

**3** CONTEXT MAP & IMAGES  
1 : 100

Sheet List	
Sheet Number	Sheet Name
A050	SITE PLAN
A098	FOOTING PLAN
A099	BASEMENT PLAN
A100	MAIN FLOOR PLAN
A105	2ND FLOOR PLAN
A150	ROOF PLAN
A200	ELEVATION CALCULATIONS
A201	AREA PLAN
A400	EXTERIOR ELEVATIONS E & N
A401	EXTERIOR ELEVATIONS W&S
A402	SURVEY OF SITE
A403	CONTEXT ALONG LANE

PROJECT: 737 20TH STREET - WEST VANCOUVER  
DEC 15 2022

DESCRIPTION: 1 TOWNHOUSES WITH BASEMENT & 2 TOWNHOUSES WITH SUITES  
LEGAL PID 011 724 935  
PRESENT ZONE: RS5  
UNITS: 3 UNITS - IMPERIAL

LOT	WIDTH	DEPTH	AREA	4,843.15
FAR	0.61	MAX FAR	2,954.32	PROPOSED 2948
SITE COVERAGE:	2423	SITE % COVERAGE	50%	
SETBACKS:		GUIDELINES		PROPOSED
NORTH	0			22.17
SOUTH	0			15.49
EAST SIDE	0			12.06
WEST SIDE	0			4.99

ELEVATION CALCULATIONS		
	AVERAGE	MEAN HEIGHT
EXISTING GRADES	99.71	124.71
FINISHED GRADES	100.3	125.3
PROPOSED HEIGHT TO T.O. PARAPIT		123.71

PARKING:			
	REQUIRED	UNITS	PROPOSED
PARKING PER UNIT	1	3	3
BIKES	0	3	3
ELECTRIC CAR PLUGS			
	0	3	3

Taking in clues from the surrounding developments, we have integrated them into the project attempting to follow the OCP requirements whilst placing a triplex onto a single family lot.

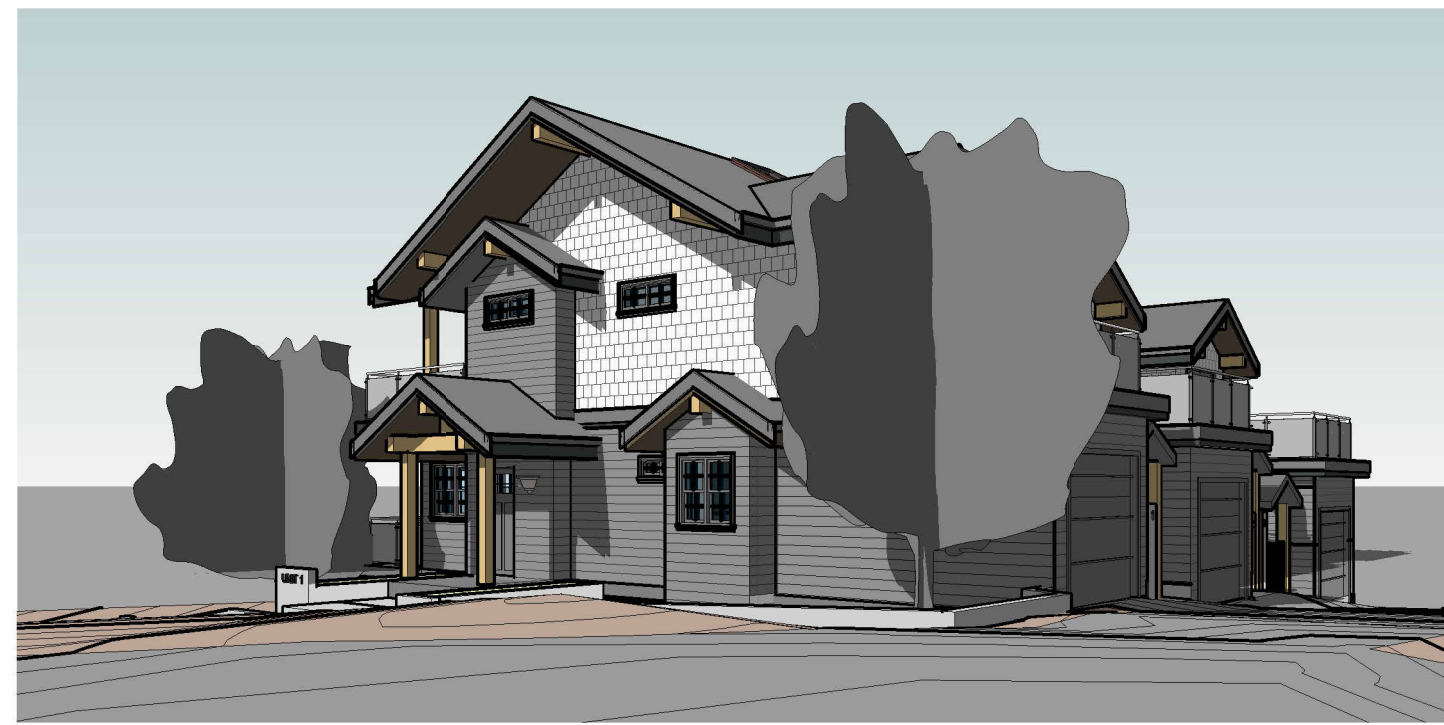
The site is difficult because of its size and topographical constraints and location with a street and lane on two sides.

We present 3 two storey units, two of which have basement suites, the middle unit with only a basement. All units have two bedrooms while the suites have a single bedroom.

All the entrances are off the lane with unit one also having an entrance from 20th St. Each unit has a single car garage with a deck over the garage facing north. All units have decks and patios facing south.

All units are slope back from south to north to reduce building mass and overlook.

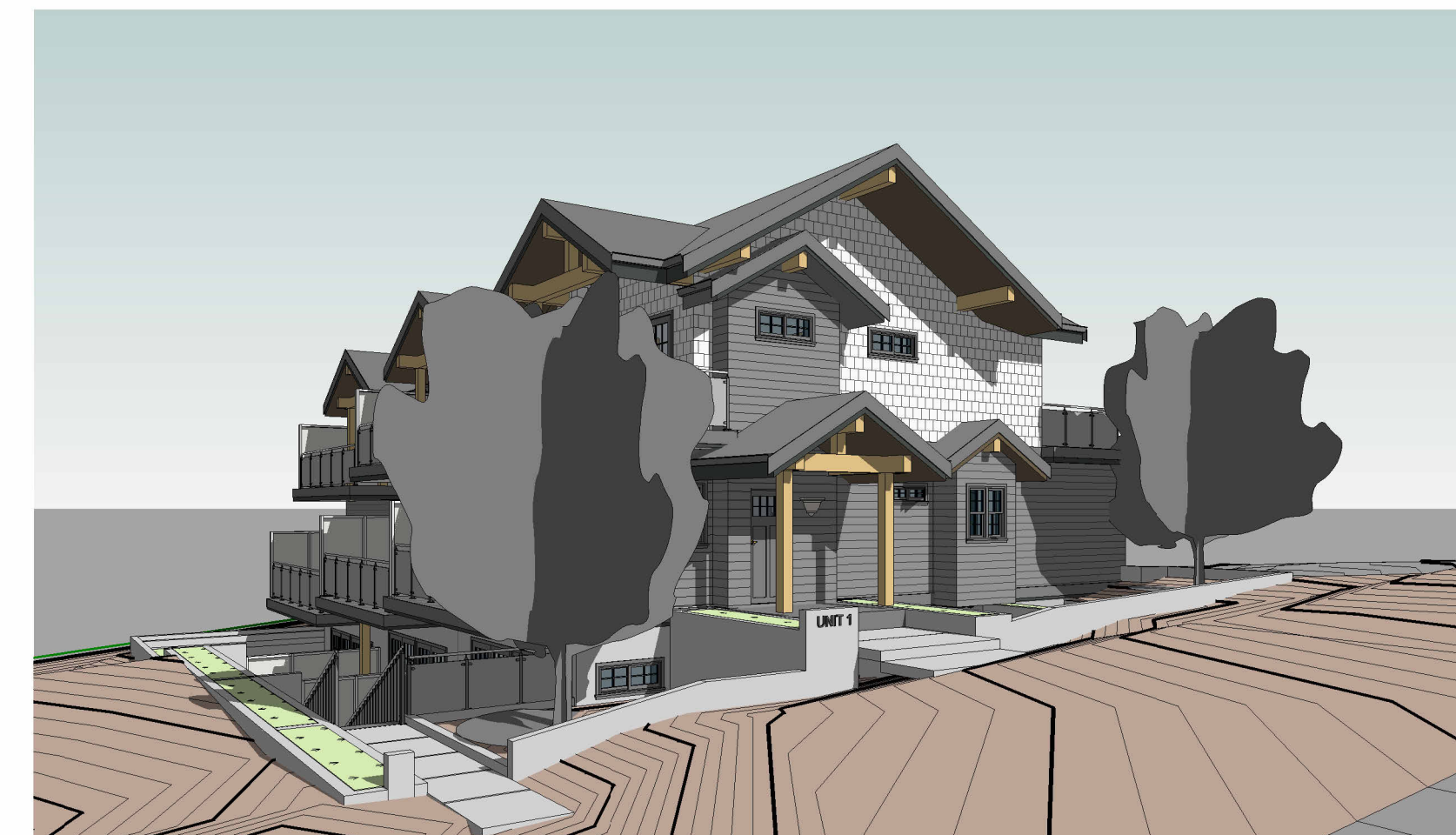
We have designed to a FAR of 0.61 following the OCP.



