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drawing list (architectural)

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- A0.1 Rodgers Creek Context Plan
- A0.2 Area 6 Context Plan
- A0.3 Site Plan
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- A2.5 Unit 7 - North Elevation (Type A)
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- A3.0 Finishes Schedule
- A3.1 Renderings / Finish Materials
- A3.2 Renderings / Finish Materials
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- A4.0 Unit Areas / Unit Data

drawing list (landscape)

- L1 Grading and Land Plan
- L2 Unit 2, 3, 4, 5, 6, 7, 8, 9, 10
- L3 Unit 4, 5, 6, 7, 8, 9, 10
- L4 Unit 7 & 8, 9, 10
- L5 Unit 9 & 10
- L6 Planting Plan
- L7 Unit 2, 3, 4, 5, 6, 7, 8, 9, 10
- L8 Unit 4, 5, 6, 7, 8, 9, 10
- L9 Unit 7 & 8, 9, 10
- L10 Unit 9 & 10
- L11 Sections

appendices

- Appendix A Design Rationale
- Appendix B Sustainability Statement and Built Green Checklist

project data

Legal Description	Rodgers Creek, Area 6, Lot 4
Site Area	136,892 sq.ft. (12,727 sq.m.)
Zoning	CD-3 Rodgers Creek
FAR	0.27

Net Buildable Area	Allowable/Required	Proposed
37,500 sq.ft.	35-3.85% (10.76m)	34,264 sq.ft. (see calculations on A4.0)
Building Height		unit 1: 27'-5 1/4" (8.36m) unit 2: 27'-11 5/8" (8.52m) unit 3: 25'-11 1/16" (7.90m) unit 4: 25'-10 15/16" (7.90m) unit 5: 25'-3 3/4" (7.69m) unit 6: 25'-11 3/8" (7.91m) unit 7: 25'-11 1/16" (7.89m) unit 8: 25'-11 1/16" (7.89m) unit 9: 25'-10 3/4" (7.88m) unit 10: 27'-11 1/16" (8.52m)

Front Yard Setback (south)	24'-11 3/16" (7.6m)	14'-9 3/16" (4.5m)
Rear Yard Setback (north)	24'-11 3/16" (7.6m)	51'-10" (15.8m) @ smallest dimension to bldg face
Side Yard Setback (west)	15'-8 1/4" (6.0m)	26'-5 1/4" (8.0m) @ smallest dimension to bldg face
Side Yard Setback (east)	15'-8 1/4" (6.0m)	23'-1 1/8" (7.0m) @ smallest dimension to bldg face
Site Coverage	35% (for cluster housing)	22.73% sq.ft. (16.6%) (see calculations on A0.3)



AREA 6 LOT 4 - OVERVIEW OF PROJECT LOOKING WEST

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Rodgers Creek
Area 6, Lot 4
West Vancouver, BC

