aquila project. I encourage council to approve this development as it addresses an urgent need for more achievable housing at more affordable prices.

Thank you.

[REDACTED] s. 22(1)  
[REDACTED]  
[REDACTED]  
Sent from my iPad

---

**From:** [REDACTED] s. 22(1)  
**Sent:** Tuesday, March 5, 2024 3:30 PM  
**To:** correspondence  
**Subject:** Dog faeces

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear sir/madam. This is a complaint about the dog faeces on the seawall between dundarave pier and ambleside pier. Since the bylaw was changed there has been an increased amount of dog faeces on the seawall walk, it seems to increase daily. Even when a partial effort is made by owners to pick up the excrement, there is still a dirty residue. When a dog has very soft stool it's impossible to clean, if at all. I feel this presents a health and safety issue to those of us who depend on this area for recreation. The dog owners are a minority of seawall users, yet handicapped users and others- the majority- are subjected to this hazard. I cannot help but think that the increased cost of additional cleaning- if it's being done- cannot be justified to please a minority of seawall users. Have we forgotten that a dog path already exists along the seawall? I sincerely hope you consider my request to reverse the bylaw permitting dogs on this pristine serene walkway. Thank you. [REDACTED] s. 22(1).  
Sent from my iPhone

---

**From:** s. 22(1)  
**Sent:** Tuesday, March 5, 2024 1:55 PM  
**To:** correspondence  
**Subject:** Police Board

CAUTION: This email originated from outside the organization from email address s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Council,

It would only be prudent to respect Council and its functions - including that of the Mayor... which would preclude that Mark Sager should step down as police board chair of West Van police until the B.C. Elections investigation is completed by KC Gordon and Port Moody Police... once the public can know the result... only then, and depending on that result Mark Sager should contemplate real hard how much scandal that the Mayor of West Van should be embroiled in before they permanently do harm to Council.

As a younger person who s.22(1) and had the pleasure of getting to know s. 22(1) - I'm very concerned about the indifference being shown here by Mark Sager.

Sincerely,

s. 22(1)  
Maple Ridge

Sent from my iPhone

**From:** Ed Pielak <westvanplayers@shaw.ca>  
**Sent:** Tuesday, March 5, 2024 9:15 PM  
**To:** correspondence; Mark Sager; Linda Watt; Sharon Thompson; Christine Cassidy; Nora Gambioli; Scott Snider; Peter Lambur  
**Subject:** Proposal for Construction of Pickleball Courts in Ambleside Park

**CAUTION:** This email originated from outside the organization from email address westvanplayers@shaw.ca. Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

To Mayor Sager and Councillors,

It is our understanding from the District's Pickleball Advisory Round Table that a proposal from Parks to construct pickleball courts at Ambleside Park will be presented to Council before spring break.

West Van Players urge you to approve this proposal. These courts will replace the pickleball courts that were decommissioned at 29th and Marine Drive in April, 2022.

As you all know, pickleball is an immensely popular, all-ages sport. Here in West Vancouver, demand for court-time and introductory sessions far outweighs court availability, and is only increasing.

West Van Players is an advocacy group representing a very enthusiastic and ever increasing number of pickleball players throughout our community.

Sincerely,

Edward Pielak

On Behalf of West Van Players

s. 22(1)

West Vancouver, BC,

s. 22(1)

**THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER  
CODE OF CONDUCT COMMITTEE MEETING MINUTES  
MAIN FLOOR CONFERENCE ROOM, MUNICIPAL HALL  
MONDAY, NOVEMBER 20, 2023**

---

Committee Members: D. Moss, D. Thomas; and Councillors S. Snider (Chair), N. Gambioli, and P. Lambur attended the meeting in the Main Floor Conference Room, Municipal Hall.

Staff: P. Cuk, Manager, Legislative Operations/Deputy Corporate Officer (Staff Representative); and T. Azuma, Committee & Policy Coordinator (Committee Clerk) attended the meeting in the Main Floor Conference Room, Municipal Hall.

**1. CALL TO ORDER**

The meeting was called to order at 3:01 p.m.

**2. APPROVAL OF AGENDA**

It was Moved and Seconded:

THAT the November 20, 2023 Code of Conduct Committee meeting agenda be approved as circulated.

CARRIED

**3. ADOPTION OF MINUTES**

It was Moved and Seconded:

THAT the October 23, 2023 Code of Conduct Committee meeting minutes be adopted as circulated.

CARRIED

**REPORTS / ITEMS**

**4. Review of Proposed Code of Conduct**

Member Thomas introduced changes made to the proposed Code of Conduct bylaw, highlighted the formal resolution process, and recommended further discussion.

Councillor N. Gambioli left the meeting at 3:06 p.m. and returned at 3:07 p.m.

Committee members proceeded to discuss: the definition of threat; possible duplication during the complaint process; policy framework suggested by Legal Counsel regarding the appointment and role of an integrity commissioner; and the future role of the Committee. Staff provided input and responded to the committee's questions.

Member Thomas offered to continue revising the proposed Code of Conduct bylaw and requested staff to send the proposed bylaw to D. Lidstone (Legal Counsel, Lidstone & Co.) for review.

Committee members requested that staff create a memo and present the proposed



Code of Conduct bylaw to Council for consideration following legal review, as early as the December 11, 2023 regular Council meeting.

It was Moved and Seconded:

THAT the discussion regarding Review of Proposed Code of Conduct be received for information.

CARRIED

**5. PUBLIC QUESTIONS**

Councillor L. Watt spoke regarding the term of the Integrity Commissioner. Recommended that the appointment overlap the terms of outgoing and incoming Councils.

E. McHarg spoke in support of finalizing the proposed Code of Conduct Bylaw.

N. Carroll spoke regarding his experience on the Seniors' Activity Centre Advisory Board. Chair provided a response.

D. Marley inquired about the initial committee meeting date and requested clarification regarding the bylaw. Chair provided a response.

**6. NEXT MEETING**

No additional Code of Conduct Committee meetings are scheduled.

**7. ADJOURNMENT**

It was Moved and Seconded:

THAT the November 20, 2023 Code of Conduct Committee meeting be adjourned.

CARRIED

The meeting adjourned at 4:02 p.m.

Certified Correct:

s. 22(1)  
[Redacted Signature]

s. 22(1)  
[Redacted Signature]  
Committee Clerk

**THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER  
FINANCE AND AUDIT COMMITTEE MEETING MINUTES  
COUNCIL CHAMBER, MUNICIPAL HALL  
MONDAY, JANUARY 29, 2024**

---

Committee Members: Mayor M. Sager (Chair); and Councillors C. Cassidy, N. Gambioli, S. Snider, S. Thompson, and L. Watt attended the meeting in the Council Chamber, Municipal Hall. Absent: Councillor P. Lambur.

Staff: S. Findlay, Municipal Manager; I. Gordon, Director, Financial Services; C. Boy, Deputy Director, Financial Services; J. Hu, Manager, Financial Planning; and L. Taylor, Executive Assistant to the Director of Financial Services (Committee Clerk) attended the meeting in the Council Chamber, Municipal Hall.

**1. CALL TO ORDER**

The meeting was called to order at 2:03 p.m.

**2. Election of Acting Chair**

It was Moved and Seconded:

THAT the Acting Mayor be elected as Acting Chair for 2024.

CARRIED

**3. Committee Meeting Schedule**

It was Moved and Seconded:

THAT the Finance and Audit Committee Meeting Schedule for 2024 be adopted as follows:

- February 26, 2024 at 2 p.m.;
- May 6, 2024 at 2 p.m.;
- June 27, 2024 at 2 p.m.;
- September 23, 2024 at 2 p.m.; and
- December 9, 2024 at 2 p.m.

CARRIED

It was Moved and Seconded:

THAT all remaining Finance and Audit Committee meetings for 2024 be held in-person in the Council Chamber at Municipal Hall.

CARRIED

**4. APPROVAL OF AGENDA**

It was Moved and Seconded:

THAT the January 29, 2024 Finance and Audit Committee meeting agenda be approved as circulated.

CARRIED

**5. ADOPTION OF MINUTES**

It was Moved and Seconded:

THAT the December 11, 2023 Finance and Audit Committee meeting minutes be adopted as circulated.

CARRIED

**REPORTS / ITEMS**

**6. Proposed 2024 Operating and Capital Budgets Report**

Staff presented the proposed 2024 Operating and Capital Budgets Report and answered Committee questions. The Chair expressed that more time was required to review and discuss the operating and capital budgets therefore further consultation was required. The Committee will not be recommending a budget option with a tax rate to Council at this time.

Staff presented a table on tax rates titled "2024 Preliminary Tax Increases from Other Municipalities" for information.

Councillor Thompson left the room at 3:44 p.m. and returned at 3:45 p.m.

**7. 2023 Asset Management Update**

Staff presented the 2023 Asset Management Update and responded to Committee questions.

It was Moved and Seconded:

THAT the 2023 Asset Management Update be received for information.

CARRIED

**8. PUBLIC QUESTIONS**

E. McHarg commented on the need for a plan around sidewalks. She also encouraged any further budget discussions to include the public to encourage education and understanding.

D. Mulhern Anthony commented on the need to support the 0.5% Environmental Levy increase and that we need to do our part to lower greenhouse gas emissions.

A resident asked a question regarding the tax comparison with the other municipalities and noted that the capital levy for West Vancouver was greater than that of other municipalities, for instance, North Vancouver.

The Committee replied it was not possible to compare the District of West Vancouver ("District") to other municipalities for a variety of reasons due to differences in both the type of services and the service levels offered and differences in the composition of the tax base. Also, tax percentage increases are not comparable because other municipalities do not separate out utilities whereas the District does because of the meter system resulting in a user pay model.

E. Pielak asked if there could be a system whereby the District could charge the Crown Corporation/Ferry Terminal for the traffic congestion/noise level due to construction on Highway #1 caused by vehicles heading to the Horseshoe Bay Ferry Terminal. He mentioned that this could be a source of additional revenue for the District. The Mayor replied that the District has no jurisdiction to do this.

He also asked if the pay parking plan would be increased to include Ambleside Park in the near future. The Committee commented that the pay parking plan would be increased once the program was fully implemented.

G. Powroznik discussed the difficulties of putting together a municipal budget with cost control. Keeping operating costs down has been done by District staff. The biggest issue is lack of revenue. He stated that development in West Vancouver for the last fifty years has been 1/6 of the average of Metro Vancouver, that municipalities get most of their revenue from development, and that we need to increase the tax base as it is not affordable to live here for the average family.

## 9. NEXT MEETING

Chair will follow up with staff regarding the next meeting.

## 10. ADJOURNMENT

It was Moved and Seconded:

THAT the January 29, 2024 Finance and Audit Committee meeting be adjourned.

CARRIED

The meeting adjourned at 4:04 p.m.

Certified Correct:

\_\_\_\_\_  
Chair

s. 22(1)

\_\_\_\_\_  
Committee Clerk

s. 22(1)

**From:** Patrick Weiler MP <patrick.weiler@parl.gc.ca>  
**Sent:** Thursday, February 29, 2024 5:00 PM  
**To:** correspondence  
**Subject:** [BULK] February 2024 MP Newsletter

**CAUTION:** This email originated from outside the organization from email address bounce\_49f26702-67d7-ee11-85f9-002248223794\_prod@bounce.myngp.com. Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

## Unsubscribe

It appears that you have subscribed to commercial messages from this sender. To stop receiving such messages from this sender, you can unsubscribe.

[Click here to unsubscribe.](#)



Dear Mayor and Council,

February 24th marked two years since Vladimir Putin's unprovoked, illegal and unjustified invasion of Ukraine. I joined thousands on [this](#) difficult day to convey Canada's resolve to support the people of Ukraine in their fight against Russian aggression with as much as it takes for as long as it takes. On this somber day, Canada announced a security guarantee and additional funding for Ukraine which continues to defend democracy from Putin's authoritarianism.

As we ramp up to Budget 2024, I've been holding pre-budget consultations here in our communities and in Ottawa as part of Finance Committee. With [inflation now down to 2.9%](#), among the lowest in the G7, we are shaping a budget that will continue to invest in Canadians and make life more affordable. Your feedback and that of stakeholders across the country is vital in shaping a budget that responds to the issues and priorities this country faces.

Earlier this week, we tabled the [Online Harms Act](#) to make online spaces safer and hold web giants more accountable for the harmful content they host. The Bill will create stronger online protections for children, and better safeguard everyone in Canada from the proliferation of online hate and other types of harmful content, including intimate images being shared without consent.

Earlier today, we also tabled the [Pharmacare Act](#), which proposes the foundational principles for first phase of national universal pharmacare in Canada and lays out our intent to work with provinces and territories to provide universal, single-payer coverage for a number of contraception and diabetes medications.

On February 20, the Prime Minister was in Vancouver to [announce \\$2 billion in federal financing](#) for a major new housing program in British Columbia, supporting the creation of 10,000 units to get apartments built quickly on provincial land. We hope this will be one of many similar programs enacted across the country.

As we continue to move towards a cap on oil and gas emissions, last week we announced that the the last oil and gas permits on the Pacific coast were relinquished, safeguarding Canada's west coast from both exploration and development. This announcement responds directly to calls many Indigenous communities have been making and goes hand-in-hand with our conservation goals.

The Government also announced this month a [program to forgive student loans for doctors and nurses working in under-served rural and remote communities](#) (which includes all of our riding outside of Metro Vancouver), a new bilateral agreement to help British Columbians age that provides a substantial investment in long-term care, community and home care to allow seniors to better age with dignity, an extension on the foreign home ownership ban, and a top up to the Canada Housing Benefit to help low-income renters.

I also [voted in favour of the motion](#) to form a Citizens' Assembly on Electoral Reform. Though it didn't pass, we've brought to light how important this issue is to so many in Canada and in our region, and I look forward to counting to find ways to improve how our democracy functions.

It was a pleasure to welcome Minister Harjit Sajjan last week to [announce a \\$2.5 million investment for Quantum Tech in Squamish](#) to help scale up the company's green hydrogen business which is fast growing and will be critical in our energy transition. Squamish is a hub for clean technology businesses, and our government is committed to making local investments like these which help scale up innovation, create well paying jobs, and unlock the unmatched opportunities in the green economy.

This month, Sea to Sky Community Services announced its Brackendale location is now [delivering \\$10/day childcare](#), totaling 180 \$10/day spaces it is offering in the Sea to Sky, a result of the Government of Canada's early learning childcare program funding. I look forward to seeing \$10/day childcare further expanded in our riding and across Canada in the months ahead.

February also marked Lunar New Year, and I had the pleasure of joining our community at the West Vancouver Community Centre to mark the Year of the Dragon. May this year bring you health, happiness, and prosperity.



## Federal Updates

### Rolling out the Canadian Dental Care Plan

## Canadian Dental Care Plan Phased Rollout

AGE GROUP	APPLICATION OPEN
Seniors aged 87 and above	Starting December 2023
Seniors aged 77 to 86 years	Starting January 2024
Seniors aged 72 to 76 years	Starting February 2024
Seniors aged 70 to 71 years	Starting March 2024
Seniors aged 65 to 69 years	Starting May 2024
Adults with a valid Disability Tax Credit certificate	Starting June 2024
Children under 18 years old	Starting June 2024
All remaining eligible Canadian residents	Starting 2025

The Canadian Dental Care Plan (CDCP) is continuing to be implemented, rolling out by age, and once fully realized it will help up to 9 million Canadians. If you make less than \$90,000 a year, do not currently have access to dental insurance and filed your taxes in 2022, you will receive a letter in the mail with details on how to apply. You can find more information about the program and when you will receive your letter in the table below or in our flyer which we sent to all constituents, which you can read online [here](#).

### Introducing the First Phase of National Universal Pharmacare

Today, we introduced Bill C-64, An Act respecting pharmacare (Pharmacare Act), which proposes the foundational principles for first phase of national universal pharmacare in Canada and describes the Government of Canada's intent to work with provinces and territories (PTs) to provide universal, single-payer coverage for a number of contraception and diabetes medications.

This legislation is an important step forward to improve health equity, affordability, and outcomes and has the potential of long-term savings to the health care system.

Coverage for contraceptives will mean that 9 million Canadians of reproductive age will have better access to contraception and reproductive autonomy, reducing the risk of unintended pregnancies and improving their ability to plan for the future. Cost has consistently been identified as the single most important barrier to access to these medications and the cost is unevenly borne by women and gender diverse Canadians. Bill C-64 will ensure that Canadians will have access to a comprehensive suite of contraceptive drugs and devices.

### Investing in Affordable Housing



Prime Minister Justin Trudeau was in Vancouver a couple of weeks ago to announce \$2 billion in additional federal financing for the BC Builds program, which will build thousands of middle-class rental homes on government, non-profit, community-owned and underused land. This investment will allow for low-cost financing to build more homes, helping create a minimum 8,000 to 10,000 additional new homes for the middle class. The Government of Canada is offering the same level of funding to any other provinces that enact a similar program. Working together, we can address Canada's housing crisis and open up home ownership to all Canadians.

## **Extending the Ban on Foreign Ownership of Canadian Housing**

This month, we announced the extension of the existing ban on foreign ownership of Canadian housing for another two years.

For years, foreign money has been coming into Canada to buy up residential real estate, increasing housing affordability concerns in cities across the country, and particularly in major urban centres. Foreign ownership has also fueled worries about Canadians being priced out of housing markets in cities and towns across the country. With this extension, foreign commercial enterprises and people who are not Canadian citizens or permanent residents will continue to be prohibited from purchasing residential property in Canada.

## **Ending Oil and Gas Permits on the Pacific Coast**

On February 21, Minister of Energy and Natural Resources Jonathan Wilkinson announced that the federal government has secured the surrender of the final permits for oil and gas development off the Pacific Coast. These permits represented



the last oil and gas permits in the Pacific offshore, meaning there are now zero permits left for oil and gas on Canada's west coast.

This is another step in our government's plan to support conservation in the Pacific region. The relinquishment will help to advance the Great Bear Sea Project Finance for Permanence (PFP) initiative, as a part of a durable plan to support sound stewardship, management, and sustainable economic development and diversification across the Pacific region.

## **Announcing New Affordability Measures & Supports**

Early this month we announced the federal government is taking new action to deliver rent support to low-income renters and open more emergency shelter spaces in cities across the country.

This includes a \$99 million national top-up to the Canada Housing Benefit, which helps to make rent more affordable by delivering rent support payments directly to Canadians. By 2027-28, the Canada Housing Benefit will have helped to make rent more affordable for over 300,000 low-income households.

We are also providing \$100 million in emergency winter funding to enable 85 communities across the country to provide more shelter spaces for people experiencing homelessness through the [Reaching Home](#) program.

## **Increasing loan forgiveness for doctors and nurses working in under-served rural and remote communities**

The cost of education and training for nurses and doctors is high and can discourage many talented Canadians from pursuing their career of choice. That is why we are taking action with an increase of loan forgiveness by 50% for doctors and nurses working in under-served rural and remote communities.

With these changes, up to \$60,000 will be forgiven for a family physician or family medicine resident, and up to \$30,000 for a nurse or nurse practitioner. This is a 50% increase to the maximum amount of forgivable Canada Student Loans for eligible family physicians, family medicine residents, nurses and nurse practitioners working in under-served rural and remote communities. Approximately 3,000 doctors and nurses will benefit in the first year of implementation, reaching up to 8,000 per year by 2032–2033.

This measure is expected to attract nearly 1,200 new doctors and 4,000 new nurses to under-served rural and remote communities across the country over a 10-year period.

## **Canada signs \$733 million bilateral agreement to help British Columbians age with dignity**

Every senior in Canada deserves to age in dignity, safety, and comfort, regardless of where they live. That is why the Government of Canada is investing close to \$200

billion over 10 years, which includes \$5.4 billion for tailored bilateral agreements with provinces and territories on Aging with Dignity.

This month, we announced a bilateral agreement to invest \$733 million over the next five years to help British Columbians age with dignity, closer to home, through improved access to home and community care and long-term care (LTC).

## **Tackling Online Harms & Protecting Children**

The internet is an exceptional tool for people of all ages to learn, play and connect with family, friends and those with similar interests. However, just like the outside world, the digital world can pose significant dangers. Social media can be used to sexually exploit children, promote self-harm to children, incite violence, put people's safety at risk and foment hate. Online harms have real-world impacts with tragic, even fatal, consequences.

The Government of Canada has introduced legislation to hold social media platforms accountable for addressing harmful content on their platforms and for creating a safer online space that protects all people in Canada, especially kids.

On February 26, 2024, the Government of Canada introduced Bill C-63 to create a new Online Harms Act—a baseline standard for online platforms to keep Canadians safe—to hold online platforms accountable for the content they host. Bill C-63 will create stronger protections for kids online and better safeguard everyone in Canada from online hate.

## **Two Years of War & Canada's Continued Support for Ukraine**



It has now been two years since Putin's illegal invasion of Ukraine, during which he has unleashed unspeakable brutality on the country and the people. Hundreds of thousands have been killed and millions forced to flee their homeland. Despite this, Ukraine continues to fight to protect their land, identity, and for their country. Canada has stood by Ukraine since day one and has committed over \$9.7 billion including \$2.4 billion in military aid, as well as training for over 40,000 Ukrainian troops. We have also made investments in humanitarian and development assistance to help Ukraine rebuild and recover. Canada will continue to impose sanctions on the Russian regime and those responsible for this war. This month we announced a

donation of more than 800 SkyRanger R70 multi-mission Unmanned Aerial Systems and F-16 fighter jet supplies to Ukraine.

Supporting Ukraine is not just about supporting an ally; it is about pushing back against Russian aggression and ensuring that Putin cannot launch a wider-scale war in Europe. Canada must continue with our allies to support Ukraine and defend the ideals of territorial integrity and democracy. Slava Ukraini.

## **Update on Palestine and Israel**

The Israeli offensive in Gaza has now entered its fifth month, with a reported death toll of approximately 30,000 Palestinians killed; thousands are still stuck under rubble and malnutrition is widespread due to continuous bombardments and a lack of aid trucks being permitted to enter the Gaza Strip.

There are currently 1.5 million people in Rafah, a small area in the southernmost part of the Gaza Strip. Most of them fled their homes in other parts of Gaza to escape Israeli bombardments, having been told Rafah was a safe zone. We are gravely concerned about the planned Israeli ground invasion of Rafah, as a military operation there by Israel would be catastrophic.

Israel must listen to international consensus, the international community and international law. We need a ceasefire now as the first step towards a long-lasting peace.

---

## **Constituency Updates**

---

### **Announcing Federal Support for Squamish-based Quantum Technology**



Squamish is one of the fastest growing towns in BC and is a hub for clean technology businesses, like Squamish's very own Quantum Technology. This month, alongside Minister of Emergency Preparedness and the Minister responsible for PacifiCan, Harjit Sajjan, we announced \$2.5 million in federal funding to Quantum Technology through PacifiCan's Business Scale-up and Productivity (BSP) program. Their project aims to increase manufacturing capacity of hydrogen purification and liquefaction systems. This local investment for a BC-owned business that is quickly growing its market globally will create well paying sustainable jobs right in our backyard.

## **Celebrating Lunar New Year**



Lunar New Year is an important celebration for many East Asian communities here in Canada and around the world. I joined friends and families at the West Vancouver Community Centre's annual celebration. I had the honour of helping to wake the lion and officially kick off the festivities. My nephew Hayden helped me pass out red envelopes as we wished people a prosperous and happy new year. To all those celebrating, may the Year of the Dragon bring you and your loved ones health, success and growth!

## **Update on the Dock Management Plan**

In recent months, many residents on the Sunshine Coast have reached out with concerns regarding the Dock Management Plan, and I want to respond fully to those concerns and update you on recent developments.

It is important to note that as the Dock Management Plan falls solely under the purview of the provincial government, and I have no direct role to intervene on the matter. However, I fully appreciate the great concern that potentially affected property owners have regarding the proposed plan, the significant impacts that could have on the value of and enjoyment of their property, and the collective impact that this proposed plan could have on the economic of the region. At the same time, I am committed to working collectively with the shishalh nation, other orders of government and the community on the shared and difficult journey of reconciliation, and particularly what that means on the swiya of the nation.

In recent weeks, I have met with the Pender Harbour Area Residents Association, the Waterfront Protection Coalition, as well as other constituents and community stakeholders to better understand their concerns on the Dock Management Plan. I have recently relayed these concerns directly in conversations with MLA Nicholas Simons, and Provincial Ministers Nathan Cullen and Murray Rankin to advocate for changes both to the process and substance of the plan given the grave concerns that constituents have shared with me.

## **Constituency Open House**



I hosted my annual constituency open house at the end of the month. It is a highlight of the year to have our doors open and be able to meet constituents and talk about their priorities and concerns. It was wonderful to chat with so many people and to introduce my staff and get to know everyone a bit better. To everyone who came out, thank you and I hope to see you again soon.

### **Advocacy in Action Business Roundtable**

It is not easy to start a business and invest in something you love, but the dedication and courage from our business owners is what makes our communities so special. I had the chance to listen to a diverse group of people ranging from business owners to beekeepers, realtors to non-profit directors during the [Advocacy in Action Business Roundtable](#), hosted by Louise Walker and the Whistler Chamber of Commerce. It was a great discussion, thank you to all those who attended.

### **Pemberton Coming Together**

Pemberton last month was severely impacted by floods and many residents were displaced due to evacuation orders, but this didn't stop community members and local businesses from showing up for each other. Like Mount Currie Coffee Co, which offered free coffee to those affected by the floods and people like Kevin Clark, operations and maintenance manager for the Pemberton Valley Dyking District (PVDD). Or like Mile One Eating House which hosted a fundraiser for Pemberton Valley Trails Association (PVTA). It is both inspiring and heartwarming to hear how this community came together to support and take care of one another during these difficult times.



## ***Poverty Reduction Action Project, Be the Change***

This month, I want to profile “***Poverty Reduction Action Project***”, ***Be the Change***, a project on the Sunshine Coast that provides and facilitates a platform and stage for community learning, collaborative working and collective action-focused on one particular topic. February was Income, Wages and Workforce Month. Workshops were held by some of the Sunshine Coast’s great community leaders and included topics on “Introduction to Basic Budgeting’ and Guaranteed Basic Income: An introductory conversation”. Workshops are free and can be found on the [Sunshine Coast Resource Centre website](#).

---

## **Legislative Updates**

---

### **Finance Committee**

On Thursday, February 29th, I met with a number community partners from various sectors across the Sunshine Coast to get their ideas and input for Budget 2024, on how best to support our communities, support businesses and grow the economy.

These consultations are a critical part of the budget process and the feedback received will be compiled into a report and sent to the Department of Finance for review to help inform decisions on Budget 2024. Finance Committee is very busy in the lead up to Budget 2024, and I look forward to continuing this important work as we gear up to present the budget in the coming weeks.

We are also currently wrapping up our housing study and beginning a study on money laundering and terrorist financing. Did you know you can watch committees, and any other parliamentary proceedings online? [Watch here](#).

### **Tourism Caucus**



As Co-chair of the All-Party Tourism Caucus, I had the honour of being on a star-studded panel at the Indigenous Tourism Conference in Ottawa. Our panel focused on the [Tourism Growth Strategy](#) as for the first time it includes a pillar on Indigenous Tourism, highlighting the importance of this sub-sector to the overall industry.

Between 2014 and 2019, the industry's GDP contribution grew from \$1.4 billion to nearly \$2 billion. The COVID-19 pandemic hit tourism hard, and Indigenous tourism was no exception. We need to continue investing and supporting this booming sector, and ensure that in doing so we are building nation-to-nation relationships and upholding the values of reconciliation.

**OFFICE OF MP PATRICK WEILER  
CONSTITUENCY OFFICE: 6367 BRUCE ST., WEST  
VANCOUVER**

**OFFICE HOURS: WEEKDAYS  
10AM-5PM**

Office of Patrick Weiler MP  
6367 Bruce St  
West Vancouver, BC V7W 2G5  
Canada

If you believe you received this message in error or wish to no longer receive email from us, please [unsubscribe](#).

March 1, 2024

File: CR-12-01  
Ref: RD 2026 01 26

Mayor Mark Sager and Council  
District of West Vancouver  
750 17th St  
W Vancouver, BC V7V 3T3  
**VIA EMAIL: [mark@westvancouver.ca](mailto:mark@westvancouver.ca); [correspondence@westvancouver.ca](mailto:correspondence@westvancouver.ca)**

Dear Mayor Mark Sager and Council:

**Metro 2050 Type 2 Proposed Amendment  
City of Maple Ridge (Yennadon Lands)**

*Metro 2050*, the regional growth strategy, is the regional federation's plan for managing growth coming to Metro Vancouver in a way that: protects important lands like agriculture, ecologically important and industrial lands; contains growth within an urban containment boundary and directs it to transit oriented locations; and supports the efficient provision of utilities and transit. *Metro 2050* contains six regional and parcel based land use designations that support those objectives. By signing on to *Metro 2050*, if a member jurisdiction aspires to change the land use designation for a site then, as a first step, they have agreed to have the Metro Vancouver Board consider regional implications of the proposed amendment. *Metro 2050* outlines the process for proposed amendments.

The City of Maple Ridge is requesting a Type 2 Amendment to *Metro 2050* for a 25.4-hectare site comprising 13 properties located south-west of the intersection of 232 Street and 128 Avenue. The proposed amendment would adjust the Urban Containment Boundary to include 23154 128 Avenue and 12791 232 Street (approximately 2 hectares in total), as well as redesignate the regional land uses from General Urban and Agricultural to Industrial (18ha) and Conservation and Recreation (7.4ha) to accommodate future industrial uses and protect a portion of the site for nature.

65749007

At its January 26, 2024, regular meeting, the Board of Directors of the Metro Vancouver Regional District (MVRD) adopted the following resolution:

*That the MVRD Board:*

- a) initiate the Metro 2050 amendment process for the City of Maple Ridge's requested regional land use designation amendment from General Urban and Agricultural to Industrial and Conservation and Recreation for the lands located at 22913 127 Avenue, 22992 127 Avenue, 22870 127 Place, 22948 128 Avenue, 22990 128 Avenue, 23008 128 Avenue, 23154 128 Avenue, 12640 228 Street, 12639 232 Street, 12685 232 Street, 12759 232 Street, 12761 232 Street, and 12791 232 Street;*
- b) give first, second, and third readings to Metro Vancouver Regional District Regional Growth Strategy Amendment Bylaw No. 1376, 2024; and*
- c) direct staff to notify affected local governments as per section 6.4.2 of Metro 2050.*

As required by both the *Local Government Act* and *Metro 2050*, the regional growth strategy amendment process requires a minimum 45-day notification period to allow all affected local governments, First Nations, and members of the public to provide comment on the proposed amendment. Following the comment period, the MVRD Board will review all comments received and consider adoption of the amendment bylaw.

The proposed amendment is a Type 2 amendment to *Metro 2050*, which requires that an amendment bylaw be passed by the MVRD Board by a two-thirds weighted vote. For more information on regional growth strategy amendment procedures, please refer to Sections 6.3 and 6.4 in *Metro 2050*. Enclosed is a Metro Vancouver staff report dated January 3, 2024, titled "Metro 2050 Type 2 Proposed Amendment – City of Maple Ridge (Yennadon Lands)" providing background information and an assessment of the proposed amendment regarding its consistency with *Metro 2050*.

You are invited to provide written comments on the proposed amendment. If you have any questions or wish to comment with respect to the proposed amendment, please contact Jonathan Cote, Deputy General Manager, Regional Planning and Housing Development, by phone at 604-432-6391, or by email at [jonathan.cote@metrovancover.org](mailto:jonathan.cote@metrovancover.org) by **April 18, 2024**.