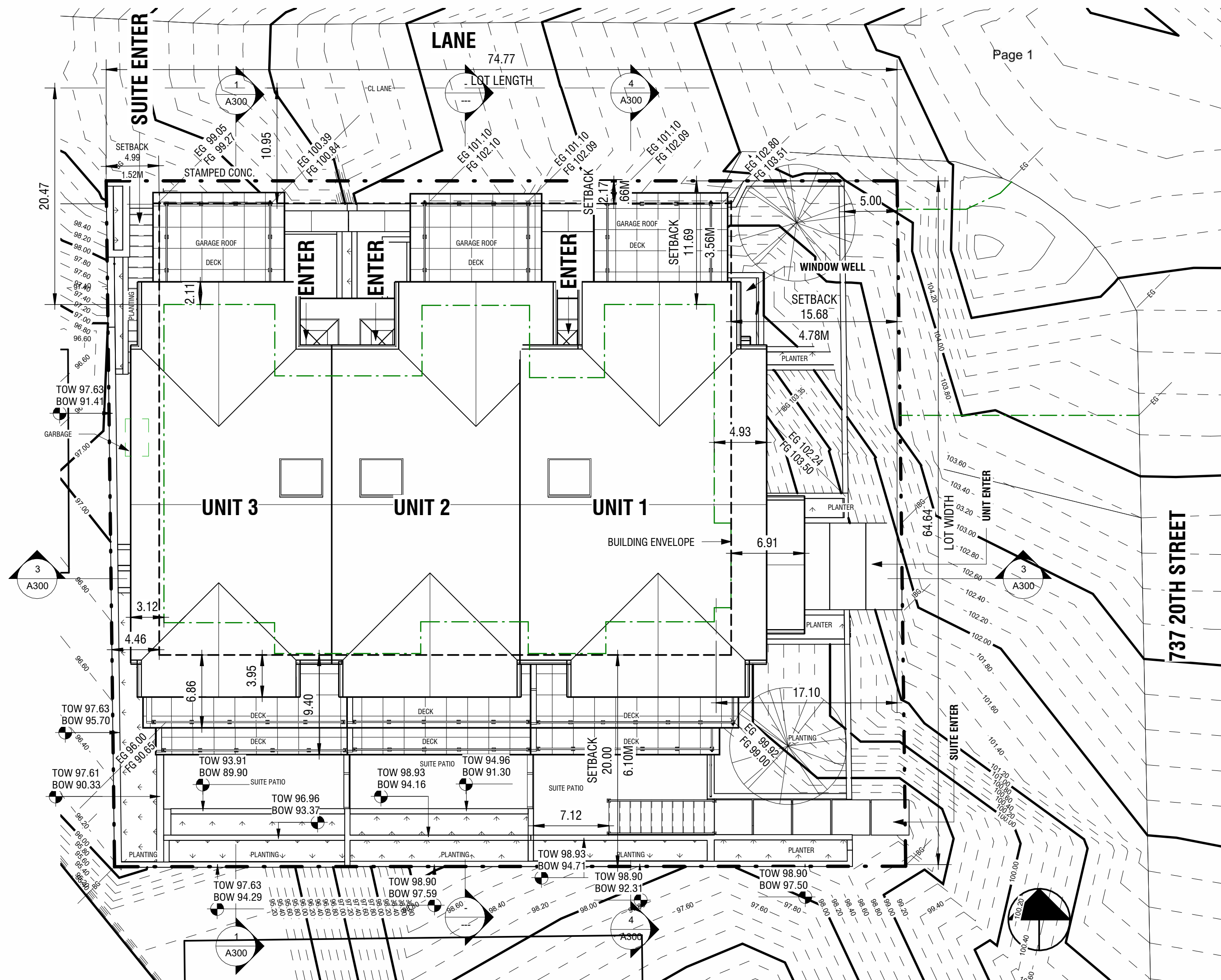
**2** 20TH AND LANE



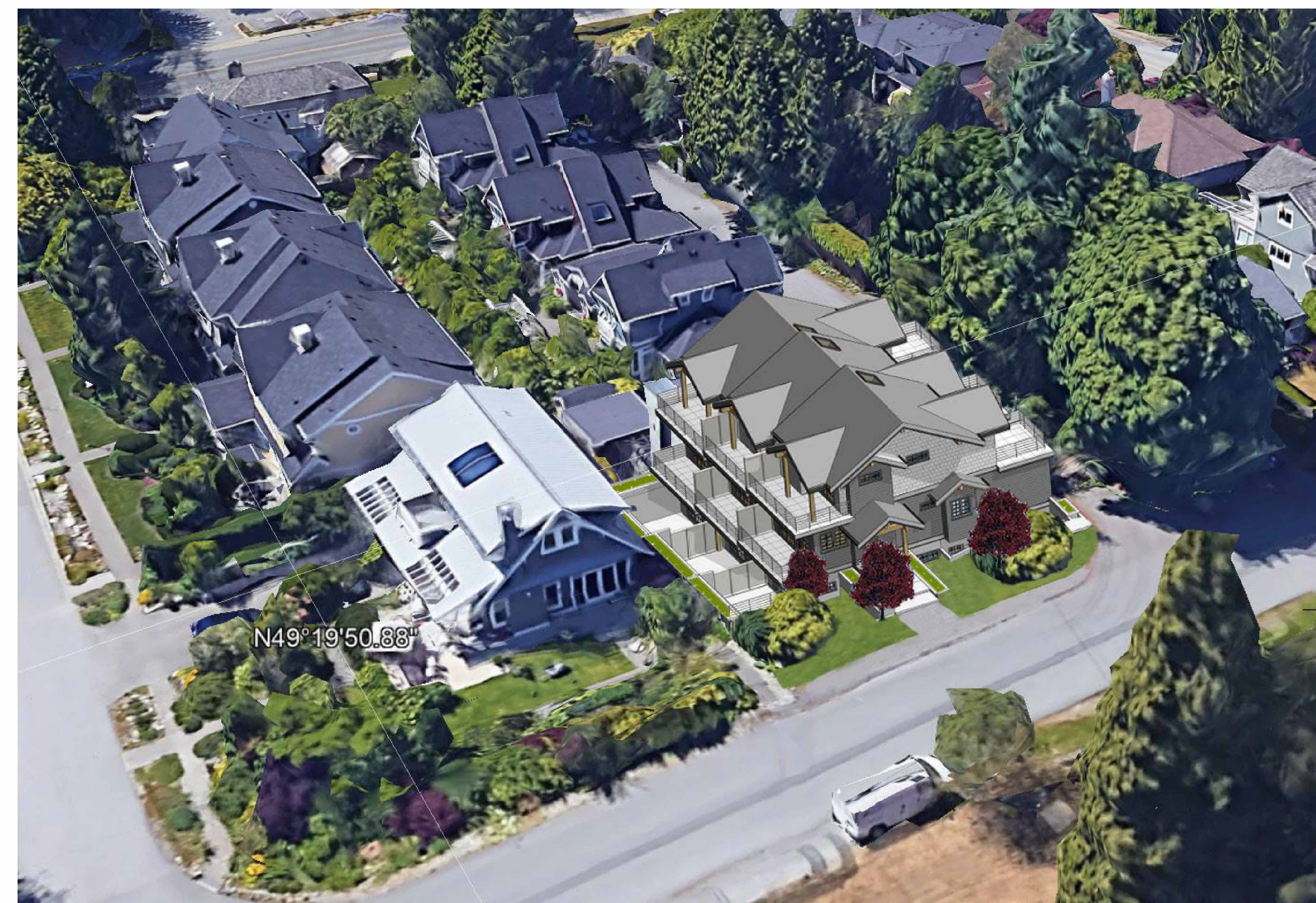
**5** LANE LOOKING SE  
12" = 1'-0"



**4** VIEW FROM 20TH  
LOOKING NORTH



**1** SITE PLAN  
1/8" = 1'-0"



BIRDSEYE FROM GOOGLE EARTH LOOKING NW

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No.	Description	Date

## 737 20TH STREET TRIPLEX SITE PLAN

Project number	737-20
Date	MAY 19 2023
Drawn by	RMR
Checked by	KW
<b>A050</b>	
Scale	As indicated