COVER SHEET
A0.0

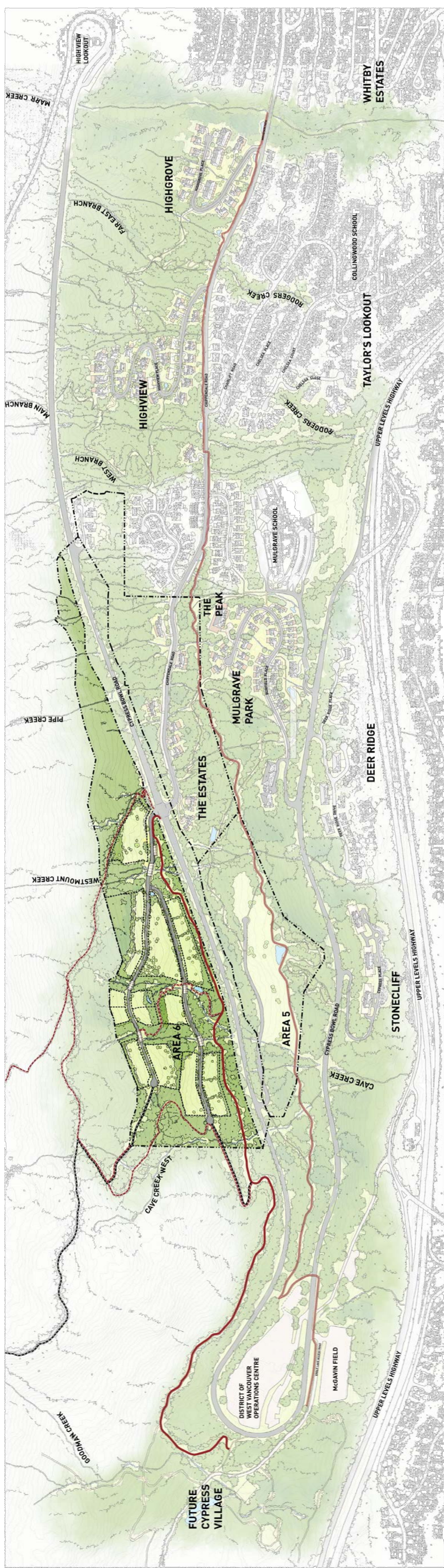


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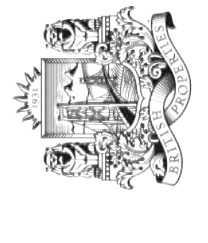
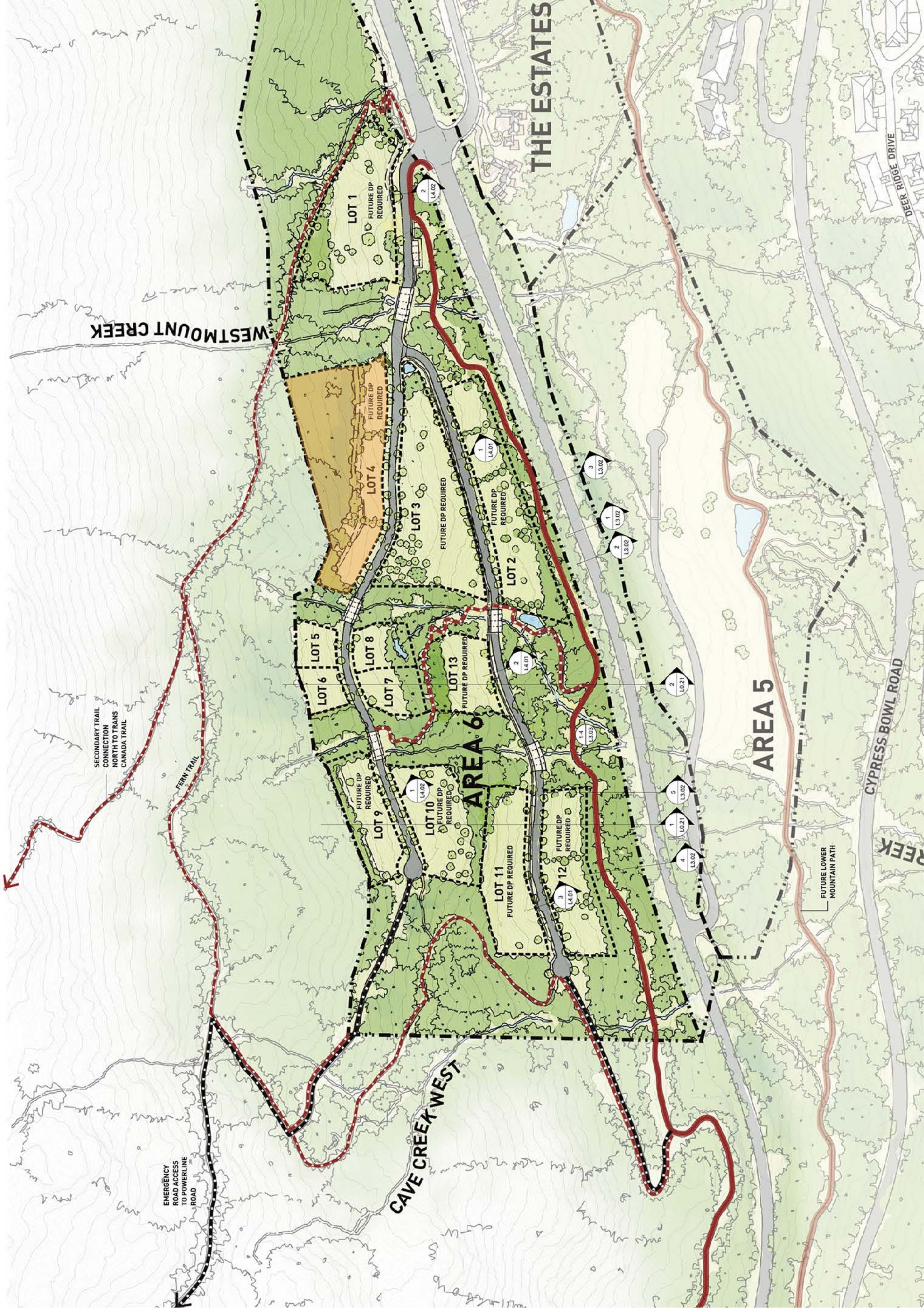
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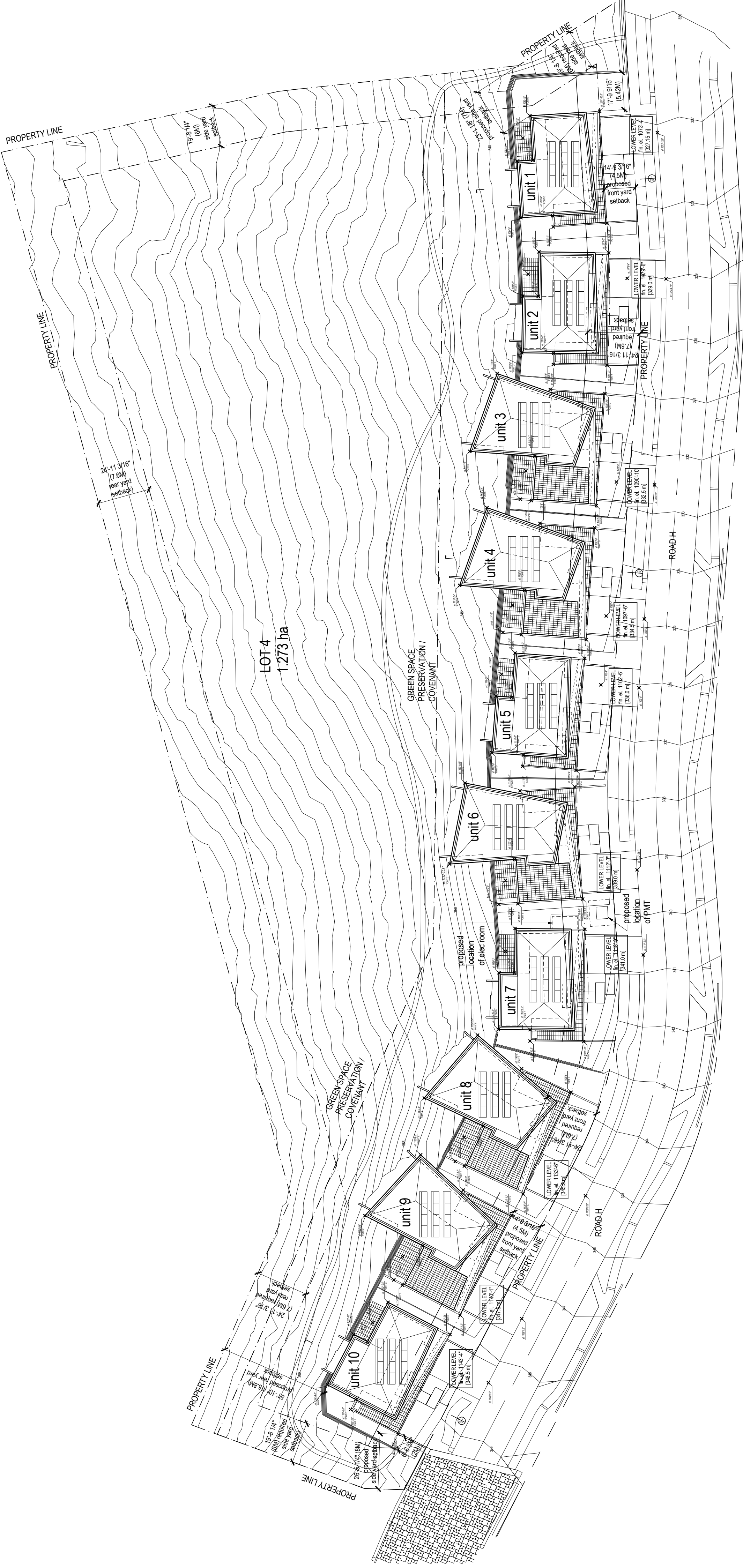
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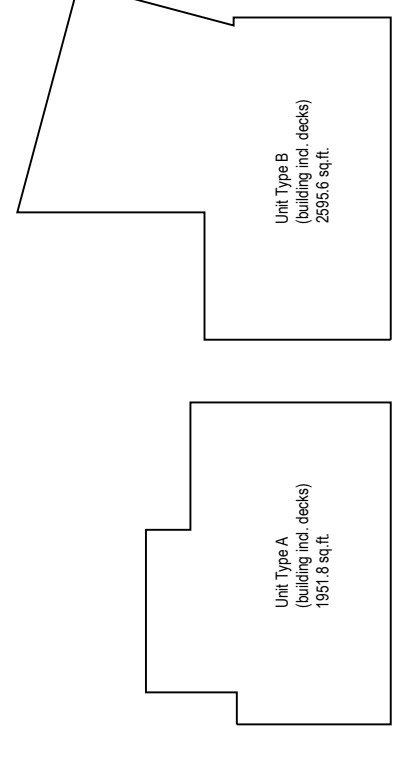
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LOT 4
1.273 ha

GREEN SPACE
PRESERVATION /
COVENANT

GREEN SPACE
PRESERVATION /
COVENANT



SITE COVERAGE CALCULATION
 Unit Type A: 10113.05 = 63552sq.ft.
 Unit Type B: 22683.15 = 132523sq.ft.
 Total (100mm) = 133675sq.ft.

1 SITE PLAN
1/32" = 1'-0"

2 SITE COVERAGE
1/32" = 1'-0"



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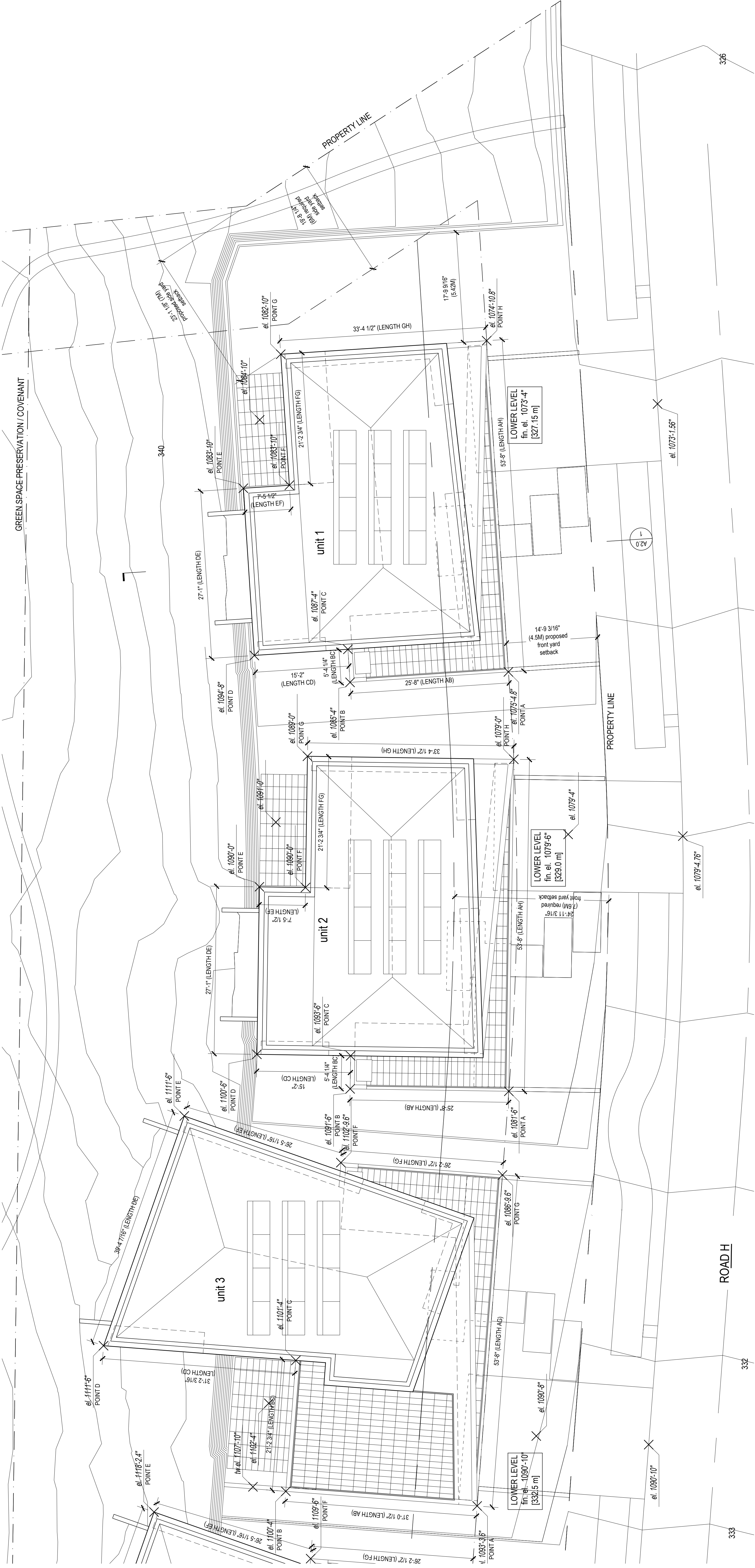
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Rodgers Creek
Area 6, Lot 4
West Vancouver, BC