Yours sincerely,

s. 22(1)



George V. Harvie  
Chair, Metro Vancouver Board

GVH/JWD/hm

cc: Scott Findlay, Municipal Manager, District of West Vancouver  
Jerry W. Dobrowolny, Commissioner/Chief Administrative Officer, Metro Vancouver  
Heather McNell, Deputy Chief Administrative Officer, Policy and Planning, Metro Vancouver  
Jonathan Cote, Deputy General Manager, Regional Planning and Housing Development, Metro Vancouver

Encl: MVRD Board report dated January 3, 2024, titled "Metro 2050 Type 2 Proposed Amendment – City of Maple Ridge (Yennadon Lands)" (pg. 462)

65749007

To: Regional Planning Committee

From: Victor Cheung, Senior Policy and Planning Analyst  
Regional Planning and Housing Services

Date: January 3, 2024 Meeting Date: January 12, 2024

Subject: **Metro 2050 Type 2 Proposed Amendment – City of Maple Ridge (Yennadon Lands)**

---

### RECOMMENDATION

That the MVRD Board:

- a) initiate the Metro 2050 amendment process for the City of Maple Ridge's requested regional land use designation amendment from General Urban and Agricultural to Industrial and Conservation and Recreation for the lands located at 22913 127 Avenue, 22992 127 Avenue, 22870 127 Place, 22948 128 Avenue, 22990 128 Avenue, 23008 128 Avenue, 23154 128 Avenue, 12640 228 Street, 12639 232 Street, 12685 232 Street, 12759 232 Street, 12761 232 Street, and 12791 232 Street;
  - b) give first, second, and third readings to "Metro Vancouver Regional District Regional Growth Strategy Amendment Bylaw No. 1376, 2024"; and
  - c) direct staff to notify affected local governments as per section 6.4.2 of Metro 2050.
- 

### EXECUTIVE SUMMARY

The City of Maple Ridge is requesting a Type 2 *Metro 2050* Amendment for a 25.4 hectare site comprised of 13 properties located south-west of the intersection of 232 Street and 128 Avenue. The proposed amendment would adjust the Urban Containment Boundary to include 23154 128 Avenue and 12791 232 Street (approximately 2 hectares in total), and redesignate the regional land uses from General Urban and Agricultural to Industrial and Conservation and Recreation to accommodate future industrial uses and protect a portion of the site for nature.

The proposed amendment has been assessed in relation to applicable *Metro 2050* goals and policies as follows:

- Would add 18 hectares of Industrial land to contribute to the region's industrial land supply, which is facing a critical shortage;
- Would add 7.4 hectares of Conservation and Recreation land and may contribute to the region's lands protected for nature target, if additional legal mechanisms are applied;
- Would redesignate 2 hectares of Agricultural land and 23.4 hectares of General Urban land;
- The introduction of industrial uses has the potential to negatively affect adjacent agricultural uses; the effects are being addressed through the Yennadon Lands Employment Park Design Guidelines; and
- The subject properties are strategically located from a goods movement perspective, and while currently not well serviced by transit, the City has future plans for active transportation options in the area.

The requested *Metro 2050* Type 2 amendment bylaw requires adoption through an amendment bylaw passed by an affirmative two-thirds weighted vote of the MVRD Board. Although some of the proposed land use changes would be considered Type 3 amendments the City of Maple Ridge has packaged all proposals together as a Type 2 amendment.

**PURPOSE**

To provide the Regional Planning Committee and MVRD Board with the opportunity to consider the City’s request to amend *Metro 2050* to accommodate industrial uses and protected natural areas through a *Metro 2050* Type 2 amendment.

**BACKGROUND**

On August 2, 2023, Metro Vancouver received a request from the City of Maple Ridge to consider a *Metro 2050* amendment for the subject site. The proposed amendment would expand the Urban Containment Boundary and amend regional land use designations from General Urban and Agricultural, to Industrial and Conservation and Recreation. Proposed amendments are provided to the Regional Planning Committee and MVRD Board for consideration.

**SITE CONTEXT**

The subject site is 25.4 hectares in size and comprises 13 properties (Table 1). It is bounded respectively by the Agricultural Land Reserve to the north and east and an existing single detached residential neighbourhood to the south and west (Figure 1). The subject site is currently largely within the Urban Containment Boundary (92 percent), with the exception of the properties at 23154 128 Avenue and 12791 232 Street (approximately 8 percent or 2 hectares), which are designated Agricultural in *Metro 2050*.

The majority of the subject lands are designated Agricultural in the City’s Official Community Plan (OCP) and zoned RS-3 (One Family Rural Residential) and RS-2 (One Family Suburban). The subject lands are designated General Urban and Agricultural in *Metro 2050* (Figure 2) and the City of Maple Ridge’s Regional Context Statement. None of the lands are within the Agricultural Land Reserve. The City’s staff report on the proposal notes that the existing uses on the lands range from single-family use to vacant underutilized lands (Attachment 2). Additional site information can be found in the City’s submission and staff report (Attachments 1 and 2), and a summary of the existing site description is provided in Table 1.

**Table 1. Existing Site Description**

Address	Current Zoning	Current OCP Land Use Designation	Current Regional Land Use Designation	Inside the Urban Containment Boundary?
22913 127 Avenue	RS-3	Agricultural	General Urban	Yes
22992 127 Avenue	RS-3	Agricultural	General Urban	Yes
22870 127 Place	RS-3	Agricultural	General Urban	Yes
22948 128 Avenue	RS-3	Agricultural	General Urban	Yes
22990 128 Avenue	RS-2	Agricultural	General Urban	Yes
23008 128 Avenue	RS-3	Agricultural	General Urban	Yes



23154 128 Avenue	RS-3 (84%) and RS-2 (16%)*	Agricultural	Agricultural	No
12640 228 Street	RS-3	Agricultural (97%) and Residential (3%)*	General Urban	Yes
12639 232 Street	RS-3	Agricultural	General Urban	Yes
12685 232 Street	RS-3	Agricultural	General Urban	Yes
12759 232 Street	RS-3	Agricultural	General Urban	Yes
12761 232 Street	RS-3 (75%) and RS-2 (25%)*	Agricultural	General Urban	Yes
12791 232 Street	RS-2	Agricultural	Agricultural	No

\*Multi-zoned and/or multi-designated parcels

Figure 1. Site Context



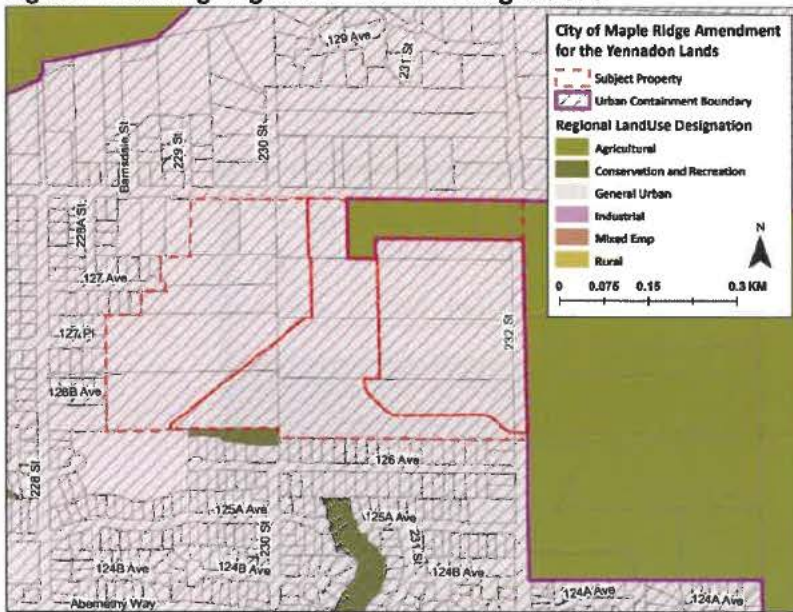
**PROPOSED REGIONAL LAND USE DESIGNATION AMENDMENT**

The City of Maple Ridge has held a public hearing and granted 3<sup>rd</sup> reading to the respective OCP and zoning amendment bylaws. The proposal would amend the City’s OCP and Zoning Bylaw for the subject site to accommodate industrial uses and protected natural areas. The City can only proceed to adopt the proposed OCP amendments after the MVRD Board approves the corresponding *Metro 2050* Type 2 amendment given the change of land use being requested. The proposed land use changes are outlined in Table 2 and on Figures 2 and 3.

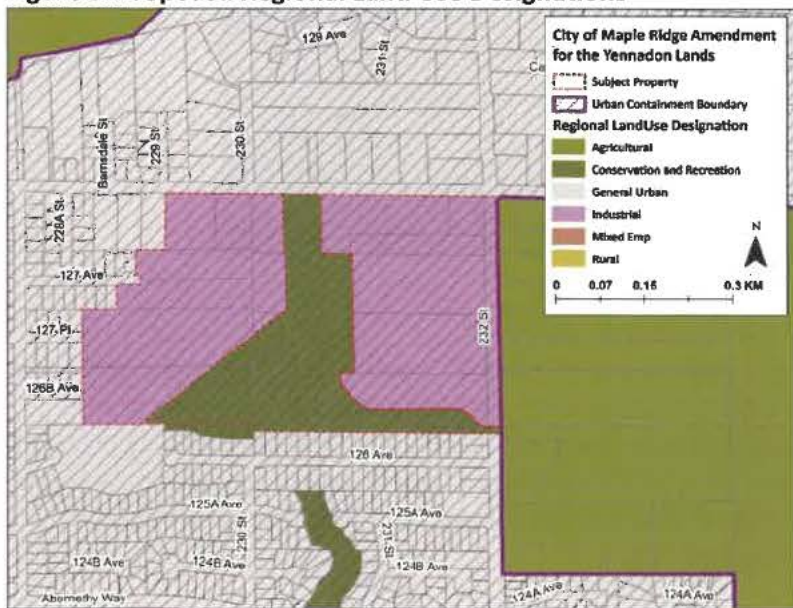
**Table 2. Proposed Site Designations**

	<b>Current</b>	<b>Proposed</b>
<b>Metro 2050</b>	General Urban and Agricultural	Industrial (18 ha) and Conservation and Recreation (7.4 ha)
<b>OCP</b>	Agricultural	Industrial and Conservation
<b>Zoning</b>	RS-2 (Single Detached Suburban Residential) and RS-3 Single Detached Rural Residential	M-7 (Employment Park Zone)

**Figure 2. Existing Regional Land Use Designations**



**Figure 3. Proposed Regional Land Use Designations**



Should the application proceed, an updated Regional Context Statement (RCS) that reflects the proposed regional land use designation change will be required. Maple Ridge will submit an updated RCS for consideration of acceptance should the MVRD Board initiate and give initial readings to the proposed *Metro 2050* amendment bylaw.

### **REGIONAL PLANNING ANALYSIS**

The City of Maple Ridge's proposed *Metro 2050* amendment has been assessed in relation to the applicable goals and policies of the Regional Growth Strategy. The intent of the assessment by Regional Planning staff is to identify any potential regional planning implications and the regional significance of the proposed land use changes in consideration of *Metro 2050*, not to duplicate the municipal planning process. *Metro 2050* sets out a long-term regional vision to support growth and change while protecting the natural environment, fostering community well-being, and supporting economic prosperity, among other objectives (Reference 1). Staff's role in assessing amendment requests is primarily to consider any implications to the shared *Metro 2050* vision, goals and strategies from a long-term, regional perspective. A summary of the regional analysis is provided as follows.

#### **Goal 1: Create a Compact Urban Area**

Goal 1 of *Metro 2050* includes strategies to concentrate urban development within the Urban Containment Boundary, and to direct growth to a network of Urban Centres and along transit corridors, with an aim to support the development of resilient, healthy, connected, and complete communities with a range of services and amenities.

#### ***Consideration 1: Urban Containment***

The majority of the subject site (92%) is currently within the Urban Containment Boundary; the proposed amendment will expand the Urban Containment Boundary by approximately 2 hectares or 8% of the subject site. The properties that are currently outside the Urban Containment Boundary have been deemed to be "unsuited for agriculture" and were approved for removal from the Agricultural Land Reserve by the Agricultural Land Commission on June 28, 2023. These properties are surrounded on three sides by lands that are within the Urban Containment Boundary and designated General Urban. Given this context, there is a supportable rationale that these lands be included with a regional land use designation that is consistent with the site as a whole, and be included within the Urban Containment Boundary. Staff do not believe the amendment will lead to a proliferation of proposed amendments given the site context described above.

#### ***Consideration 2: Development of resilient, healthy, connected & complete communities***

The proposal will create an employment area in close proximity to an established residential neighbourhood, where residents and workers can take advantage of a short commute to work or trip for services. Under the site's current designation, the majority of the site would likely have been redeveloped as low density residential, which would not have positively contributed to building a complete community as envisioned in Goal 1 of *Metro 2050*. Although the site is not located within an Urban Centre or a FTDA, the location would be considered an appropriate location for light industrial uses. The employment area is intended to be small-scaled with limited building heights and sizes and includes design guidelines and subjected to a Development Permit, to better fit within the neighbourhood and support the creation of a complete community. The

proposal supports the City's 2014 Commercial & Industrial Strategy which identified the need for an additional 69-93 hectares of additional industrial lands by 2040. The creation of this employment area is consistent with strategy 1.3 of *Metro 2050*, in particular policy 1.3.7 a) that states that member jurisdictions will support the creation of compact, mixed use, walkable communities. On balance the proposed amendment supports the policies in Goal 1.

Goal 2: Support a Sustainable Regional Economy

Goal 2 of *Metro 2050* includes strategies to promote land development patterns that support a diverse regional economy. This includes the protection and enhancement of the region's supply of industrial and agricultural lands, while supporting employment opportunities close to where people live.

*Consideration 1: Enhancement of the region's supply of industrial lands*

It has been well documented in the Metro Vancouver Regional Industrial Lands Strategy and other reports that the region is facing a critical shortage of industrial lands. 27 percent of the region's jobs are located on industrial lands, and there continues to be significant demand for industrial lands with very low vacancy rates, which is constraining the region's economic and employment growth. The proposed amendment, if approved, would add 18 hectares of new industrial land that would support employment opportunities within an existing residential context. The creation of this employment area is consistent with strategy 2.1 of *Metro 2050*, in particular policy 2.1.10 a) which states that member jurisdictions will support economic opportunities and context specific industrial and employment areas.

The small scale nature of this employment area supports policy 1.2.24 c) ii) that discourages the creation of major trip generating non-residential uses outside of Urban Centres and Frequent Transit Development Areas. The City's Commercial and Industrial Strategy identifies the Yennadon lands as a potential location of employment uses. It is not clear what uses are intended for the new industrially-designated lands, other than the City's staff report noting that "the technology sector, light manufacturing companies, and professional offices" would be appropriate for the site. The Industrial regional land use designation does not support stand-alone office uses, as those should be more appropriately located in commercial areas, and in Urban Centre locations in particular.

*Consideration 2: Impact on the region's agricultural lands*

*Metro 2050* recognizes the importance of agricultural lands and their significance as a part of the region's economy and in supporting regional resilience. The proposed amendment, if approved, will result in the loss of 2 hectares of agricultural land. The Agricultural regional land use designation is, for the most part, aligned with the provincial Agricultural Land Reserve. The strategies and policies of *Metro 2050* recognize the primacy of the Province's role in identifying and protecting agriculturally viable lands in the region. None of the subject properties are in the Agricultural Land Reserve; the properties at 23154 128 Avenue and 12791 232 Street have been deemed to be "unsuited for agriculture" and were removed from the Agricultural Land Reserve by the Agricultural Land Commission on June 28, 2023 (Attachment 3). The City's staff report references Agriculture Edge Planning Guidelines and buffer / edge considerations as part of the Yennadon Lands Employment Park Design Guidelines as a means to mitigate any impacts of the industrial development of the site on surrounding agricultural lands.

While the proposed amendment involves the redesignation of Agricultural lands, they are not within the Agricultural Land Reserve. Efforts have been incorporated into the application to minimize impacts on the surrounding agricultural lands. Given the shortage of industrial lands in Metro Vancouver, providing 18 hectares of new industrial lands to the region is considered a benefit to the region and on balance the proposed amendment can be considered to support the policies in Goal 2 in *Metro 2050*.

Goal 3: Protect the Environment, Address Climate Change, and Respond to Natural Hazards

Goal 3 includes strategies to protect, enhance, restore and connect ecosystems while advancing land uses that reduce greenhouse gas emissions and improve resilience to climate change impacts.

*Consideration 1: Protecting Conservation and Recreation Lands*

The proposed amendment would redesignate 18 hectares of the subject lands from General Urban lands to Industrial. While this will result in the development of presently underdeveloped and treed lands, 25.4 hectares of the site are currently already set aside for development with a General Urban land use designation. The amendment, if approved, will preserve 7.4 hectares by redesignating a portion of the site from General Urban to a Conservation and Recreation regional land use designation. This portion of the subject site includes lands that contain sensitive and modified ecosystems which have been identified as critically important for the region to protect. If other legal mechanisms such as conservation covenants or parkland dedication are also applied, these lands would contribute towards *Metro 2050's* target set out in policy 3.2.1 a) to “increase the area of lands protected for nature from 40% to 50% of the region’s land base by the year 2050.” The City’s staff report and Design Guideline further notes protections for Coho Creek through setbacks and storm water management.

The City’s Tree Protection and Management Bylaw includes requirements for retaining and replacing trees. If replacement trees are planted in suitable locations, within the Urban Containment Boundary and maintained to ensure they achieve more tree canopy cover than the original trees, then the proposed amendment will contribute towards *Metro 2050's* target set out in policy 3.2.1 b) to increase the total regional tree canopy cover within the Urban Containment Boundary from 32 to 40 percent by 2050.

Given the supportive policies included in this application, and the proposed resignation of 7.4 hectares of lands to Conservation and Recreation that contain sensitive and modified ecosystems currently designated as General Urban in *Metro 2050*, the proposed amendment is aligned and supports the policies *Metro 2050* Strategy 3.1 and 3.2.

*Consideration 2: Addressing Climate Change*

In terms of the proposals impacts on Climate Action, the regional analysis is inconclusive as there was no comprehensive analysis of greenhouse gas emissions associated with the project or a baseline provided in the application materials. Future amendments to *Metro 2050* may allow for greater consideration of these elements, keeping in mind that analysis is at the land use scale, not development proposal scale.

#### Goal 4: Provide Diverse and Affordable Housing Choices

Goal 4 includes strategies that encourage greater supply and diversity of housing to meet a variety of needs.

##### *Consideration 1: Expanding the supply and diversity of housing*

Given the subject properties' existing General Urban regional land use designation, and existing uses that include rural and suburban single-family dwellings, it is not anticipated that these properties would generate any increased density or additional supply of diverse forms of housing under current conditions. Although the region is in urgent need of additional housing supply; low-density, single-detached forms of housing will not have a significant impact on the region's goal to achieve greater housing supply and diversity (in tenure, size, and type), and housing options that will meet a variety of needs, including affordable housing. This amendment will enable economic and employment opportunities while addressing the need for greater housing diversity in alternative areas more suited for residential development such as Urban Centres and areas with a wider range of transportation options to reduce auto dependency.

#### Goal 5: Support Sustainable Transportation Choices

Goal 5 includes strategies that encourage the coordination of land use and transportation to encourage transit, multiple-occupancy vehicles, cycling and walking, and support the safe and efficient movement of vehicles for passengers, goods and services.

##### *Consideration 1: Supporting efficient movement of goods and services*

The subject site is strategically located from a goods movement perspective. Although Maple Ridge does not designate truck routes, 232 Street is classified as a municipal road with no truck travel restrictions. 232 Street connects with significant nearby goods movement corridors such as Abernethy Way and Dewdney Trunk Road. The site's strategic location from a goods movement perspective makes the proposed land use designation change to Industrial desirable from a regional transportation perspective.

##### *Consideration 2: Supporting sustainable transportation options*

The site is served by two transit routes (i.e., the 733 and 741), both of which have variable headways throughout the day. These bus routes link the Yennadon area to Haney Place, a *Metro 2050* Regional City Centre, with extended routings during peak hours to connect with West Coast Express commuter rail services at Port Haney Station. The proposed development plan includes a pathway and trail system that connects to the surrounding residential neighbourhood. The City's staff report notes that there are future plans for active transportation facilities on both 128 Avenue and 232 Street.

The presence of transit and introduction of new active transportation infrastructure should help expand sustainable transportation options in this part of the region. To increase the benefits of this infrastructure, the City can work with TransLink to enhance transit service on both the 733 and 741 routes (as was done recently in September 2023) and develop Transportation Demand Management programs for the site. Expediting construction of the 128 Avenue and 232 Street active transportation facilities in conjunction with site development would also increase benefits. Despite these opportunities to improve sustainable transportation options, trips to and from this

site are still anticipated to be primarily from single occupancy vehicles. On balance the proposed amendments support the policies in Goal 5 in *Metro 2050*.

### **IMPLICATIONS FOR METRO VANCOUVER UTILITY SERVICES**

Below is a summary of anticipated impacts on Metro Vancouver’s utilities.

#### *Liquid Waste Services (GVS&DD)*

The subject lands are not within the Fraser Sewerage Area; therefore a separate application to the GVS&DD will be required should the intent be to service and connect these lands to the regional sewerage system. Sewer servicing for this area has not been included in the design for the Golden Ears Pump Station, or the proposed expansion of Northwest Langley WWTP. Detailed flow and population estimates are required to perform an impact analysis. As soon as utility servicing and population details are available, the City is requested to forward the information to Metro Vancouver’s Liquid Waste Services. Normal sewer servicing amendment application processes will be required prior to connecting any Industrial designated properties to the regional sewer system.

#### *Water Services (GVWD)*

The City’s staff report does not provide an estimation of the increase in population served and associated water demand resulting from this redesignation and rezoning. As soon as the water demand and population details are available, the City is requested to forward the information to Metro Vancouver’s Water Services. The City of Maple Ridge’s water distribution system must be capable of providing fire flows to the subject lands as Metro Vancouver’s water transmission system cannot be relied on to provide fire flows.

### **REGIONAL PLANNING ADVISORY COMMITTEE COMMENTS**

An information report on the amendment application was provided to the Regional Planning Advisory Committee (RPAC) for comment on November 10, 2023. Staff from the City of Maple Ridge presented on the amendment application and were available to answer questions from committee members.

### **REGIONAL GROWTH STRATEGY AMENDMENT PROCESS AND NEXT STEPS**

If the amendment is initiated and the associated bylaw receives 1<sup>st</sup>, 2<sup>nd</sup>, and 3<sup>rd</sup> readings, it will then be referred to affected local governments, local First Nations and relevant agencies, as well as posted on the Metro Vancouver website for a minimum of 45 days to provide an opportunity for comment. *Metro 2050* identifies additional public engagement opportunities that may be used at the discretion of the MVRD Board including: appearing as a delegation to the Regional Planning Committee or the MVRD Board when the amendment is being considered; conveyance of comments submitted from the respective local public hearing to the MVRD Board, and hosting a public information meeting (digitally or in person). All comments received will be summarized and included in a report advancing the bylaw to the MVRD Board for consideration of final adoption. An updated RCS from the City of Maple Ridge will be considered at the same Board meeting as final adoption of the proposed amendment.

## ALTERNATIVES

1. That the MVRD Board:
  - a) initiate the *Metro 2050* amendment process for the City of Maple Ridge's requested regional land use designation amendment from General Urban and Agricultural to Industrial and Conservation and Recreation for the lands located at 22913 127 Avenue, 22992 127 Avenue, 22870 127 Place, 22948 128 Avenue, 22990 128 Avenue, 23008 128 Avenue, 23154 128 Avenue, 12640 228 Street, 12639 232 Street, 12685 232 Street, 12759 232 Street, 12761 232 Street, and 12791 232 Street;
  - b) give first, second, and third readings to "Metro Vancouver Regional District Regional Growth Strategy Amendment Bylaw No. 1376, 2024"; and
  - c) direct staff to notify affected local governments as per section 6.4.2 of *Metro 2050*.
2. That the MVRD Board decline the proposed amendment for 22913 127 Avenue, 22992 127 Avenue, 22870 127 Place, 22948 128 Avenue, 22990 128 Avenue, 23008 128 Avenue, 23154 128 Avenue, 12640 228 Street, 12639 232 Street, 12685 232 Street, 12759 232 Street, 12761 232 Street, and 12791 232 Street, and notify the City of Maple Ridge of the decision.

## FINANCIAL IMPLICATIONS

If the MVRD Board chooses Alternative 1, there are no financial implications for Metro Vancouver related to the initiation of the City of Maple Ridge's proposed Type 2 Amendment. If the MVRD Board chooses Alternative 2, a dispute resolution process may take place as prescribed by the Local Government Act. The cost of a dispute resolution process is prescribed based on the proportion of assessed land values. Metro Vancouver would be responsible for most of those associated costs.

## CONCLUSION

The City of Maple Ridge has requested that the MVRD Board consider a Type 2 amendment to *Metro 2050* for a 25.4 hectare site in the Yennadon neighbourhood comprising 13 properties south-west of the intersection of 232 Street and 128 Avenue to redesignate the subject properties from General Urban and Agricultural to Industrial and Conservation and Recreation. The amendment also proposes to adjust the Urban Containment Boundary to include 23154 128 Avenue and 12791.232 Street (approximately 2 hectares). This amendment would introduce 18 hectares of Industrial and 7.4 hectares of Conservation and Recreation designated lands which will enable future employment growth and may protect sensitive and modified ecosystems. It will also result in the loss of approximately 2 hectares of Agricultural lands which have been deemed to be "unsuited for agriculture" and were removed from the Agricultural Land Reserve by the Agricultural Land Commission on June 28, 2023.

Additional information is required to fully assess liquid waste and water servicing implications for this application, should it proceed. This information can be received post-bylaw adoption during the development planning stage.

## ATTACHMENTS

1. Correspondence dated August 25, 2023, from City of Maple Ridge, to Metro Vancouver Board re: City of Maple Ridge Regional Containment Boundary Adjustment and Regional Growth Strategy Amendment for the Yennadon Lands (2016-195-CP)



2. City of Maple Ridge Staff Report, dated April 5, 2022 (File: 2016-195-CP)
3. Exclusion letter from the Agricultural Land Commission dated June 28, 2023 for 23154 128 Avenue, Maple Ridge
4. Metro Vancouver Regional District Regional Growth Strategy Bylaw No. 1376, 2024
5. Presentation re: Metro 2050 Type 2 Proposed Amendment – City of Maple Ridge (Yennadon Lands)

**REFERENCES**

1. *Metro 2050*

62128156



August 25, 2023

File No.: 2016-195-CP

Metro Vancouver Board  
 c/o Dorothy Shermer, Director/Corporate Officer, Board & Information Services  
 Metrotower III, 4730 Kingsway  
 Burnaby, BC V5H 0C6  
[Dorothy.Shermer@metrovancover.org](mailto:Dorothy.Shermer@metrovancover.org)

Dear Ms Shermer,

**Re: City of Maple Ridge Regional Containment Boundary Adjustment and Regional Growth Strategy Amendment for the Yennadon Lands (2016-195-CP)**

The City of Maple Ridge is in the process of re-designating 13 properties, called the "Yennadon Lands" for future employment uses. The properties range in size from 0.5 ha (1.5 acres) to 4 ha (10 acres), total approximately 25.4 hectares (63 acres) and are generally located at the south-west of the intersection of 232 Street and 128 Avenue.

The Yennadon Lands were identified as a potential location for employment in the City's Commercial & Industrial Strategy. The proposal includes the adjustment of the Urban Containment Boundary to include two of the properties as well as an amendment to the Regional Growth Strategy to redesignate the area from General Urban and Agricultural to Industrial.

#### Summary of Proposal and Background

To allow the redesignation of the Yennadon Lands, the following is required:

- Regional Containment Boundary Adjustment to include 23154 128 Ave and 12791 232 Street;
- Regional Growth Strategy Amendment from General Urban and Agricultural to Industrial and Conservation and Recreation;
- Official Community Plan Amendment from Agricultural to Industrial and Conservation;
- Re-zoning from "RS-2 Single Detached Suburban Residential" and "RS-3 Single Detached Rural Residential" to "M-7 Employment Park Zone"; and
- Development Permit for Yennadon Lands Employment Park and Natural Features.

The redesignation of the Yennadon Lands could facilitate the creation of a unique opportunity where the area could serve the needs of the technology sector, light manufacturing companies, and professional offices; all of which offer a high employment density. A significant area of creeks and wetlands will also be preserved in City ownership as a result of this redesignation and future development.

#### Council Resolutions

At the April 12, 2022 Regular Council Meeting, Maple Ridge Council reviewed the Official Community Plan Amending Bylaws pertaining to the Yennadon Lands (Attachment A) and passed the attached resolutions (Attachment B) including this excerpt:

**City of Maple Ridge**  
 11995 Haney Place, Maple Ridge, BC V2X 6A9 Canada . Tel: 604-463-5221 . Fax: 604-467-7329  
[enquiries@mapleridge.ca](mailto:enquiries@mapleridge.ca) . [www.mapleridge.ca](http://www.mapleridge.ca)

5. Subject to third reading of Official Community Plan Amending Bylaw No. 7734-2021, Official Community Plan Amending Bylaw No. 7735-2021 and Official Community Plan Amending Bylaw 7383-2022, that staff be directed to include the Type 2 Minor Amendments related to the Yennadon Land Regional Growth Strategy amendment package, that will be forwarded to Metro Vancouver;

At the May 24, 2022 Regular Council Meeting, Maple Ridge Council passed the following resolution (Attachment C):

*That Official Community Plan Amending Bylaw No. 7734-2021, Official Community Plan Amending Bylaw No. 7735-2021 and Official Community Plan Amending Bylaw 7383-2022 be granted third reading.*

As one of the properties within the Yennadon Lands was within the Agricultural Land Reserve, application 2022-170-AL to exclude 23154 128 Ave from the Agricultural Land Reserve was presented to Council at the October 18, 2022 Committee of the Whole Council Meeting, presented at the November 22, 2022 Public Hearing, and forwarded to the Agricultural Land Commission for consideration at the November 29, 2022 Regular Council Meeting (Attachment D).

On June 28, 2023, City of Maple Ridge staff were notified that the Agricultural Land Commission approved the exclusion application for 23154 128 Ave from the Agricultural Land Reserve (Attachment E).

The City of Maple Ridge requests that the Metro Vancouver Board amend the Regional Containment Boundary to include the two identified properties as well as amend the Regional Growth Strategy for the illustrated properties from "General Urban" and "Agricultural" to "Industrial" and "Conservation and Recreation" (Attachment F).

Should Metro Vancouver staff require any additional information regarding this matter, please contact Amanda Grochowich, Manager of Community Planning at 604-467-7493 or [agrochowich@mapleridge.ca](mailto:agrochowich@mapleridge.ca)

Sincerely,

s. 22(1)

Charles R. Goddard,  
Director of Planning

Attachment A: City of Maple Ridge Planning Staff Report dated April 5, 2022  
Attachment B: Council Resolution from April 12, 2022  
Attachment C: Council Resolution from May 24, 2022  
Attachment D: Council Resolution from November 29, 2022  
Attachment E: Decision from Agricultural Land Commission  
Attachment F: Proposed Regional Containment Boundary and Regional Growth Strategy Land Use Designation Adjustment

Cc:

Amanda Grochowich, Manager of Community Planning, City of Maple Ridge [agrochowich@mapleridge.ca](mailto:agrochowich@mapleridge.ca)  
Victor Cheung, Senior Policy & Planning Analyst, Metro Vancouver, [Victor.Cheung@metrovancover.org](mailto:Victor.Cheung@metrovancover.org)  
Heather McNeill, Deputy CAO, Policy & Planning, Metro Vancouver, [Heather.McNeill@metrovancover.org](mailto:Heather.McNeill@metrovancover.org)  
Jonathan Cote, Deputy GM, Regional Planning and Housing Development, Metro Vancouver, [Jonathan.Cote@metrovancover.org](mailto:Jonathan.Cote@metrovancover.org)

**City of Maple Ridge**  
11995 Haney Place, Maple Ridge, BC V2X 6A9 Canada . Tel: 604-463-5221 . Fax: 604-467-7329  
[enquiries@mapleridge.ca](mailto:enquiries@mapleridge.ca) . [www.mapleridge.ca](http://www.mapleridge.ca)



## City of Maple Ridge

**TO:** His Worship Mayor Michael Morden  
and Members of Council

**FROM:** Chief Administrative Officer

**SUBJECT:** Employment Lands: Re-designation of the Yennadon Lands to Industrial (Employment Park Category)  
Second Reading  
Official Community Plan Amending Bylaw No. 7734-2021 (Policy); and  
Official Community Plan Amending Bylaw No. 7735-2021 (Land Use Designation)  
First and Second Reading  
Official Community Plan Amending Bylaw No. 7838-2022 (Land Use Designation)

**MEETING DATE:** April 5, 2022  
**FILE NO:** 2016-195-CP  
**MEETING:** C o W

**EXECUTIVE SUMMARY:**

The Yennadon Lands were identified as a potential location for future employment uses in the City's Commercial & Industrial Strategy, with the Strategy recommending that planning for the additional supply of employment land should begin now in order to best satisfy future demand in an increasingly competitive region. The Yennadon Lands are comprised of 13 properties. They range in size from 0.5 ha (1.5 acres) to 4 ha (10 acres). The total land area is 25.4 hectares (63 acres), and are generally located at south-west of the intersection of 232 Street and 128 Avenue.