6/6/2023 2:56:38 PM

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No.	Description	Date

### 737 20TH STREET TRIPLEX FOOTING PLAN

Project number 737-20

Date MAY 19 2023

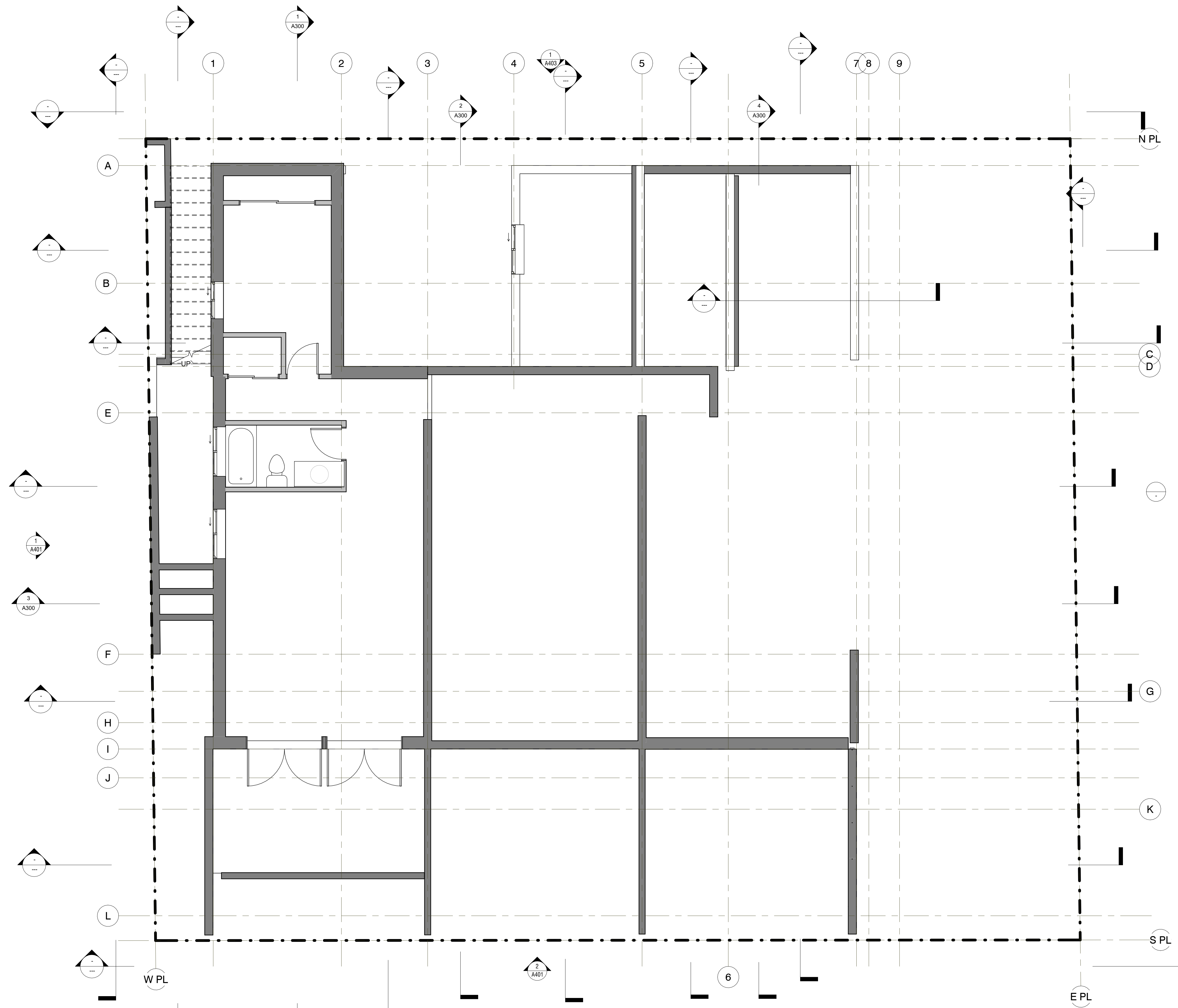
Drawn by RMR

Checked by KW

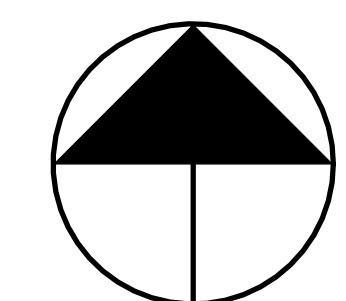
# A098

Scale 1/4" = 1'-0"

6/8/2023 2:56:39 PM



1 U2 -O2 -TO FOOTING  
1/4" = 1'-0"



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No.	Description	Date

737 20TH STREET  
TRIPLEX  
BASEMENT PLAN

Project number 737-20

Date MAY 19 2023

Drawn by RMR

Checked by KW

**A099**

Scale 1/4" = 1'-0"



1 U2- 03 -BASEMENT  
1/4" = 1'-0"

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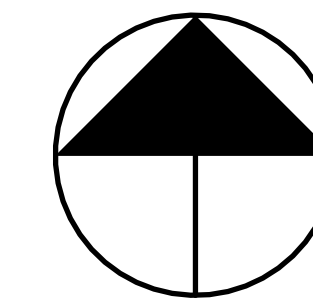
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### FLOOR PLAN NOTES

NO.	DESCRIPTION



1 U2 - 04 - MAIN FLOOR  
1/4" = 1'-0"

## 737 20TH STREET TRIPLEX MAIN FLOOR PLAN

Project number 737-20  
Date MAY 19 2023  
Drawn by RMR  
Checked by KW

# A100

Scale 1/4" = 1'-0"

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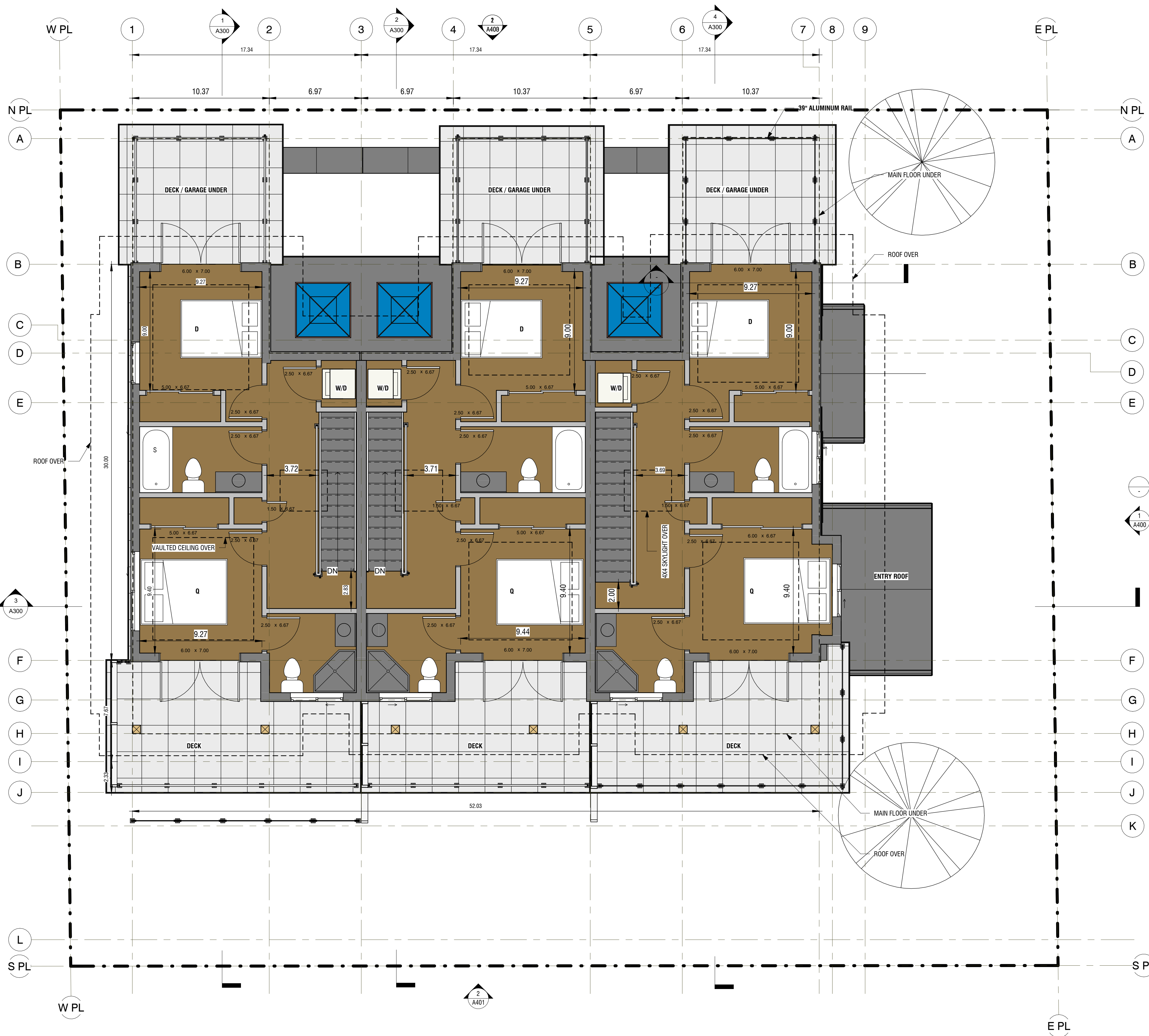
No.	Description	Date

### 737 20TH STREET TRIPLEX 2ND FLOOR PLAN

Project number 737-20  
Date MAY 19 2023  
Drawn by RMR  
Checked by KW

## A105

Scale 1/4" = 1'-0"



1 U2 -05 -2ND FLOOR  
1/4" = 1'-0"

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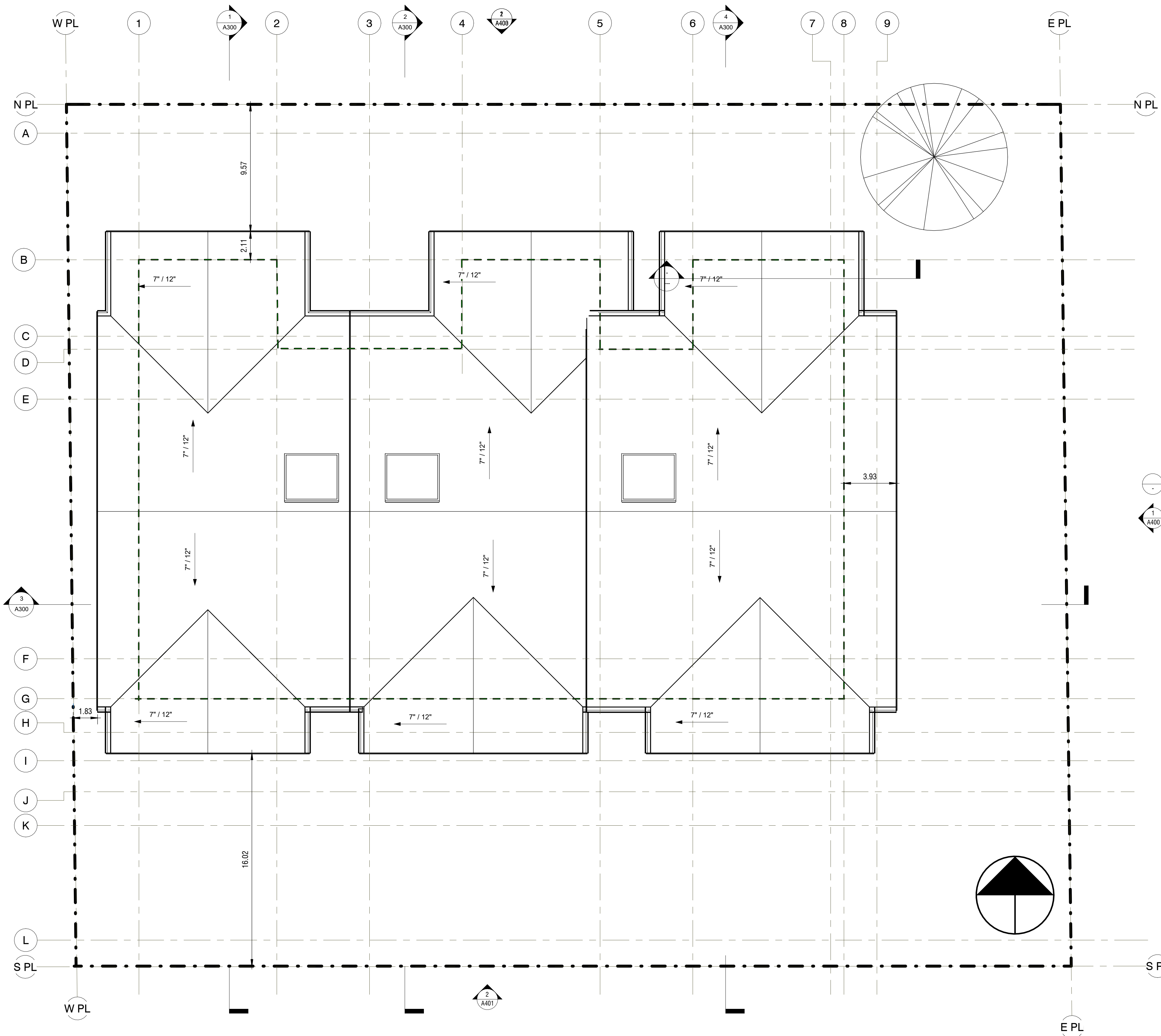
No.	Description	Date