SITE PLAN / SITE COVERAGE
A0.3

SCALE: as noted
Date: April 18, 2018

GREEN SPACE PRESERVATION / COVENANT



1 SITE PLAN
1/8" = 1'-0"

UNIT 3 POINT	ELEVATIONS	AVERAGE ELEVATION x LENGTH	LENGTH	AVERAGE ELEVATION x LENGTH = X
A	1083.33	(A + B) divided by 2	length (AB)	X1
B	1083.33	(B + C) divided by 2	length (BC)	X2
C	1083.33	(C + D) divided by 2	length (CD)	X3
D	1083.33	(D + E) divided by 2	length (DE)	X4
E	1083.33	(E + F) divided by 2	length (EF)	X5
F	1083.33	(F + G) divided by 2	length (FG)	X6
G	1083.33	(G + H) divided by 2	length (GH)	X7
H	1083.33	(H + I) divided by 2	length (HI)	X8
AVERAGE FINISHED GRADE (ft)				X (T)
Σ X				1100.41

UNIT 2 POINT	ELEVATIONS	AVERAGE ELEVATION x LENGTH	LENGTH	AVERAGE ELEVATION x LENGTH = X
A	1079.55	(A + B) divided by 2	length (AB)	X1
B	1079.55	(B + C) divided by 2	length (BC)	X2
C	1079.55	(C + D) divided by 2	length (CD)	X3
D	1079.55	(D + E) divided by 2	length (DE)	X4
E	1079.55	(E + F) divided by 2	length (EF)	X5
F	1079.55	(F + G) divided by 2	length (FG)	X6
G	1079.55	(G + H) divided by 2	length (GH)	X7
H	1079.55	(H + I) divided by 2	length (HI)	X8
AVERAGE FINISHED GRADE (ft)				X (T)
Σ X				1087.03

UNIT 1 POINT	ELEVATIONS	AVERAGE ELEVATION x LENGTH	LENGTH	AVERAGE ELEVATION x LENGTH = X
A	1071.42	(A + B) divided by 2	length (AB)	X1
B	1071.42	(B + C) divided by 2	length (BC)	X2
C	1071.42	(C + D) divided by 2	length (CD)	X3
D	1071.42	(D + E) divided by 2	length (DE)	X4
E	1071.42	(E + F) divided by 2	length (EF)	X5
F	1071.42	(F + G) divided by 2	length (FG)	X6
G	1071.42	(G + H) divided by 2	length (GH)	X7
H	1071.42	(H + I) divided by 2	length (HI)	X8
AVERAGE FINISHED GRADE (ft)				X (T)
Σ X				1081.39

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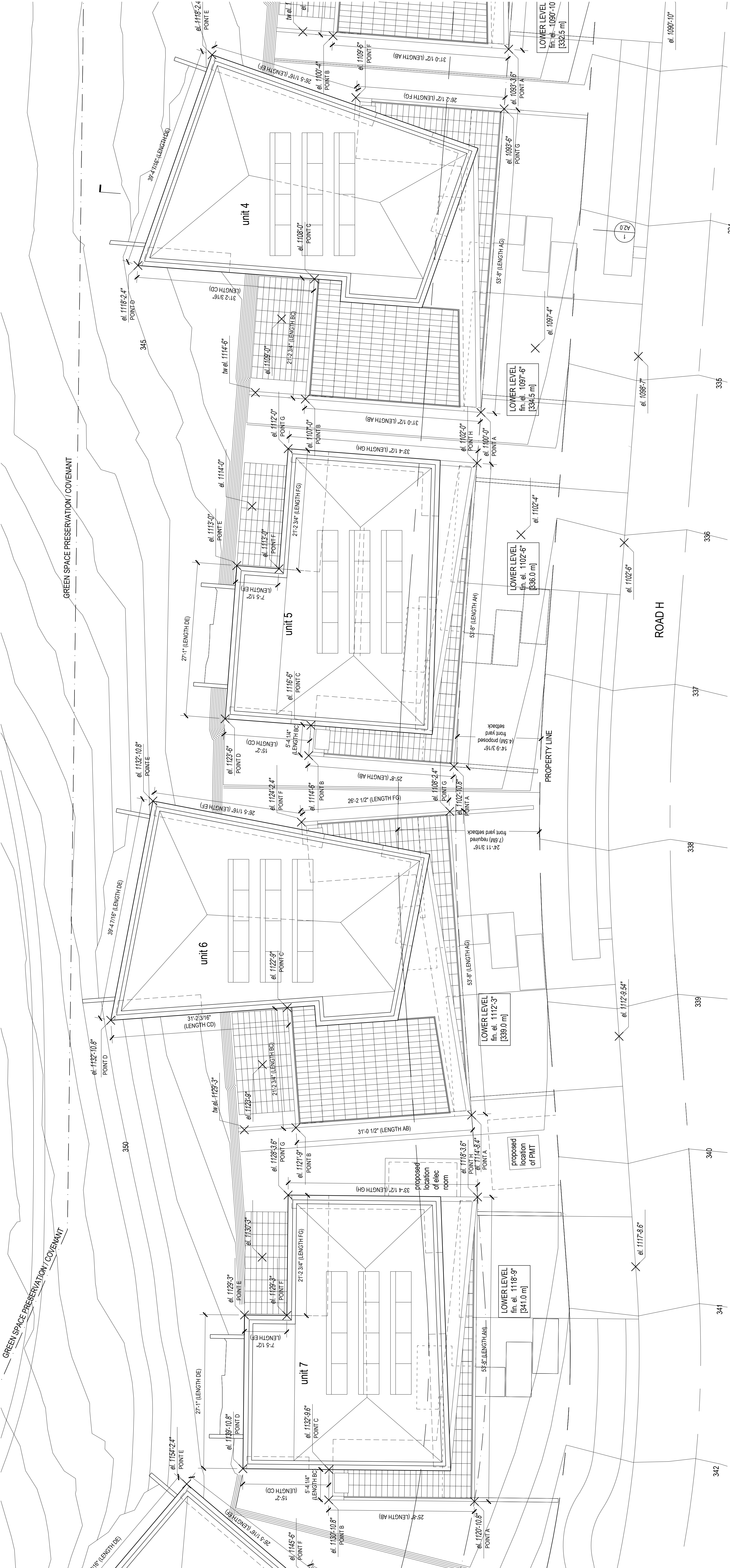
Rodgers Creek
Area 6, Lot 4
West Vancouver, BC
SITE PLAN / AVERAGE
FIN. GRADE CALCULATION
(@ UNIT 1-3)
A0.4
SCALE: as noted
Date: April 18, 2018



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1 SITE PLAN
1/8" = 1'-0"

UNIT 4	POINT	ELEVATIONS	AVERAGE ELEVATION x LENGTH	LENGTH	AVE GRADE x LENGTH = X
A	POINT A	A	1118.9'	31'-0 1/2" (LENGTH AB)	3463.54
		B	1120.0'	31'-0 1/2" (LENGTH AB)	3463.54
		C	1121.0'	31'-0 1/2" (LENGTH AB)	3463.54
		D	1122.0'	31'-0 1/2" (LENGTH AB)	3463.54
		E	1123.0'	31'-0 1/2" (LENGTH AB)	3463.54
		F	1124.0'	31'-0 1/2" (LENGTH AB)	3463.54
		G	1125.0'	31'-0 1/2" (LENGTH AB)	3463.54
		H	1126.0'	31'-0 1/2" (LENGTH AB)	3463.54
LOWER LEVEL fin. el. 1118.9' [341.0 m]					X1 length (AB) 3'-04" X2 length (BC) 2'-23" X3 length (CD) 2'-23" X4 length (DE) 2'-23" X5 length (EF) 2'-23" X6 length (FG) 2'-23" X7 length (GH) 2'-23" X8 length (HI) 2'-23" X I T Y 253.2 253.2 1107.09 # X 1 2 3 4 5 6 7 8 I T Y 253.2
AVERAGE FINISHED GRADE (ft.) # X 1 2 3 4 5 6 7 8 I T Y 253.2					1107.09

UNIT 5	POINT	ELEVATIONS	AVERAGE ELEVATION x LENGTH	LENGTH	AVE GRADE x LENGTH = X
A	POINT A	A	1122.3'	31'-0 1/2" (LENGTH AB)	3463.54
		B	1123.4'	31'-0 1/2" (LENGTH AB)	3463.54
		C	1124.5'	31'-0 1/2" (LENGTH AB)	3463.54
		D	1125.6'	31'-0 1/2" (LENGTH AB)	3463.54
		E	1126.7'	31'-0 1/2" (LENGTH AB)	3463.54
		F	1127.8'	31'-0 1/2" (LENGTH AB)	3463.54
		G	1128.9'	31'-0 1/2" (LENGTH AB)	3463.54
		H	1130.0'	31'-0 1/2" (LENGTH AB)	3463.54
LOWER LEVEL fin. el. 1122.3' [339.0 m]					X1 length (AB) 3'-04" X2 length (BC) 2'-23" X3 length (CD) 2'-23" X4 length (DE) 2'-23" X5 length (EF) 2'-23" X6 length (FG) 2'-23" X7 length (GH) 2'-23" X8 length (HI) 2'-23" X I T Y 253.2 253.2 1109.69 # X 1 2 3 4 5 6 7 8 I T Y 253.2
AVERAGE FINISHED GRADE (ft.) # X 1 2 3 4 5 6 7 8 I T Y 253.2					1109.69