At the May 11, 2021 Regular Council Meeting, Council granted first reading to Official Community Plan Amending Bylaw No. 7734-2021 (Appendix A) and Bylaw No. 7735-2021 (Appendix B), to allow re-designation of the Yennadon Lands for an employment future.

Following first reading, internal and external referral processes took place. This report outlines the referral responses received and what changes are proposed to the draft plan, reflecting the referral responses received. The report also outlines the latest information as it relates to regional and provincial processes with Metro Vancouver and the Agricultural Land Commission, respectively.

With the information received through the referral process, it has been noted that the development and servicing of the Yennadon Land properties will require a collective approach in order to facilitate future uses that will offer a high employment density. As such, lot consolidation policies are proposed as an amendment to Official Community Plan Amending Bylaw No. 7734-2021. The intent of these policies is to ensure the development of a cohesive road network, servicing access and environmental compensation package, while being able to unlock the maximum employment potential of these lands as flexibly as possible.

Additionally, through the referral process, it has become necessary to re-draw the boundaries of the properties associated with Official Community Plan Amending Bylaw No. 7735-2021. Official Community Plan Amending Bylaw No. 7735-2021, as amended, has had two properties removed – the properties known as 12791 232 Street and 23154 128 Avenue.

- The property at 23154 128 Avenue has been removed due to the development application (2019-119-RZ) associated with the site moving towards a Commercial future, and its own associated Official Community Plan Amending Bylaw.
- The property 23154 128 Avenue will now be captured under Official Community Plan Amending Bylaw No. 7838-2022 (Appendix C) and it is anticipated that the Yennadon Land Employment Park policies and development permit guidelines will apply to the future development of this property.

As such, it is proposed that Council consider the amended Official Community Plan Amending Bylaw No. 7734-2021 and amended Official Community Plan Amending Bylaw No. 7735-2021 for second reading, and Official Community Plan Amending Bylaw No. 7838-2022 for first and second reading.

Should Council direct, Official Community Plan Amending Bylaw No. 7734-2021, as amended, and Bylaw No. 7735-2021, as amended, may be forwarded to an upcoming Council Meeting for consideration of second reading and Official Community Plan Amending Bylaw No. 7838-2022 may be forwarded to an upcoming Council Meeting for consideration of first and second reading, and then the three bylaws may be forwarded to Public Hearing.

#### **RECOMMENDATIONS:**

1. That in respect of Section 475 of the Local Government Act, opportunity for early and on-going consultation has been provided by way of posting Official Community Plan Amending Bylaw No. 7734-2021, Official Community Plan Amending Bylaw No. 7735-2021, and Official Community Plan Amending Bylaw No. 7838-2022 on the municipal website and the referral process together with an invitation to the public, Metro Vancouver and the Agricultural Land Commission to comment; and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaws;
2. That Official Community Plan Amending Bylaw No. 7734-2021, as amended, be given second reading and forwarded to Public Hearing;
3. That Official Community Plan Amending Bylaw No. 7735-2021, as amended, be given second reading and forwarded to Public Hearing;
4. That Official Community Plan Amending Bylaw No. 7838-2022 be given first and second reading and forwarded to Public Hearing;
5. Subject to third reading of Official Community Plan Amending Bylaw No. 7734-2021, Official Community Plan Amending Bylaw No. 7735-2021 and Official Community Plan Amending Bylaw No. 7838-2022, that staff be directed to include the Type 2 Minor Amendments related to the Yennadon Land Regional Growth Strategy amendment package, that will be forwarded to Metro Vancouver; and further
6. That the following terms and conditions be met prior to final reading of Official Community Plan Amending Bylaw No. 7838-2022:
  - i. That 23154 128 Avenue be removed from the Agriculture Land Reserve;
  - ii. That the Metro Vancouver Urban Containment Boundary be amended; and
  - iii. That the subject properties are included in the Fraser Sewerage Area and/or request, via Council resolution, for permission to connect to the City of Maple Ridge sewer mains.

## 1.0 CONTEXT:

### 1.1 The Yennadon Lands (128 Avenue and 232 Street)

The Yennadon Lands are comprised of 13 properties. They range in size from 0.5 ha (1.5 acres) to 4 ha (10 acres). The total land area is 25.4 hectares (63 acres). The subject properties are located outside of and adjacent to the City's Urban Area Boundary, but are largely within the Region's Urban Containment Boundary (see Appendix D for a map of the area).



Figure 1 - The Yennadon Lands

The existing uses on the lands range from single-family use to vacant underutilized lands, according to BC Assessment data. The properties abut urban single-family development on the west and south boundaries; Agricultural Land Reserve to the east and north, and suburban single family lots on the north side of 128 Avenue. A historic commercial node, as well as Yennadon Elementary School, are located within 200-400 m of the subject properties.

Currently, the subject properties are designated Agricultural in the OCP and are zoned RS-3 (One Family Rural Residential) and RS-2 (One Family Suburban Residential). All of the properties, except one property located near the northeast corner of the area, are located outside the Agricultural Land Reserve. The majority of these properties are designated General Urban in the Regional Growth Strategy.

The City has received an application for the north-east property (12791 232 Street / 2019-119-RZ) to rezone the subject property from RS-2 (Single Detached Suburban Residential) to CS-1 (Service Commercial) to permit the future construction of a two-storey commercial building. This application requires an amendment to the OCP to re-designate the land use from Agricultural to Commercial.



Figure 2- 12791 232 highlighted within the Yennadon Lands

Council granted first reading to Zone Amending Bylaw No. 7558-2019 and considered the early consultation requirements for the Official Community Plan (OCP) amendment No. 7557-2019 on July 9, 2019. The Zone Amending Bylaw and OCP Amendment received second reading on January 18, 2022, went through Public Hearing on February 15, 2022 and received third reading on February 22, 2022.

Going forward, the subject site 12791 232 Street will not form a part of the Official Community Plan Amending land use designation bylaws associated with this staff report.

### 1.2 Concept Plan Development and Overview

Council directed staff to undertake an employment land use re-designation process and consultation strategy for the Yennadon Lands at the June 18, 2019 Council Workshop Meeting. At the March 31, 2020 Council Workshop meeting, staff provided an update on the Yennadon Lands Re-designation process, including the proposed community engagement process that was postponed due to the pandemic. At that meeting, Council directed that the previously endorsed Yennadon Lands process be

revised and that staff work with the consultant to prepare some preliminary land use concepts for Council to review prior to proceeding with public consultation.

At the July 14, 2020 Council Workshop meeting, staff in collaboration with a consultant, presented three preliminary land use concepts for Council to review. At that meeting, Council directed staff to move forward with a public consultation process, taking into account the public health orders in effect at the time.

At the December 8, 2020 Council workshop meeting, Council endorsed "Concept #2 – Neighbourhood Innovations Village" and directed staff to move forward with an Official Community Plan Amending Bylaw.

The concept endorsed by Council at the end of 2020 provided for a 100% employment future for the developable areas of the Yennadon Lands. Based on Council comments, as well as what was heard from the community during the public consultation process, the following elements have been integrated into the policy work, design guidelines, or the land use schedule map associated with the re-designation of the Yennadon Lands towards an employment future:

- **Suitable Mix of Employment Uses:** The employment area will need to have an appropriate mix and size of employment uses to generate suitable levels of job creation, while still affording a sensitive transition to the surrounding residential uses.
- **Neighbourhood Business Scale and Character:** The design of the employment area will be limited to business activities primarily occurring inside a building to contain nuisance noise, odour, and other negative impacts. The building form will be more of a residential height and massing in the western area with generous landscape retention and reduced parking if possible. The eastern area may have larger and more conventional light industrial buildings.
- **Innovative Mixed Uses:** The development of this site may include a mix of employment uses.
- **Environmental Sensitivity:** Coho Creek will be protected and enhanced with the appropriate setbacks and a progressive stormwater management system on site.
- **Trail Network:** A comprehensive trail network will connect to the adjoining communities and provide a rich amenity for both the businesses and residents to enjoy, promoting a healthy walking/biking culture.
- **Resilience and Adaptability:** This employment neighbourhood will be designed and planned so that there is diversity and choice of business parcels and units that may adapt and consolidate or expand over time.
- **Climate-Change Responsive:** The infrastructure and servicing will be designed for increased storm flows and special events, so the neighbourhood has the ability to weather through extreme climatic conditions with additional precautionary measures, including floodways and dry pond areas for emergency stormwater storage.

The intent is to create a complete neighbourhood, within the existing residential area, where residents and business owners can live, work and play within a five to ten-minute walk or bicycle ride of their residence. This employment area should be uniquely smaller and scaled to fit with the surrounding neighbourhood, offering the potential for a variety of smaller scaled buildings with limited building heights and sizes.

The natural environmental area of the site will be conserved, as the Coho Creek Conservation Area, with the required 30 metre setback areas to buildings and trails along its edges. The employment area

will be linked by trails and natural open spaces, which in turn will be connected to the adjoining communities.

A natural interconnected pathway and trail system is recommended for the site that connects to the surrounding neighbourhoods. The trails should be slightly elevated to avoid flooding and may require elevated boardwalk sections in some of the riparian areas near the stream, or in particularly low wet areas.

A gravel horse trail runs along the south side of 128<sup>th</sup> Avenue adjoining the site. There are no formal trails through the site. There are plans for a comprehensive bike lane and walking path for both 128<sup>th</sup> Avenue and 232<sup>nd</sup> Street in the future, that will incorporate bike lanes and a sidewalk/trail network.

Official Community Plan Amending Bylaws No. 7734-2021 and No. 7735-2021 were drafted to integrate the Yennadon Lands Concept Plan into the Official Community Plan. The two bylaws were presented at the May 4, 2021 Committee of the Whole Council Meeting and were subsequently forwarded to the May 11, 2021 Regular Council Meeting for Council consideration of first reading.

Official Community Plan Amending Bylaws No. 7734-2021 and No. 7735-2021 were granted first reading at the May 11, 2021 Regular Council Meeting.

Following the consideration and granting of first reading to the two Official Community Plan Amending Bylaws, staff initiated the referral and consultation process, set out under Section 475 of the Local Government Act, which was endorsed at the time of first reading. This report highlights and responds to comments received through the referral and consultation process, noting that future site specific development applications will require additional studies, and referrals to outside agencies.

## **2.0 DISCUSSION:**

This section will outline the agencies involved in the referral process and the response of each. In addition, modifications to the Official Community Plan Bylaws, including the proposed amendments to the Yennadon Lands policies and Development Permit, will be laid out.

### **2.1 Yennadon Lands Referral Process**

As a part of the referral process, staff sent out referral requests to a number of external stakeholders and internal departments for their comments regarding the proposed redesignation of the Yennadon Lands towards an employment future. Returned comments are high-level, as site-specific details will come through the development application process. When development applications come before Council, additional studies typically found through the municipal rezoning process may be required. Such development related studies may include geotechnical assessments, ground-water impact assessments, servicing and infrastructure studies, agricultural impact assessments, environmental impact assessments (where development may encroach into some Environmentally Sensitive Areas), as well as significant tree and habitat balance assessments. Development applicants will be required to rezone (to the proposed new M-7 Employment Park Industrial zone discussed in Section 2.5 below) and obtain a development permit to regulate the form and character of new buildings.

#### **2.1.1 External Stakeholders**

As per typical municipal referral processes, the following external stakeholders received a referral / comment request regarding the re-designation of the Yennadon Lands towards an employment future:

- Agriculture Land Commission
- Metro Vancouver
- Ministry of Forests, Lands, Natural Resource Operations and Rural Development
- School District No. 42
- TransLink



While the comments are summarized below, the complete responses are available in Appendix F. Comment requests were also sent to the Katzie and Kwantlen First Nations.

#### Agricultural Land Commission (ALC)

The ALC noted that one Yennadon Lands parcel is within the Agricultural Land Reserve (ALR). As such, this ALR parcel is still subject to the ALC Act and its regulations, and ALC staff, at this time, do not support the proposed redesignation of the property from Agricultural to Industrial. The ALC does acknowledge that the City is aware that the remaining ALR parcel will need to go through the ALC exclusion process in order to permit Industrial uses on that site and that should the City choose to forward an exclusion application to the ALC, the ALC will review the merits of the exclusion proposal at that time.

The ALC also noted that the Yennadon Lands abut ALR land on the eastern perimeter, across from 232 Street and suggested that City staff should consult the Ministry of Agriculture, Food and Fisheries' Guide to Edge Planning when considering the establishment of a vegetative buffer along the non-ALR /ALR boundary.

Following receipt of the ALC's comments, a staff-to-staff meeting was held to gain clarity on the recent changes to the ALR exclusion request process, given the exclusion history associated with the Yennadon Land properties. Specifics related to this process are outlined in Section 5.0, Intergovernmental Implications, below. As well, City staff reassured ALC Staff that the edge planning guidelines have been considered and integrated, as appropriate, within the Yennadon Lands Development Permit Guidelines.

#### Metro Vancouver

Metro Vancouver provided comments from staff in the Regional Planning and Housing Services, Water Services, and Parks and Environment Departments. The complete letter is available in Appendix F.

Regional Planning staff noted the potential need to redesignate the land regionally, given the proposed land uses under the Industrial designation, as well as the proposed process. Following receipt of Metro Vancouver's comments, a staff-to-staff meeting was held to gain clarity on the timelines associated with the adoption of *Metro 2050*. Specifics related to this process are outlined in Section 5.0, Intergovernmental Implications, below.

Regional Planning staff also noted the need for sensitive industrial development given the surrounding non-industrial land uses, as well as the impacts of urban edge development on agricultural land. Regional Planning staff have also requested that some additional guidelines be incorporated into the Yennadon Lands Development Permit Guidelines. Where feasible, staff have made these amendments (discussed in further detail below).

Water Services staff noted the importance of early engagement with Metro Vancouver's Water Services department noting the proximal impacts associated with the development of the Yennadon Lands to Metro Vancouver's mains. City staff will connect with Water Services staff, as appropriate, throughout the redesignation process of the Yennadon Lands and on a site-by-site basis through the future development application process.

Parks & Environment staff note that the Concept Plan identifies a trail or multi-use pathway along the 128 Avenue side of the Yennadon Lands that is consistent with the *Regional Greenways 2050* plan.

### Ministry of Forests, Lands, Natural Resource Operations and Rural Development (FLNROD)

Ministry staff note that the Yennadon Lands require regulation under the Provincial Water Sustainability Act (WSA) in collaboration with City staff, and offered the following guidance for future development within the area, as new development will likely change the water storage and attenuation capacity of the area. The Ministry encourages a holistic review of the site, including both environmental protection planning and integrated stormwater / drainage plans for the area with specific details noted in the latest provincial documents and resources. Ministry staff note the potential flexibility for FLNROD, the City of Maple Ridge and landowners to responsibly manage and integrate development within these areas. The full responses provided by FLNROD is available in Appendix F.

City staff note the recent work conducted by the City on the Alouette River Integrated Stormwater Management Plan and provided a reminder that the typical municipal development application process does require stormwater and drainage management plans. The proposed consolidation policy, discussed below, will also assist in strengthening the ability for a development application to flexibly accommodate the provincial regulations.

### School District No. 42

School District No. 42 noted in their referral response that the proposed redesignation would affect the student population for the catchment areas currently served by Yennadon Elementary and Garibaldi Secondary School. The complete letter is available in Appendix F.

City Engineering staff confirm that Yennadon Elementary is located approximately 200m to the east and that traffic volumes at peak school times may be a challenge at the 128 Ave / 232 Street intersection. Currently, some of the vacant properties within the Yennadon Lands are unofficially used as overflow parking for parents taking their children to school due to the congestion at drop off and pick up times. The City is actively working with the School District to address the congestion issues.

### TransLink

TransLink staff note that their comments are based on their legislated mandate to review OCP amendments, as well as policy direction outlined in the Regional Transportation Strategy (RTS) and the Transit-Oriented Communities Design Guidelines. As such, TransLink staff had the following comments:

- Noting the infrequency of the bus routes currently servicing the Yennadon Lands, that it would be important for the City to provide safe, accessible, and comfortable active transportation routes from the site to both the Haney Place Bus Exchange as well as the West Coast Express at Port Haney Station;
- That TransLink encourages the City to improve the safety of active transportation modes surrounding the site, such as adding signalized crosswalks at key pedestrian crossings, sidewalks on both sides of the roads along 232 Street and 128 Avenue, and improving the existing bus stops on these roads to increase the comfort and attractiveness for transit as a travel option in the area.
- Noting that 232 Street is a Major Road Network (MRN), the City would be required to obtain TransLink approval for any new accesses to/from the MRN.
- Encourage City staff to incorporate the TDM Guidelines for New Developments in Metro Vancouver and/or develop a TDM Plan for the site.

City staff have noted these comments and made the appropriate amendments to policy and development permit guidelines as appropriate. The complete letter is available in Appendix F.

### **2.1.2 Internal Stakeholders**

In addition to the external organizations, referrals are sent to internal departments including Building, Economic Development, Engineering, Environment, Development, Fire, and Parks.

The Yennadon Lands were identified as a potential location for future employment uses in the City's Commercial & Industrial Strategy, with the Strategy recommending that planning for the additional supply of employment land should be a high priority in order to best satisfy future demand in an increasingly competitive region. This area aligns with the intent of the current Official Community Plan policies for inclusion as employment lands, as the lands are generally flat, have access to an arterial and collector roadway, and servicing runs adjacent to the properties, as well as the City's recent Economic Development Strategy.

It is noted in the Commercial & Industrial Strategy that a mixed employment campus-style business park could be a suitable form of development in this area. The Strategy recommends development with a key focus on restricting heights, while also encouraging building forms and uses that are in keeping with the surrounding residential context. It was originally noted that the Yennadon Lands could eventually serve the needs of the technology sector, light manufacturing companies, and professional offices, all of which offer a high employment density.

As many City Departments were involved throughout the creation and development of the Yennadon Lands Concept Plan, internal referral comments were few, with the proposed Concept Plan largely reflecting departmental aspirations. Where relevant, internal comments also spoke to relevant external comments, including where possible further regional alignment could take place, such as through economic development and active transportation opportunities. The comments received from the Engineering Department largely pertain to future development application processes, and will be of interest to potential applicants, the referral response is included in Appendix G.

## **2.2 Yennadon Lands Land Use Designation & OCP Policies**

In order to implement the Yennadon Lands Concept Plan, Official Community Plan Amending Bylaw No. 7734-2021 (Appendix A, Schedule 1) introduces a new category to the existing Industrial land use designation. Some of the existing policies of Chapter 6 Employment have been updated, where appropriate, but the majority of Official Community Plan Policy Amending Bylaw No. 7734-2021 is proposed to integrate the Industrial Land Use Employment Park Category policies into OCP Chapter 6.

The Industrial (Employment Park Category) is intended to help create a more "complete community" by providing a range of employment opportunities where local residents and future business owners can live, work and play within a five to ten minute walk or bicycle ride of their residence.

In the past, industrial and commercial/residential areas have not always been good neighbours as industrial uses often bring noise, visual impacts, and large truck traffic to local areas. Therefore, the design of the employment area will be limited to business activities occurring primarily inside a building to contain nuisance noise, odour, and other negative impacts. Development will be directed in a sensitive and scaled manner so that the Employment Park is compatible with the adjoining residential neighbourhood.

Through the referral process, it has been noted that the development and servicing of these properties will require a collective approach in order to facilitate future uses that will offer a high employment density. As such, lot consolidation policies are proposed as an amendment to Official Community Plan Amending Bylaw No. 7734-2021. The intent of these policies is to ensure the development of a cohesive road network, servicing access and environmental compensation package, while being able to unlock the employment potential of these lands as flexibly as possible. The following consolidation policy amendments to the Employment Park policies are proposed:

- That Maple Ridge will require a minimum lot consolidation of 75,000 square meters for employment park development on the eastern portion of the Yennadon Lands (Policy 6-55 b)
- That Maple Ridge will require a minimum lot consolidation of 35,000 square meters for employment park development on the western portion of the Yennadon Lands (Policy 6-55 d)

The complete set of policies, including proposed amendments, is included in Official Community Plan Amending Bylaw No. 7734-2021, which is attached as Schedule 1 to Appendix A.

### **2.3 Yennadon Lands Employment Park Development Permit Guidelines**

In conjunction with the Industrial Land Use (Employment Park Category) policies, specific Development Permit Guidelines (Appendix A, Schedule 2) have been developed for the Yennadon Lands Employment Park, which is proposed for integration into Chapter 8, Development Permit Areas, of the Official Community Plan. The intent of these guidelines is to shape the form of development to reflect Council and community comments, while remaining flexible and open to a range of uses.

The Development Permit Guidelines go through general design guidelines, such as site planning essentials, as well as specifics pertaining to site planning, landscaping, access and parking, and building design and massing.

Since first reading, a number of amendments have been made to the proposed Development Permit Guidelines:

- Update references to reflect the most recent guidelines, standards and bylaws.
- Update of some graphics for clarity.
- More specific wording relating to Access and Transportation, reflecting comments received through the external stakeholder review process.
- More specific wording relating to the opportunity for trails, open space, and active transportation opportunities, reflecting comments received through the internal and external stakeholder review process.
- Clarification on possible flexibility as it relates to the stormwater management and drainage strategies for the Yennadon Lands Employment Park.
- New guidelines that speak to wildlife and bird friendly designs, as requested by Metro Vancouver.
- Clarification regarding green roofs, and the maintenance of, as requested by Metro Vancouver.
- Removal of the Live/Work possibility, given the changing market demands, intent to align with future regional land use designations, and Council's desire for no residential use in the area.
- Update of the Design Checklist to reflect the proposed amendments.

The complete set of Development Permit Guidelines is included in Official Community Plan Amending Bylaw No. 7734-2021 (Policy), which is attached as Schedule 2 to Appendix A.

### **2.4 Yennadon Lands Employment Park Official Community Plan Land Use Map**

It is intended, with the Official Community Plan Amending Bylaws that the 'Schedule B' Land Use Map and 'Schedule C' Natural Features Map will be amended to reflect the change in land use and designation. The Yennadon Lands Employment Park designation is proposed to change from 'Agricultural' to 'Industrial' and 'Conservation', as identified in the attached land use maps.

Since first reading of Official Community Plan Amending Bylaw No. 7735-2021, one of the Yennadon Lands properties have advanced through the development application process towards a Commercial future. As such, amendments to the boundaries of Official Community Plan Amending Bylaw No. 7735-

2021 (Appendix B) are now required as well as the introduction of Official Community Plan Amending Bylaw No. 7838-2022 (Appendix C).

Official Community Plan Amending Bylaw No. 7735-2021, as amended, has had two properties removed – the properties known as 12791 232 Street and 23154 128 Avenue. As mentioned above, 12791 232 Street is moving towards a Commercial future through the development application approval process and has recently received third reading. Therefore, it will not be subject to the Yennadon Land policies. The property 23154 128 Avenue will now be captured under Official Community Plan Amending Bylaw No. 7838-2022 and the Yennadon Land Employment Park policies and development permit guidelines will apply. The introduction of Official Community Plan Amending Bylaw No. 7838-2022 may assist with unlocking the potential of the Yennadon Lands in an expedited manner.

## 2.5 Yennadon Lands Employment Park and the City of Maple Ridge Zoning Bylaw

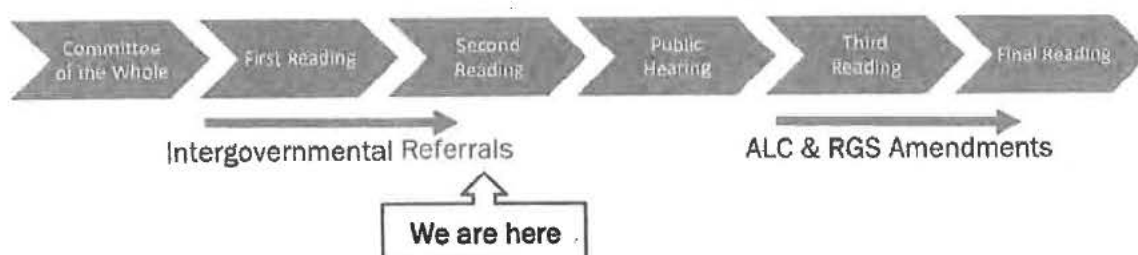
The implementation of the Yennadon Lands Concept Plan takes place in conjunction with a new zone in the City's Zoning Bylaw, proposed as the M-7 Employment Park Industrial zone. Official Community Plan Amending Bylaw No. 7734-2021 (Appendix A) includes amendments to the zoning matrix, which identifies zones that are permitted under each land use designation, in Appendix C of the Official Community Plan. This form of matrix has been updated to reflect the new land use category proposed for this area.

Given that the M-3 Business Park Industrial Zone will be used as the basis for the M-7 Employment Park Industrial Zone, it is anticipated that the minimum lot area and dimensions, density, and lot coverage will be nearly the same, or the same, as the M-3 Zone. Setbacks are proposed to somewhat differ from those in the M-3 zone, noting the close proximity of the existing residential developments abutting the Yennadon Lands. It is also anticipated that portions of the Yennadon Lands will have a lower building height in order to reflect the neighbourhood context. While originally envisioned to be part of the the Yennadon Lands Second Reading Report, the M-7 Employment Park Industrial Zone will come forward as a complementary report in the near future in order to accommodate any Council comment regarding the zone parameters, including proposed principal and accessory uses.

## 2.6 Next Steps

Staff prepared Official Community Plan Amending Bylaw No. 7734-2021 (Appendix A), Bylaw No. 7735-2021 and Bylaw No. 7838-2022 (Appendix B) to re-designate the Yennadon Lands for an employment future. These bylaws have been amended to reflect intergovernmental referral comments, as well as regional processes, and are proposed for second reading at an upcoming Council meeting.

Figure 2 - OCP Amending Bylaw Process



Development applications proposing employment land uses continue to be able to come before Council. Development applications are able to proceed through the development application process,

providing they align with the endorsed concept and Official Community Plan Amending Bylaw No. 7734-2021 (Policy), Bylaw No. 7735-2021 and Bylaw No. 7838-2022 (Land Use Designation). When that occurs, through these site-specific development applications, additional studies typically found through the municipal rezoning process may take place. Such studies may include geotechnical assessments, ground-water impact assessments, servicing and infrastructure studies (including drainage plans), agricultural impact assessments, environmental impact assessments (where development may encroach into some Environmentally Sensitive Areas), as well as significant tree and habitat balance assessments.

Development applicants will be required to rezone to the proposed new M-7 Employment Park Industrial zone discussed in Section 2.5 above and obtain a development permit to regulate the form and character of new buildings.

### **3.0 STRATEGIC ALIGNMENT**

Implementing strategic plans related to local infrastructure and the economy, including the City's commercial and industrial land base, is a Council priority as established under its Growth pillar of the 2019-2022 City of Maple Ridge Strategic Plan.

### **4.0 POLICY IMPLICATIONS**

The proposed land use re-designation of the Yennadon Lands to an employment future is supported through the recommendations of the Commercial & Industrial Strategy and the existing industrial policies in the OCP. OCP policies 6-41 and 6-42 speak to identifying additional employment lands within the City and set out compatibility criteria used to determine feasibility of new employment land. Specifically, the subject properties align with the intent of the current OCP policies for inclusion as employment lands, as the lands are generally flat, have access to arterial and collector roadways, and development servicing is located adjacent to the properties.

### **5.0 INTERGOVERNMENTAL IMPLICATIONS**

#### **5.1 Agricultural Land Commission**

In 2004, the Agricultural Land Commission (ALC) permitted 12 of the 13 Yennadon Land properties to be removed from the Agricultural Land Reserve. This was a voluntary process, so only those property owners that chose to participate went through the exclusion process. As such, one property in the northeast corner (23154 128 Avenue) of the Yennadon Lands area will need to go through the ALC exclusion process to permit employment uses on that site. In accordance with the latest provincial changes in Bill 15, the current owner will have to request that the City make this exclusion application on their behalf.

Once the property owner requests an exclusion application be made, staff will bring a report before Council requesting permission to send the property to the Agricultural Land Commission to explore the possibility of exclusion.

Should the property be excluded from the Agricultural Land Reserve, the City will be able to move Official Community Plan Amending Bylaw No. 7838-2022 through the regional redesignation process required by Metro Vancouver in order to facilitate servicing and future employment uses at this site.

#### **5.2 Metro Vancouver**

The Regional Growth Strategy (RGS), titled "Metro Vancouver 2040: Shaping Our Future", manages growth by establishing growth boundaries throughout the region. The Yennadon Lands are largely

located within the Region's Urban Containment Boundary (see Appendix D) for the Region's Urban Containment Boundary).

Staff note that the potential for an adjustment to the City's Urban Area Boundary was contemplated during the previous Regional Growth Strategy review in 2006 and the lands were therefore, designated as General Urban by the Region (i.e. the majority of the Yennadon Lands are within the Region's Urban Containment Boundary). However, two properties in the northeast corner are outside of the Region's Urban Containment Boundary. These properties will require a land use designation change at the Metro Vancouver level, as well as an adjustment to the Urban Containment Boundary to permit employment uses.

As Metro Vancouver has been undertaking a review of the Regional Growth Strategy, Metro Vancouver staff have requested that minor amendments to the Regional Plan be held until the regional planning process has been complete. Third reading of the Yennadon Lands bylaws will be used as the spring-board for these future conversations, as Metro Vancouver has indicated support for the City's intent to provide additional employment lands in the region.

According to the latest information, Metro Vancouver has recently completed a draft of the updated Regional Growth Strategy, *Metro 2050*. At time of report writing, *Metro 2050* is intended to be presented to the regional board at the end of March, 2022 for consideration of first and second reading. If passed, letters for formal acceptance will be sent out to local governments in early May and Metro Vancouver will require local governments to pass resolutions for approval. These resolutions are due to Metro Vancouver by July, 2022.

Should Official Community Plan Amending Bylaws 7734-2021, 7735-2021 and 7838-2022 receive third reading, following a public hearing, staff will move forward with the regional land use redesignation requirements to the appropriate regional growth strategy.

An application by the City, to the Greater Vancouver Sewerage & Drainage District Board, is required to achieve regional approval to include the Yennadon Lands within the Fraser Sewerage Area for more intensive employment activities to take place at this site. The intent is to support urban level servicing and an application to the Board will be considered through this process.

## **6.0 INTERDEPARTMENTAL IMPLICATIONS**

Community Planning staff have been working collaboratively with our Development & Environment colleagues, as well as with Engineering, Parks, Recreation & Culture, Building and Economic Development staff, on the pursuit of employment opportunities for the Yennadon Lands. It is anticipated that these departments will continue to be involved throughout the Yennadon Lands Employment Park Re-designation process. Additionally, staff from Legislative Services and Communications Departments will continue to provide support with community outreach and communication initiatives.

## **7.0 FINANCIAL IMPLICATIONS**

The ongoing pursuit of employment lands, specifically with the Yennadon Lands Employment Park, is included in the Planning Department 2022 Work Program.

### **CONCLUSION:**

The Yennadon Lands were identified as a potential location for future employment uses in the City's Commercial & Industrial Strategy. This area aligns with the intent of the current Official Community

Plan policies for inclusion as employment lands, as the lands are generally flat, have access to an arterial and collector roadway, and servicing runs adjacent to the properties.

Official Community Plan Amending Bylaw No. 7734-2021 and Bylaw No. 7735-2021 received first reading on May 11, 2021. Following the internal and external referral process, the amended bylaws are before Council for consideration of second reading. The introduction of Official Community Plan Amending Bylaw No. 7838-2022 is before Council for consideration of first and second reading.