## 737 20TH STREET TRIPLEX ROOF PLAN

Project number 737-20  
Date MAY 19 2023  
Drawn by RMR  
Checked by KW

**A150**

Scale 1/4" = 1'-0"



**2 U1 -07 -ROOF**  
1/4" = 1'-0"

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No.	Description	Date

## 737 20TH STREET TRIPLEX ELEVATION CALCULATIONS

Project number	737-20
Date	MAY 19 2023
Drawn by	RMR
Checked by	KW

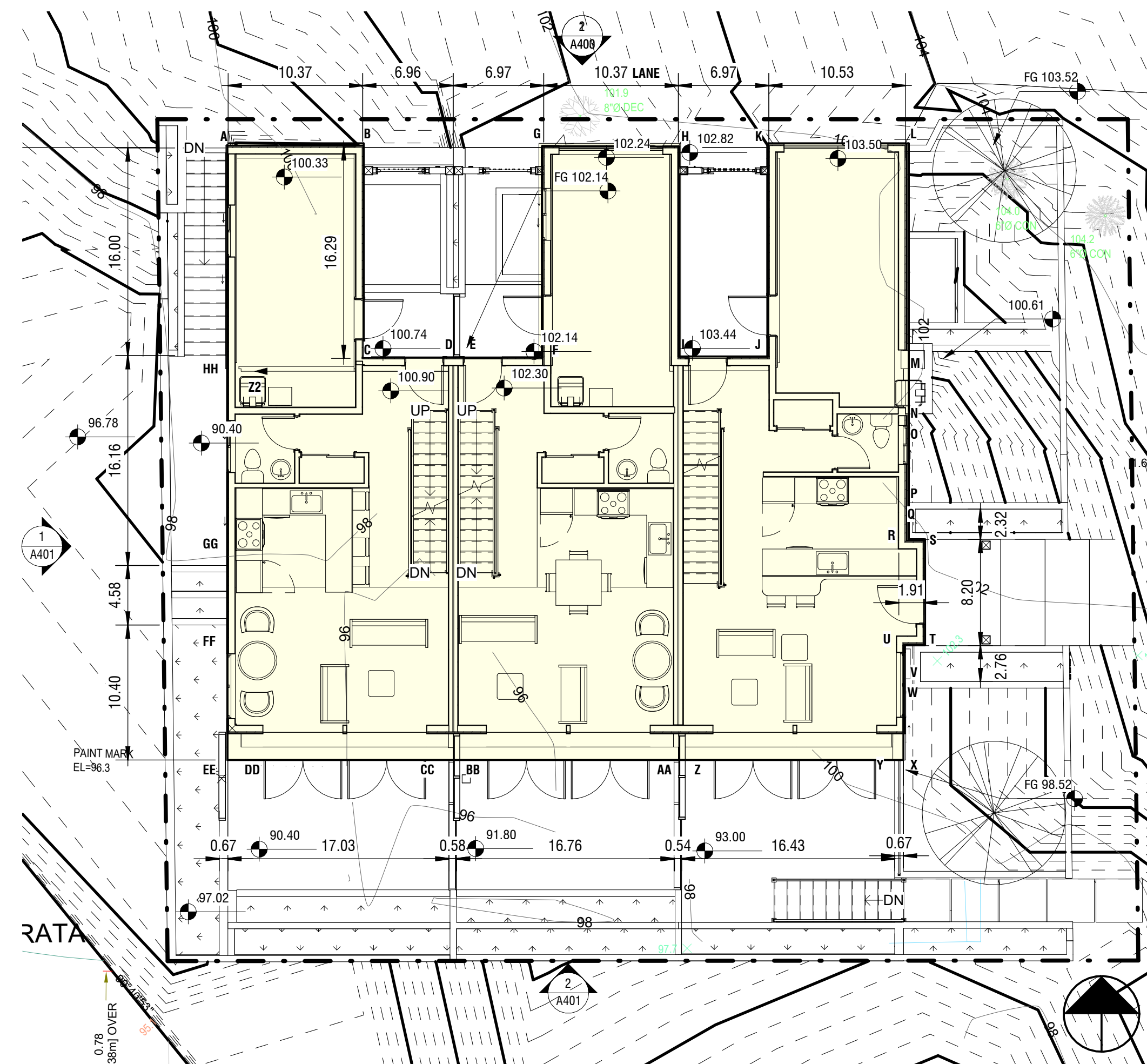
# A200

Scale 1/8" = 1'-0"

GRADE NOTES	
NO.	DESCRIPTION
1	EXISTING GRADES

737 20TH STREET, WEST VANCOUVER  
JAN 18 2023  
TRIPLEX  
AVERAGE GRADE

	H1	H2	DISTANCE	SUM
A	99.7	B 100.33	10.37	1037.156
B	100.33	C 100	16.29	1631.688
C	100	D 100.74	6.96	698.5752
D	100.74	E 101	0.67	67.5829
E	101	F 101	6.97	703.97
F	101	G 101.1	16.29	1646.105
G	101.1	H 102.6	10.37	1056.185
H	102.6	I 102.82	16.29	1673.146
I	102.82	J 102.9	10.37	1066.658
J	102.9	K 102.92	16.29	1676.404
K	102.92	L 103.4	10.53	1086.275
L	103.4	M 91.83	16.11	1572.578
M	91.83	N 91.83	5.11	469.2513
N	91.83	O 98.65	0.67	63.8108
O	98.65	P 99.2	5.82	575.7435
P	99.2	Q 102.5	0.52	52.442
Q	102.5	R 102.5	2.32	237.8
R	102.5	S 102.5	1.91	195.775
S	102.5	T 101.8	8.2	837.63
T	101.8	U 101.8	1.91	194.438
U	101.8	V 101.8	2.32	236.176
V	101.8	W 98.95	0.5	50.1875
W	98.95	X 98.54	6	592.47
X	98.54	Y 93	0.67	64.1659
Y	93	Z 93	16.43	1527.99
Z	93	AA 91.8	0.54	49.896
AA	91.8	BB 91.8	16.76	1538.568
BB	91.8	CC 95	0.58	54.172
CC	90.4	DD 90.4	16.34	1477.136
DD	90.4	EE 97.2	0.67	62.846
EE	97.2	FF 97.2	10.4	1010.88
FF	97.2	GG 90.4	4.58	429.604
GG	90.4	HH 90.4	16.16	1460.864
HH	90.4	A 99.7	16	1520.8
Sum			271.92	26618.97
Average Grade			97.89	
Mean height			122.89	



737 20TH STREET, WEST VANCOUVER  
JAN 18 2023  
TRIPLEX  
GRADES EXISTING & FINISHED  
USE LOWEST GRADE BOLD PRINT

	EG	FG	DISTANCE
A	99.7	100.33	
B	100.2	100.33	10.37
C	100	100.74	16.29
D	100.8	100.74	6.96
E	101	102.3	0.67
F	101	102.3	6.97
G	101.1	102.14	16.29
H	102.6	102.82	10.37
I	102.82	103.47	16.29
J	102.9	103.47	10.37
K	102.92	103.5	16.29
L	103.4	103.5	10.53
M	101.22	91.83	16.11
N	101.22	91.83	5.11
O	102.5	98.65	0.67
P	102.5	99.2	5.82
Q	102.5	103.34	0.52
R	102.5	103.34	2.32
S	102.5	103.34	1.91
T	101.8	103.34	8.2
U	101.8	103.34	1.91
V	101.8	103.34	2.32
W	101.8	98.95	0.5
X	101.85	98.54	6
Y	101.85	93	0.67
Z	98	93	16.43
AA	98	91.8	0.54
BB	95	91.8	16.76
CC	95	90.4	0.58
DD	96.3	90.4	16.34
EE	99.5	97.2	0.67
FF	99.5	97.2	10.4
GG	98	90.4	4.58
HH	99.5	90.4	16.16
A	99.7	100.33	16