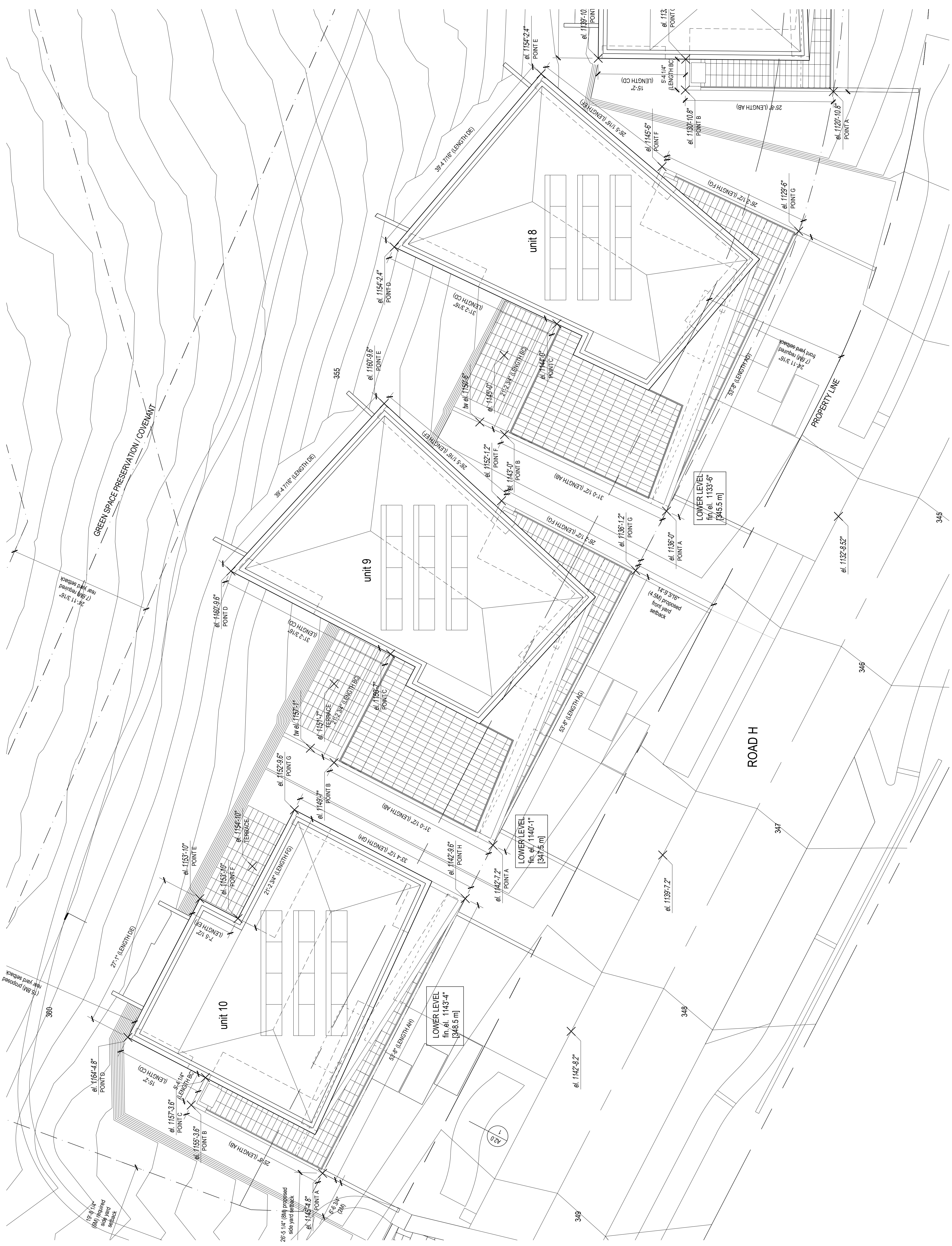
UNIT 6	POINT	ELEVATIONS	AVERAGE ELEVATION x LENGTH	LENGTH	AVE GRADE x LENGTH = X
A	POINT A	A	1123.6'	31'-0 1/2" (LENGTH AB)	3463.54
		B	1124.7'	31'-0 1/2" (LENGTH AB)	3463.54
		C	1125.8'	31'-0 1/2" (LENGTH AB)	3463.54
		D	1126.9'	31'-0 1/2" (LENGTH AB)	3463.54
		E	1128.0'	31'-0 1/2" (LENGTH AB)	3463.54
		F	1129.1'	31'-0 1/2" (LENGTH AB)	3463.54
		G	1130.2'	31'-0 1/2" (LENGTH AB)	3463.54
		H	1131.3'	31'-0 1/2" (LENGTH AB)	3463.54
LOWER LEVEL fin. el. 1123.6' [336.0 m]					X1 length (AB) 3'-04" X2 length (BC) 2'-23" X3 length (CD) 2'-23" X4 length (DE) 2'-23" X5 length (EF) 2'-23" X6 length (FG) 2'-23" X7 length (GH) 2'-23" X8 length (HI) 2'-23" X I T Y 253.2 253.2 1121.80 # X 1 2 3 4 5 6 7 8 I T Y 253.2
AVERAGE FINISHED GRADE (ft.) # X 1 2 3 4 5 6 7 8 I T Y 253.2					1121.80

UNIT 7	POINT	ELEVATIONS	AVERAGE ELEVATION x LENGTH	LENGTH	AVE GRADE x LENGTH = X
A	POINT A	A	1123.9'	31'-0 1/2" (LENGTH AB)	3463.54
		B	1125.0'	31'-0 1/2" (LENGTH AB)	3463.54
		C	1126.1'	31'-0 1/2" (LENGTH AB)	3463.54
		D	1127.2'	31'-0 1/2" (LENGTH AB)	3463.54
		E	1128.3'	31'-0 1/2" (LENGTH AB)	3463.54
		F	1129.4'	31'-0 1/2" (LENGTH AB)	3463.54
		G	1130.5'	31'-0 1/2" (LENGTH AB)	3463.54
		H	1131.6'	31'-0 1/2" (LENGTH AB)	3463.54
LOWER LEVEL fin. el. 1123.9' [334.5 m]					X1 length (AB) 3'-04" X2 length (BC) 2'-23" X3 length (CD) 2'-23" X4 length (DE) 2'-23" X5 length (EF) 2'-23" X6 length (FG) 2'-23" X7 length (GH) 2'-23" X8 length (HI) 2'-23" X I T Y 253.2 253.2 1126.36 # X 1 2 3 4 5 6 7 8 I T Y 253.2
AVERAGE FINISHED GRADE (ft.) # X 1 2 3 4 5 6 7 8 I T Y 253.2					1126.36