These three bylaws propose to re-designate the Yennadon Lands for an Employment Park. Should Council direct, Official Community Plan Amending Bylaw No. 7734-2021, Bylaw No. 7735-2021 and Bylaw 7838-2022 would be forwarded to an upcoming Council Meeting for consideration of second reading and then forwarded to an upcoming public hearing.

"Original signed by Amanda Grochowich"

*Prepared by:* **Amanda Grochowich, MCIP, RPP  
Planner 2**

"Original signed by Charles Goddard"

*Reviewed by:* **Charles R. Goddard, BA, MA  
Director of Planning**

"Original signed by Christine Carter"

*Approved by:* **Christine Carter, M.PL, MCIP, RPP  
GM, Planning & Development Services**

"Original signed by Scott Hartman"

*Concurrence:* **Scott Hartman  
Chief Administrative Officer**

- Appendix A: Official Community Plan – Schedule A – Amending Bylaw No. 7734-2021 (as amended)  
Schedule 1 – Chapter 6, 6.4.2 Employment Parks  
Schedule 2 – Chapter 8, Yennadon Lands Employment Park Development Permit Area Guidelines
- Appendix B: Official Community Plan – Schedule B – Amending Bylaw No. 7735-2021 (as amended)  
Schedule 1 & 2 – Urban Area Boundary and Land Use Maps
- Appendix C: Official Community Plan – Schedule B – Amending Bylaw No. 7838-2022  
Schedule 1: Land Use Map
- Appendix D: Urban Area Boundary and Urban Containment Boundary Map
- Appendix E: City of Maple Ridge Work-to-Date
- Appendix F: External Referral Comments
- Appendix G: Internal Referral Comments



## CITY OF MAPLE RIDGE

## BYLAW NO. 7734-2021

A Bylaw to amend the Official Community Plan Bylaw No. 7060-2014

---

**WHEREAS** Section 477 of the Local Government Act provides that the Council may revise the Official Community Plan;

**AND WHEREAS** it is deemed desirable to amend Schedule "A" to the Official Community Plan;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This Bylaw may be cited for all purposes as "Maple Ridge Official Community Plan Policy Amending Bylaw No. 7734-2021."
2. That the Table of Contents is amended by inserting 6.4.2 Employment Park after 6.4.1 Industrial Lands and renumbering the following sections accordingly.
3. That Chapter 6 Employment, 6.4 Industrial Opportunities, 6.4.1 Industrial Lands, Policy 6-44 is amended by deleting the policy and replacing with the following:

"6 – 44 The Industrial land use designation is a key component of achieving a compact community. Within the Industrial designation, there are 3 industrial categories, the components of which are highlighted in this chapter:

  - a) Business Park Industrial – lands that are located in the Maple Meadows Industrial Park and Albion Industrial Area. The Business Parks provide for a range of industrial uses and services, with an emphasis on landscaping and design.
  - b) Employment Park Industrial – lands that are located in the Yennadon Lands Employment Park. Employment Park Industrial provides for a range of employment uses close to where people live while reducing possible negative impacts on existing surrounding neighbourhoods.
  - c) General Industrial – lands that are located throughout the community and provide for a range of services and general industrial uses."
4. That Chapter 6 Employment is amended by inserting 6.4.2 Employment Park, a copy of which is attached hereto and forms a part of this bylaw as Schedule 1, following 6.4.1 Industrial Lands and renumbering the remaining sections, policies, and associated policy references accordingly.
5. That Chapter 8 Development Permit Area Guidelines be amended by inserting the following after "Ground-Oriented Residential Infill" on the Title Page:

- ◆ Yennadon Lands Employment Park

6. That Chapter 8 Development Permit Area Guidelines, Section 8.2 Application and Intent be amended by inserting the following after 8.2 (9):

“10. Yennadon Lands Employment Park pursuant to Section 488 of the Local Government Act to establish guidelines for the form and character of intensive light industrial use and for the protection of natural features and ecologically significant land.”

7. That Chapter 8 Development Permit Area Guidelines is amended by inserting the Yennadon Lands Employment Park Development Permit Area Guidelines, a copy of which is attached hereto and forms a part of this bylaw as Schedule 2, following after Section 8.14 Ground Oriented Residential Infill Development Permit Guidelines.
8. That Appendix C Zoning Matrix, Industrial Designations\* be amended by inserting the following between “General Industrial Category” and “Business Park Category”:

<b>Employment Park Category *</b> (Subject to policies in Section 6.4.2)	M-7 Employment Park Industrial
---	--------------------------------

9. That Appendix C Zoning Matrix, Industrial Designations\*, Business Park Category be amended by removing the reference to ‘Section 6.4.2’ and replacing it with ‘Section 6.4.3’ and that “M-7 Employment Park Industrial” be added after “M-3 Business Park”.
10. Maple Ridge Official Community Plan Bylaw No. 7060-2014 as amended is hereby amended accordingly.

**READ** a first time the 11<sup>th</sup> day of May, 2021.

**READ** a second time as amended the            day of            202X.

**PUBLIC HEARING** held the            day of            , 202X.

**READ** a third time the            day of            , 202X.

**ADOPTED**, the            day of            , 202X.

---

**PRESIDING MEMBER**

---

**CORPORATE OFFICER**

## 6.4.2 EMPLOYMENT PARK

### ISSUES

- The City's Commercial & Industrial Strategy recommends planning for the additional supply of employment land in order to best satisfy future demand in an increasingly competitive region.
- The Yennadon Lands are identified as a potential location for future employment use in the City's Commercial & Industrial Strategy. The impetus in identifying the Yennadon Lands for employment use was largely due to the lands being generally flat and underutilized, with the potential for urban level servicing, and located on arterial and collector roadways.

### OBJECTIVE

- The aim of an Employment Park is to create a more "complete community" by providing a range of employment opportunities where local residents and future business owners can live, work and play within a five to ten minute walk or bicycle ride of their residence.
- In the past, industrial and commercial areas have not always been good neighbours as they have brought consequences such as noise, visual impacts, and undesirable traffic to local areas. Therefore, the design of the employment area will be limited to business activities inside the building to eliminate nuisance noise, odour, and other negative impacts.
- The Yennadon Lands Employment Park is 25.4 hectares (63 acres) in the north central part of the City of Maple Ridge. It is located on the south edge of 128 Avenue and the west edge of 232 Avenue. As it is bordered by residential land uses on the south and west edges, the Commercial & Industrial Strategy recommends development with a key focus on restricting heights, while also encouraging building forms and uses that are in keeping with the surrounding residential context.

### POLICIES

**6 - 51** Maple Ridge will designate Employment Parks in areas where there is an opportunity to increase job densities. The intent for high density Employment Parks is to encourage the right type and size of employment facilities that will help increase job opportunities close to home, as new and mature local businesses to locate closer to where their employees live.

**6 - 52** Maple Ridge will direct development in a sensitive and scaled manner so that the Employment Park is compatible with the adjoining residential neighbourhood.

**6 - 53** An Employment Park will have an appropriate mix and size of employment uses to generate suitable levels of job creation, while still affording a sensitive transition to the surrounding uses.

**6 – 54** Maple Ridge will designate the Yennadon Lands, generally located south of 128th Ave and west of 232nd Street, for an Employment Park use. The Yennadon Lands serve growing industries, that include the technology sector, light manufacturing companies, and professional offices, all of which offer a high employment density.

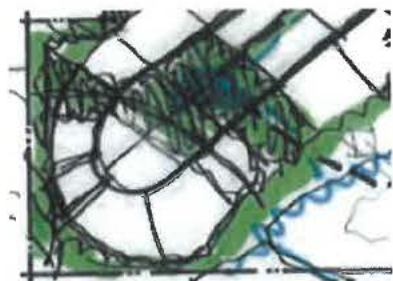
**6 – 55** Maple Ridge will consider an Employment Park development for the Yennadon Lands noting that:

- a )The eastern portion of the Yennadon Lands Employment Park may have larger and more conventional light industrial buildings;
- b) Maple Ridge will require a minimum lot consolidation of 75,000 square meters for employment park development on the eastern portion of the Yennadon Lands;
- c) The western portion of the Yennadon Lands Employment Park will have a building form that is similar to that of a single-detached residential dwelling height and massing with generous landscape retention and reduced parking, where possible;
- d) Maple Ridge will require a minimum lot consolidation of 35,000 square meters for employment park development on the western portion of the Yennadon Lands; and
- d) Development must align with the Yennadon Lands Employment Park Development Permit Area Guidelines found in Chapter 8 of the City's Official Community Plan.

YENNADON LANDS EMPLOYMENT PARK

# DESIGN GUIDELINES

---



MAPLE RIDGE  
British Columbia

Draft: v4 April 5, 2022

## **ACKNOWLEDGEMENTS**

*The City of Maple Ridge would like to sincerely thank the following contributors who helped shape these design guidelines to help ensure that what is planned and developed for the Yennadon Lands Employment Park is sensitive to the adjoining residential neighbourhoods and the natural environment.*

### **Mayor and Council**

*Mayor M. Morden and Councillors  
Judy Dueck, Kiersten Duncan, Chelsea Meadus, Gordy Robson, Ryan Svendsen, and Ahmed Yousef,  
for their leadership*

### **Planning and Development Services staff**

*Christine Carter, General Manager Planning & Development Services  
Charles Goddard, Director of Planning  
Lisa Zosiak, Manager of Community Planning  
Amanda Grochowich, Planner and Project Manager  
Rod Stott, Environmental Planner  
Mike Pym, Environmental Planner*

### **Engineering Services staff**

*David Pollock, General Manager Engineering Services  
Rachel Ollenberger, Manager of Infrastructure Development  
Mark Halpin, Manager of Transportation*

### **Parks and Recreation Services staff**

*Chad Neufeld, Manager of Parks Planning and Development*

### **Economic Development staff**

*Wendy Dupley, Director of Economic Development*

*The thirteen property owners of the Yennadon Lands Employment Park lands  
and  
and the residents of the Yennadon area, and other Maple Ridge community residents  
who helped shape these design guidelines*

---

*These design guidelines were completed by the  
**City of Maple Ridge**  
in association with  
**Michael von Hausen, FCIP, CSLA, LEED AP**  
**MVH Urban Planning & Design Inc.***

---

# CONTENTS

---

<b>Design Guidelines Guide</b>	
Overview.....	4
Purpose.....	4
How to Use these Guidelines.....	4
<b>1.0 Design Administration and Framework Policies</b>	
1.1 Intent and Use.....	5
1.2 Administration and Interpretation.....	5
1.3 Development Permit Area Application .....	5
1.4 Site Location, Size and Characteristics.....	6
1.5 Watercourses and Natural Features.....	7
1.6 Access and Transportation.....	9
1.7 Trails, Open Space, Parks and Recreation.....	9
1.8 Stormwater Management.....	10
<b>2.0 Employment Area Development Concept and Principles</b>	
2.1 Employment Area Development Concept .....	11
2.2 Guiding Principles.....	12
<b>3.0 Design Guidelines</b>	
<b>3.1 General Guidelines: Site Planning Essentials</b>	
3.1.1 Minimize site disturbance and enhance natural features.....	13
3.1.2 Locate building and parking to minimize impact on natural areas.....	13
3.1.3 Locate buildings close to the streets with pedestrian access.....	13
3.1.4 Create adequate weather protection and passive solar gain.....	13
3.1.5 Locate main employee parking to the side and rear of the site.....	13
3.1.6 Locate storage and loading to the side and rear of the site.....	13
3.1.7 Manage stormwater on site.....	13
3.1.8 Create a landscaped strip at the front, rear and sides of site.....	13
<b>3.2 Specific Guidelines and Standards</b>	
3.2.1 Overall site planning.....	14
3.2.2 Overall landscape plan.....	14
3.2.3 Landscape strips and screens.....	15
3.2.4 Tree retention and replacement.....	16
3.2.5 Fencing.....	16
3.2.6 Street design standards and pedestrian connections.....	17
3.2.7 Entrance gateways.....	18
3.2.8 Access and parking.....	19
3.2.9 Loading, service, storage and refuse.....	20
3.2.10 Building size and massing.....	20
3.2.11 Building design and articulation.....	21
3.2.12 Building materials and colour.....	24
3.2.13 Crime prevention through environmental design.....	25
3.2.14 Signage and wayfinding.....	25
3.2.15 Site Lighting.....	26
3.2.16 Landscape Requirements.....	26

## Design Guidelines Guide

---

### Overview

These guidelines are specific to the Yennadon Lands Employment Park. They are unique in that they direct development in a neighbourhood sensitive and scaled manner so that the Employment Park is compatible with the adjoining residential neighbourhood. In the past, industrial areas have not always been good neighbours as they have brought consequences such as noise, visual impacts, and undesirable traffic to local areas. The City of Maple Ridge wants to prevent those negative consequences as much as possible.

In the case of the Yennadon Lands Employment Park, the intention is to bring the right type and size of employment facilities into the neighbourhood, so it increases job opportunities close to home and provides opportunities for new and mature businesses to locate closer to where their employees live. This approach will help residents drive less, walk and bike more, and reduce the overall greenhouse gas footprint that longer commutes create.

At the same time, as reducing commuting and providing space for businesses to grow, the City wants to provide pathways and trails, as well as other natural areas and tree conservation with any contemplated development in this new Employment Park. The scale, character and size of the buildings will also be carefully reviewed to ensure they fit into the valued west coast character of the neighbourhood. Sensitive site planning, landscape buffers, and screening will help these businesses integrate better with the surrounding established residential communities. Finally, access and traffic will be limited to the arterial roads in the area so that local streets are not impacted by the development to the extent possible.

### Purpose

Property owners, developers, and consultants including architects, landscape architects and engineers will use these guidelines and the associated design review checklist to shape their development permit applications. City of Maple Ridge staff will measure the development permit applications submissions against the guidelines and checklist to suggest potential improvements. In the end, the City of Maple Ridge wants to make the development review and approvals process as clear and self-evident as possible to help reduce unnecessary delays and assure quality design. Most importantly, the City wants to create an outstanding and sought-after Yennadon Lands Employment Park: a local neighbourhood-sensitive employment area that all residents and businesses can be proud of as a progressive alternative to longer commutes.

### How to Use These Guidelines

1. A Development Permit Application will be completed that conforms to the City of Maple Ridge *Zoning Bylaw* requirements and other design standards, regulations, and bylaws including but not limited to the *Maple Ridge Subdivision and Development Servicing Bylaw*, the *Off-Street Parking and Loading Bylaw*, the *Strategic Transportation Plan*, *Tree Protection and Management Bylaw*, *Natural Features Development Permit Application*, and the *Watercourse Protection Development Permit Application*.
2. The four sections that follow include:
  - a. Section 1.0 Design Administration and Framework Policies
  - b. Section 2.0 Employment Park Design Concept and Principles describes the approved overall site development concept and the accompanying principles that guide development;
  - c. Section 3.0 contains the specific Design Guidelines that apply to individual development parcels; and
  - d. Section 4.0 is a summary Design Review Checklist to ensure that applicants have covered all the guidelines adequately.
3. Following staff review, amendments will be required to the Development Permit Application as conditions for approval with the intention of improving the quality of site planning and design.



## **1.0 Design Administration and Framework Policies**

---

### **1.1 Intent and Use**

- 1.1.1 These guidelines and associated design guideline checklist will be used to guide development of the Yennadon Lands Employment Park. They will be used by the City of Maple Ridge to review and evaluate Development Permit Applications.
- 1.1.2 Applicants will respond to each guideline and checklist item that applies to their specific site in the context of the entire development area (see Section 4: Design Review Checklist).

### **1.2 Administration and Interpretation**

- 1.2.1 The use of the term "City" shall mean "The City of Maple Ridge."
- 1.2.2 Where there is conflict with other bylaws, policies, or Area Plans adopted by the City, those bylaws, policies, or Area Plans will have priority over these guidelines.
- 1.2.3 Where a descriptive section, illustration, or photograph accompanies a guideline, it is provided for information purposes only to enhance the understanding of the guideline.
- 1.2.4 Where "shall" is used in the guideline, the guideline is considered mandatory.
- 1.2.5 Where "should" is used in a guideline, the intent is that the guideline is strongly encouraged, but can be varied where unique or unforeseen circumstances provide for courses of action that would satisfy or generally be seen as equivalent to the intent of the guideline.
- 1.2.6 Where the guideline requires submission of studies, analysis, or other information, the City of Maple Ridge shall determine the exact requirements and timing of the studies, analysis, or information.
- 1.2.7 Bylaws, policies, and regulations will be cross-referenced where possible in these guidelines, but it is up to the applicant to ensure that they comply with all applicable bylaws, policies, and regulations in accordance with the City of Maple Ridge's requirements whether or not they are mentioned in these guidelines.

### **1.3 Development Permit Area Application**

- 1.3.1 In accordance with Section 488 of the *Local Government Act*, the City of Maple Ridge is permitted to designate Development Permit Areas to create special requirements for certain forms of development, including the form and character of intensive residential, commercial, industrial or multi-family residential development, and for the protection of natural features and ecologically significant land.
- 1.3.2 A Development Permit Area is intended to address special development circumstances, and if a property is within a Development Permit Area, certain types of development activity cannot proceed without a Development Permit being issued by Council.
- 1.3.3 An Industrial Development Permit is required for all new development within the urban area on lands designated industrial on Schedule B of the Official Community Plan other than in those circumstances indicated in in Section 8.4 Development Permit Exemptions. The following form and

character guidelines apply to industrial development on this unique neighbourhood site but are not necessarily appropriate for general industrial uses.

#### 1.4 Site Location, Size and Characteristics

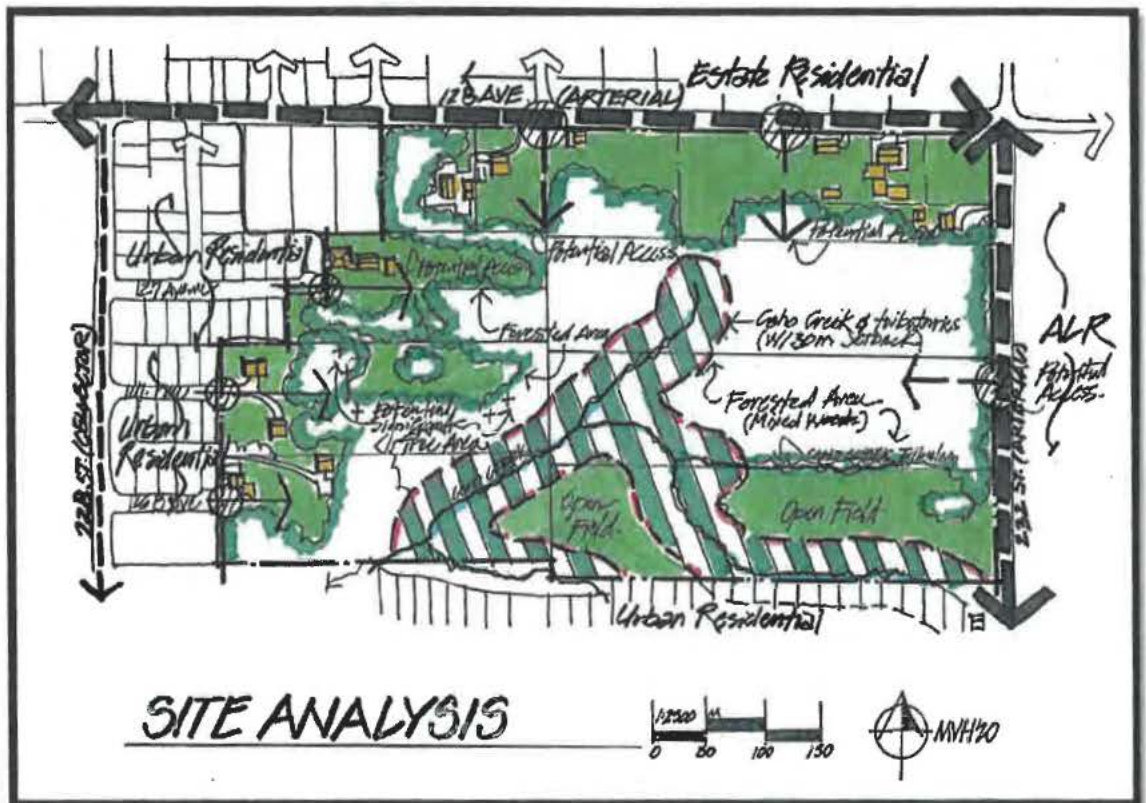
- 1.4.1 The Yennadon Lands Employment Park is 25.4 gross hectares (63 acres) in the north central part of the City of Maple Ridge. It is located on the south edge of 128 Avenue and the west edge of 232 Street. It is bordered by residential land uses on the south and west edges. Thirteen properties make up the Employment Area. The properties range in size from 0.5 hectares (1.50 acres) up to 4 hectares (10.0 acres).
- 1.4.2 The west side of the Yennadon Lands Employment Park has newer urban residential homes on standard single-detached lots. On the southwest edge of the Employment Park, set back from Coho Creek, are clusters of townhomes. Along the south Employment Park of the site are older urban residential lots adjoining the south edge of Coho Creek. East of the Employment Park along 232 Street are large lot homes built on the Agricultural Land Reserve. North of the Employment Park on 128 Avenue are older estate lot homes. On the northeast corner of 232 Street and 128 Avenue is a Petro Canada Service Station and associated commercial uses. The Yennadon Elementary School is also located in behind the Service Station northeast of 128 Avenue and 232 Street.
- 1.4.3 The northern and western edges of the Employment Park have current large lot residential uses. One small farm is located in the northeast corner of the Employment Park. The balance of the site is vacant, treed, or open fields with Coho Creek and its tributaries running through the south and central part of the site. The open parts of the site have views north to the Golden Ears mountain peaks but much of the potential views are obscured by the existing forested area. The site is relatively flat but is punctuated by mounds and lower wet areas.



*Orthographic photo of site and adjoining uses*

## 1.5 Watercourses and Natural Features

- 1.5.1 In accordance with Section 8.9 of the Official Community Plan, a Watercourse Protection Development Permit application is required for all development and building within 50 meters of top-of-bank of all water features such as creeks, wetlands, ponds, or ditches, for the preservation, protection, restoration and enhancement of watercourse and riparian areas. Coho Creek and its tributaries run east to west and northeast to southwest through the site in the south and central part of the site.
- 1.5.2 Pursuant to Section 8.10 of the Official Community Plan, a Natural Features Development Permit application shall be required for all development and subdivision to ensure the protection, restoration, and enhancement of the natural environment.
- 1.5.3 Outside of dedicated watercourse and natural feature protection areas, restrictive covenants shall be utilized to assist with protection of tree retention areas, and high risk natural hazard areas, where necessary.
- 1.5.4 Re-designation to a "Conservation" land use designation within the Official Community Plan shall be required through a future rezoning application.

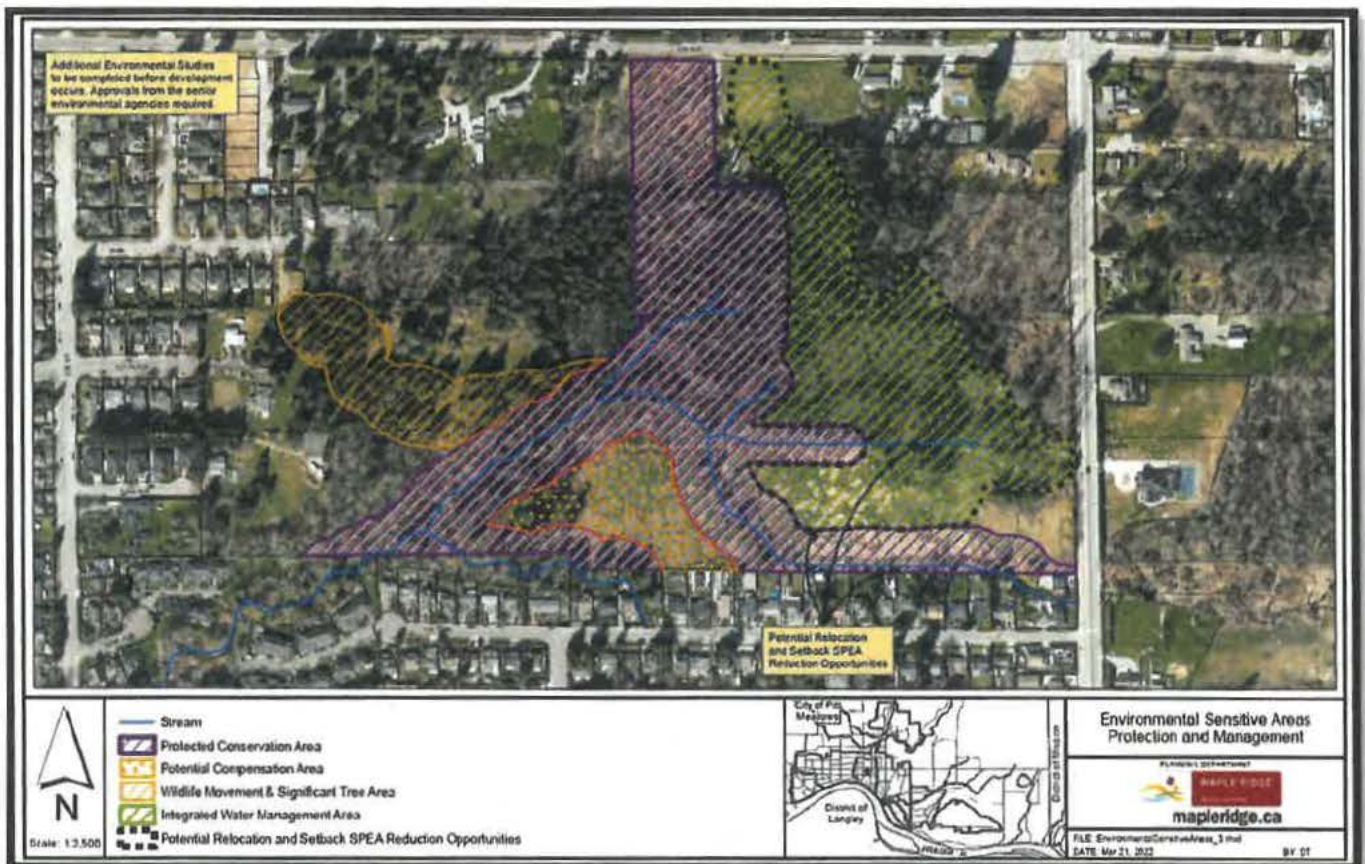


Summary site analysis and core Coho Creek Conservation Area

- 1.5.5 The City's Tree Protection and Management Bylaw will apply to the tree retention, removal, and replacement requirements for each development application as the majority of the site is covered with dense mixed forest of deciduous and coniferous trees. There are a few clusters of what appear to be significant Western Red Cedar and Hemlock tree stands near the west edge of the site. There

could also be further specimens, but a detailed tree inventory and management plan would be required to confirm their value and condition.

- 1.5.6 As per municipal requirements and legislative requirements of senior environmental agencies Coho Creek is fish-bearing and therefore requires a 30-meter setback with a 15-meter setback along the south side of the tributary where it abuts historical residential properties facing 126 Avenue on the east side of the site. The surrounding riparian corridor provides an important refuge to a variety of fish, wildlife and flora species and it provides an important wildlife movement corridor through the site. It helps provide greenway connections east and west and north to south as part of a larger watershed sub-catchment area. No buildings, impervious surfaces, infrastructure or site disturbance are permitted in this setback area.



*Yennadon Lands Employment Park Environmental Sensitive Areas Protection and Management Concept*

- 1.5.7 The Municipal Streamside Protection Regulation setbacks are determined with the assistance of a qualified environmental professional of record. Variances, relocations, or disturbance shall require input from senior environmental agencies. Wetlands and water management areas shall be evaluated by a qualified environmental professional along with the assistance of the Provincial WSA and the City.
- 1.5.8 Portions of these sensitive water management areas are potentially considered to be developable, but site designs must include consideration for integration of naturalized stormwater designs within these areas. Senior environmental agencies have noted a willingness to consider some development within the identified water management areas outside of protected headwater habitat

areas on condition there is a significant effort to retain contiguous headwater areas/wetland features and clusters of healthy trees around headwater areas.

- 1.5.9 There is a remnant central "island" of land in the south-central area of the site that may be considered for the east tributary stream compensation and a reduced setback to 22.5 meters for the balance of Coho Creek. A further environmental study shall be required to confirm the merit and feasibility of the various creek management and compensation options.

## 1.6 Access and Transportation

- 1.6.1 128 Avenue connects to the Golden Ears Bridge to the west and 232 Street connects south to Abernethy and Dewdney Trunk Road. Each of these roads will provide limited access to the site and no direct single-site access. Further road-widening dedication and improvements will be required as a condition of development and appropriate road standards for interior roads.
- 1.6.2 Transportation Impact Assessments are required through the development application process.
- 1.6.3 Where possible, innovative solutions to school related congestion issues will be considered.
- 1.6.4 Where feasible, developments are encouraged to align with the Transportation Demand Management Guidelines for Development in Metro Vancouver, as amended, in conjunction with the City's Off-Street Parking and Loading Bylaw and Zoning Bylaw, as amended.

## 1.7 Trails, Open space, Parks and Recreation

- 1.7.1 A gravel horse trail runs along the south side of 128 Avenue adjoining the site. There are some informal trails by residents on the western edge. There are regional and municipal plans for a comprehensive bike lane and walking path for both 128 Avenue and 232 Street in the future that will incorporate bike lanes and a sidewalk/trail network.



*A gravel horse trail is located along the south side of 128 Avenue and informal trails exist on the west edge of the site adjoining the residential area*

- 1.7.2 A natural interconnected pathway and trail system is shown on the concept plan (Section 2.1) for the site that connects to the surrounding neighbourhoods. The trails should be slightly elevated to avoid flooding and may require elevated boardwalk sections in some of the riparian areas near the stream or in particularly low wet areas. In addition, should pedestrian bridges be required, these

bridges should be designed and constructed so that they create minimum disturbance in the riparian areas.

- 1.7.3 Where possible, trail and greenway development considered for the plan area will align and support the objectives identified in *Regional Greenways 2050*.

## **1.8 Stormwater Management**

- 1.8.1 Any development shall demonstrate compliance with the City's stormwater management requirements as outlined in the drainage section of the City's Design Criteria Manual and in accordance with Provincial and Metro Vancouver design standards.
- 1.8.2 Stormwater management strategies shall be coordinated with geotechnical recommendations, environmental protection areas, and tree retention plans as protected watercourses, surrounding wetland habitat, and water management areas will be the major recipient of seasonal groundwater and stormwater runoff.
- 1.8.3 Green infrastructure solutions must be incorporated into the stormwater management plan.
- 1.8.4 Water quality treatment for runoff from roads/parking areas is required before it enters into protected setback areas and into the more sensitive water management areas zones.
- 1.8.5 A bio-pond is required on at least each half of the Yennadon Lands (eastern portion and western portion) to provide for community detention and water quality treatment prior to discharge to the Coho Creek or existing municipal drainage system.
- 1.8.6 For fish-bearing water courses, any stormwater flow shall be filtered and scrubbed via biofiltration and exfiltration on developable portions of the site before it enters into protected sensitive areas.