1 LEVEL 1 FLOOR PLAN  
1/8" = 1'-0"

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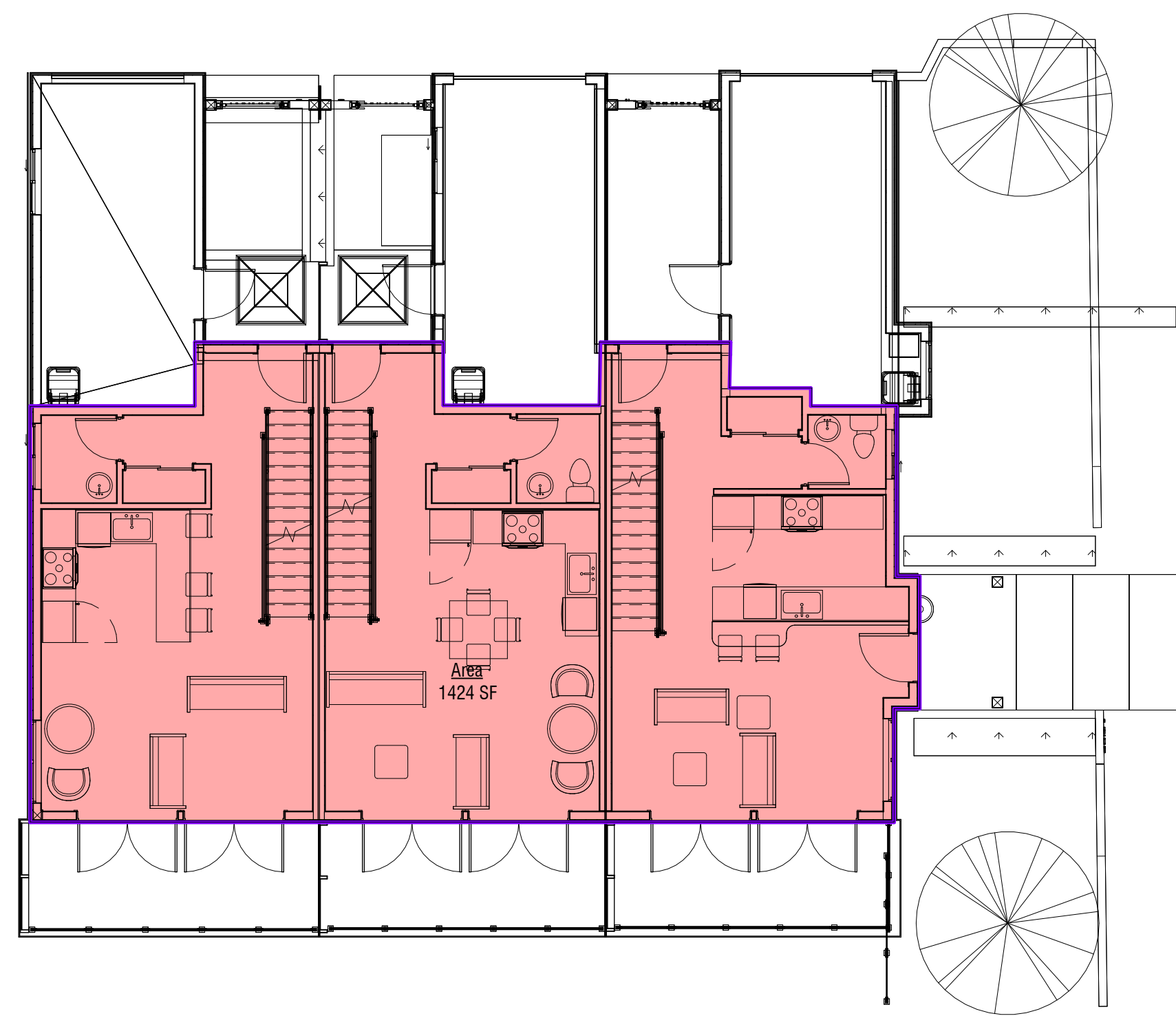
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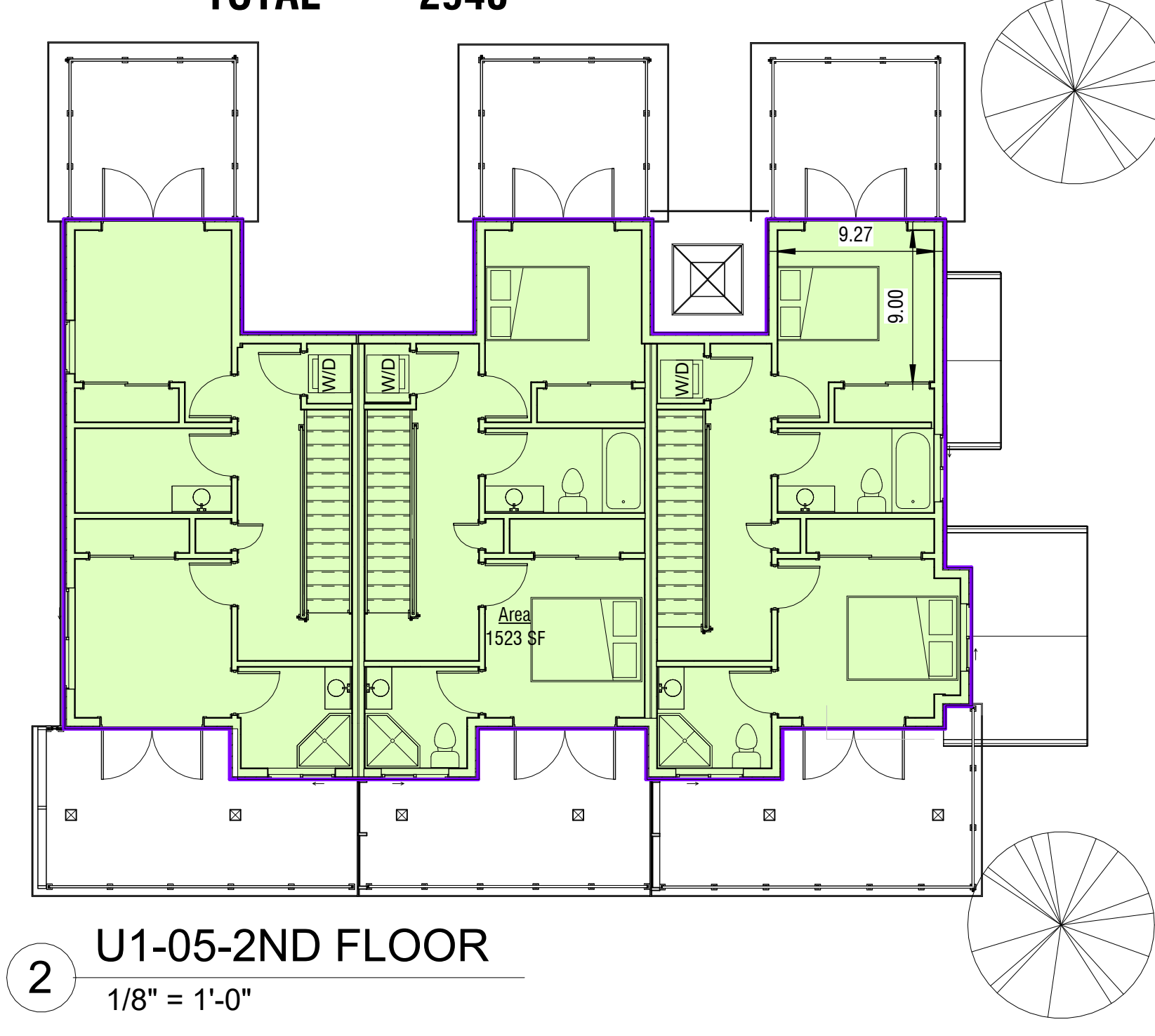
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2ND FLOOR 1520 PROPOSED  
1ST FLOOR 1428 PROPOSED  
TOTAL 2948