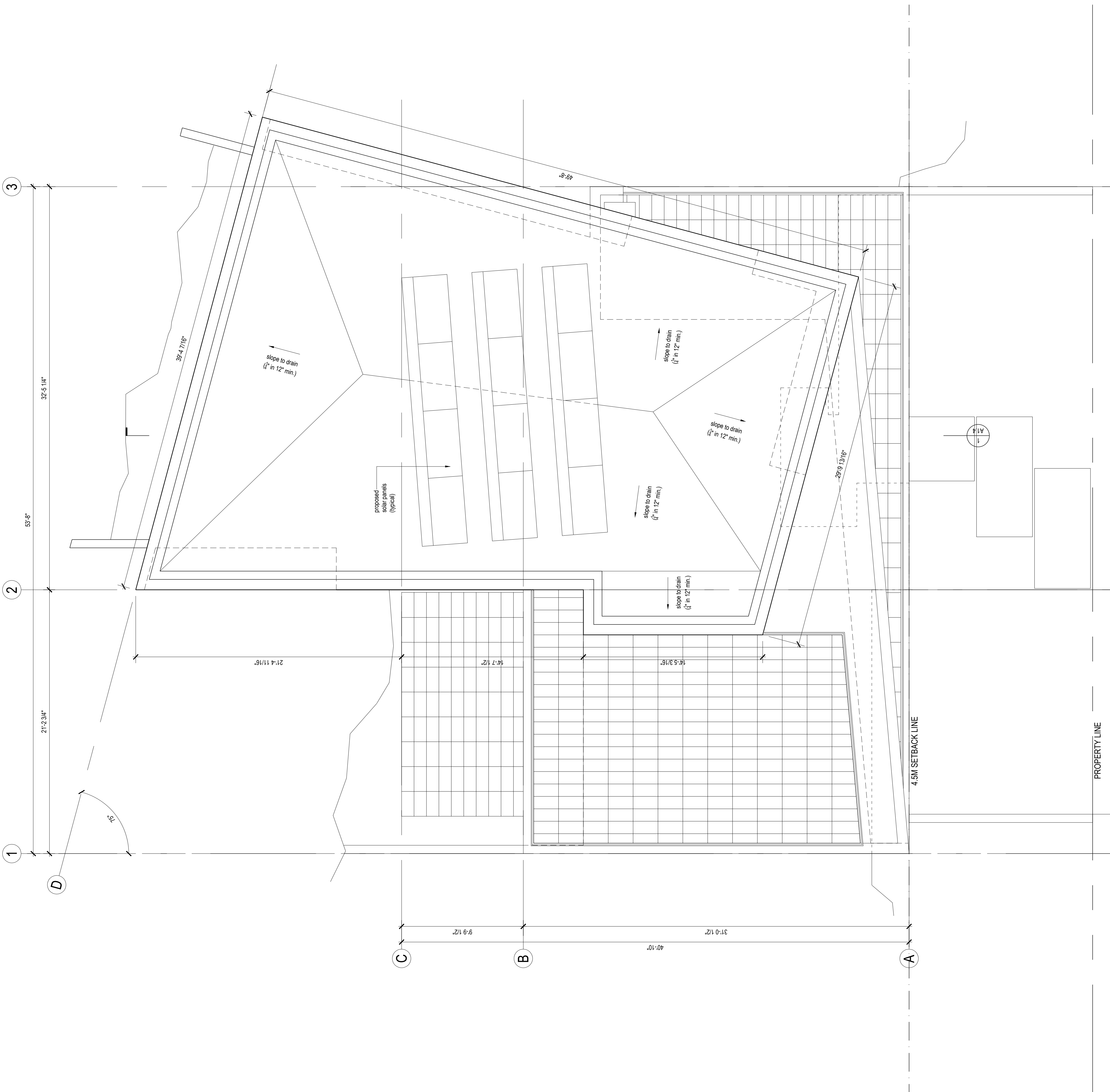
UNIT 8 POINT	ELEVATIONS	AVERAGE ELEVATION	X LENGTH	Y LENGTH	AVERAGE GRADE	LENGTH	X	Y
A	1142.00	(A+B) divided by 2	31.34	31.34	X1	1142.00	31.34	31.34
B	1143.00	(B+C) divided by 2	31.34	31.34	X2	1143.00	31.34	31.34
C	1144.00	(C+D) divided by 2	31.34	31.34	X3	1144.00	31.34	31.34
D	1145.00	(D+E) divided by 2	31.34	31.34	X4	1145.00	31.34	31.34
E	1146.00	(E+F) divided by 2	31.34	31.34	X5	1146.00	31.34	31.34
F	1147.00	(F+G) divided by 2	31.34	31.34	X6	1147.00	31.34	31.34
G	1148.00	(G+A) divided by 2	31.34	31.34	X7	1148.00	31.34	31.34
AVERAGE FINISHED GRADE (ft.)						1143.00		

UNIT 9 POINT	ELEVATIONS	AVERAGE ELEVATION	X LENGTH	Y LENGTH	AVERAGE GRADE	LENGTH	X	Y
A	1143.00	(A+B) divided by 2	31.34	31.34	X1	1143.00	31.34	31.34
B	1144.00	(B+C) divided by 2	31.34	31.34	X2	1144.00	31.34	31.34
C	1145.00	(C+D) divided by 2	31.34	31.34	X3	1145.00	31.34	31.34
D	1146.00	(D+E) divided by 2	31.34	31.34	X4	1146.00	31.34	31.34
E	1147.00	(E+F) divided by 2	31.34	31.34	X5	1147.00	31.34	31.34
F	1148.00	(F+G) divided by 2	31.34	31.34	X6	1148.00	31.34	31.34
G	1149.00	(G+A) divided by 2	31.34	31.34	X7	1149.00	31.34	31.34
AVERAGE FINISHED GRADE (ft.)						1148.00		

UNIT 10 POINT	ELEVATIONS	AVERAGE ELEVATION	X LENGTH	Y LENGTH	AVERAGE GRADE	LENGTH	X	Y
A	1144.00	(A+B) divided by 2	31.34	31.34	X1	1144.00	31.34	31.34
B	1145.00	(B+C) divided by 2	31.34	31.34	X2	1145.00	31.34	31.34
C	1146.00	(C+D) divided by 2	31.34	31.34	X3	1146.00	31.34	31.34
D	1147.00	(D+E) divided by 2	31.34	31.34	X4	1147.00	31.34	31.34
E	1148.00	(E+F) divided by 2	31.34	31.34	X5	1148.00	31.34	31.34
F	1149.00	(F+G) divided by 2	31.34	31.34	X6	1149.00	31.34	31.34
G	1150.00	(G+A) divided by 2	31.34	31.34	X7	1150.00	31.34	31.34
AVERAGE FINISHED GRADE (ft.)						1149.00		



1 SITE PLAN
1/8" = 1'-0"



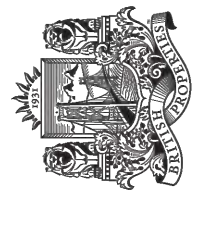
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Rodgers Creek
Area 6, Lot 4
West Vancouver, BC

ROOF PLAN
Unit 3 (Type B)

A1.3

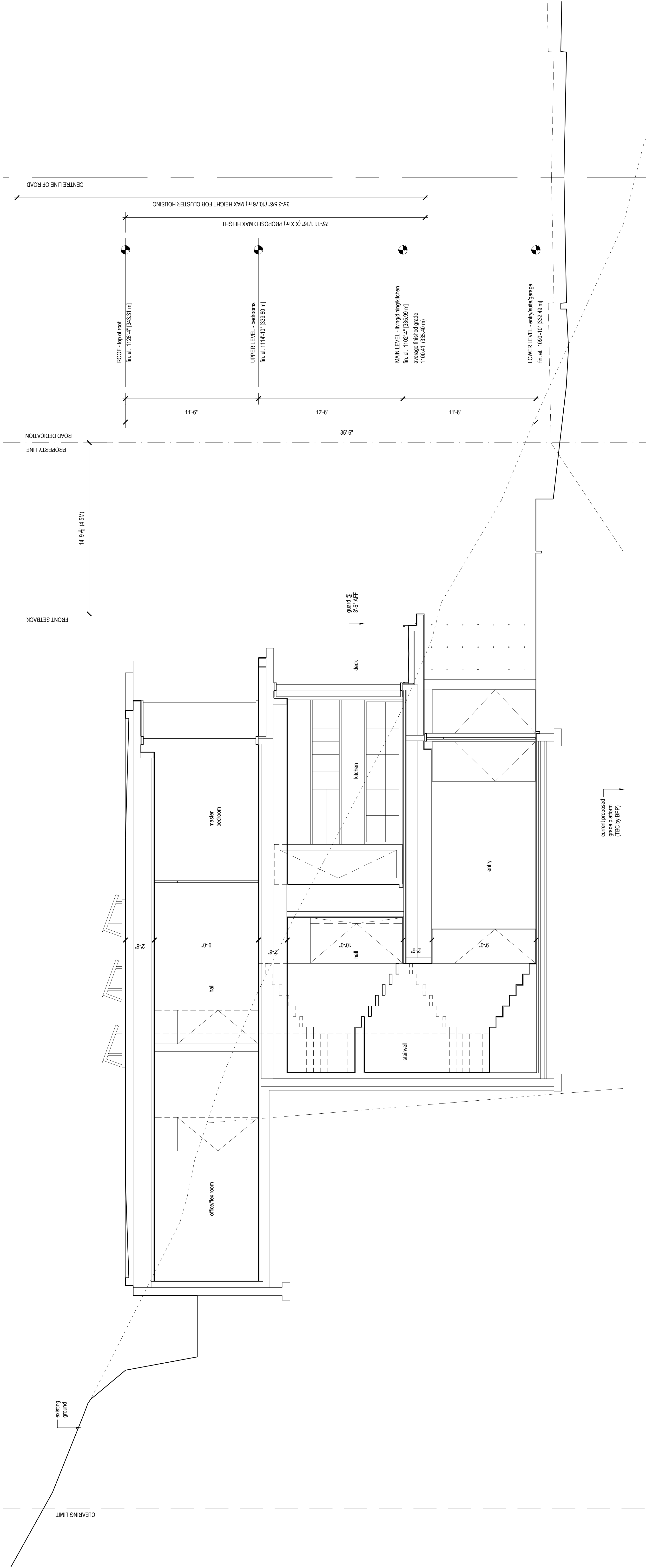
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1 SECTION AA
1/4" = 1'-0"

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Rodgers Creek
Area 6, Lot 4
West Vancouver, BC

SECTION AA
Unit 3 (Type B)