## 2.0 Employment Area Development Concept and Principles

### 2.1 Employment Area Development Concept

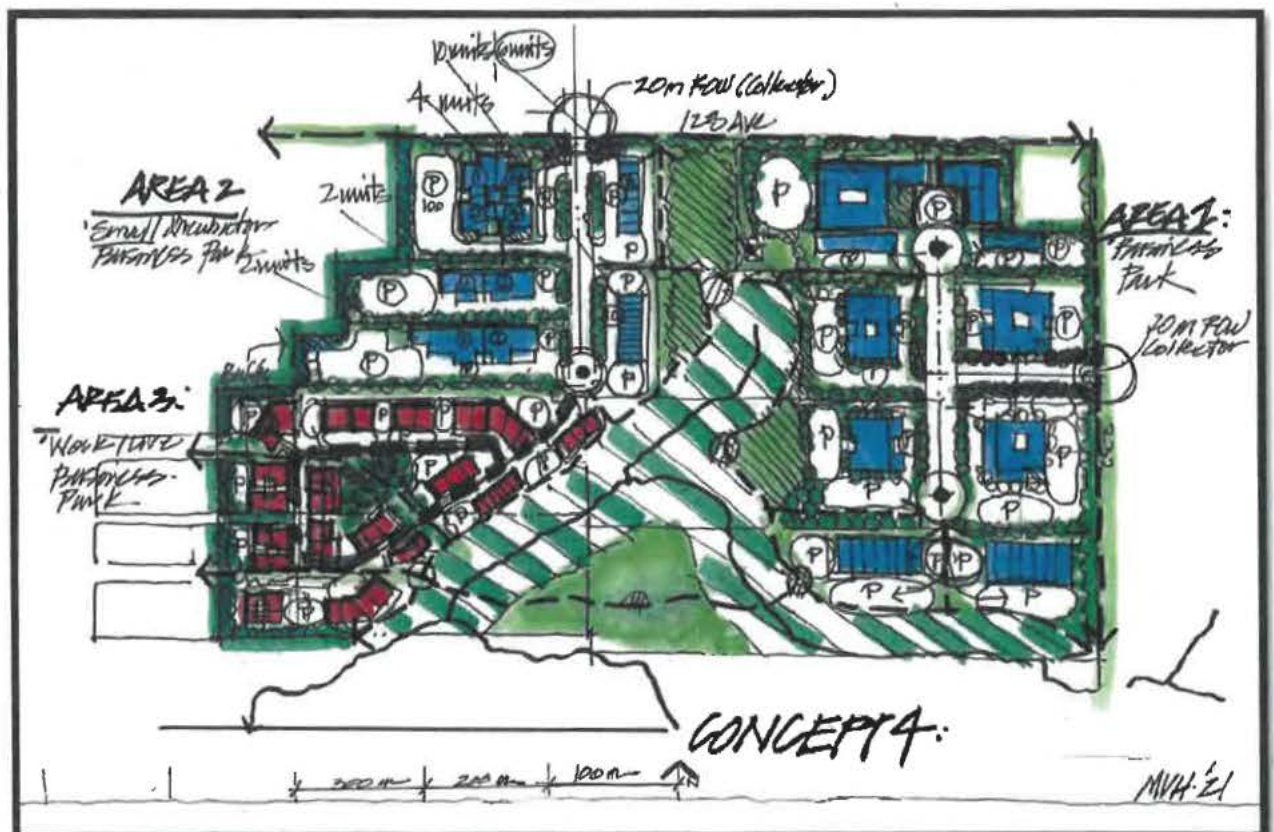
#### 2.1.1 Complete Yennadon Lands Vision: Live, Work, and Play with Nature

The intent is to create a complete neighbourhood where residents and business owners can live, work and play within a five to ten-minute walk or bicycle ride of their residence. This employment area should be uniquely smaller scaled to fit with the surrounding neighbourhood, offering the potential for a variety of smaller scaled buildings with limited building heights and sizes. Residential uses will be limited to potential work/live units in the west sector (see Development Concept Plan below).

#### 2.1.2 Nature and Eco-Industrial Network Potential: The natural environmental area of the site will be conserved as the Coho Creek Conservation Area with the required 30 metre setback areas to buildings and trails along its edges. The employment area will be linked by trails and natural open spaces, which in turn will be connected to the adjoining communities. Businesses are also encouraged to form an Eco-industrial Network to minimize waste and optimize the "circular economy" where waste becomes a potential raw material for another local business. (see Eco-Industrial Park Handbook:

<https://openknowledge.worldbank.org/handle/10986/31456>

and article; <https://link.springer.com/article/10.1007/s10098-016-1224-x>)



Yennadon Lands Employment Park Development Concept

## 2.2 Guiding Principles

- 2.2.1 **Suitable Mix of Employment Uses:** The employment area will need to have an appropriate mix and size of employment uses to generate suitable levels of job creation while still affording a sensitive transition to the surrounding residential uses.
- 2.2.2 **Neighbourhood Business Scale and Character:** The design of the employment area will be limited to business activities inside the building to eliminate nuisance noise, odour, and other negative impacts. The building form will be more of a residential height and massing in the western area with generous landscape retention and reduced parking if possible. The eastern area may have larger and more conventional light industrial buildings.
- 2.2.3 **Innovative Mixed Uses:** The development of this site may include a mix of employment uses.
- 2.2.4 **Environmental Sensitivity:** Coho Creek will be dedicated to the City and protected and enhanced with the appropriate setbacks and a progressive stormwater management system on site.
- 2.2.5 **Trail Network:** A comprehensive trail network will connect to the adjoining communities and provide a rich amenity for both the businesses and residents to enjoy, promoting a healthy and walking/biking culture.
- 2.2.6 **Resilience and Adaptability:** This employment neighbourhood will be designed and planned so that there is diversity and choice of business parcels and units so they can adopt and consolidate or expand over time.
- 2.2.7 **Climate-Change Responsive:** The infrastructure and servicing will be designed for increased storm flows and special events.

The intention is that each of the businesses will be part of a greater community that engenders environmental stewardship, economic prosperity, and social responsibility as core to their values.



### 3.0 Design Guidelines

#### 3.1 General Guidelines: Site Planning Essentials

The following are requirements for each Development Permit Application:



**3.1.1 Minimize site disturbance and enhance natural features**

The site is sensitive to any alterations of the landscape, especially those areas adjoining Coho Creek. There shall be no disturbance within the stream setback area. Other areas with significant trees will be retained where possible and enhanced with native planting.

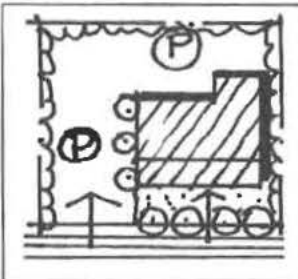


**3.1.2 Locate building and parking to minimize impact on natural areas**

Buildings and required parking shall be located outside the stream setback area. Additional parking or storage areas can be completed with pervious surfaces and surface storage to permit temporary retention, subsurface water recharge and reduce off-site erosion. Any trails or pathways should be located outside the stream setback area.

**3.1.3 Locate buildings close to the streets with pedestrian access**

Since this area is intended to be pedestrian friendly and residential scale on the west portion of the site, buildings will be required to meet the minimum setback requirements unless visitor parking is proposed in the front yard setback. Direct pedestrian pathway access from the street and parking to the building will be required.



**3.1.4 Create adequate building weather protection and passive solar gain**

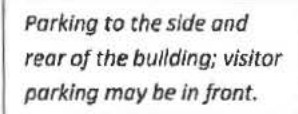
Broad overhangs and other methods to protect the building and pedestrians shall be required as part of a genuine west coast approach to design of the buildings and landscape.

**3.1.5 Locate main employee parking to the side and rear of the site**

Only visitor parking will be permitted in the front yard area. Other parking is required to be located in side yards or rear yards.

**3.1.6 Locate storage, service and loading to the side and rear of the site**

Storage, service and loading are required to be located to the sides or rear of the property to minimize potential conflicts with visitors and pedestrians as well as reduce undesirable visual impacts.



**3.1.7 Manage stormwater on site**

Rainwater management will be important so that Coho Creek will receive unpolluted water and nurture the local fish population. No excess runoff will be permitted from any site and will be retained on site in the event of a storm or other rain event in accordance with City of Maple Ridge Design Criteria Manual and environmental standards. The use of Green Infrastructure must be incorporated in to the site designs.



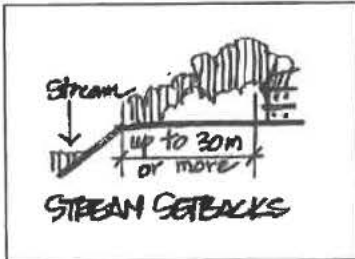
**3.1.8 Create a landscaped strip at the front, rear and sides of site**

To buffer the visual intrusion of larger buildings, storage, and parking, a landscape strip will be required along the front yard, side yards and rear yard. The specifications for planting, width, and fencing are included in the Specific Guidelines that follow. Landscape design plans should be coordinated with the stormwater management plan to utilize vegetation to address retention, detention and water quality.

### 3.2 Specific Guidelines and Standards

These guidelines generally follow the *M7 Employment Park Industrial Zone* requirements within the *City of Maple Ridge Zoning Bylaw No. 7600-2019* and may be more specific in some cases to attain the *Yennadon Lands Employment Park Development Concept and Guiding Principles* (Sections 2.1 and 2.2 of this document).

#### 3.2.1 Overall Site Planning



3.2.1.1 The minimum development setback from Coho Creek is 30 metres. No buildings, improvements, or site disturbance are permitted in this setback area. The development setback area will be defined by the measurement from the top of bank of Coho Creek and require *Natural Features and Watercourse Protection Development Permits*.

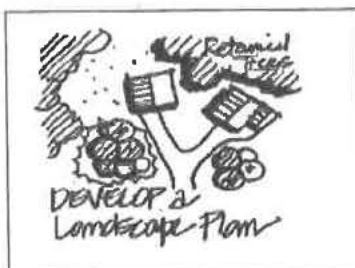
3.2.1.2 The undeveloped portion of the lot shall have all erosion and sediment control mitigation measures in place and be in compliance with the *Maple Ridge Watercourse Protection Bylaw No. 6410-2006*, or as amended.



3.2.1.3 Developments are encouraged to incorporate Low Impact Development (LID) techniques into site planning. Applicants should consider employing techniques such as rain gardens, vegetated swales, separation of impervious surfaces, installing below surface infiltration beds and tree box filters, and redirecting water from drainpipes into vegetated areas.

3.2.1.4 All landscaping areas shall meet or exceed the *Metro Vancouver Regional District Stormwater Source Control Design Guidelines 2012*, or as amended.

#### 3.2.2 Overall Landscape Plan



3.2.2.1 A registered British Columbia Landscape Architect shall develop a Landscape Plan for each parcel.

3.2.2.2 The landscape plan is to retain and enhance the natural settings as much as possible with no disturbance to the natural areas to be conserved outside the building sites. Landscape elements should follow an informal design and be understated.

3.2.2.3 Landscaping on site shall provide definition to pedestrian corridors; adequate screening between sites; soften the transition between adjacent uses; and create interesting views and focal points in and to other parts of the overall employment area including the central natural area.



3.2.2.4 Landscape design shall extend and complement the central natural area of the site and complement the adjoining residential development with natural plantings, accent planting, and specimen planting, where appropriate.



*Landscape for energy efficiency and conservation*

- 3.2.2.5 The scale and location of plant material shall complement and be consistent with the scale and massing of the building(s) and the street trees.
- 3.2.2.6 The Landscape Plan shall include vegetation and trees to be retained and protected during construction by distinct fencing (Section 3.2.5).
- 3.2.2.7 Site grading and excavation should retain topsoil on site and create the least site disturbance where possible.
- 3.2.2.8 All final site grading must match adjoining, undisturbed natural grades and should be integrated with the stormwater master plan.
- 3.2.2.9 The Landscape Plan should consider energy efficiency and conservation in the selection and placement of plants including the following:
  - 3.2.2.9.1 Providing shade in the summer and light in the winter to the buildings through deciduous tree planting;
  - 3.2.2.9.2 Allowing daylight to active building frontages;
  - 3.2.2.9.3 Permitting natural drainage and ground-water recharge through the placement of planting and planting beds; and
  - 3.2.2.9.4 Redirecting rainwater from rooftop runoff into vegetated areas or rain barrels for later irrigation use.

### 3.2.3 Landscape Strips and Screens



*3.0 metre landscape strip in the front yard and exterior side lot*



*3.0 metre landscape screen in the side and rear yards*

- 3.2.3.1 A landscape strip is required at the property line along the street front and exterior side lot. Visitor parking is permitted in the front yard only in addition to pedestrian access to the building.
- 3.2.3.2 A recommended selection of native trees, shrubs and groundcovers are recommended to cover at least 75 percent of the ground in this landscape strip area. The balance is recommended to be natural grasses or no-pesticide lawn grasses. Low shrubs (planted at 1.0 metre minimum on centre and trees at a maximum 7 metres on centre) should be planted to screen parked cars but allow visual access to the building for safety purposes.
- 3.2.3.3 All planting on the property shall be native, water-conserving, herbaceous and/or woody plant species suitable for the City of Maple Ridge.
- 3.2.3.4 A landscape screen is required in the side and rear yards and along any lot line edge where a trail is required. These buffer/screen strips shall be planted with native evergreen species and are to be continuous and solid adjoining residential uses.
- 3.2.3.5 It is recommended that Building Owners and Tenants maintain the planting media and plant material in accordance with generally accepted landscape maintenance practices, and replacing each as necessary.

### 3.2.4 Tree Retention and Replacement



3.2.4.1 A tree survey is required by a certified arborist to determine recommendations for tree retention, removal and management in accordance with the *Tree Protection and Management Bylaw No. 7133-2015*.

3.2.4.2 A Tree Management Plan should be developed as part of the required Landscape Plan to minimize disturbance on the site and reduce associated development costs in accordance with the *Tree Protection and Management Bylaw No. 7133-2015*. . If the tree plan is coordinated with storm water management, site grading, road layout, and building layout, site development costs should be reduced.



3.2.4.3 Groups of trees should be retained to protect against potential isolated tree hazard situations. Associated vegetation at the base of trees should be retained to minimize disturbance of existing soil conditions.

3.2.4.4 Trees on adjacent property must not be cut, pruned or have roots severed or disturbed during construction. Large tree roots encroaching on construction areas shall be left intact up to the foundation. Fill or any other material shall be kept well clear of existing trees. Foreign materials and substances should be prevented from entering or leaching into soils and definitely not be stored or placed in the tree protection areas. At the same time, root systems of retained trees shall be protected from compaction and grade changes.

3.2.4.5 All trees identified for preservation shall be protected during construction unless it is otherwise demonstrated that they are a safety hazard or require removal to accommodate an approved building or structure in accordance with the *Tree Protection and Management Bylaw No. 7133-2015*.

### 3.2.5 Fencing



Chain-link fencing integrated with evergreen hedge

3.2.5.1 No fencing is permitted in the front yard and external side yard areas, except treatments like low decorative wood rail fencing as part of a coordinated landscape plan to a maximum of 1.2 metres.

3.2.5.2 Fencing is limited to the internal side yards and rear yard areas and shall not exceed 3.6 metres.

3.2.5.3 Fencing adjoining residential areas shall either be constructed with materials consistent with fence materials and design generally used in the residential neighbourhood or can be chain-link fencing if complemented by a solid evergreen hedge on the outside of the fence.

3.2.5.4 Any fencing will meet the requirements of *Section 403 – Visual Clearances at Intersections of the Zoning Bylaw*.

### 3.2.6 Street design standards and pedestrian connections

3.2.6.1 Collector standard roads are required in accordance with the Subdivision and Servicing Bylaw, as amended from time to time.

3.2.6.2 There shall be a separate pedestrian sidewalk connection between the street and the front door of the building or buildings.

3.2.6.3 It is required that a trail network as shown on the concept plan be provided along the Coho Creek setback area and through the development to connect up to the residential areas south and west of the site and with the proposed multi-use trail along 128 Avenue and 232 Street.

3.2.6.4 A 5.0 metre dedicated public-right-of-way shall be required along the Coho Creek setback areas and between properties to permit an interconnected trail system and as an amenity to businesses and residents.

3.2.6.5 Standard trail/pathways include a 2.5 metre pathway with a 250 mm shoulder on both sides (see Figure 2 below).



Trail with 2.5 metre width and 250 mm shoulder

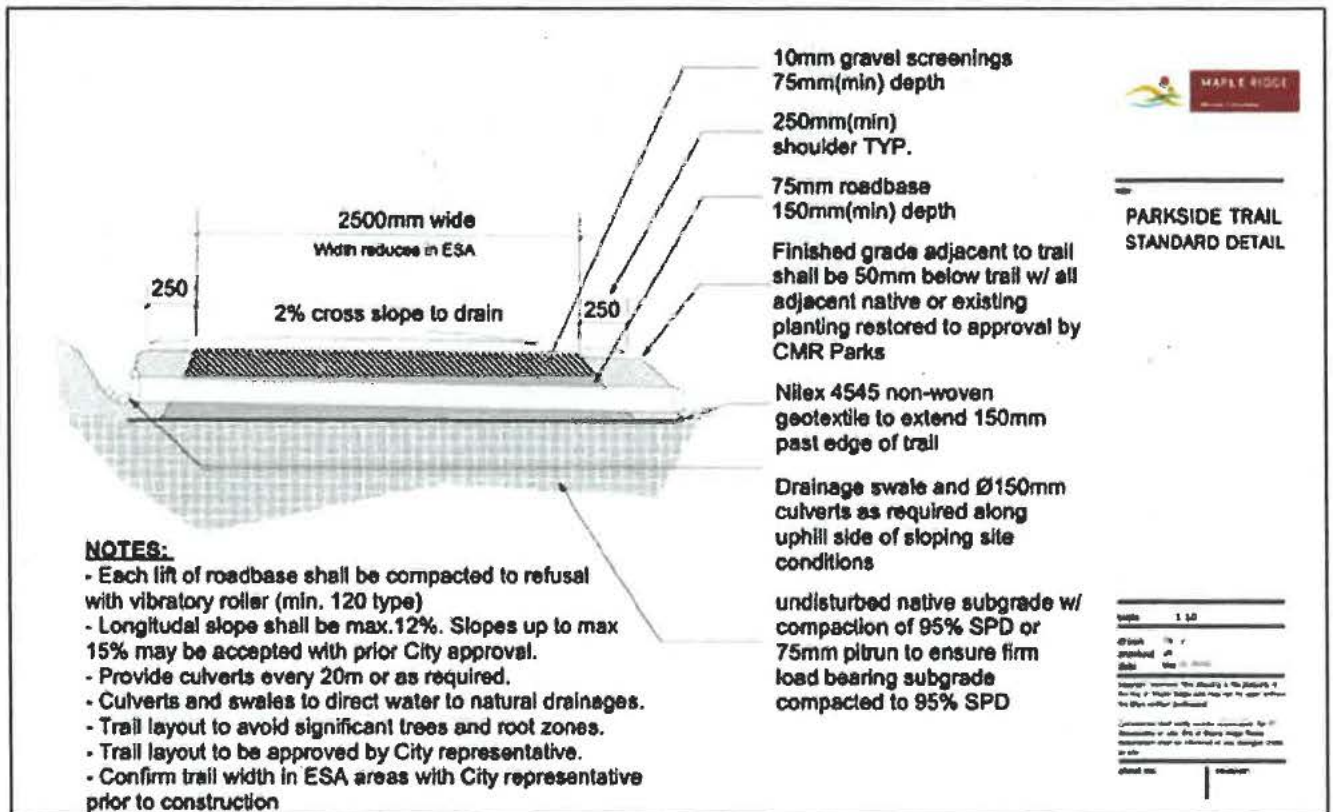


Figure 2: PARKSIDE TRAIL Standard Detail  
City of Maple Ridge standard cross-section for trails

### 3.2.7 Entrance Gateways

- 3.2.7.1 Entrance gateways shall be located at the entrance of the Employment Park at 128 Avenue and at the entrance to the east section on 232 Street. Gateways are to be set on private property.
- 3.2.7.2 The gateways shall set and reflect the character of the employment areas and create a distinct recognition of entrance into an employment area through entrance signage and a potential special paving treatment.
- 3.2.7.3 Materials used in their natural state are encouraged such as stone and wood.



*The entrance gateways are to be neighbourhood scale and using natural materials combined with native landscaping*

### 3.2.8 Access and Parking



Visitor parking only in the front yard setback area



Pedestrian access from street to front entrance of building

- 3.2.8.1 Generally, only one access per property is permitted. Access may be shared with adjoining uses to minimize driveway along the street, but will need to be reviewed on a case by case basis. Additional access widths may be required.
- 3.2.8.2 Only visitor parking is permitted in the front yard or external side yard areas. All other parking is required to be on the interior side yards or the rear yard areas.
- 3.2.8.3 Locate disabled parking spaces near the front door of the building, providing ramp or other universal design access.
- 3.2.8.4 All non-vehicular routes shall meet City of Maple Ridge Accessibility Standards and be fully accessible. Sidewalks and paved pathways shall be wide enough for wheelchairs or scooters and should include a tactile strip for the visually impaired.
- 3.2.8.5 Curb cuts and curb let-downs shall be provided in appropriate locations to facilitate safe, convenient, and direct access from parking spaces to buildings for people with disabilities.
- 3.2.8.6 Parking areas shall be divided into smaller sections by planting trees every six parking stalls with shrubs and groundcover to break up and green the parking areas.
- 3.2.8.7 Parking areas shall be graded to direct runoff to the landscaped areas as part of the site's stormwater management plans.
- 3.2.8.8 A distinct pedestrian pathway connection shall be provided between the parking area and the main building where there are multiple layers of parking.



### 3.2.9 Loading, service, storage and refuse



*Loading and service bays to the side and rear of the building*



*Screening of service and loading areas*

- 3.2.9.1 Loading and service bays shall be located to the side and rear of the building with access to the side of the building.
- 3.2.9.2 Loading and service bays shall be screened from adjoining properties.
- 3.2.9.3 No storage materials shall exceed the height of the fencing and screening.
- 3.2.9.4 Ensure construction waste is recycled where feasible.
- 3.2.9.5 A comprehensive waste reduction program is encouraged among landowners that can provide recycling and reuse in close proximity of industrial and commercial owners and/or tenants.
- 3.2.9.6 Refuse receptacles shall be located indoors or within service areas out of view from pedestrian access. Garbage and waste material should be stored in containers that are weather-proof and animal resistant in accordance with Waste Management Guidelines.

### 3.2.10 Building size and massing



*Buildings shall be scaled appropriately and front the street*

- 3.2.10.1 The front of the building will face the street.
- 3.2.10.2 It is recommended that the front of the building be articulated with wall divisions, building setbacks/protrusions or punched windows to break up long wall surfaces and create interest and scale along the street front.
- 3.2.10.3 The front reception and offices could be lower than the back of house warehouse and storage areas to create pedestrian scale and interest along the street.
- 3.2.10.4 Ancillary or accessory buildings, including structures used for storing materials or refuse containers should be visually screened from public streets with dense evergreen planting or should be designed and finished in a manner consistent and harmonious with the principal building.





The overall concept is to create a green campus of buildings that scale with the neighbourhood.

### 3.2.11 Building design and articulation



West coast architecture with wood, glass, and steel

- 3.2.11.1 Compatible architecture is encouraged – a range of styles, scale, massing, articulation, and glazing suitable for light industrial buildings with a west coast flair by using wood and steel accents where appropriate.
- 3.2.11.2 Broad overhangs for weather protection of both building and pedestrians shall be considered.
- 3.2.11.3 Offices, reception, sales, and other public use areas shall be located at the front of the buildings and face the adjoining street.
- 3.2.11.4 Main entry areas should be highly articulated with at least 50 percent glazing and a distinct front door design and broad overhangs in roof structure and details.

3.2.11.5 Design should incorporate wild-life and bird friendly design. Elements could include:

3.2.11.5.1 Apply visual markers to the exterior of glass surfaces.

3.2.11.5.2 Interrupt reflective glass by increasing the density of external visual markers and/or include adapted fenestration patterns, external blinds, shutters, sunshades, grilles, louvers, or artwork.

3.2.11.5.3 Design corner windows, glass walkways, glass railings and other similar features to reduce the appearance of clear passage to sky or vegetation.

3.2.11.5.4 Dampen reflections by using canopies or sunshades to cover windows at ground level and/or by using screens, drapes or blinds to increase the opacity of clear glass.



*No blank walls; walls with texture, glazing, and colours*

3.2.11.6 Building shall have no blank walls. Where there are major extents of wall surfaces, glazing, texture, graphics, and colours provide visual interest and break up the massive surface.

3.2.11.7 Mechanical elements on building roofs shall be screened with appropriate materials that blend in with the building design.

3.2.11.8 Natural lighting and ventilation should be maximized where possible by creating windows oriented to sunlight and operable windows for natural ventilation.

3.2.11.9 Energy efficient fixtures, programmable thermostats and lighting are recommended to reduce energy demand and minimize operating costs.

3.2.11.10 The installation of green roofs are supported, where possible and appropriate, providing the owner of the building maintains the roof planting media and plant material in accordance with generally accepted green roof maintenance practices, replacing each as necessary.

3.2.11.11 Each site shall have an employee amenity area for the common use of employees and visitors that could include a simple sitting area with shelter.

3.2.11.12 Main building entries should be clearly identifiable from the street or entry driveway.

3.2.11.13 Renewable energy features should be considered, such as solar and geothermal energy where feasible.

3.2.11.14 Locate building ventilation systems to minimize noise and exhaust on pedestrian areas, adjacent residential development, and outdoor spaces.

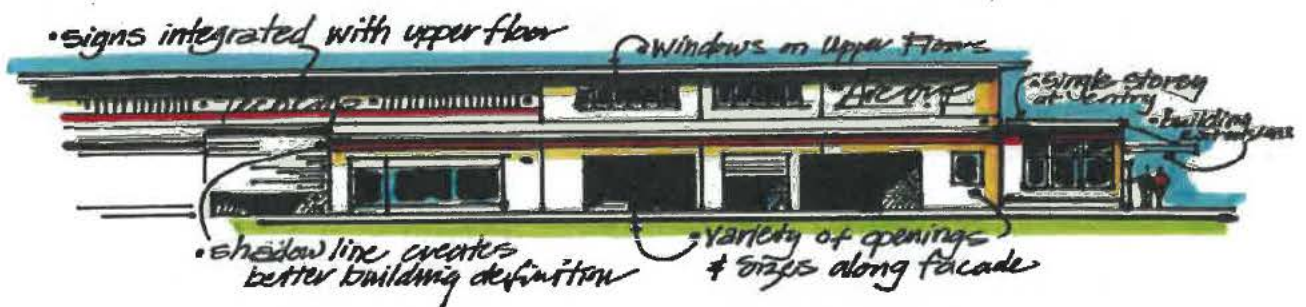
3.2.11.15 Bicycle racks and bicycle storage for employees is required to advance bicycling to work. Bicycle parking should be visible, in well-lit areas and the



*Each building shall have an employee amenity area*

bicycle racks should be of theft-resistant materials, securely anchored to the ground. In addition, showers and lockers are encouraged.

- 3.2.11.16 Main building entries should provide generous weather protection that is designed to be an integral feature of the building's architectural character.
- 3.2.11.17 Larger sites that are developed with more than one building should provide a weather protected walkway system to connect building entries within the site, and coordinated with adjacent sites if possible.
- 3.2.11.18 Canopy and/or awning systems detailing should consider integrated signage, lighting, and display systems.
- 3.2.11.19 Canopy and awning systems depth should be maximized to provide greater weather protection, as well as reduce the scale impact of larger buildings.
- 3.2.11.20 Weather protection elements on overhangs may be considered in required yards and landscaped setbacks.
- 3.2.11.21 Ground-oriented pedestrian "streets" through large footprint buildings are encouraged to create connections to on-site circulation routes and amenities, consistent with a campus-like high-tech environment. Such circulation through buildings should be clearly identified and designed for use by the public.



◆ **BREAK UP THE BOX - Building Articulation.**



◆ **WEATHER PROTECTION & PEDESTRIAN SCALE**

### 3.2.12 Building materials and colour



*Wood, stone, steel, and glass should be elemental to design*

- 3.2.12.1 Wood, stone, and glass should be elemental to the buildings and building clusters to emphasize the west coast locale and contemporary design.
- 3.2.12.2 Materials like vinyl, aluminum siding, and brick facing are not preferred or should be only a portion of the building materials. Accents in wood and stone are recommended.
- 3.2.12.3 Exposed concrete shall be sandblasted or clad in split faced granite or similar material.
- 3.2.12.4 Construction materials should consider recycled content where possible.
- 3.2.12.5 Clear or muted colours, used with stains, or earth tone-coloured materials are recommended; accent colours shall be permitted on special building elements such as trim and around the entrance ways.



*The building materials should help reduce the volume and scale of the buildings to help them fit better into the Yennadon neighbourhood.*

### 3.2.13 Crime Prevention Through Environmental Design



3.2.13.1 Crime Prevention Through Environmental Design (CPTED) principles shall be incorporated into site planning and building design by ensuring convenient, safe and identifiable access routes to building entrances, and other principal areas of the site and buildings.

3.2.13.2 Design the site and building so that there is natural surveillance, allowing people to easily view what is happening around them from the parking lots, entrance areas, storage areas and loading bays. Entries and walkways should be highly visible and well-lit with minimum hidden or blind corners.

### 3.2.14 Signage and wayfinding

3.2.14.1 All signage shall conform with the City of Maple Ridge Sign Bylaw.

3.2.14.2 Signage design, materials and message boards should be integrated and complement the scale, colours and materials of the building.

3.2.14.3 In multi-tenant buildings, signs shall be designed to present a unified appearance using a single sign at the entrance and separate signs in a consistent sign strip along the mid-part of the building/buildings.

3.2.14.4 Entrance signs to the site should be ground-mounted and simple in character to display the street number and name of the complex.

3.2.14.5 Entrance signage to the site shall be monument based and shall be combined with landscape design to integrate the sign into the site planning and design.

3.2.14.6 Only one individual tenant sign is permitted in a coordinated sign strip area.



*Signage should complement building design and placement*



*Smaller monumental entrance signage using building materials and west coast look complements a local neighbourhood landscape*

### 3.2.15 Site Lighting

- 3.2.15.1 Lighting shall be designed following a 'dark sky policy' with direct lighting only (full-cut-off) so lighting is directed and there is minimum off-site impacts especially on adjacent residential neighbourhoods.
- 3.2.15.2 Even within the development discreet front entrance lighting and other visitor parking lighting is lower pedestrian scale (LED energy efficient lighting and directed and complements the adjoining street lighting).
- 3.2.15.3 Security lighting is directed and does not flood-off site.
- 3.2.15.4 Other accent lighting including up-lighting for the entrance signage, pedestrian pathway lighting, and specimen trees is acceptable and encouraged as part of a unified landscape and building lighting plan.
- 3.2.15.5 Sidewalk lighting will be coordinated with the street design.

### 3.2.16 Landscape Requirements

- 3.2.16.1 All landscape methods and materials should meet current BCSLA/BCNTA Landscape Standards.
- 3.2.16.2 Native British Columbia species should be maximized. Any supplemental planting should be compatible in variety and size.
- 3.2.16.3 Reference the Watercourse and Natural Features Development Permit and/or the Urban Tree List for Metro Vancouver in a Changing Climate for a lists of potential native landscape plant list.
- 3.2.16.4 Minimize cultivated, decorative, and non-indigenous plants and lawns. Naturalized landscapes should be the general approach to reduce maintenance, enhance wildlife, and water use.
- 3.2.16.5 Tall tree species should be located to minimize impact on views from neighbouring properties.
- 3.2.16.6 All trees shall be provided with a sufficient depth of soil volume to meet or exceed a total of 10m<sup>3</sup> of soil volume per new tree planted.



*Diversity of native plant materials that grow well in local site conditions is important to the health and growth of the site landscaping*

## CITY OF MAPLE RIDGE

## BYLAW NO. 7735-2021

A Bylaw to amend the Official Community Plan Bylaw No. 7060-2014

**WHEREAS** Section 477 of the Local Government Act provides that the Council may revise the Official Community Plan;

**AND WHEREAS** it is deemed desirable to amend Schedule "B" and Schedule "C" to the Official Community Plan;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This Bylaw may be cited for all purposes as "Maple Ridge Official Community Plan Amending Bylaw No. 7735-2021."
2. To amend the Urban Area Boundary, as shown in Schedule 1 Map No. 1037, to include the Yennadon Lands in their entirety.
3. Those parcels or tracts of land and premises known and described as:

Parcel A, Lot 8, Plan NWP5467, Section 20, Township 12, New Westminster Land District, REF PL 8148;

Lot 7, Plan NWP5467, Section 20, Township 12, Group 1, New Westminster Land District;

Lot 6, Plan NWP5467, Section 20, Township 12, Group 1, New Westminster Land District;

Lot 5, Plan NWP5467, Section 20, Township 12, Group 1, New Westminster Land District;

Lot 3, Plan NWP5430, Sublot 1, Part NE1/4, Section 20, Township 12, Group 1, New Westminster Land District, Except Plan PARCEL "A" RP22408, P23424;

Lot 4, Plan NWP5430, Section 20, Township 12, Group 1, New Westminster Land District, Except Plan 23424, LMP12700;

Lot 2, Plan NWP22339, Part NE1/4, Section 20, Township 12, Group 1, New Westminster Land District;

Lot 46, Plan NWP31436, Part NE1/4, Section 20, Township 12, Group 1, New Westminster Land District;

Lot 55, Plan NWP40879, Part NE1/4, Section 20, Township 12, Group 1, New Westminster Land District;

Lot 56, Plan NWP40879, Part NE1/4, Section 20, Township 12, Group 1, New Westminster Land District;

Parcel B, Lot 8, Plan NWP5467, Section 20, Township 12, New Westminster Land District, (REF PL 13094); and

and outlined in heavy black line on Map No. 1038 and 1039, a copy of which is attached hereto as Schedule 2 and forms part of this Bylaw, are hereby re-designated to Industrial (Employment Park Category) and Conservation.