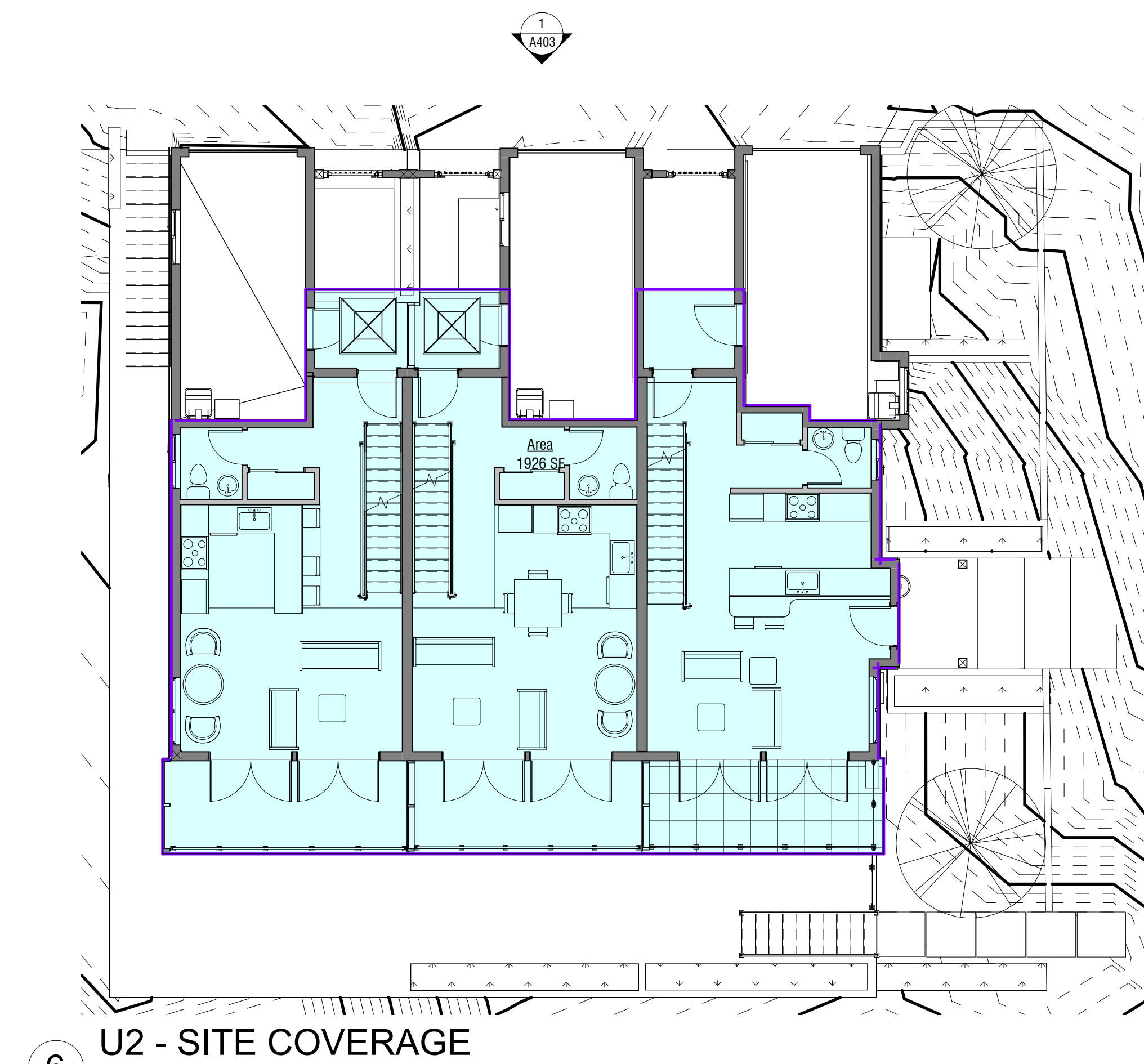


**1428 PROPOSED**

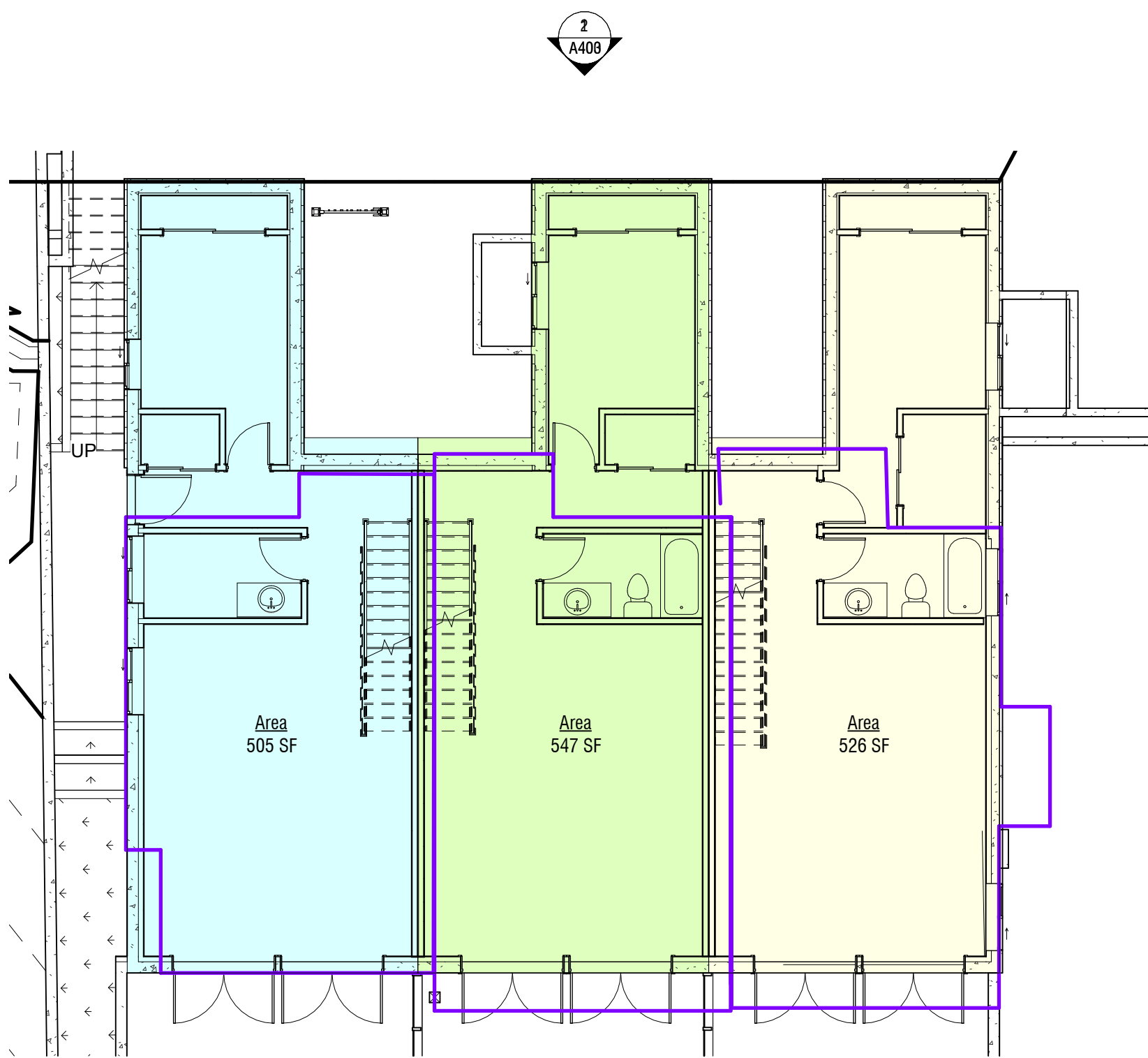
LOT SIZE 64'-9 5/8" X 74'-8 7/8"  
LOT AREA 4843SF  
FAR PERMITTED @.61 2954.23 SF  
FAR PROPOSED @.609 2948.00 SF



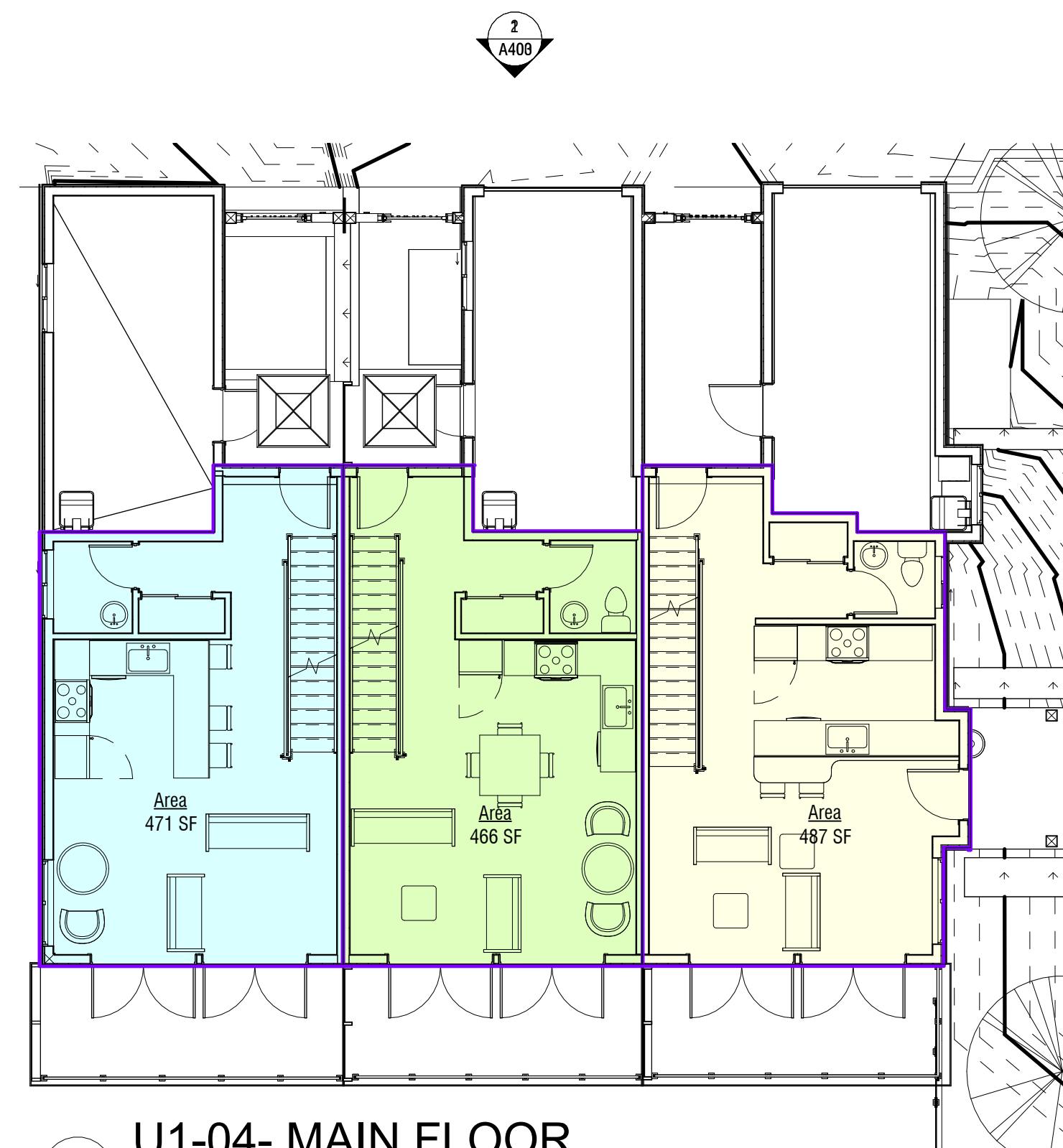
**2 U1-05-2ND FLOOR**  
1/8" = 1'-0"



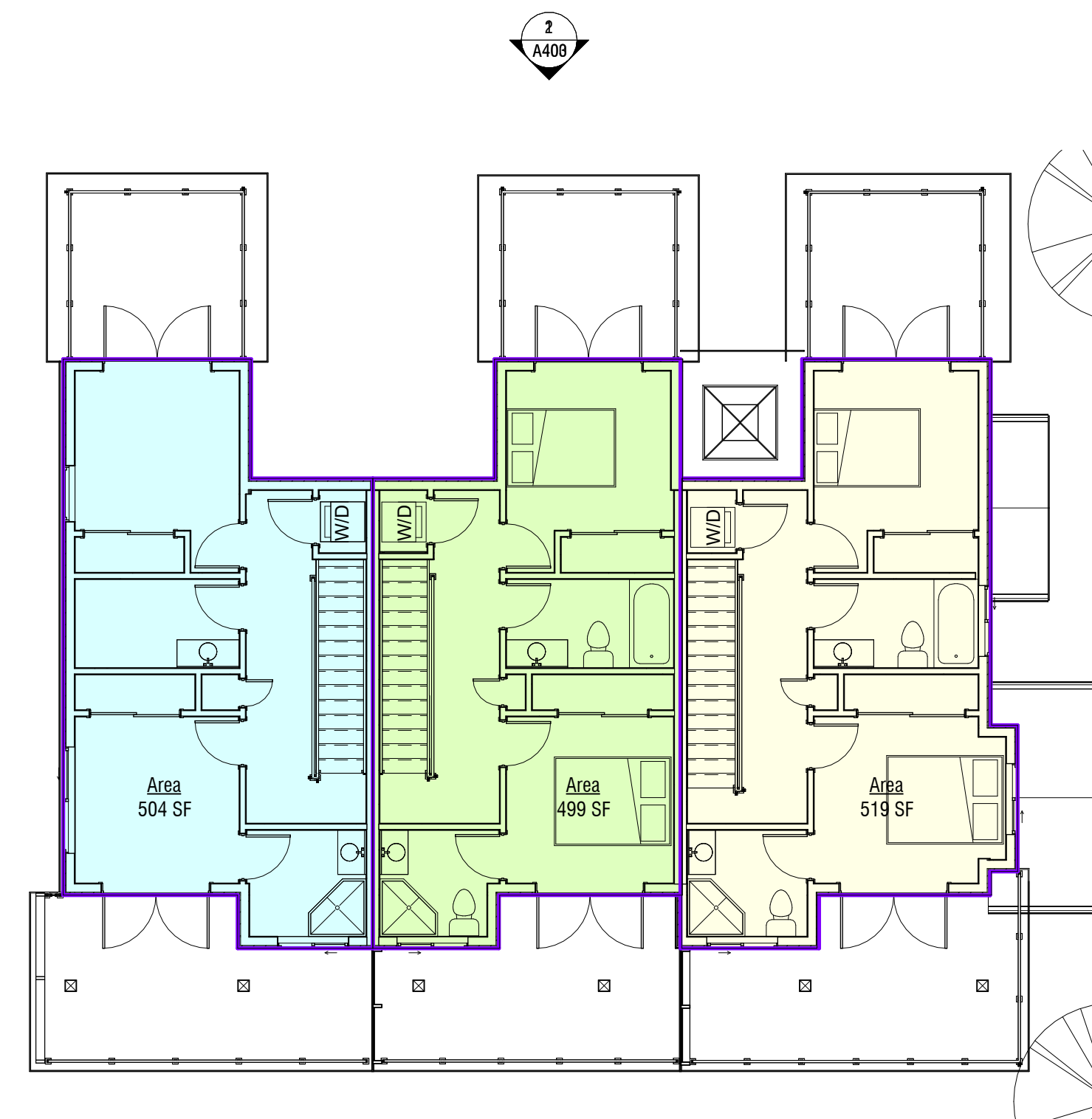
**6 U2 - SITE COVERAGE**  
1/8" = 1'-0"