A1.4

SCALE as noted
Date: April 18, 2018



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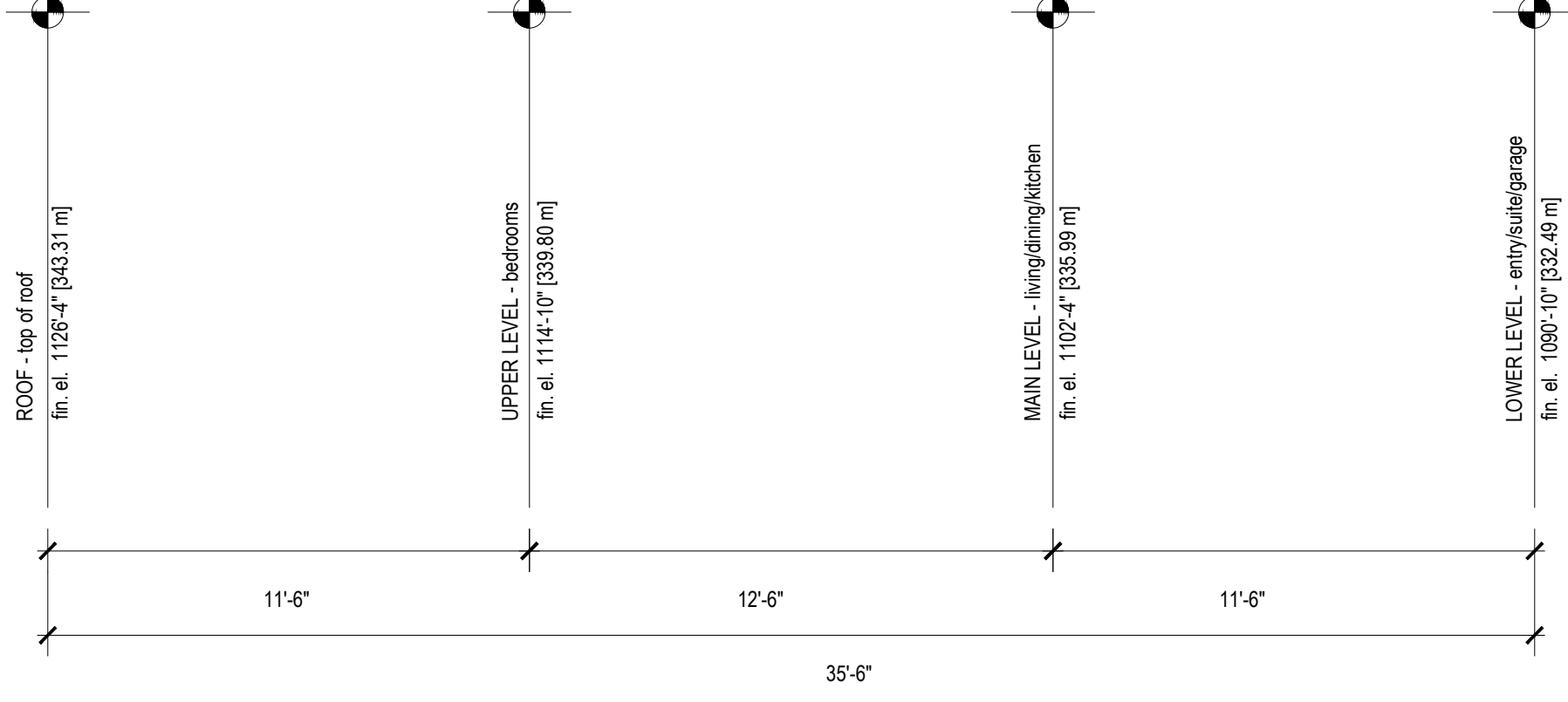
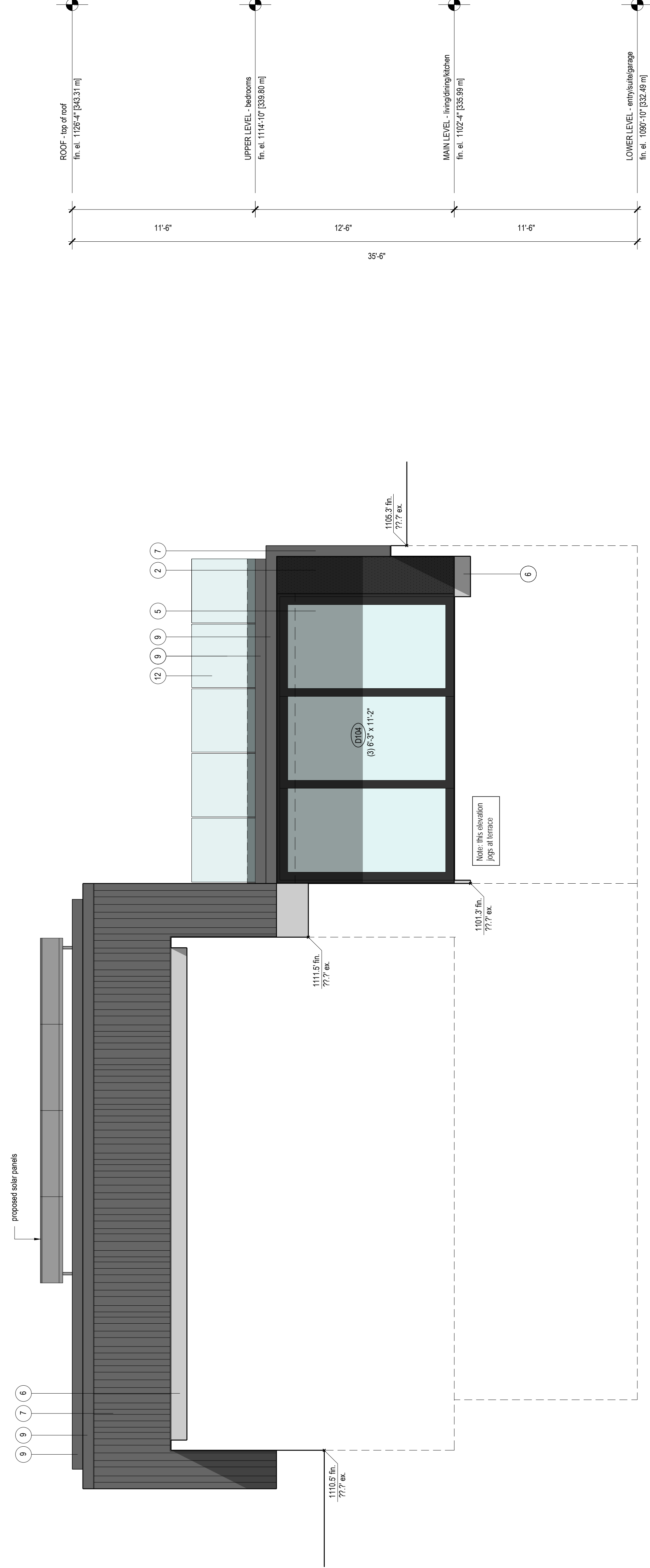
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FINISH SCHEDULE - EXTERIOR

- 1 PVC window (charcoal grey finish)
- 2 alum trim/panel to match window (finish to match windows)
- 3 custom wood front entry door (clear finish)
- 4 PVC exterior saving door with glazed lite (charcoal grey finish)
- 5 PVC exterior sliding door (charcoal grey finish)
- 6 exposed architectural concrete (light sandblasted finish)
- 7 vertical fibre cement cladding (BM - HC166 Kendall Charcoal)
- 8 stone cladding (exact spec TBD)
- 9 aluminium flashing - 24 gauge (product spec and colour to be confirmed)
- 10 non-combustible roofing
- 11 metal work - handrail, guardrail & guard supports (see details)
- 12 1/2" tempered glass guard (see details)
- 13 overhead garage door (clad in clear finished cedar siding)
- 14 garage man door (BM - HC166 Kendall Charcoal)

NOTE: all soffits to be clear red cedar 1x4 T & G micro v-groove with clear finish unless otherwise noted (confirm exact spec. with Designers)