4. Maple Ridge Official Community Plan Bylaw No. 7060-2014 as amended is hereby amended accordingly.

**READ** a first time the 11<sup>th</sup> day of May, 2021.

**READ** a second time as amended the        day of        202X.

**PUBLIC HEARING** held the        day of        , 202X.

**READ** a third time the        day of        , 202X.

**ADOPTED**, the        day of        , 202X.

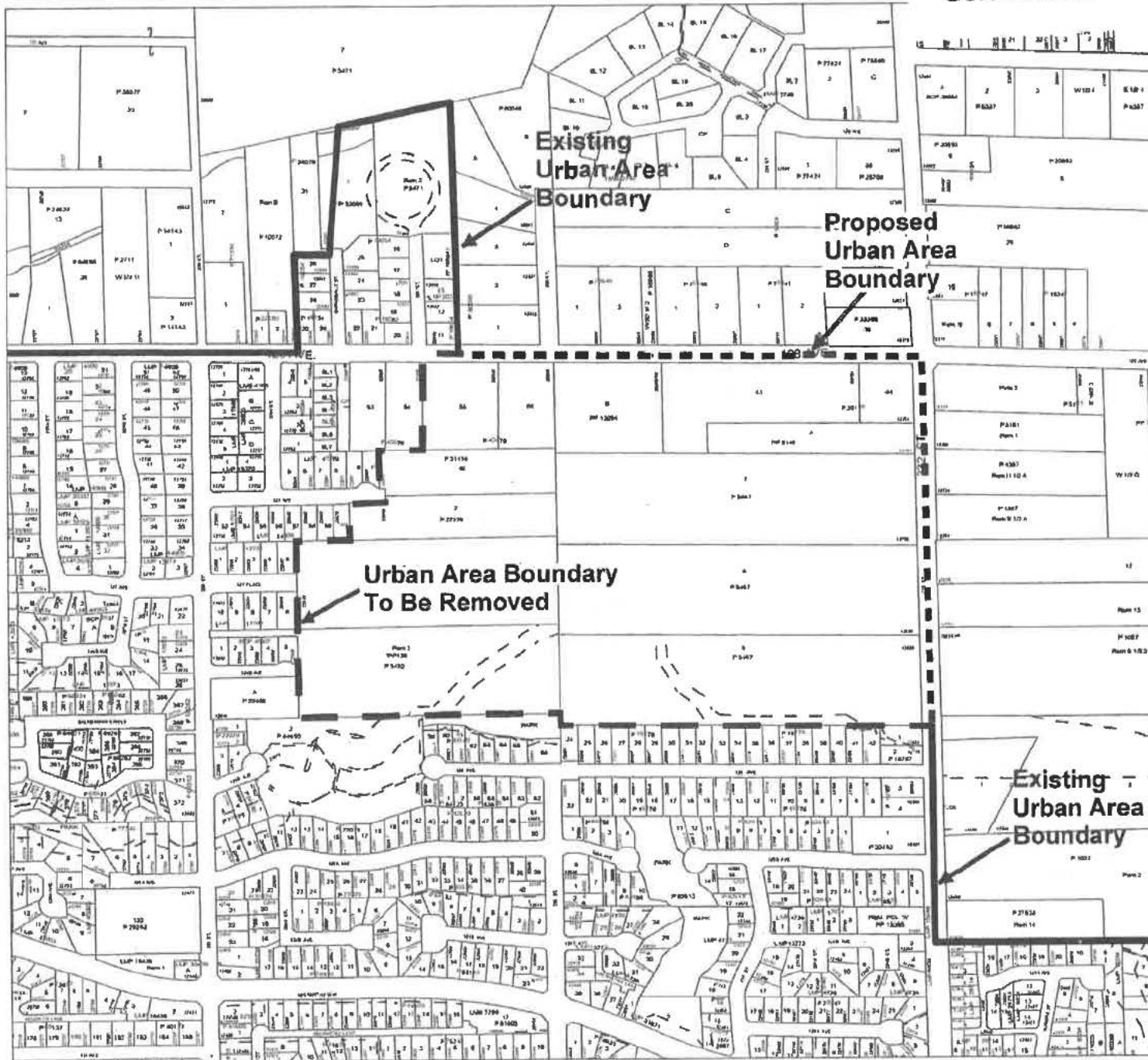
---

**PRESIDING MEMBER**

---

**CORPORATE OFFICER**





# MAPLE RIDGE OFFICIAL COMMUNITY PLAN AMENDING

Bylaw No. 7735-2021  
 Map No. 1037

Purpose: To Amend the Urban Area Boundary as shown

- Remove Existing Boundary
- Add Proposed Boundary





# MAPLE RIDGE OFFICIAL COMMUNITY PLAN AMENDING

Bylaw No. 7735-2021

Map No. 1038

From: Agricultural

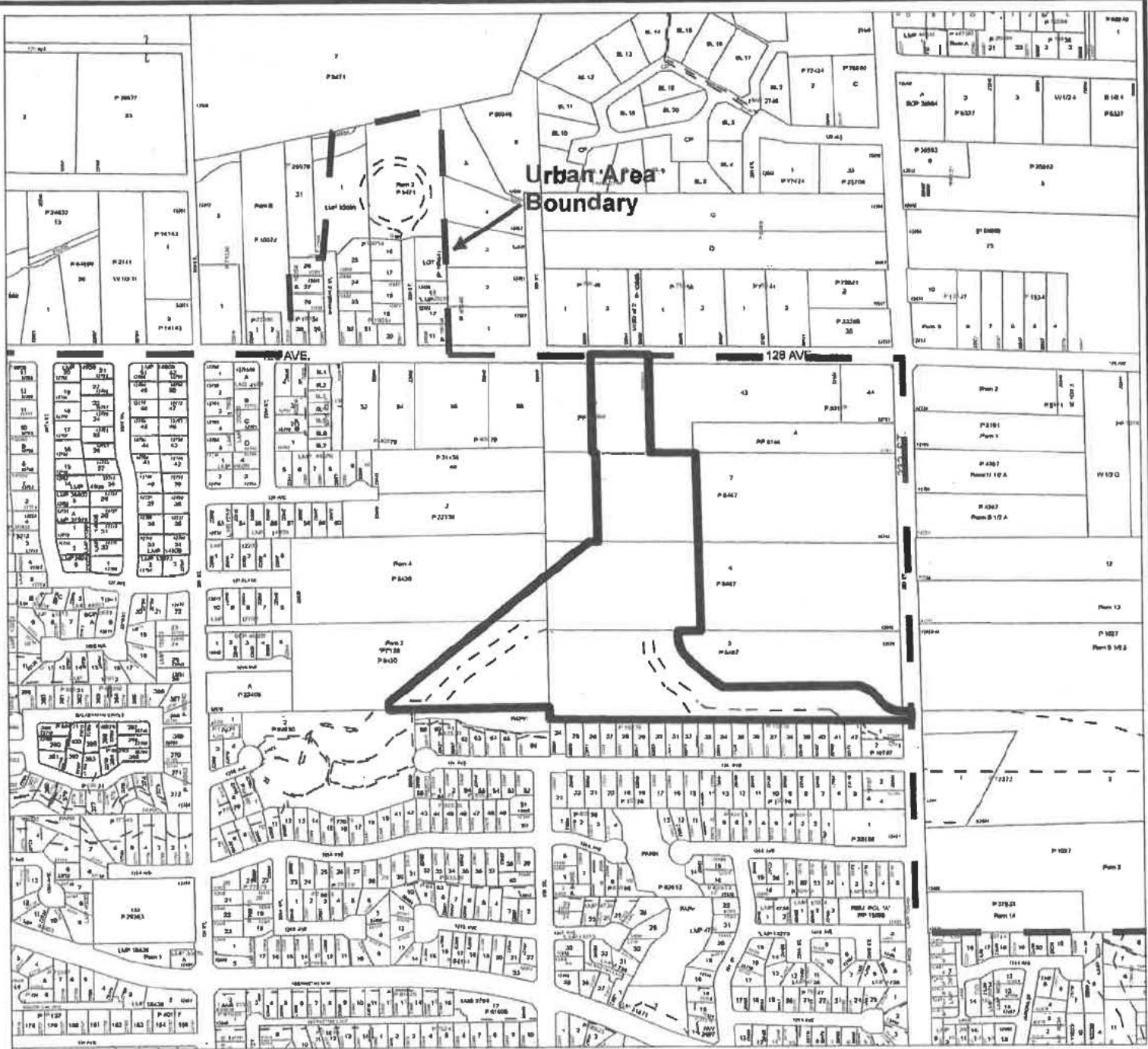
To:  Industrial

 Conservation




--- Urban Area Boundary






# MAPLE RIDGE OFFICIAL COMMUNITY PLAN AMENDING

Bylaw No. 7735-2021  
 Map No. 1039  
 Purpose: To Amend Schedule C as shown  
 From:  
 To:  To Add To Conservation



 Urban Area Boundary  
 523 of 636



CITY OF MAPLE RIDGE

BYLAW NO. 7838-2022

A Bylaw to amend the Official Community Plan Bylaw No. 7060-2014

WHEREAS Section 477 of the Local Government Act provides that the Council may revise the Official Community Plan;

AND WHEREAS it is deemed desirable to amend Schedule "B" to the Official Community Plan;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This Bylaw may be cited for all purposes as "Maple Ridge Official Community Plan Amending Bylaw No. 7838-2022."
2. Those parcels or tracts of land and premises known and described as:  
  
Lot 43, Plan NWP30199, Section 20, Township 12, Group 1, New Westminster Land District  
  
and outlined in heavy black line on Map No. 1056, a copy of which is attached hereto as Schedule 1 and forms part of this Bylaw, are hereby re-designated to Industrial (Employment Park Category).
4. Maple Ridge Official Community Plan Bylaw No. 7060-2014 as amended is hereby amended accordingly.

READ a first time the      day of      2021.

READ a second time as amended the      day of      202X.

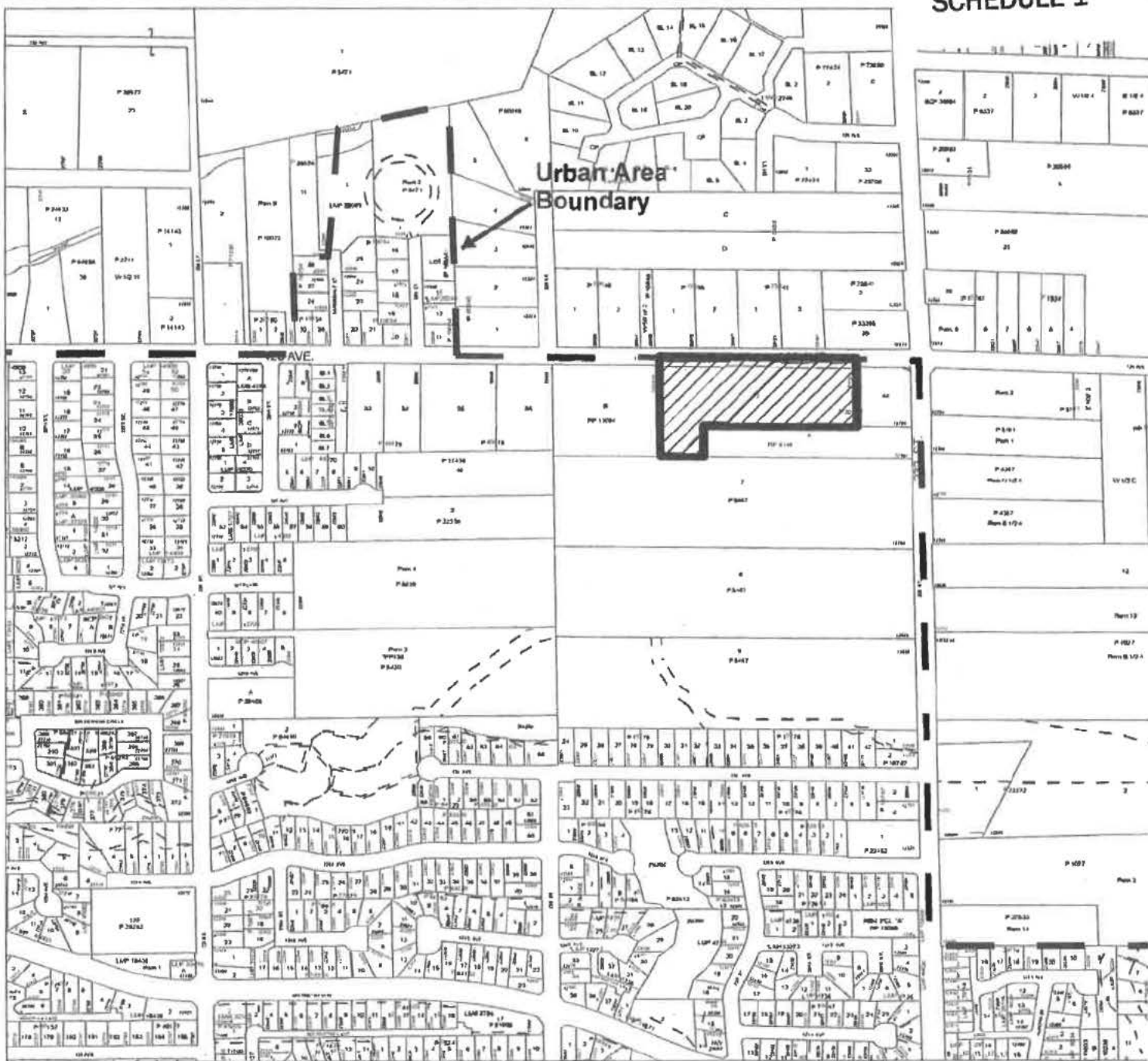
PUBLIC HEARING held the      day of      , 202X.

READ a third time the      day of      , 202X.

ADOPTED, the      day of      , 202X.

\_\_\_\_\_  
PRESIDING MEMBER

\_\_\_\_\_  
CORPORATE OFFICER



# MAPLE RIDGE OFFICIAL COMMUNITY PLAN AMENDING

Bylaw No. 7838-2022

Map No. 1056

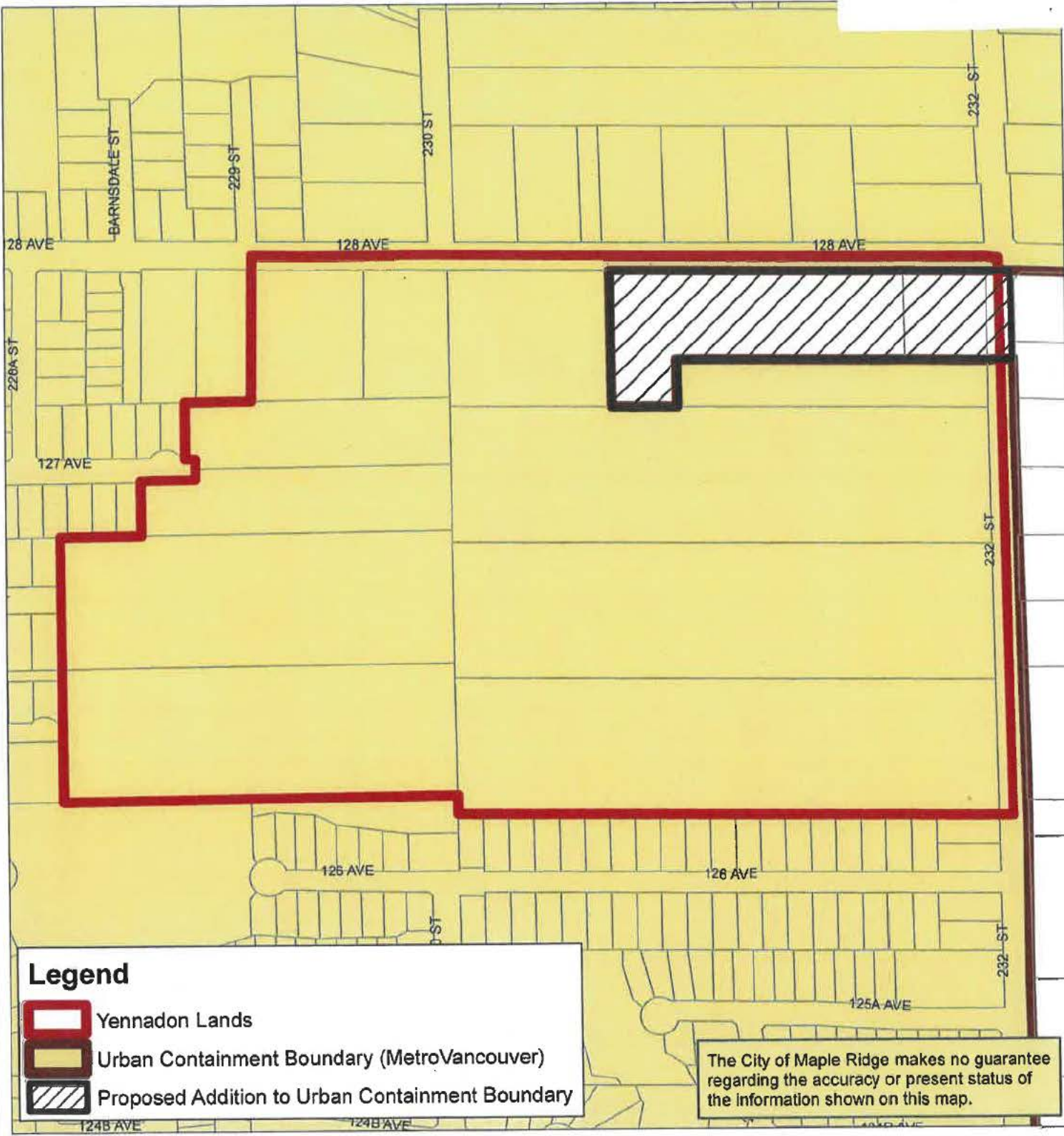
From: Agricultural

To:  Industrial






 Urban Area Boundary  
525 of 636





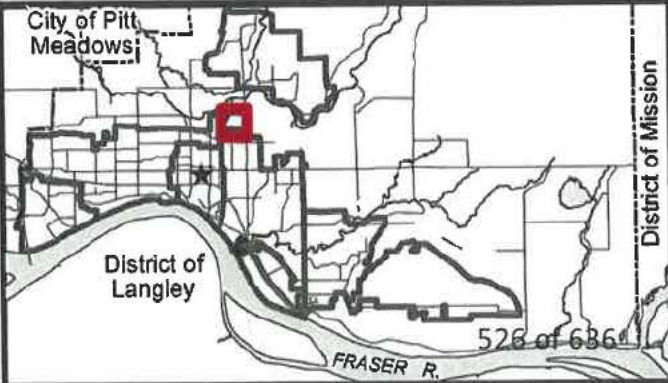
**Legend**

-  Yennadon Lands
-  Urban Containment Boundary (MetroVancouver)
-  Proposed Addition to Urban Containment Boundary

The City of Maple Ridge makes no guarantee regarding the accuracy or present status of the information shown on this map.



Scale: 1:4,000



**Proposed Addition to Urban Containment Boundary**

PLANNING DEPARTMENT



[mapleridge.ca](http://mapleridge.ca)

FILE: YennadonLands.mxd  
DATE: Jun 22, 2020

BY: DT

**Appendix E – Yennadon Lands Work to Date**

At the May 10, 2016 Council meeting, staff were directed to initiate a process to re-designate 13 subject properties, generally located at 128<sup>th</sup> Avenue and 232<sup>nd</sup> Street, towards an employment land use designation. The direction was in keeping with the City's Commercial & Industrial Strategy: 2012-2042, which could facilitate the creation of a unique opportunity for a campus-style business park in the future.

On April 16, 2019 staff provided Council with a general update on an Employment Lands Process underway in the City of Maple Ridge, which included a focus on the suitability of the Yennadon Lands for future employment purposes. At that meeting, the Yennadon Lands were referred back to staff to meet with the landowners to assess their future interest in the lands.

A Landowners Workshop was held at Yennadon Elementary School on June 6, 2019 from 6 – 8pm. Twelve letters were sent out to the landowners, representing all 13 properties, inviting them to attend. At the Workshop, 18 people attended, representing 11 of the properties.

On June 18, 2019, staff provided a verbal update to Council on the outcomes of the June 6, 2019 Workshop with Yennadon Landowners, namely that there were strong levels of support for an employment future – although some expressed interest only in the OCP amendment and not in redeveloping their properties in the short term.

At the June 18, 2019 Council Workshop meeting, Council directed: 1) staff to undertake an employment land use re-designation process and consultation strategy for the Yennadon Lands; and 2) that any new applications, or those already in-stream that have not reached third reading, be deferred until any potential OCP amendments are presented at Public Hearing and given third reading, with the exception of applications that propose future employment land uses.

At the March 31, 2020 Council Workshop meeting, staff provided an update on the Yennadon Lands Re-designation process, including the proposed community engagement process that was postponed due to the pandemic. At that meeting, Council directed that the previously endorsed Yennadon Lands process be revised and that staff work with the consultant to prepare some preliminary land use concepts for Council to review prior to proceeding with public consultation.

At the July 14, 2020 Council Workshop meeting, staff in collaboration with a consultant, presented three preliminary land use concepts for Council to review. The three preliminary Concepts were informed by the outcomes of the site analysis, on transportation/access, site servicing, environmental features, stormwater management, and parks/trails/recreation requirements for future development within the area. At that meeting, Council directed staff to move forward with a public consultation process, taking into account the public health orders in effect at the time.

Through October 2020, staff in collaboration with the consultant conducted a consultation process that consisted of a Landowners Workshop, a Virtual Public Open House, and a Community Survey. The December 8, 2020 Council Workshop report goes through what was heard from the various consultation activities and outlined possible next steps for Council to consider in the pursuit of additional employment land opportunities for Maple Ridge. The re-designation of the Yennadon Lands to an employment future will garner opposition and community comment.

At the December 8, 2020 Council workshop meeting, Council endorsed “Concept #2 – Neighbourhood Innovations Village” and directed staff to move forward with an Official Community Plan Amending Bylaw.

Official Community Plan Amending Bylaws No. 7734-2021 and No. 7735-2021 were drafted to integrate the Yennadon Lands Concept Plan into the Official Community Plan. The two bylaws were presented at the May 4, 2021 Committee of the Whole Council Meeting and were subsequently forwarded to the May 11, 2021 Regular Council Meeting for Council consideration.

Official Community Plan Amending Bylaws No. 7734-2021 and No. 7735-2021 were granted first reading at the May 11, 2021 Regular Council Meeting.

Following the consideration and granting of first reading to the two Official Community Plan Amending Bylaws, staff initiated the referral and consultation process set out under Section 475 of the Local Government Act, which was endorsed at the time of first reading.





**Agricultural Land Commission**  
 201 – 4940 Canada Way  
 Burnaby, British Columbia V5G 4K6  
 Tel: 604 660-7000 | Fax: 604 660-7033

September 27, 2021

Reply to the attention of Shannon Lambie  
 ALC Planning Review: 46794  
 Local Government File: 2016-195-CP

Amanda Grochowich, Planner  
 City of Maple Ridge  
[agrochowich@mapleridge.ca](mailto:agrochowich@mapleridge.ca)

**Re: Employment Lands: Re-designation of the Yennadon Lands to Industrial**

Thank you for forwarding a copy of the City of Maple Ridge (the "City") council report for the proposed re-designation of the "Yennadon Lands" (the "Proposal") for review and comment by the Agricultural Land Commission (ALC). The following comments are provided to help ensure that the Proposal is consistent with the purposes of the *ALC Act*, the Agricultural Land Reserve (ALR) General Regulation, the ALR Use Regulation, and any decisions of the ALC.

The Proposal includes an Official Community Plan (OCP) Amending Bylaw to allow re-designation of the Yennadon Lands (identified as 13 properties – one of which is in the ALR) from *Agricultural* in the OCP to *Industrial* (Employment Park Category). The 13 properties are currently zoned *RS-3* (One Family Rural Residential) and *RS-2* (One Family Suburban Residential) and designated as *General Urban* in the Regional Growth Strategy.

In 2020, City Council endorsed a concept that provided for a 100% employment future for the developable areas of the Yennadon Lands. The City indicates that the *Industrial* (Employment Park Category) designation is intended to help create a more "complete community" by providing a range of employment opportunities within a five-to-ten-minute walk or bicycle ride from residential areas.

As noted, one parcel in the Yennadon Land area is within the ALR (23154 128th Avenue; PID: 006-474-853). The other 12 parcels were excluded from the ALR as a result of several exclusion applications:

- In 2003, by ALC Resolution #543/2003, the ALC excluded five parcels (18 ha in total) from the Yennadon Lands Area. In the decision, the Commission discussed the proposal and felt that the physical limitations which impact the properties render them unsuitable for agriculture. It also noted that the exclusion of the subject properties would directly and negatively impact those lands remaining in this block of ALR, which are for the most part, made up of small rural holdings. The Commission therefore felt that the exclusion of those lands remaining in this block of ALR located to the south of 128 Ave. and to the west of 232 St. should be

delegated to the CEO to facilitate the exclusion of those lands when the property owners choose to pursue it. Henceforth, the following properties were excluded:

- o In 2004, by ALC Resolution #374/2004 the ALC excluded five parcels (4.4 ha) from the Yennadon Lands area.
- o In 2004, by ALC Resolution #375/2004, the ALC excluded one parcel (1.1 ha) from the Yennadon Lands area.
- o In 2018, by ALC Resolution #158/2018, the ALC excluded one parcel from the Yennadon Lands area (0.4 ha).

The remaining ALR parcel is still subject to the ALC Act and its regulations, and as such ALC staff, at this time, do not support the proposed redesignation of the property from *Agricultural* to *Industrial*. The Proposal acknowledges that the remaining ALR parcel will need to go through the ALC exclusion process in order to permit *Industrial* uses on that site. The City further acknowledges that as a result of changes to the exclusion process, the City will need to make this exclusion application on their behalf. Should the City choose to forward an exclusion application to the ALC, the ALC can review the merits of the proposal at that time.

ALC staff also note that the Yennadon lands abut the ALR on eastern perimeter, across 232 Street. While the road will provide some natural buffering, the attached design guidelines did not provide further details regarding proposed setback and buffering provisions along the ALR boundary. City staff may wish to consult the Ministry of Agriculture, Food, and Fisheries' *Guide to Edge planning* and consider the establishment of a vegetative buffer along the non-ALR/ALR boundary.

\*\*\*\*\*

The ALC strives to provide a detailed response to all referrals affecting the ALR; however, you are advised that the lack of a specific response by the ALC to any draft provisions cannot in any way be construed as confirmation regarding the consistency of the submission with the ALCA, the Regulations, or any decisions of the Commission.

This response does not relieve the owner or occupier of the responsibility to comply with applicable Acts, regulations, bylaws of the local government, and decisions and orders of any person or body having jurisdiction over the land under an enactment.

If you have any questions about the above comments, please contact the undersigned at 236-468-2026 or by e-mail ([shannon.lambie@gov.bc.ca](mailto:shannon.lambie@gov.bc.ca)).

Yours truly,

PROVINCIAL AGRICULTURAL LAND COMMISSION

s. 22(1)

Shannon Lambie, Regional Planner

CC: Ministry of Agriculture – Attention: Jeffrey Weightman  
(Jeffrey.weightman@gov.bc.ca)

46794m1

## Amanda Grochowich

---

**From:** FLNR SurreyLandManage ARFD FLNR:EX  
<AuthorizingAgency.SurreyLandManage@gov.bc.ca>  
**Sent:** September 22, 2021 2:13 PM  
**To:** Amanda Grochowich  
**Subject:** RE: Formal Referral Request: 2016-195-CP Re-designation of the Yennadon Lands to Industrial (Employment Park Category)

EXTERNAL EMAIL: Don't click on links or open attachments you don't trust.  
COURRIEL EXTERNE: Ne cliquez pas sur les liens et n'ouvrez pas les pièces jointes suspects.

Hi,

The area in question is composed of Municipal and private property; Crown Land interests are unaffected. Crown Land Authorizations has no comments on this proposal.

Thank you,



Esme Fysh (*she/her*)

Authorizations Specialist (Land)

Ministry of Forests, Lands & Natural Resource Operations and Rural Development

Crown Land Authorizations – South Coast Regional Office

T: (236) 455-1904 E: [Esme.Fysh@gov.bc.ca](mailto:Esme.Fysh@gov.bc.ca)

*Located on the ancestral territories of the Shxw'ow'hamel, Katzie, Kwantlen, Sto:lo, Skawahlook, Seabird Island, Tsawwassen, Hul'qumi'num, Kwikwetlem, Semiahmoo, and Musqueam Peoples.*

**From:** Amanda Grochowich <>  
**Sent:** September 8, 2021 2:44 PM  
**To:** FrontCounter BC FLNR:EX <[FrontCounterBC@gov.bc.ca](mailto:FrontCounterBC@gov.bc.ca)>  
**Cc:** Employment Lands <[employmentlands@mapleridge.ca](mailto:employmentlands@mapleridge.ca)>  
**Subject:** Formal Referral Request: 2016-195-CP Re-designation of the Yennadon Lands to Industrial (Employment Park Category)

[EXTERNAL] This email came from an external source. Only open attachments or links that you are expecting from a known sender.

Hello,

Please see attached City of Maple Ridge Council report which discusses the proposed re-designation of the Yennadon Lands to Industrial (Employment Park Category). It includes an Official Community Plan Amending Bylaw for First Reading. This Amending Bylaw received First Reading at the May 11, 2021 Council meeting. The report also includes Development Permit Area Guidelines, which are attached for your information.

We are requesting that any comments from the Ministry of Environment be received within 30 days from the date of this letter. In the meantime, should you have any questions or require further information please contact Amanda Grochowich at 604.463.5221 ext 5566 or [agrochowich@mapleridge.ca](mailto:agrochowich@mapleridge.ca).

Thank you,

Amanda Grochowich, MCIP, RPP  
Planner



City of Maple Ridge  
11995 Haney Place, Maple Ridge, BC V2X 6A9  
Tel: 604-463-5221 ext 5566 Fax: 604-466-4327  
[Web](#) [Open Government Portal](#)

*This message is intended only for the use of the individual or entity named above, and may contain information that is privileged, confidential or exempt from disclosure under applicable law. If you are not the intended recipient or their employee or agent responsible for receiving the message on their behalf your receipt of this message is in error and not meant to waive privilege in this message. Please notify us immediately, and delete the message and any attachments without reading the attachments. Unauthorized dissemination and use is prohibited. Correspondence with any government body, including City of Maple Ridge Council and staff, is subject to disclosure under the Freedom of Information and Protection of Privacy Act. Thank you.*

October 7, 2021

File: CR-07-01-MRI  
Ref: 47876918

Amanda Grochowich, MCIP, RPP, Planner  
City of Maple Ridge  
11995 Haney Place  
Maple Ridge, BC V2X 6A9

Dear Ms. Grochowich:

**Yennadon Lands OCP Amendment, Your File No. 2016-195-CP**

Thank you for the opportunity to review and comment on this Official Community Plan amendment application, which is for the re-designation of the Yennadon Lands for future employment uses.

This letter provides comments from Metro Vancouver staff from the Regional Planning and Housing Services, Water Services, and Parks and Environment Departments.