**3 U1-03-BASEMENT**  
1/8" = 1'-0"



**4 U1-04- MAIN FLOOR**  
1/8" = 1'-0"



**5 U1-05-2ND FLOOR**  
1/8" = 1'-0"

**GROSS AREA OF UNITS**  
**UNIT ONE (YELLOW)**  
2ND 490  
MAIN 520  
BASEMENT 500  
TOTAL 1510

**UNIT TWO (GREEN)**  
2ND 472  
MAIN 533  
BASEMENT 536  
TOTAL 1541

**UNIT THREE (BLUE)**  
2ND 461  
MAIN 531  
BASEMENT 531  
TOTAL 1523

No.	Description	Date

737 20TH STREET  
TRIPLEX  
AREA PLAN

Project number	737-20
Date	MAY 19 2023
Drawn by	RMR
Checked by	KW

**A201**

Scale 1/8" = 1'-0"



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No.	Description	Date

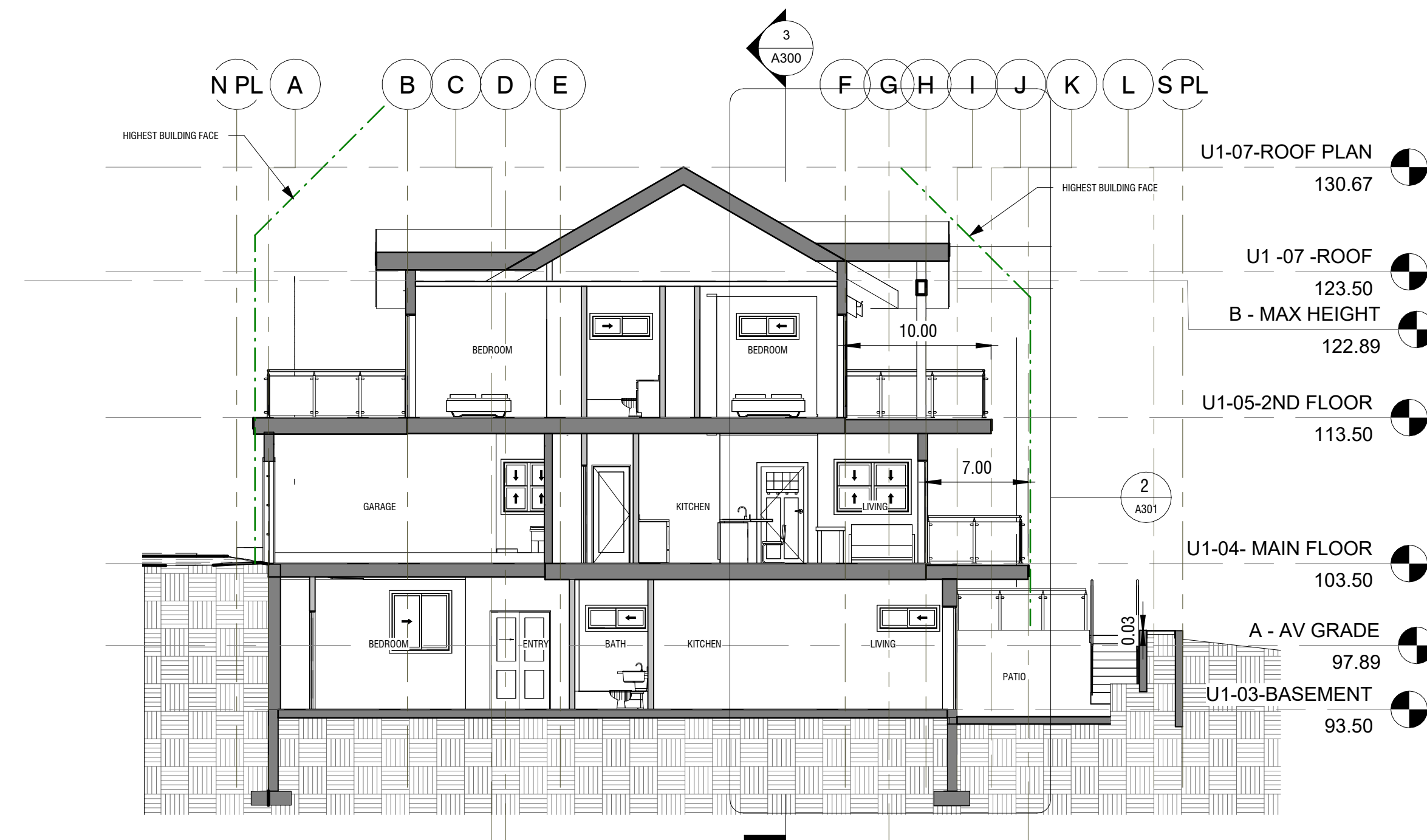
## 737 20TH STREET TRIPLEX GENERAL SECTIONS

Project number 737-20  
Date MAY 19 2023  
Drawn by RMR  
Checked by KW

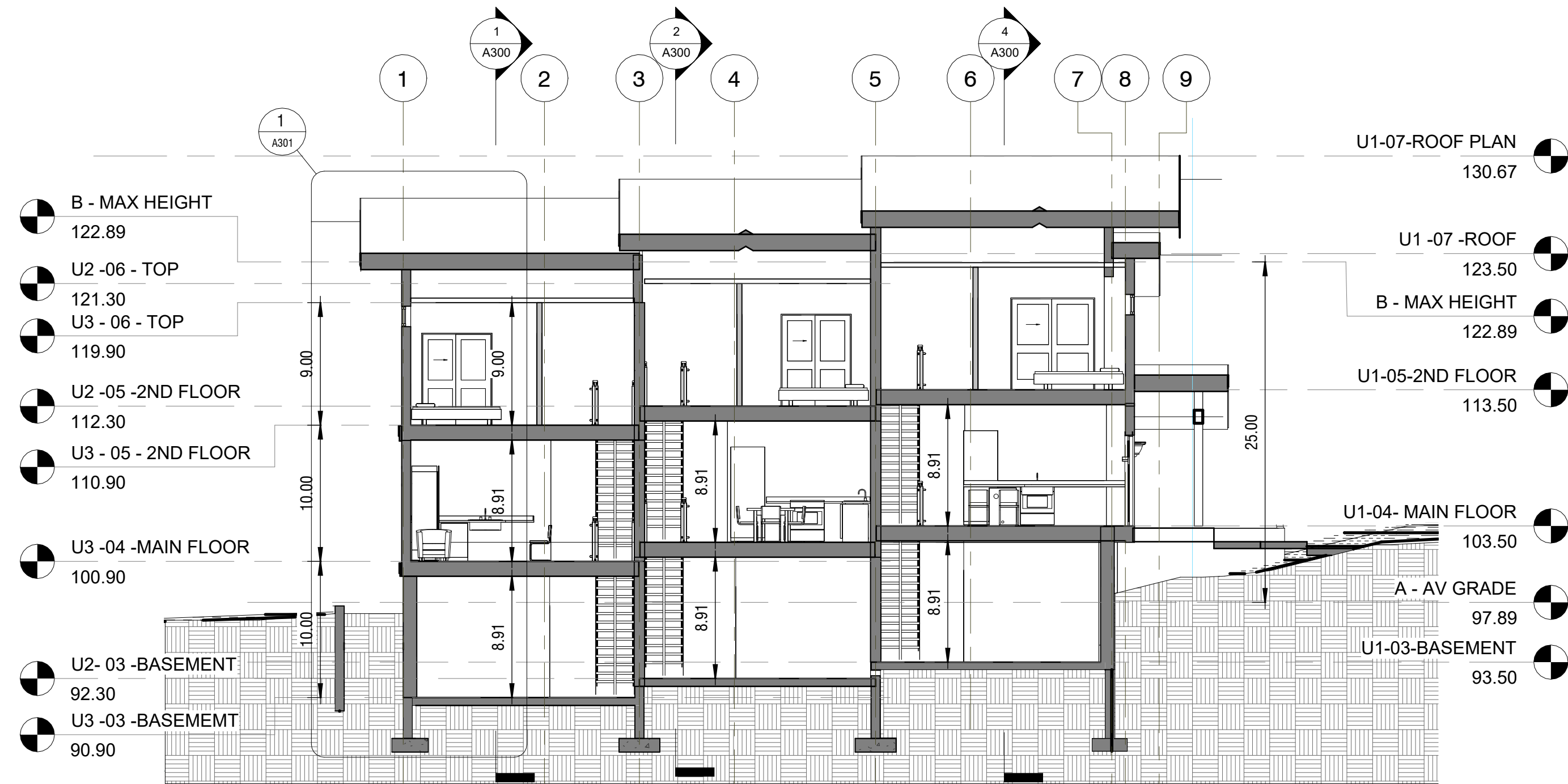
A300

Scale 1/8" = 1'-0"