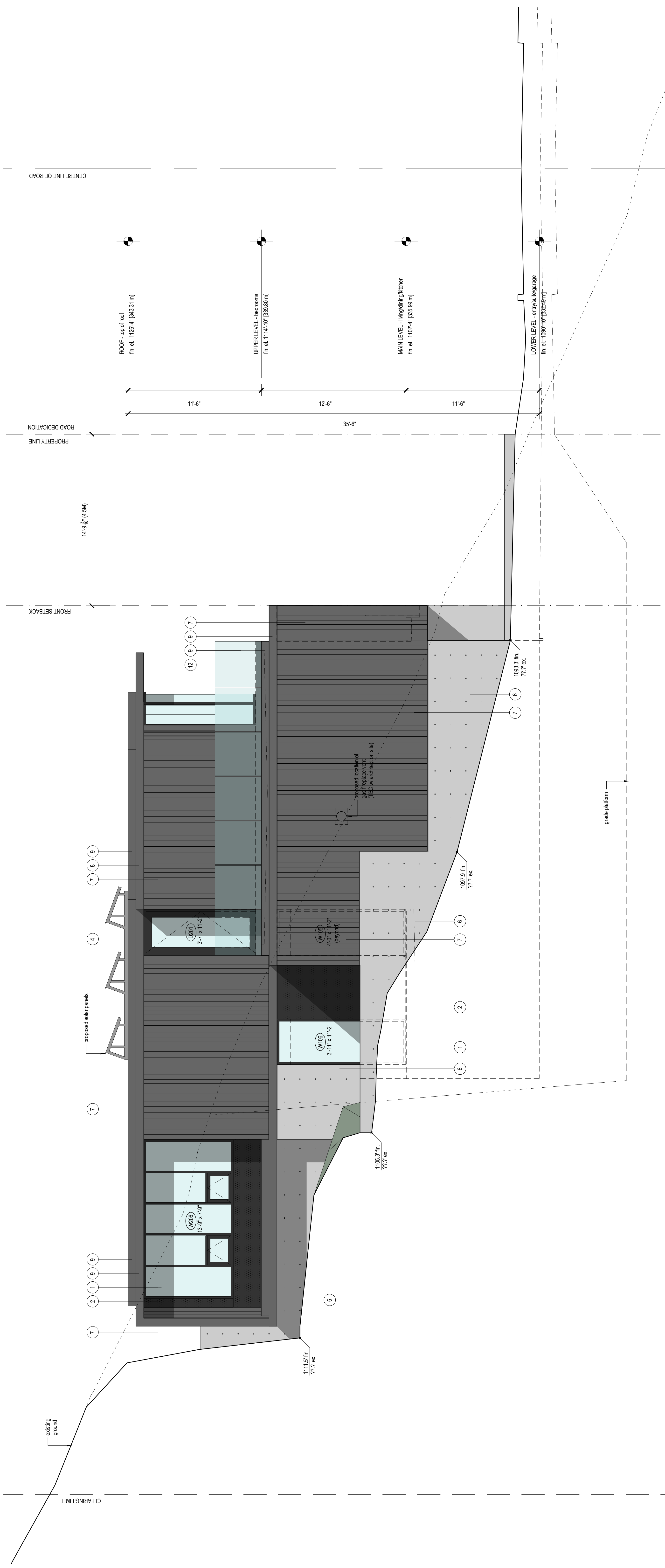
1 NORTH ELEVATION
1/4" = 1'-0"

Issued for DP
2018/04/18

Rodgers Creek
Area 6, Lot 4
West Vancouver, BC
NORTH ELEVATION
Unit 3 (Type B)
A1.5
SCALE: as noted
Date: April 18, 2018

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BRITISH PACIFIC PROPERTIES



1 WEST ELEVATION
1/4" = 1'-0"

FINISH SCHEDULE - EXTERIOR

- 1 PVC window (charcoal grey finish)
- 2 alum trim/pand to match window (finish to match windows)
- 3 custom wood front entry door (clear finish)
- 4 PVC exterior swing door with glazed lite (charcoal grey finish)
- 5 PVC exterior sliding door (charcoal grey finish)
- 6 exposed architectural concrete (light sandblasted finish)
- 7 vertical fibre cement cladding (BM - HC 168 Kendall Charcoal)
- 8 stone cladding (exact spec TBC)
- 9 aluminum flashing - 24 gauge (product spec and colour to be confirmed)
- 10 non-combustible roofing
- 11 metal work - handrail, guardrail & guard supports (see details)
- 12 1/2" tempered glass guard (see details)
- 13 overhead garage door (cited in clear finished cedar siding)
- 14 garage main door (BM - HC168 Kendall Charcoal)

NOTE: all soffits to be clear red cedar 1x4 T & G micro v-groove with clear finish unless otherwise noted (confirm exact spec. with Designer)

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2018/04/18

Rodgers Creek
Area 6, Lot 4
West Vancouver, BC

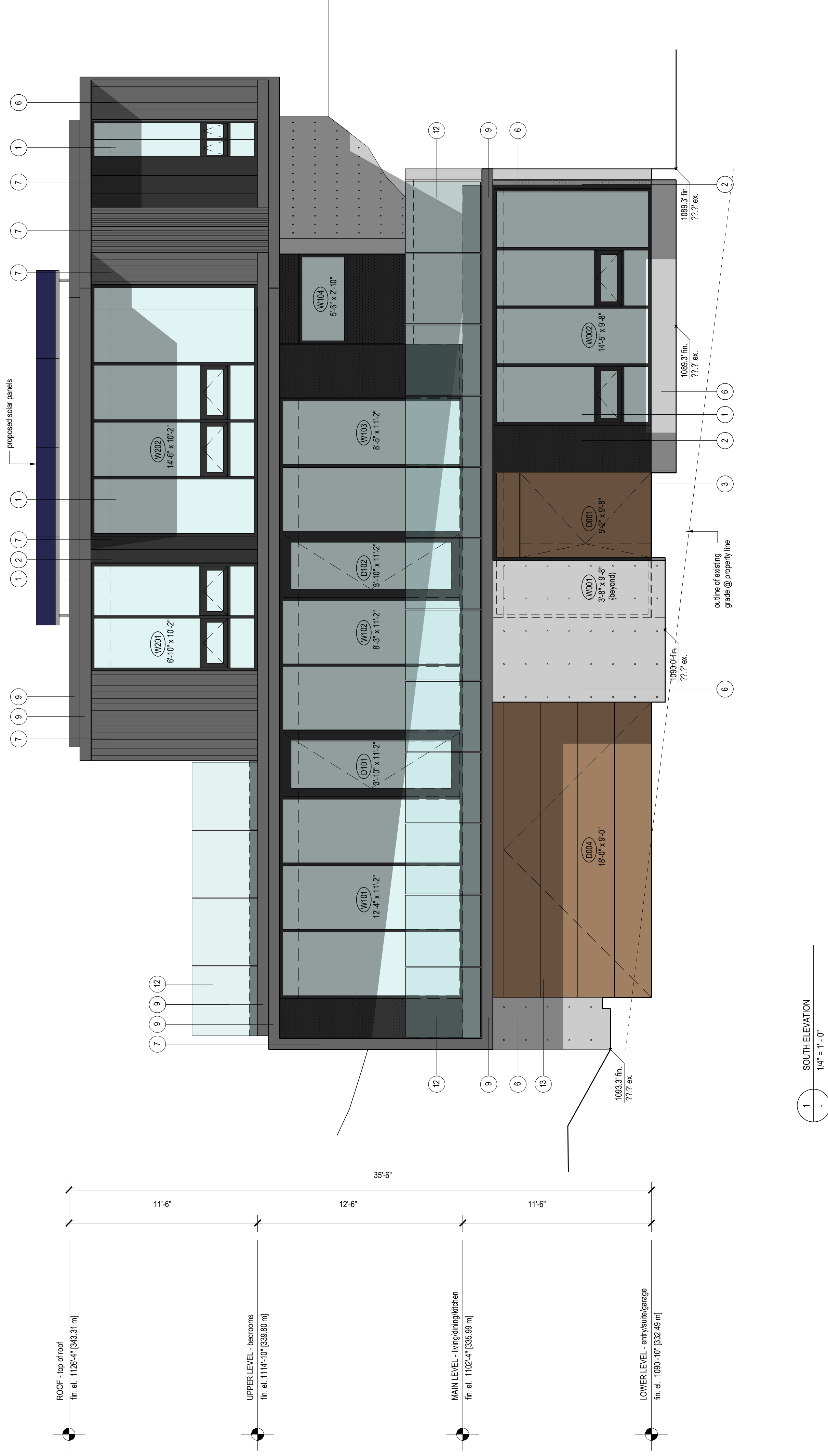
WEST ELEVATION
Unit 3 (Type B)
A1.6

SCALE: as noted
Date: April 18, 2018

FINISH SCHEDULE - EXTERIOR

- 1 PVC window (charcoal grey finish)
- 2 aluminum trim to match window (finish to match windows)
- 3 custom wood front entry door (clear finish)
- 4 PVC exterior swing door with glazed lite (charcoal grey finish)
- 5 PVC exterior sliding door (charcoal grey finish)
- 6 exposed architectural concrete (light sandblasted finish)
- 7 vertical fiber cement cladding (BM - HCl 16 Kendall Charcoal)
- 8 stone cladding (exact spec TBC)
- 9 aluminum flashing - 24 gauge (product spec and colour to be confirmed)
- 10 non-combustible roofing
- 11 metal work - handrail, guardrail & guard supports (see details)
- 12 12" tempered glass guard (see details)
- 13 overhead garage door (clad in clear finished cedar siding)
- 14 garage man door (BM - HCl 16 Kendall Charcoal)

NOTE: all soffits to be clear red cedar 1x4 T & G micro v-groove with clear finish unless otherwise noted (confirm exact spec. with Designers)



1 SOUTH ELEVATION
1/4" = 1'-0"

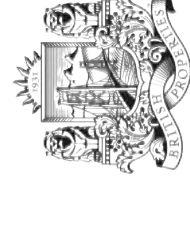
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2018/04/18