***Regional Planning and Housing Services***

13 properties, 25.4 hectares in area, known as the Yennadon Lands, comprises the proposed amendment area. The subject area is split-designated Agricultural and General Urban by *Metro Vancouver 2040: Shaping our Future (Metro 2040)*, the regional growth strategy, and a portion falls outside of the Urban Containment Boundary and is within the Agricultural Land Reserve (ALR).

1. The referral package indicates that the City of Maple Ridge proposes to amend its OCP land use designation for the subject area to Industrial (Employment Park Category). It is unclear whether the City intends to request an amendment to the current *Metro 2040* regional land use designations to either Industrial or Mixed Employment; confirmation is needed. The intended differences between the two designations are:
  - The regional Industrial designation is intended for light and heavy industrial uses; does not permit residential uses (including live / work); and
  - The regional Mixed Employment designation is intended for industrial uses as well as a range of employment uses and limited commercial uses that support the primary industrial function; does not permit residential uses (including live / work).

As a comparison, the current General Urban regional land use designation (for a majority of the subject area), permits residential uses as well as commercial centres supported by shopping, services and institutions.

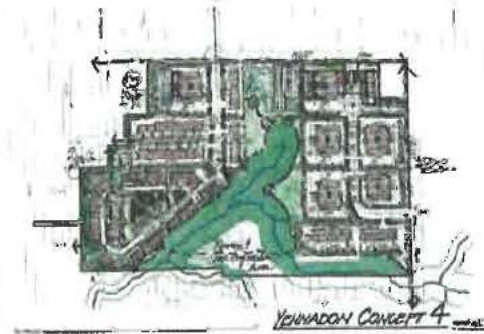
48127578

2. Any industrial uses proposed in the area should be designed and developed in a manner so as to avoid possible conflicts with surrounding non-industrial land uses. Information about industrial land uses including intensification and densification can be found on Metro Vancouver's website: [www.metrovancouver.org/services/regional-planning/industrial-lands](http://www.metrovancouver.org/services/regional-planning/industrial-lands).
3. Agricultural lands in the region are often negatively impacted by urban edge development and noticeably benefit from the use of extensive buffering on the urban edge of development sites. Consider applying the Ministry of Agriculture recommendations for promoting compatibility along the agricultural-urban edge included in their [Guide to Edge Planning](#) for this development site.
4. Goods movement and associated truck routes are critically important for most types of industrial uses, and thus the connections with the City's and region's transportation network should be closely considered as part of future needs for this area.
5. Depending on the scale of employment planned, this location may be a source of major trip-generating uses which are more consistent with regional Urban Centres or Frequent Transit Development Areas. Please confirm how the City defines 'major-trip generating uses' beyond what is in the City's current Regional Context Statement and provide additional information on how Single Occupancy Vehicle traffic will be managed to and from this location.
6. As noted on the map below titled "Maple Ridge Official Community Plan Amending", the City plans to designate lands in yellow as 'Conservation' in the OCP; the lands in green are currently regionally designated Conservation and Recreation in *Metro 2040*. Would the City also consider re-designating the lands in yellow to the regional Conservation and Recreation regional land use designation as part of this *Metro 2040* amendment? Re-designation to Conservation and Recreation would align with *Metro 2040* and *Metro 2050's* draft policies under Goal 3, increasing protection for some of the sensitive ecosystems in this area (Figure 1) and supporting ecosystem connectivity across the landscape.



Figure 1 Sensitive Ecosystems (Dark Purple) and Modified Ecosystems (slightly disturbed sensitive ecosystems - Light Purple) from Metro Vancouver's Sensitive Ecosystem Inventory (2014)

7. Regarding protected sensitive ecosystems and significant trees, those areas are significantly reduced in Concept 4 compared to Concept 2 (shown below). Is the City able to provide additional information about the rationale for this change?



8. Regarding "Appendix A – Schedule 2 - DP Guidelines", we ask that the City consider:
- adding a guideline about all building owners maintaining the planting media and plant material in accordance with generally accepted landscape maintenance practices, replacing each as necessary;
  - including a guideline encouraging installation of green roofs where possible and appropriate, and ensuring the owner of the building maintains the roof planting media and plant material in accordance with generally accepted green roof maintenance practices, replacing each as necessary;
  - adding a guideline about using wildlife-friendly design (e.g. [bird-friendly design](#) reduces bird mortality and supports biodiversity); and
  - referring to the [Urban Tree List for Metro Vancouver in a Changing Climate](#). Note that many of the tree species listed on page 28 (e.g. red alder, vine maple, red maple, paper birch, pacific dogwood, western redcedar, western hemlock) may not tolerate future climate conditions.
9. Consider assessing the potential changes this land use will have on the City's tree canopy cover, carbon storage and carbon sequestration abilities, and other ecosystem services. Will tree retention and replacement requirements under the City's Tree Protection and Management Bylaw allow the City to retain its overall canopy cover within the urban containment boundary? This information will be helpful to assess Maple Ridge's contribution to the regional tree canopy cover target in the *Metro 2050* draft. The intent is that all member jurisdictions will aim to retain or increase canopy cover in urban areas. By Metro Vancouver's calculations, the regional 40% target is achievable if members currently below 40% tree canopy within the Urban Containment Boundary (UCB) increase by 6-15%, and those currently above 40% retain their tree canopy; in 2014 Maple Ridge had [46% within the UCB in 2014](#).
10. Depending on how the City wishes to proceed with this OCP amendment application, a Type 2 RGS amendment will be required to amend the UCB, amend the Agricultural regional land use designation, and amend the General Urban regional land use designation to either Industrial or Mixed Employment. This can all be done with one amendment. Details on the process and



requirements associated with a Type 2 amendment are set out in Regional Growth Strategy Implementation Guideline #2.

#### **Water Services**

11. Metro Vancouver's closest water infrastructure is the GVWDs 914 mm diameter Maple Ridge Main which is south of the development area and runs parallel to Abernathy Way crossing at 227 Street, 228 Street and 232 Street, and the GVWD's 762 mm diameter Maple Ridge Main which runs within the road alignment of 232 Street, south of Abernathy Way to Dewdney Trunk Road. The proposed development will not impact Metro Vancouver Water Services Operations and Maintenance. Early engagement with Metro Vancouver's Water Services staff is recommended to assess proximal impacts associated with project to these mains.
12. When available, please provide projected water demand for the redevelopment to Water Services staff.
13. In addition to water conservation in the landscaping plans, it is recommended that water conservation measures be considered in the *Building Design and Articulation*, including low flow plumbing and water reuse systems.

#### **Parks & Environment**

14. The *Regional Greenways 2050* plan (RG2050) is not identified or discussed in the staff report to Council. RG2050 identifies a proposed greenway route along the portion of 128<sup>th</sup> Avenue which forms the northern boundary of the subject properties. This greenway alignment was identified in consultation with Maple Ridge staff, and *Policy 5.1.14(e)* of the draft *Metro 2050* includes notes that member jurisdictions will "... support implementation of the Regional Greenway Network and Major Bikeway Network, as identified in Map 10."
15. The two concept plans included in the staff report identify a trail or a multi-use path along the 128<sup>th</sup> Avenue side of the proposed development area which is consistent with RG2050. The drawings and staff report do not formally identify them as "regional greenway" or link it to the regional plan. It is noted that while RG2050 was developed in consultation with staff of member jurisdictions it was not formally adopted by councils.

Thank you once again for providing Metro Vancouver with the opportunity to comment on this proposed amendment. We are encouraged to see the City of Maple Ridge's efforts to increase the supply of industrial and employment lands particularly as the Metro Vancouver region has an acute shortage of industrial lands and strong demand for industrial space.

We look forward to continuing to work with you to ensure that the growth planned through this and other developments continues to align with the regional growth strategy and the City's Regional Context Statement, and that Metro Vancouver's population, employment and servicing demand and growth projections are up to date.

If you have any questions, please contact me at 604-451-6024 or [carla.stewart@metrovancover.org](mailto:carla.stewart@metrovancover.org).

Sincerely,

s. 22(1)

Carla Stewart, MCAHP, MCIP, RPP  
Senior Planner, Regional Planning & Housing Services

JS/cs

48127578



February 22, 2022  
City of Maple Ridge  
11995 Haney Place, Maple Ridge, BC  
V2X 6A9

Sent by email: [rstott@mapleridge.ca](mailto:rstott@mapleridge.ca)  
[agrochowich@mapleridge.ca](mailto:agrochowich@mapleridge.ca)

**Attention: Rodney Stott and Amanda Grochowich, City of Maple Ridge**

**Re: Review of *Water Sustainability Act* applicability at Yennadon Lands, Maple Ridge**

Thank you for the meeting regarding the Yennadon area on January 25, 2022. We understand this area is undergoing review to prepare a new Community Plan to re-designate the area to Industrial. This area will require regulation under the Provincial *Water Sustainability Act* (WSA) with strong collaboration with the City of Maple Ridge. Please accept the following guidance and conditions to ensure the City's plans and future (private) development applications are compliant with the WSA.

Climate change and extreme weather events are strengthening the call for protection and restoration of British Columbia's watersheds to ensure community health and wellbeing. Streams and wetlands play a significant role in flood mitigation, drought prevention, climate change, water quality and water quantity. The modernized WSA legislation has a strong focus on sustainability of our watersheds for now and into the future. Section 16 (Mitigation Measures) offers powers for Statutory Decision Makers to require mitigation measures if project works are likely to impact the water quality, water quantity, and/or the aquatic ecosystem of a stream.

The Yennadon area is comprised of streams, headwater wetlands, and wet-land complexes, that when developed, will likely change the water storage and attenuation capacity of the area, potentially resulting in flashy flows to the downstream environment. Additionally, the existing streams and wetlands on the Yennadon Lands have ecological value that may be negatively impacted by proposed development. It is the Ministry of Forests, Lands, Natural Resource Operations and Rural Development's (FLNRORD) determination that modifications to this area do have potential to negatively impact the downstream receiving environments if they are not managed holistically.

To avoid harm to the Yennadon area, a watershed-based approach to the protection, mitigation, and restoration of the area needs to be taken with the goals of maximum habitat protection and habitat gains on the site. Long term health and functionality of the natural water features identified on site (particularly headwater areas), management of local drainage issues related to

Ministry of Forests, Lands, Natural  
Resource Operations and Rural Development

Surface Water Authorizations  
South Coast Natural Resource Region  
Website: [www.gov.bc.ca/water](http://www.gov.bc.ca/water)

Suite 200, 10428 - 153 St  
Surrey BC V3R 1E1  
Phone: (604) 586-4400  
Fax: (604) 586-4444



## BRITISH COLUMBIA

seasonal flooding, high water tables, and drainage would all need to be considered in a comprehensive manner with input from both the City and the senior environmental agencies. A holistic review of the site should involve a comprehensive **Environmental Protection Plan (EPP)** and an **Integrated Stormwater Management Plan (ISMP)** prepared by the City.

An ideal EPP would consider the role of mature forests, and wildlife corridors to the functionality of the aquatic ecosystem. Potential for enhancement, restoration and compensation on the larger site must maintain ecological function and natural processes and should follow the City of Maple Ridge's policies and routine best practices to result in net habitat gains wherever possible. Detailed information will be required from the environmental and forestry professionals on how the healthier mature forest areas surrounding the wetlands, watercourses, and sensitive headwater areas are going to be protected or retained to assist with maintaining ecological integrity, diversity, and with the natural water management services they provide for the area. A risk assessment would need to be provided to ensure avoidance or mitigation of impacts such as blowdown, compaction, or wildlife concerns from occurring in and around the forest edge areas. Suitable buffers would need to be created for these areas.

An ISMP focused on natural drainage and flood management practices that utilize existing natural features as well as comprehensive bio-engineering solutions (e.g., facilities on developable lands that are designed to enhance, mimic, and resemble natural areas, features, and processes) for the entire Yennadon site would be best. FLNRORD should review/approve these plans to ensure compliance with the WSA, and to provide future developers greater certainty that their development aligns with Provincial legislation. Detailed information from the qualified environmental professionals on how the headwaters to Coho Creek and the contiguous wetland features are going to be protected, retained, and maintained with suitable base flows. Stormwater plans and habitat enhancement designs in the marginal surrounding wetted areas will be required. Appropriate qualified environmental professionals will need to work with FLNRORD wetland experts with regards to the marginal wetland areas and the contiguous wetland areas with respect to classification, protection, mitigation, and compensation. Any major variations from a pre-agreed ISMP would need to be reviewed and approved by the Province prior to implementation, possibly through a WSA authorization process.

The EPP, ISMP, and any future applications in the Yennadon area, should include a detailed assessment of headwater areas, micro wetlands flowing directly into the streams, and other surrounding water features (ponds, including isolated, discrete ephemeral wetlands) that contribute directly to health, flows, food/nutrients, or habitat for fish bearing systems. The plans should aim to follow the principles of the BC Environmental Mitigation Policy (<https://www2.gov.bc.ca/gov/content/environment/natural-resource-stewardship/laws-policies-standards-guidance/environmental-guidance-and-policy/environmental-mitigation-policy>), which state first and foremost to avoid impacts to streams, ponds, wetlands, and surrounding riparian habitat that directly contribute to the health and connectivity of these aquatic ecosystems. Non-avoidance will likely require a much more rigorous process and requirements for compensation.



There is potential for flexibility by FLNRSDM's to work with the City of Maple Ridge and landowners to responsibly manage, integrate, and use best practices around some of the existing marginal outlying wetland areas that have been historically disturbed. FLNRSDM's may consider relocation of marginal streams/ditches or reduction of Streamside Protection Regulation (SPR) setbacks along some of the less sensitive water conveyance channels and wetted areas/marginal micro-wetlands identified on site if a valid biological rationale can justify how the compensation and mitigation on site would result in a healthier, functional riparian zone and integrated stormwater management zone for the larger site. For example, there may be potential for relocation of some sections of drainage conveyance ditches and more isolated wetlands and ponds on the condition that they are adequately compensated for elsewhere on site and will provide both functional habitat and stormwater management.

The province has updated much of the guidance regarding working around water. Please refer to the links below for the most up to date information:

- [Working Around Water - Province of British Columbia \(gov.bc.ca\)](#)
- [A User's Guide for Changes In and About a Stream in B.C.](#) replaced the [User's Guide for Working In and Around Water \(2005\)](#) on January 10, 2022.
- [Requirements and Best Management Practices for Making Changes In and About a Stream in B.C.](#) replaced the [Standards and Best Management Practices for Instream Works \(2004\)](#) on January 10, 2022.
- [Appendix to the Requirements and Best Management Practices for Making Changes In and About a Stream in B.C.](#)
- [Frequently Asked Questions](#) about the updated guidance

I encourage you to share this letter of advice with your planning and engineering departments, along with any other applicable personnel within the City of Maple Ridge.

If you have any questions or concerns regarding this guidance, please contact our team.

Sincerely,  
s. 22(1)

Emily Elsliger  
Assistant Water Manager | Stream Management  
South Coast Region  
Email: [Emily.Elslinger@gov.bc.ca](mailto:Emily.Elslinger@gov.bc.ca) (with cc' to: [WaterActReferrals.LowerMainland@gov.bc.ca](mailto:WaterActReferrals.LowerMainland@gov.bc.ca))

Ministry of Forests, Lands, Natural  
Resource Operations and Rural Development

Surface Water Authorizations  
South Coast Natural Resource Region  
Website: [www.gov.bc.ca/water](http://www.gov.bc.ca/water)

Suite 200, 10428 - 153 St  
Surrey BC V3R 1E1  
Phone: (604) 586-4400  
Fax: (604) 586-4444

September 10, 2021

City of Maple Ridge  
11995 Haney Place  
Maple Ridge, BC V2X 6A9

Attention: Amanda Grochowich

Dear Ms. Grochowich:

Re:       File #:     2016-195-CP  
      Subject:    Re-designation of the Yennadons Lands to Industrial (Employment Park  
                  Category)

The proposed application would affect the student population for the catchment areas currently served by Yennadon Elementary and Garibaldi Secondary School.

Yennadon Elementary has an operating capacity of 628 students. For the 2020-21 school year the student enrolment at Yennadon Elementary was 657 students (104.6% utilization) including 79 students from out of catchment.

Garibaldi Secondary School has an operating capacity of 1050 students. For the 2020-21 school year the student enrolment at Garibaldi Secondary School was 946 students (90% utilization) including 273 students from out of catchment.

Since [REDACTED] s. 22(1)

Flavia Coughlan  
Secretary Treasurer  
The Board of Education of School District No. 42 (Maple Ridge - Pitt Meadows)

cc:   Rick Delorme  
      David Vandergugten  
      Derek Oppedisano



**TransLink**  
400 - 287 Nelson's Court  
New Westminster, BC V3L 0E7  
Canada  
Tel 778.375.7500  
translink.ca

South Coast British Columbia  
Transportation Authority

October 22, 2021

Amanda Grochowich  
Planner  
Planning & Development  
11995 Haney Place,  
Maple Ridge, BC, V2X 6A9

Dear Ms. Grochowich,

**Re: Proposed OCP Amendment No. 7734-2021 (Yennadon Lands)**

Dear Ms. Grochowich,

Thank you for your correspondence dated September 17, 2021 and for the opportunity to provide early comments on the City of Maple Ridge Official Community Plan Amending Bylaw No. 7734-2021, which seeks to re-designate the Yennadon Lands (128<sup>th</sup> Avenue and 232<sup>nd</sup> Street) from Agricultural to Industrial (Employment Park Category) for the purpose of creating a business park.

TransLink provides comments on our partner agency plans and initiatives based on:

- Our legislated mandate to review OCP amendments and development proposals for regional transportation implications, and to support Metro Vancouver's Regional Growth Strategy (RGS);
- Policy direction in the Regional Transportation Strategy (RTS) to work with partner agencies in advancing shared regional objectives and integrated land use and transportation planning; and
- The Transit-Oriented Communities Design Guidelines (TOCDGs), a tool to support the planning and design of communities that integrate land use with sustainable transportation.

After reviewing the materials, we have the following key comments:

- TransLink supports the focus of population and employment growth in designated Urban Centres, Frequent Transit Development Areas (FTDAs) and within 800-metres (approximately 10-minute) walkshed of the Frequent Transit Network (FTN), where transit service runs at least every 15 minutes in both directions throughout the day and into the evening, every day of the week. The site is currently served by routes 741 and 733 both of

which have a frequency of 30 to 60 minutes on weekdays but may not operate throughout the entire day or on 7 days a week. Both routes offer service to the FTN at Haney Place bus exchange and to Port Haney West Coast Express (WCE) station. Given that the site is located outside of Maple Ridge Town Centre and is not located within a 10-minute walk to the Frequent Transit Network (FTN), improving active transportation connections to the FTN will be important in promoting sustainable modes of travel to/from the site and to deter the use of private automobiles. Noting that any bikeway improvements would need to be designed to minimize conflicts with buses, it would be particularly important to provide safe, accessible, and comfortable active transportation routes from the site to:

- the FTN and RapidBus at Haney Place bus exchange; and,
- the West Coast Express (WCE) at Port Haney Station.
- We encourage the City to look for opportunities to improve the safety of active transportation modes surrounding the site, such as adding signalized crosswalks at key pedestrian crossings and sidewalks on both sides of the road along 232<sup>nd</sup> Street and 128<sup>th</sup> Avenue. We also suggest improving existing bus stops on these roads to include bus shelters, to increase the comfort and attractiveness of transit as a travel option in the area.
- Given that 232<sup>nd</sup> Street is part of the Major Road Network (MRN), the City would be required to obtain TransLink approval should any new accesses to/from the MRN be proposed. The South Coast British Columbia Transportation Authority (SCBCTA) Act requires that a municipality have TransLink approval to take, authorize or permit any action that:
  - Reduces the capacity of the Major Road Network (MRN) to move people; and/or
  - Prohibits the movement of trucks on any road (except for Provincial highways).
- TransLink's TravelSmart team has recently completed the TDM Guidelines for New Developments in Metro Vancouver (attached). We strongly encourage the City to refer to these guidelines to develop a TDM Plan for the site, given it is not located within the regionally designated Town Centre or in close proximity to the FTN. A TDM plan would aid in reducing incentives to drive alone and would help to promote sustainable modes of travel. Please contact the TravelSmart team at [travelsmart@translink.ca](mailto:travelsmart@translink.ca) for further information.

We appreciate the opportunity to provide comment on the OCP Amendment for the Yennadon Lands and look forward to continued coordination with the City of Maple Ridge. Please contact me at [stefanie.ekeli@translink.ca](mailto:stefanie.ekeli@translink.ca) should you have any questions or wish to discuss further.

Kind regards,

s. 22(1)

Stefanie Ekeli  
Planner, Partner Planning

Attachments: TransLink's TDM Guidelines for New Developments in Metro Vancouver





---

**TO:** Planning Department (Amanda Grochowich)      **DATE:** February 9, 2022  
**FROM:** Engineering Department (Rachel Ollenberger)  
**ENG. FILE NO.:** 11-5245-20-Yennadon Employment lands

---

The Planning department has referred out the proposed OCP Amendment No.:7734-2021 (Yennadon Lands) to allow

**Water:**

The Yennadon Lands ("The Lands") are currently serviced by municipal water on both 128 Avenue and 232 Street. Each application to develop will be required to model the existing water system to determine if there is capacity to service the proposed development. That analysis report is also required to provide recommendations on the required diameter of any new watermains to ensure the development meets the City's requirement for fire flows.

**Sewage:**

The Lands are currently serviced by municipal sewer on both 128 Avenue and 232 Street. As with water, each application to develop will be required to model the existing sanitary system to determine if there is capacity to service the proposed development. The City's current sewer master plan has flagged that the sanitary sewer on 232 Street is at capacity and upgrades may be required. As is the practice, if a development wished to proceed ahead of schedule infrastructure upgrades, they can access the City's Latecomer Policy and/or development cost charge reductions to recoup construction costs. The sewer main on 128 Avenue is a trunk main and direct connection by individual services are not permitted.

As with water, the analysis report submitted in support of a development will provide recommendations on the required diameter of any new sewer mains to ensure the development meets the City's design criteria.

As mentioned in this report, there are two properties that are currently outside Metro Vancouver's Urban Containment Boundary (UCB). If the UCB is not adjusted to include these two properties prior to an application being received, they will need to be requested, via a Council resolution, for permission to connect to the City's sewer mains.

**Drainage:**

Currently the Lands are serviced by a municipal storm sewer on 232 Street only. Any development application will be required to address road drainage as part of their application. The Lands are bisected by Coho Creek and that watercourse provides a key focus on how drainage and stormwater will be managed and integrated into the design guidelines for future applications. There is a focus on proposing green infrastructure alternatives in the design of the buildings to ensure runoff volumes and water quality are being addressed.

Servicing will be designed to anticipate climate change including floodways and dry pond areas for emergency stormwater management.

Groundwater and the impact of a high groundwater table on the ultimate design of the buildings and servicing will need to be addressed on an application by application basis.

**Traffic and Transportation:**

The City has Traffic Impact Assessment Guidelines that may be triggered by a development application. 232 Street is an arterial road and no single-site direct access will be permitted. 128 Avenue is a collector and direct access will be discouraged. It is anticipated that new roads will be used to access the internal site. Both existing fronting roads are designated bike routes and bike facilities will be incorporated into the servicing designs. In addition, 128 Avenue is a horse route and the existing horse trail established to the west will be continued east. There will be no road connections to the existing residential streets to the west.

Yennadon Elementary is located approximately 200m to the east and traffic volumes at peak school times are a challenge at the 128 Avenue/232 Street intersection. Currently some of the vacant lands within the study are used unofficially as overflow parking for parents taking their children to school due to the congestion at drop off and pick up times. The City is actively working with the School District to address congestion issues.

232 Street is part of the Major Road Network (MRN) and any new accesses to/from the MRN will require Translink approval. As development applications are made, Engineering will review opportunities to improve existing bus stops which could include the construction of bus shelters.

**Development Sequencing:**

Under Concept 2 there is little ability to "leapfrog" development. New road access from 128 Avenue must align with 230 Street on the north side of 128 Avenue. New road access from 232 Street must be a sufficient distance from the 128 Avenue/232 Street intersection. All services, except for drainage, need to be brought from these existing roads. The internal road layout is flexible depending on the type and size of application that the City receives. It is anticipated that the first application will determine the layout of the Lands.

As applications to developer are received there may be additional studies and requirements that are required. Ground truthing may also impact how servicing is to be addressed.

Regards,

Rachel Ollenberger, ASCT  
Manager of Infrastructure Development



I hereby certify this to be a true and correct copy of a resolution passed by the Council of the City of Maple Ridge at its Regular Council meeting held on April 12, 2022:

R/2022-CM-123

1. That in respect of Section 475 of the Local Government Act, opportunity for early and on-going consultation has been provided by way of posting Official Community Plan Amending Bylaw No. 7734-2021, Official Community Plan Amending Bylaw No. 7735-2021, and Official Community Plan Amending Bylaw No. 7838-2022 on the municipal website and the referral process together with an invitation to the public, Metro Vancouver and the Agricultural Land Commission to comment; and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaws;
2. That Official Community Plan Amending Bylaw No. 7734-2021, as amended, be given second reading and forwarded to Public Hearing;
3. That Official Community Plan Amending Bylaw No. 7735-2021, as amended, be given second reading and forwarded to Public Hearing;
4. That Official Community Plan Amending Bylaw No. 7838-2022 be given first and second reading and forwarded to Public Hearing;
5. Subject to third reading of Official Community Plan Amending Bylaw No. 7734-2021, Official Community Plan Amending Bylaw No. 7735-2021 and Official Community Plan Amending Bylaw No. 7838-2022, that staff be directed to include the Type 2 Minor Amendments related to the Yennadon Land Regional Growth Strategy amendment package, that will be forwarded to Metro Vancouver; and further
6. That the following terms and conditions be met prior to final reading of Official Community Plan Amending Bylaw No. 7838-2022:
  - i. That 23154 128 Avenue be removed from the Agriculture Land Reserve;
  - ii. That the Metro Vancouver Urban Containment Boundary be amended; and
  - iii. That the subject properties are included in the Fraser Sewerage Area and/or request, via Council resolution, for permission to connect to the City of Maple Ridge sewer mains.

Dated this 27<sup>th</sup> day of July, 2023

s. 22(1)

Patrick Hlavac-Winsor  
Acting Corporate Officer

**CITY OF MAPLE RIDGE**

11995 Haney Place, Maple Ridge, BC V2X 6A9, Canada | Tel: 604-463-5221 | Fax: 604-467-7329 | mapleridge.ca  
enquiries@mapleridge.ca



I hereby certify this to be a true and correct copy of resolutions passed by the Council of the City of Maple Ridge at its Regular Council meeting held on May 24, 2022:

R/2022-CM-157

That Maple Ridge Official Community Plan Amending Bylaw No. 7734-2021 be given third reading.

R/2022-CM-158

That Maple Ridge Official Community Plan Amending Bylaw No. 7735-2021 be given third reading.

R/2022-CM-159

That Maple Ridge Official Community Plan Amending Bylaw No. 7735-2021 be given third reading.

Dated this 27<sup>th</sup> day of July, 2023

s. 22(1)

Patrick Hlavac-Winsor  
Acting Corporate Officer

**CITY OF MAPLE RIDGE**

11995 Haney Place, Maple Ridge, BC V2X 6A9, Canada | Tel: 604-463-5221 | Fax: 604-467-7329 | [mapleridge.ca](http://mapleridge.ca)  
[enquiries@mapleridge.ca](mailto:enquiries@mapleridge.ca)



I hereby certify this to be a true and correct copy of a resolution passed by the Council of the City of Maple Ridge at its Regular Council meeting held on November 29, 2022:

R/2022-CM-372

THAT Exclusion Application 2022-170-AL be forwarded to the Agricultural Land Commission for their review and consideration.

Dated this 27<sup>th</sup> day of July, 2023

s. 22(1)

Patrick Hlavac-Winsor  
Acting Corporate Officer

**CITY OF MAPLE RIDGE**

11995 Haney Place, Maple Ridge, BC V2X 6A9, Canada | Tel: 604-463-5221 | Fax: 604-467-7329 | mapleridge.ca  
enquiries@mapleridge.ca



T: 604-660-7000  
 E: [ALCBurnaby@Victoria1.gov.bc.ca](mailto:ALCBurnaby@Victoria1.gov.bc.ca)  
 201 - 4940 Canada Way, Burnaby  
 B.C., Canada V5G 4K6

June 28, 2023

ALC File: 66390

Adam Rieu  
 City of Maple Ridge  
 DELIVERED ELECTRONICALLY

Dear Adam Rieu:

**Re: Reasons for Decision - ALC Application 66390**

Please find attached the Reasons for Decision of the South Coast Panel for the above noted application (Resolution #307/2023). As agent, it is your responsibility to notify the applicant accordingly.

Please note that the submission of a \$150 administrative fee may be required for the administration, processing, preparation, review, execution, filing or registration of documents required as a condition of the attached Decision in accordance with s. 11(2)(b) of the ALR General Regulation.

Under section 33.1 of the *Agricultural Land Commission Act* ("ALCA"), the Chair of the Agricultural Land Commission (the "Commission") has 60 days to review this decision and determine if it should be reconsidered by the Executive Committee in accordance with the ALCA. You will be notified in writing if the Chair directs the reconsideration of this decision. The Commission therefore advises that you consider this 60-day review period prior to acting upon this decision.

Under section 33 of the ALCA, a person affected by a decision (e.g. the applicant) may submit a request for reconsideration. A request to reconsider must now meet the following criteria:

- No previous request by an affected person has been made, and
- The request provides either:
  - Evidence that was not available at the time of the original decision that has become available, and that could not have been available at the time of the original decision had the applicant exercised due diligence, or
  - Evidence that all or part of the original decision was based on evidence that was in error or was false.

The time limit for requesting reconsideration of a decision is one year from the date of the decision's release, as per ALC Policy P-08: Request for Reconsideration.

[alc.gov.bc.ca](http://alc.gov.bc.ca)

Please refer to the ALC's Information Bulletin 08 – Request for Reconsideration for more information.

Please direct further correspondence with respect to this application to  
ALC.SouthCoast@gov.bc.ca

Yours truly,

s. 22(1)

Evans Frimpong, Land Use Planner

Enclosures: Reasons for Decision (Resolution #307/2023)  
Schedule A: Decision Map

cc: City of Maple Ridge (File 2022-170-AL) Attention: Adam Rieu

66930d1



**AGRICULTURAL LAND COMMISSION FILE 66390**  
**REASONS FOR DECISION OF THE SOUTH COAST PANEL**

Exclusion Application Submitted Under s.29(1) of the Agricultural Land Commission Act

**Applicant:** City of Maple Ridge

**Agent:** Adam Rieu, City of Maple Ridge

**Property:** Parcel Identifier: 006-474-853  
Legal Description: Lot 43 Section 20 Township  
12 New Westminster  
District Plan 30199  
Civic: 23154 - 128th Avenue, Maple Ridge  
Area: 1.62 ha (entirely within the ALR)

**Panel:** Ione Smith, South Coast Panel Chair  
Susan Gimse'  
Holger Schwichtenberg





## **OVERVIEW**

- [1] The Property is located within the Agricultural Land Reserve (ALR) as defined in s. 1 of the *Agricultural Land Commission Act (ALCA)*.
- [2] The Applicant is applying to the Agricultural Land Commission (the "Commission") under s.29(1) of the ALCA to exclude the Property (1.62 ha) from the ALR (the "Proposal").
- [3] The Proposal was considered in the context of the purposes and priorities of the Commission set out in s. 6 of the ALCA:

6 (1) The following are the purposes of the commission:

- (a) to preserve the agricultural land reserve;
- (b) to encourage farming of land within the agricultural land reserve in collaboration with other communities of interest; and,
- (c) to encourage local governments, first nations, the government and its agents to enable and accommodate farm use of land within the agricultural land reserve and uses compatible with agriculture in their plans, bylaws and policies.

(2) The commission, to fulfill its purposes under subsection (1), must give priority to protecting and enhancing all of the following in exercising its powers and performing its duties under this Act:

- (a) the size, integrity and continuity of the land base of the agricultural land reserve;
- (b) the use of the agricultural land reserve for farm use.