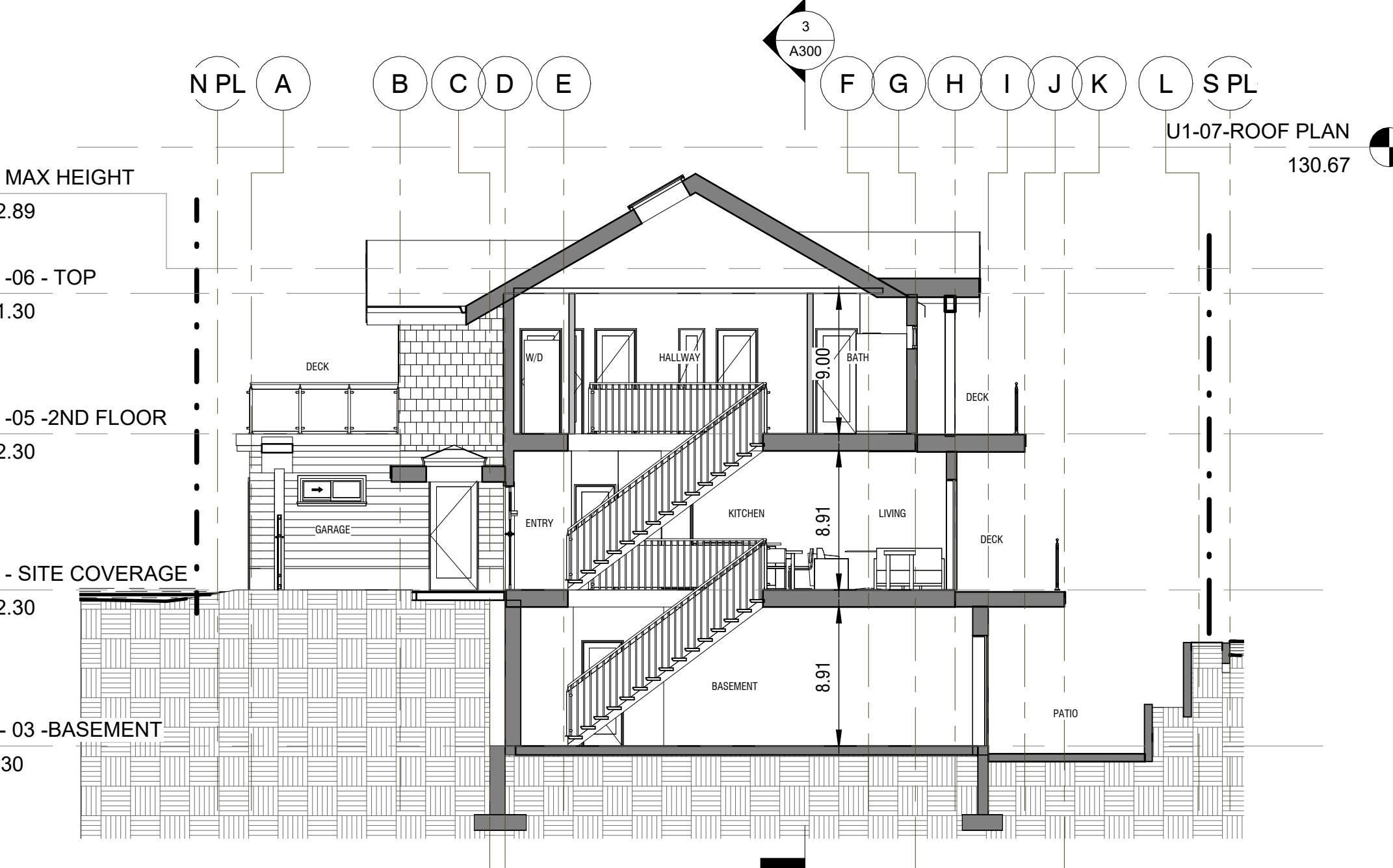
6/9/2023 2:57:00 PM



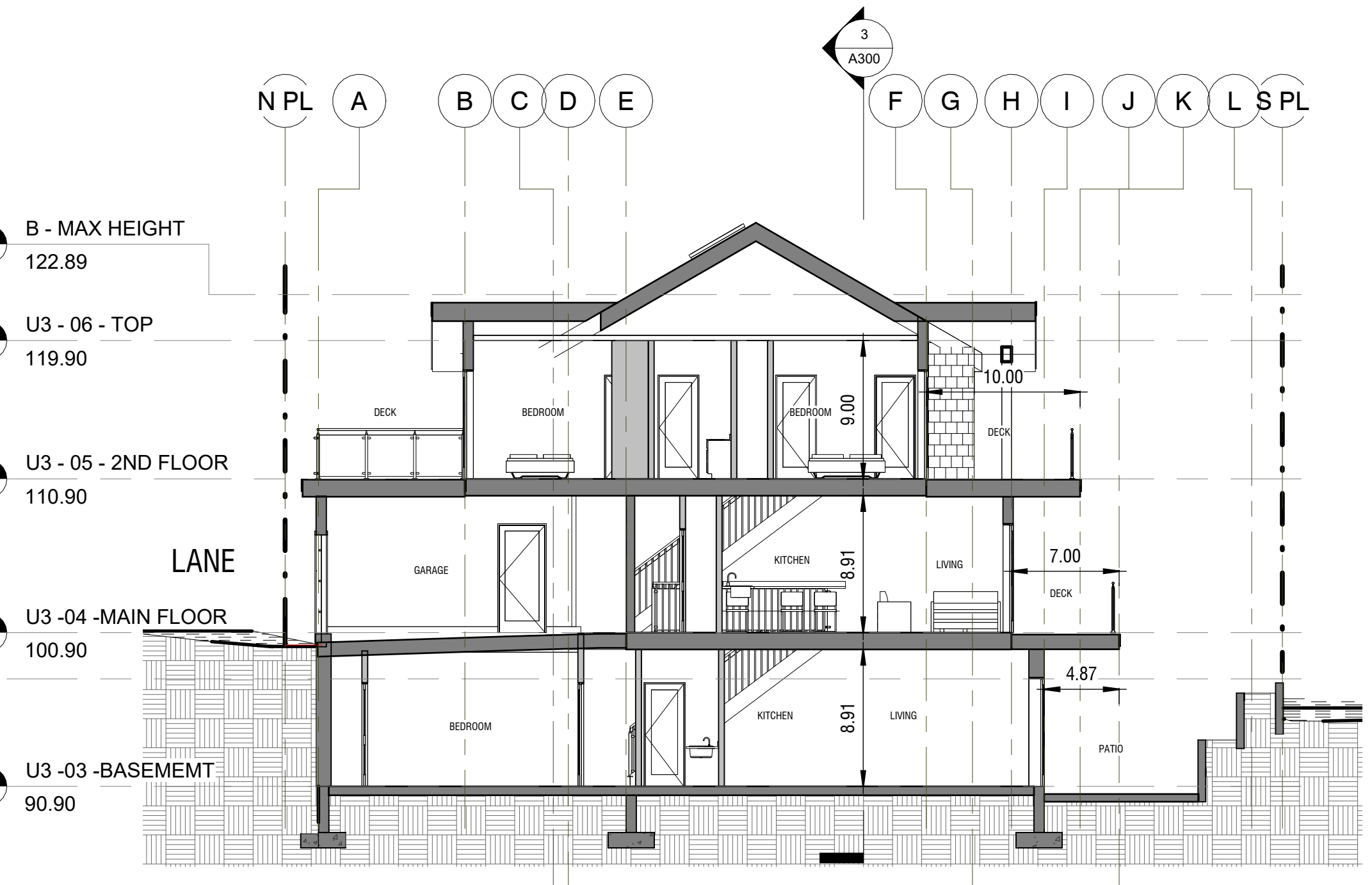
4 U1 - SECTION AT GARAGE  
1/8" = 1'-0"



3 SECTION LOOKING N  
1/8" = 1'-0"



2 U2 - SECTION  
1/8" = 1'-0"



1 U3 - SECTION  
1/8" = 1'-0"







**1 WEST ELEVATION**  
1/4" = 1'-0"



**2 SOUTH ELEVATION**  
1/4" = 1'-0"

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No.	Description	Date

**737 20TH STREET**  
**TRIPLEX**  
**EXTERIOR**  
**ELEVATIONS W&S**

Project number: 737-20  
Date: MAY 19 2023  
Drawn by: RMR  
Checked by: KW

**A401**

Scale: 1/4" = 1'-0"

09/2023 2:57:39 PM



# IGEL ARCH

405 PRIOR STREET  
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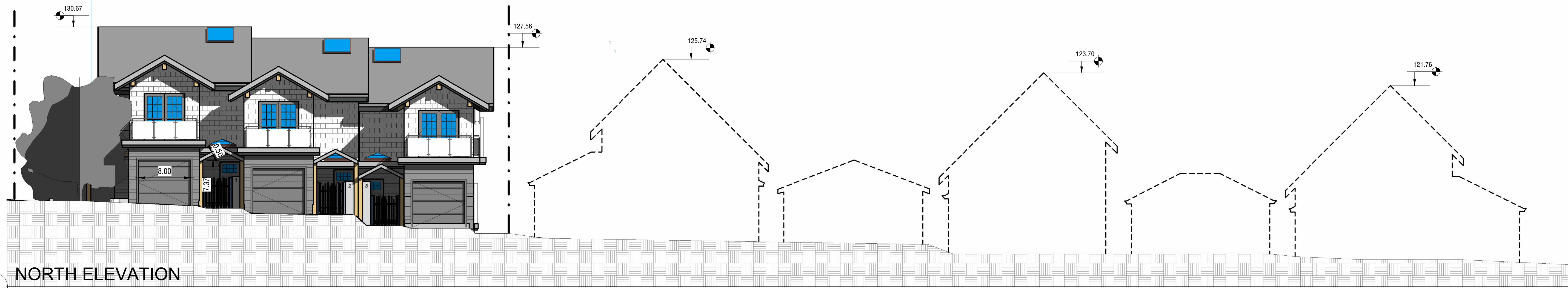
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### 1 NORTH ELEVATION

1/8" = 1'-0"

No.	Description	Date

## 737 20TH STREET TRIPLEX CONTEXT ALONG LANE

Project number 737-20

Date MAY 19 2023

Drawn by RMR

Checked by KW

# A403

Scale 1/8" = 1'-0"