## EVIDENTIARY RECORD

- [4] The Proposal, along with related documentation from the Applicant, Agent, local government, and Commission is collectively referred to as the "Application". All documentation in the Application was disclosed to the Agent in advance of this decision.
- [5] On April 6, 2023, a Notice of Exclusion Meeting was held with the Agent and the City of Maple Ridge. On April 20, 2023, the Panel conducted a meeting with the Applicant and Agent via video conference (the "Exclusion Meeting"). An exclusion meeting report was prepared and was certified as accurately reflecting the observations and discussions of the Exclusion Meeting by the Agent on May 11, 2023 (the "Exclusion Meeting Report").

## BACKGROUND

- [6] The City of Maple Ridge's Staff Report dated November 29, 2022, states that the Property is the last remaining ALR property within the Yennadon Lands.
- [7] In 2011, the City of Maple Ridge (the "City") referred the draft Albion Flats concept plan to the Commission which included the proposal to exclude a number of remnant ALR parcels located throughout the City. The Commission partially endorsed the draft concept plan by Resolution #2635/2011 (Planning File Legacy #26551) and identified several 'remnant parcels' throughout the City as "*unsuited to agriculture or otherwise warranting exclusion*". It was expected that the City would eventually apply to exclude these lands from the ALR.



## **ANALYSIS AND FINDINGS**

- [8] The Application mentions that exclusion of the Property would allow City staff to continue with the regional approvals required at the Metro Vancouver Regional District, for the remaining Yennadon Area Planning process.
- [9] The Panel notes that the Property was considered as one of the remnant parcels that the Commission has identified as 'unsuited for agriculture' warranting exclusion from the ALR. The Panel confirms that the Property was previously endorsed for exclusion in 2011 as part of its review of the 2011 Albion Flats concept plan, though not tied to any of the conditions associated with the Albion Flats Review.

## **DECISION**

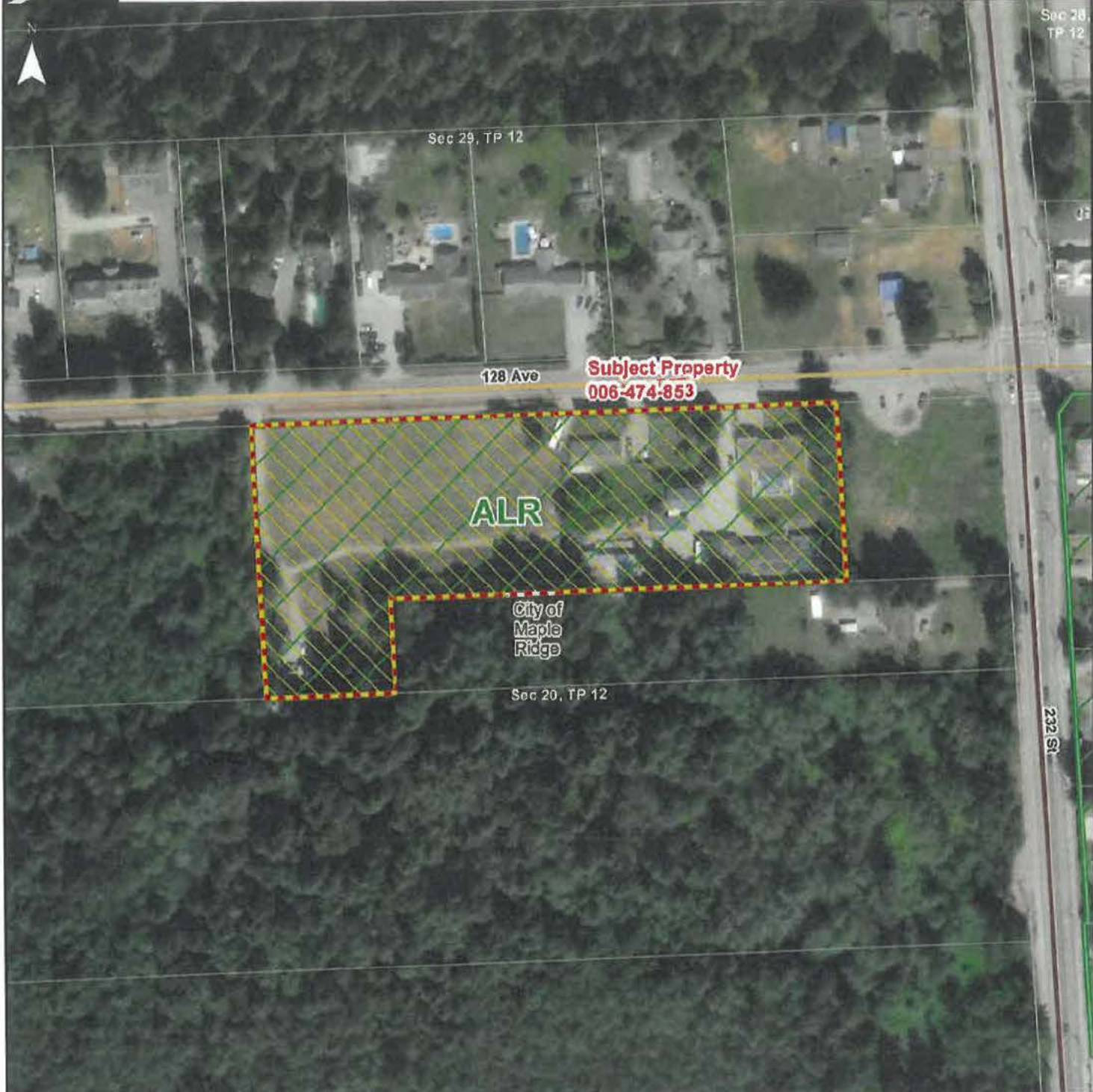
- [10] For the reasons given above, the Panel approves the Proposal to to exclude the Property (1.62 ha) from the ALR (the "Proposal") subject to the following condition:
- (a) Siting of the Proposal in compliance with Schedule A of this decision.
- [11] These are the unanimous reasons of the Panel.
- [12] A decision of the Panel is a decision of the Commission pursuant to s. 11.1(3) of the ALCA.
- [13] Resolution #307/2023  
Released on June 28, 2023



s. 22(1)

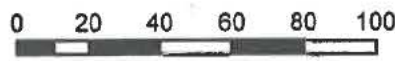
**Ione Smith, Panel Chair**

On behalf of the South Coast Panel








ALC FILE NO: 66390	RESOLUTION NO: 307/2023
MAP PRODUCED: June 15, 2023	
MAP SCALE: 1:2,000	
DATA SOURCES & NOTES: ALC, BCGW & ESRI / Maxar. Contains information licensed under Open Government License - British Columbia.	
Map for reference only. Accuracy not guaranteed.	

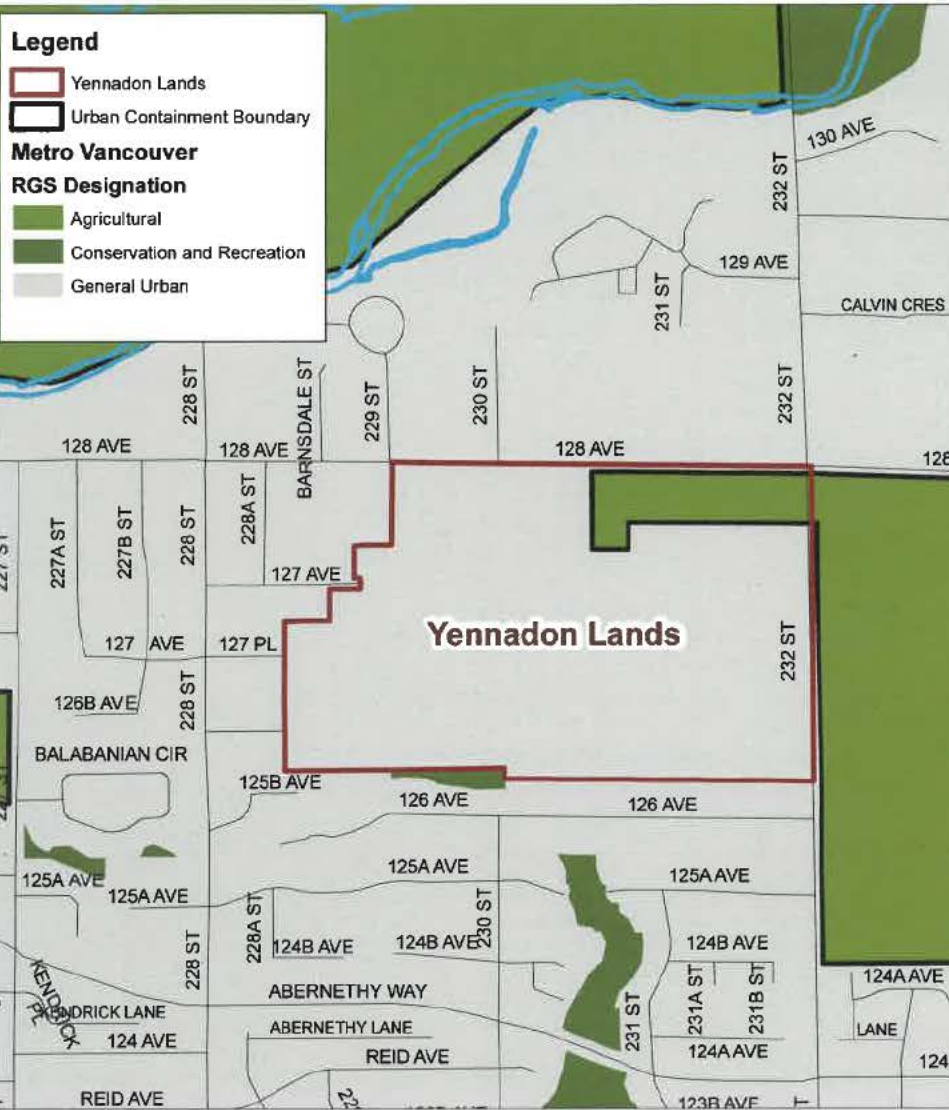
-  Conditionally Approved Exclusion Area
-  Subject Property
-  Agricultural Land Reserve
-  PMBC Parcel Cadastre



557-61-836

**Legend**

-  Yennadon Lands
-  Urban Containment Boundary
- Metro Vancouver**
- RGS Designation**
-  Agricultural
-  Conservation and Recreation
-  General Urban



**Legend**

-  Urban Area Boundary Extension
-  Yennadon Lands
-  Urban Containment Boundary
- Metro Vancouver**
- RGS Designation**
-  Agricultural
-  Conservation and Recreation
-  General Urban
-  Industrial



Scale: 1:10,000



558 of 636

**Proposed Urban Containment Boundary And RGS Designation Amendment**

PLANNING DEPARTMENT



[mapleridge.ca](http://mapleridge.ca)

FILE: MetroVanUCBAAmendment.mxd

DATE: Aug 24, 2023

BY: DT



June 28, 2023

ALC File: 66390

**Adam Rieu**  
**City of Maple Ridge**  
**DELIVERED ELECTRONICALLY**

Dear Adam Rieu:

**Re: Reasons for Decision - ALC Application 66390**

Please find attached the Reasons for Decision of the South Coast Panel for the above noted application (Resolution #307/2023). As agent, it is your responsibility to notify the applicant accordingly.

Please note that the submission of a \$150 administrative fee may be required for the administration, processing, preparation, review, execution, filing or registration of documents required as a condition of the attached Decision in accordance with s. 11(2)(b) of the ALR General Regulation.

Under section 33.1 of the *Agricultural Land Commission Act* ("ALCA"), the Chair of the Agricultural Land Commission (the "Commission") has 60 days to review this decision and determine if it should be reconsidered by the Executive Committee in accordance with the ALCA. You will be notified in writing if the Chair directs the reconsideration of this decision. The Commission therefore advises that you consider this 60-day review period prior to acting upon this decision.

Under section 33 of the ALCA, a person affected by a decision (e.g. the applicant) may submit a request for reconsideration. A request to reconsider must now meet the following criteria:

- No previous request by an affected person has been made, and
- The request provides either:
  - Evidence that was not available at the time of the original decision that has become available, and that could not have been available at the time of the original decision had the applicant exercised due diligence, or
  - Evidence that all or part of the original decision was based on evidence that was in error or was false.

The time limit for requesting reconsideration of a decision is one year from the date of the decision's release, as per ALC Policy P-08: Request for Reconsideration.

Please refer to the ALC's Information Bulletin 08 – Request for Reconsideration for more information.

Please direct further correspondence with respect to this application to  
ALC.SouthCoast@gov.bc.ca

Yours truly,

s. 22(1)

Evans Frimpong, Land Use Planner

Enclosures: Reasons for Decision (Resolution #307/2023)  
Schedule A: Decision Map

cc: City of Maple Ridge (File 2022-170-AL) Attention: Adam Rieu

66930d1





**AGRICULTURAL LAND COMMISSION FILE 66390**  
**REASONS FOR DECISION OF THE SOUTH COAST PANEL**

Exclusion Application Submitted Under s.29(1) of the Agricultural Land Commission Act

**Applicant:** City of Maple Ridge

**Agent:** Adam Rieu, City of Maple Ridge

**Property:** Parcel Identifier: 006-474-853  
Legal Description: Lot 43 Section 20 Township  
12 New Westminster  
District Plan 30199  
Civic: 23154 - 128th Avenue, Maple Ridge  
Area: 1.62 ha (entirely within the ALR)

**Panel:** Ione Smith, South Coast Panel Chair  
Susan Gimse'  
Holger Schwichtenberg

## **OVERVIEW**

- [1] The Property is located within the Agricultural Land Reserve (ALR) as defined in s. 1 of the *Agricultural Land Commission Act* (ALCA).
- [2] The Applicant is applying to the Agricultural Land Commission (the "Commission") under s.29(1) of the ALCA to exclude the Property (1.62 ha) from the ALR (the "Proposal").
- [3] The Proposal was considered in the context of the purposes and priorities of the Commission set out in s. 6 of the ALCA:

6 (1) The following are the purposes of the commission:

- (a) to preserve the agricultural land reserve;
- (b) to encourage farming of land within the agricultural land reserve in collaboration with other communities of interest; and,
- (c) to encourage local governments, first nations, the government and its agents to enable and accommodate farm use of land within the agricultural land reserve and uses compatible with agriculture in their plans, bylaws and policies.

(2) The commission, to fulfill its purposes under subsection (1), must give priority to protecting and enhancing all of the following in exercising its powers and performing its duties under this Act:

- (a) the size, integrity and continuity of the land base of the agricultural land reserve;
- (b) the use of the agricultural land reserve for farm use.

## **EVIDENTIARY RECORD**

- [4] The Proposal, along with related documentation from the Applicant, Agent, local government, and Commission is collectively referred to as the "Application". All documentation in the Application was disclosed to the Agent in advance of this decision.
- [5] On April 6, 2023, a Notice of Exclusion Meeting was held with the Agent and the City of Maple Ridge. On April 20, 2023, the Panel conducted a meeting with the Applicant and Agent via video conference (the "Exclusion Meeting"). An exclusion meeting report was prepared and was certified as accurately reflecting the observations and discussions of the Exclusion Meeting by the Agent on May 11, 2023 (the "Exclusion Meeting Report").

## **BACKGROUND**

- [6] The City of Maple Ridge's Staff Report dated November 29, 2022, states that the Property is the last remaining ALR property within the Yennadon Lands.
- [7] In 2011, the City of Maple Ridge (the "City") referred the draft Albion Flats concept plan to the Commission which included the proposal to exclude a number of remnant ALR parcels located throughout the City. The Commission partially endorsed the draft concept plan by Resolution #2635/2011 (Planning File Legacy #26551) and identified several 'remnant parcels' throughout the City as "*unsuited to agriculture or otherwise warranting exclusion*". It was expected that the City would eventually apply to exclude these lands from the ALR.

## **ANALYSIS AND FINDINGS**

- [8] The Application mentions that exclusion of the Property would allow City staff to continue with the regional approvals required at the Metro Vancouver Regional District, for the remaining Yennadon Area Planning process.
- [9] The Panel notes that the Property was considered as one of the remnant parcels that the Commission has identified as 'unsuited for agriculture' warranting exclusion from the ALR. The Panel confirms that the Property was previously endorsed for exclusion in 2011 as part of its review of the 2011 Albion Flats concept plan, though not tied to any of the conditions associated with the Albion Flats Review.

## **DECISION**

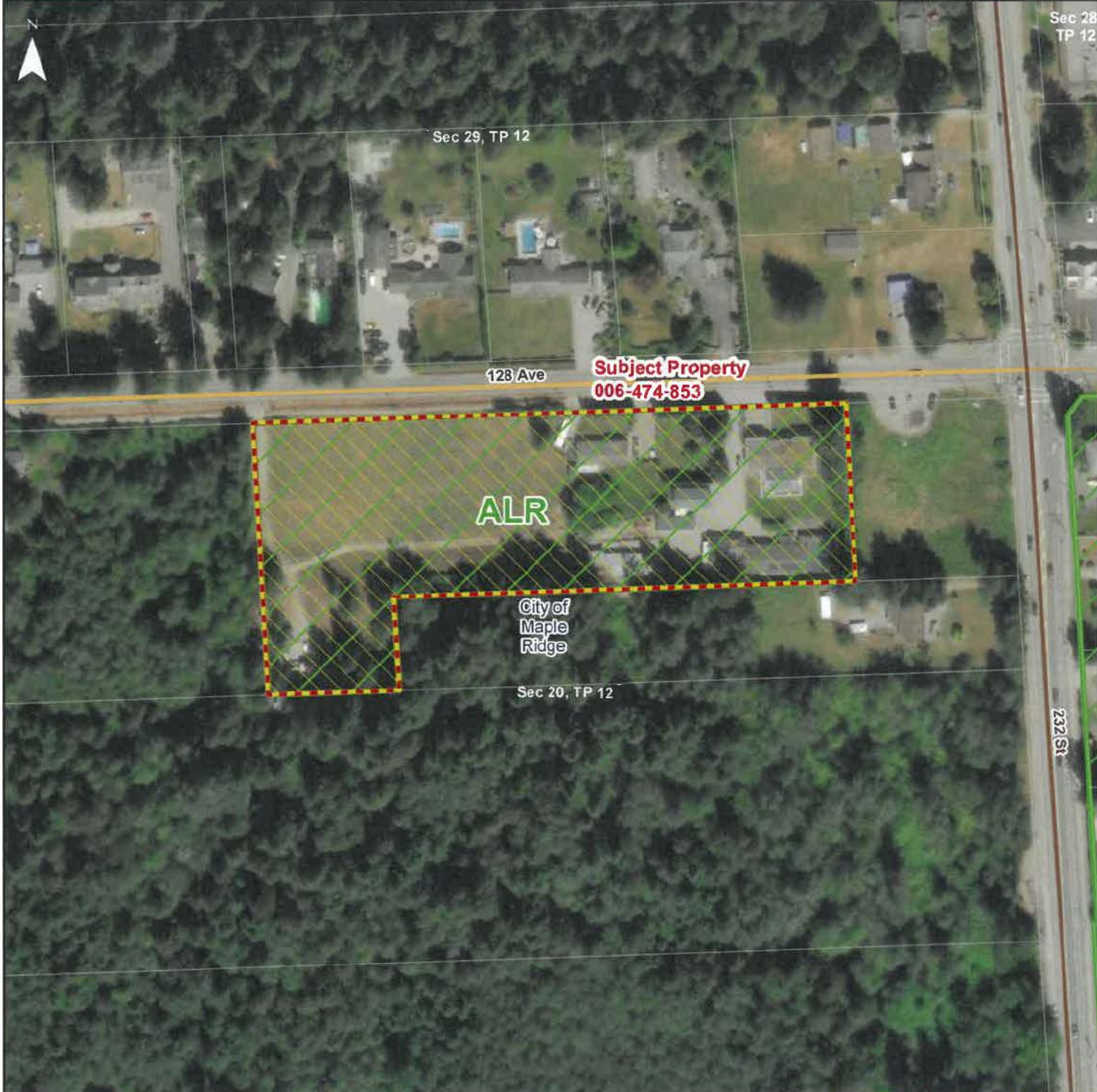
- [10] For the reasons given above, the Panel approves the Proposal to to exclude the Property (1.62 ha) from the ALR (the "Proposal") subject to the following condition:
- (a) Siting of the Proposal in compliance with Schedule A of this decision.
- [11] These are the unanimous reasons of the Panel.
- [12] A decision of the Panel is a decision of the Commission pursuant to s. 11.1(3) of the ALCA.
- [13] Resolution #307/2023  
Released on June 28, 2023



s. 22(1)

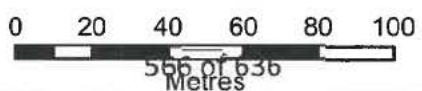
**Ione Smith, Panel Chair**

On behalf of the South Coast Panel



ALC FILE NO: 66390	RESOLUTION NO: 307/2023
MAP PRODUCED: June 15, 2023	
MAP SCALE: 1:2,000	
DATA SOURCES & NOTES: ALC, BCGW & ESRI / Maxar. Contains information licensed under Open Government License - British Columbia.	
Map for reference only. Accuracy not guaranteed.	

-  Conditionally Approved Exclusion Area
-  Subject Property
-  Agricultural Land Reserve
-  PMBC Parcel Cadastre



**METRO VANCOUVER REGIONAL DISTRICT**  
**BYLAW NO. 1376, 2024**  
**A bylaw to amend “Metro Vancouver Regional District Regional Growth Strategy**  
**Bylaw No. 1339, 2022”**

**WHEREAS:**

- A. The Metro Vancouver Regional District Board (the “Board”) adopted “Metro Vancouver Regional District Regional Growth Strategy Bylaw No. 1339, 2022”; and
- B. The Board wishes to amend “Metro Vancouver Regional District Regional Growth Strategy Bylaw No. 1339, 2022”.

**NOW THEREFORE** the Board of the Metro Vancouver Regional District enacts as follows:

**1. Citation**

- 1.1 The official citation of this bylaw is “Metro Vancouver Regional District Regional Growth Strategy Amendment Bylaw No. 1376, 2024”.

**2. Schedule**

- 2.1 The following Schedule is attached to and forms part of the bylaw:
- Schedule “A”, Subject Properties.

**3. Amendment of Bylaw**

- 3.1 “Metro Vancouver Regional District Regional Growth Strategy Bylaw No. 1339, 2022” is amended by:
- a) re-designating the subject properties, as listed in the table below:

<b>PID</b>	<b>Legal Description</b>
000-606-367	LOT 46, PLAN NWP31436, PART NE1/4, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT
009-102-078	LOT 2, PLAN NWP22339, PART NE1/4, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT
005-835-020	LOT 55, PLAN NWP40879, PART NE1/4, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT
005-835-038	LOT 56, PLAN NWP40879, PART NE1/4, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT
000-669-474	PARCEL A, LOT 8, PLAN NWP5467, SECTION 20, TOWNSHIP 12, NEW WESTMINSTER LAND DISTRICT, REF PL 8148

from ‘General Urban’ to ‘Industrial’, as shown in Schedule “A” of this bylaw;

- b) re-designating the subject properties, as listed in the table below:

<b>PID</b>	<b>Legal Description</b>
006-474-853	LOT 43, PLAN NWP30199, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT
003-269-477	LOT 44, PLAN NWP30199, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT

from 'Agricultural' to 'Industrial', as shown in Schedule "A" of this bylaw;

- c) re-designating portions of the subject properties, as listed in the table below:

<b>PID</b>	<b>Legal Description</b>
002-061-651	LOT 4, PLAN NWP5430, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT, EXCEPT PLAN 23424, LMP12700
011-157-607	PARCEL B, LOT 8, PLAN NWP5467, SECTION 20, TOWNSHIP 12, NEW WESTMINSTER LAND DISTRICT, (REF PL 13094)
002-061-635	LOT 3, PLAN NWP5430, SUBLOT 1, PART NE1/4, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT, EXCEPT PLAN PARCEL "A" RP22408, P23424
011-157-569	LOT 5, PLAN NWP5467, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT
011-157-585	LOT 6, PLAN NWP5467, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT
011-157-593	LOT 7, PLAN NWP5467, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT

from 'General Urban' to 'Industrial', as shown in Schedule "A" of this bylaw;

- d) re-designating portions of the subject properties, as listed in the table below:

<b>PID</b>	<b>Legal Description</b>
002-061-651	LOT 4, PLAN NWP5430, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT, EXCEPT PLAN 23424, LMP12700
011-157-607	PARCEL B, LOT 8, PLAN NWP5467, SECTION 20, TOWNSHIP 12, NEW WESTMINSTER LAND DISTRICT, (REF PL 13094)
002-061-635	LOT 3, PLAN NWP5430, SUBLOT 1, PART NE1/4, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT, EXCEPT PLAN PARCEL "A" RP22408, P23424
011-157-569	LOT 5, PLAN NWP5467, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT
011-157-585	LOT 6, PLAN NWP5467, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT



011-157-593	LOT 7, PLAN NWP5467, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT
-------------	--

from 'General Urban' to 'Conservation and Recreation', as shown in Schedule "A" of this bylaw; and

- e) amending the Urban Containment Boundary to exclude the subject properties, as listed in the table below:

PID	Legal Description
006-474-853	LOT 43, PLAN NWP30199, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT
003-269-477	LOT 44, PLAN NWP30199, SECTION 20, TOWNSHIP 12, GROUP 1, NEW WESTMINSTER LAND DISTRICT

as shown in Schedule "A" of this bylaw.

- 3.2 "Metro Vancouver Regional District Regional Growth Strategy Bylaw No. 1339, 2022" is further amended by amending maps numbered 2, 3, 4, 5, 6, 7, 8, 9, and 12 to incorporate the changes outlined in section 3.1 of this bylaw.

Read a first, second, and third time this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
George V. Harvie, Chair

\_\_\_\_\_  
Dorothy Shermer, Corporate Officer

# Schedule A Subject Properties

## Prior to Amendment



## Post Amendment





# Metro 2050 Type 2 Proposed Regional Land Use Amendment YENNADON LANDS

Victor Cheung  
Senior Policy & Planning Analyst, Regional Planning and Housing Services

metrovancouver

Regional Planning Committee

## REGIONAL LAND USE DESIGNATIONS

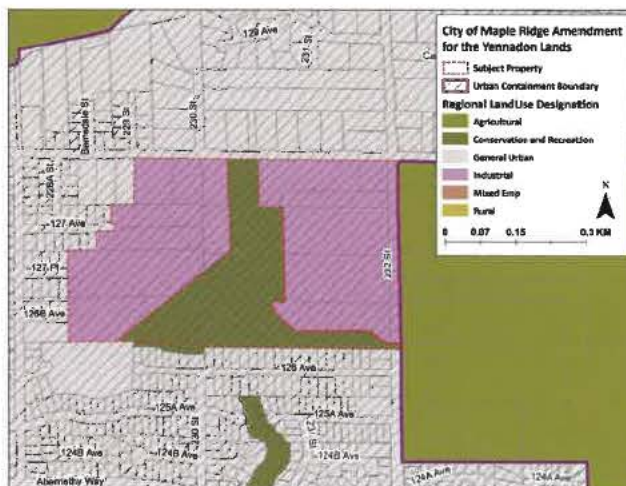
- Designated General Urban and Agricultural in Metro 2050
- Lands to the north, west, and south are designated General Urban
- Lands east are designated Agricultural



metrovancouver

## PROPOSED AMENDMENT

- From General Urban and Agricultural to Industrial and Conservation and Recreation
- Adjust the Urban Containment Boundary to include two properties (~2 ha)
- Type 2 amendment



## SITE PHOTOS



## REGIONAL PLANNING ANALYSIS

- The proposed amendment would add:
  - 18 hectares of Industrial land to the region's supply; and
  - 7.4 hectares of Conservation and Recreation land that may contribute to the region's 'lands protected for nature' target, if additional legal mechanisms are applied;
- The proposed amendment redesignates 2 hectares of Agricultural land and 23.4 hectares of General Urban land;
- The introduction of industrial uses may negatively affect adjacent agricultural uses; the effects are being addressed through the Yennadon Lands Employment Park Design Guidelines; and
- The subject properties are strategically located from a goods movement perspective, and while currently not well serviced by transit, the City has future plans for active transportation options in the area.

## NEXT STEPS

Should the amendment application proceed:

- Provided the bylaw receives readings by the MVRD Board, the amendment application will be referred to affected local governments for comment (45 day comment period)
- Receive comments from the referral process, convey comments to the Board and Board will consider final reading and adoption of the amendment bylaw.



## RECOMMENDATION

That the MVRD Board:

- a) initiate the Metro 2050 amendment process for the City of Surrey's requested regional land use designation amendment from Industrial to General Urban for the lands located at 11420 – 157A Street ;
- b) give first, second, and third readings to "Metro Vancouver Regional District Regional Growth Strategy Amendment Bylaw No. 1366, 2023"; and
- c) direct staff to notify affected local governments as per Metro 2050 section 6.4.2.

## ORTHO PHOTO OF SURROUNDING AREA

- The proposal is consistent with the adjacent lands to the immediate south



---

**From:** Sue Ketler <sketler@westvancouver.ca>  
**Sent:** Monday, March 4, 2024 10:28 AM  
**To:** [REDACTED] s. 22(1)  
**Cc:** correspondence <correspondence@westvancouver.ca>  
**Subject:** RE: Information on the timeline for the new Arts Centre

Dear Scott,

Thank you for your email. I acknowledge your request for an update from Council regarding the current status of the planning for the new arts and culture centre, and I am responding in my capacity as Director of Parks, Culture & Community Services.

While Council direction is pending at this time, the planning for an arts and culture centre remains part of Council's vision which is further stated in the approved [Council Strategic Plan 2024-2025](#), Objective 6.2.

There is funding for the Art Museum, Music Box, and Silk Purse as it relates to painting and emergency systems at each facility. Any safety related issues will be addressed, as required.

Thank you for your continued support of the arts in West Vancouver.

Sue

**Sue Ketler** (she/her/hers)  
Director | Parks, Culture & Community Services | District of West Vancouver  
t: 604-925-7126 | c: 604-908-8509 | [westvancouver.ca](http://westvancouver.ca)



We acknowledge that we are on the traditional, ancestral and unceded territory of the Skwxwú7mesh Úxwumixw (Squamish Nation), sə́ilwətaʔt (Tseil-Waututh Nation), and xʷməθkʷəy̓əm (Musqueam Nation). We recognize and respect them as nations in this territory, as well as their historic connection to the lands and waters around us since time immemorial.



**From:** [REDACTED] s. 22(1)  
**Sent:** Tuesday, February 27, 2024 11:43 AM  
**To:** correspondence  
**Cc:** Sue Ketler; Doti Niedermayer  
**Subject:** Information on the timeline for the new Arts Centre

**CAUTION:** This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

February 27, 2023

Dear Mayor and Council,

At the last meeting of the new Arts & Culture Advisory Committee, several questions were raised concerning the current status of the planning for the new Arts & Culture Centre.

The previous Arts & Culture Advisory Committee (ACAC) sent a letter to Mayor and Council on July 11, 2023. We received a letter from Sue Ketler on September 14, 2023 stating that, " ...further direction will be provided by Council...at this time we do not have a timeline when further direction will be provided".

As I stated in the previous letter, without clear knowledge of the process, it is not possible for the ACAC to effectively prioritize our Work Plan responsibilities or to fulfill our obligations to the Arts & Culture Strategy. As a result, we would greatly appreciate an update from Council at your earliest convenience.

In addition, we understand from Council's 2024 preliminary budget that there will be no allocation of funds (beyond those which already exist) for the continuing maintenance of the current facilities such as the Art Museum, Music Box and the Silk Purse. This is concerning as these facilities have been deemed to have "ongoing maintenance issues." \*

As members of the ACAC and citizens of West Vancouver, we believe that these existing buildings should be well maintained until the new facility is constructed. We are concerned that the existing buildings are as serviceable, welcoming, and safe as possible, for the large number of children, adults and seniors who participate in classes and activities in those locations.

Thanking you in advance for your attention to this matter.

Sincerely,

Scott Swan  
Chair  
Arts & Culture Advisory Committee

[REDACTED] s.22(1)  
West Vancouver [REDACTED] s.22(1)

\*West Vancouver Arts and Culture Centre: Vision and Governance Study, produced by Urban Arts Architecture Inc.