Rodgers Creek
Area 6, Lot 4
West Vancouver, BC

SOUTH ELEVATION
Unit 3 (Type B)

A1.7

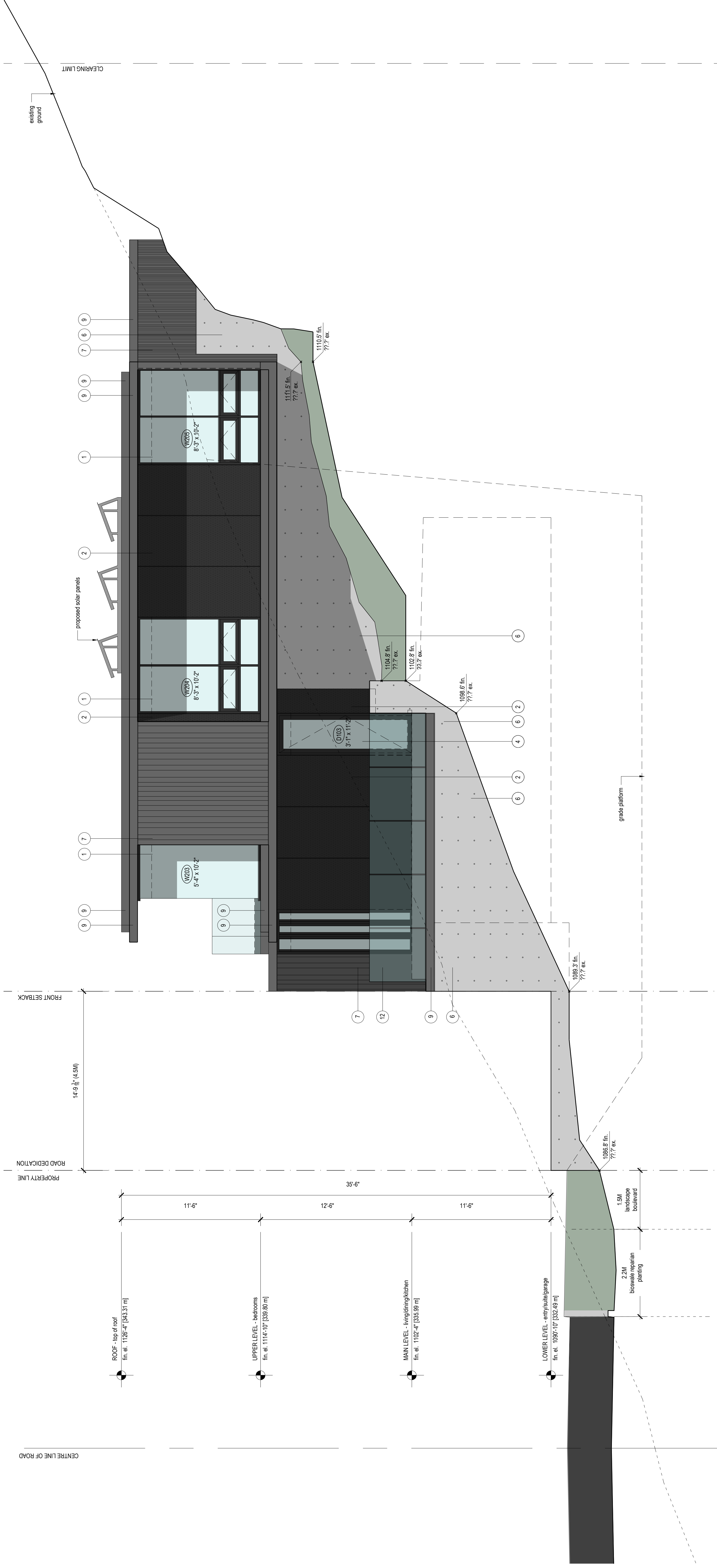
SCALE as noted
Date: April 18, 2018



BRITISH PACIFIC
PROPERTIES

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1 EAST ELEVATION
1/4" = 1'-0"

FINISH SCHEDULE - EXTERIOR

- 1 PVC window (charcoal grey finish)
- 2 aluminium trim panel to match window (finish to match windows)
- 3 custom wood front entry door (clear finish)
- 4 PVC exterior swing door with glazed lite (charcoal grey finish)
- 5 PVC exterior sliding door (charcoal grey finish)
- 6 exposed architectural concrete (light sandblasted finish)
- 7 vertical fibre cement cladding (BM - HC168 Kendall Charcoal)
- 8 stone cladding (exact spec TBC)
- 9 aluminium flashing - 24 gauge (product spec and colour to be confirmed)
- 10 non-combustible roofing
- 11 metal work - handrail, guardrail & guard supports (see details)
- 12 12" tempered glass guard (see details)
- 13 overhead garage door (clad in clear finished cedar siding)
- 14 garage main door (BM - HC168 Kendall Charcoal)

NOTE: all soffits to be clear red cedar 1x4 T & G micro v-groove with clear finish unless otherwise noted (confirm exact spec. with Designer)

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Rodgers Creek
Area 6, Lot 4
West Vancouver, BC

EAST ELEVATION
Unit 3 (Type B)
A1.8

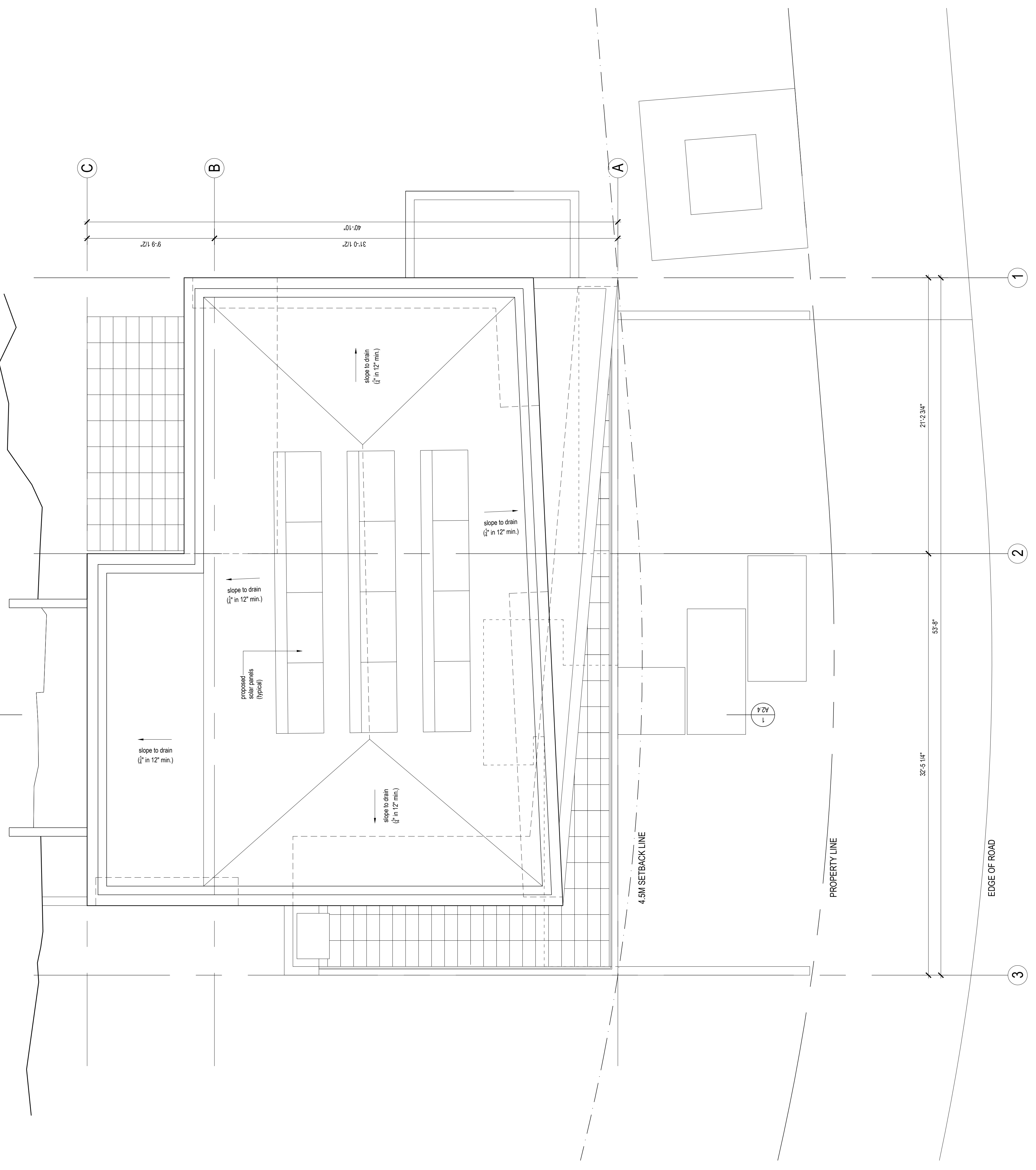
SCALE: as noted
Date: April 18, 2018

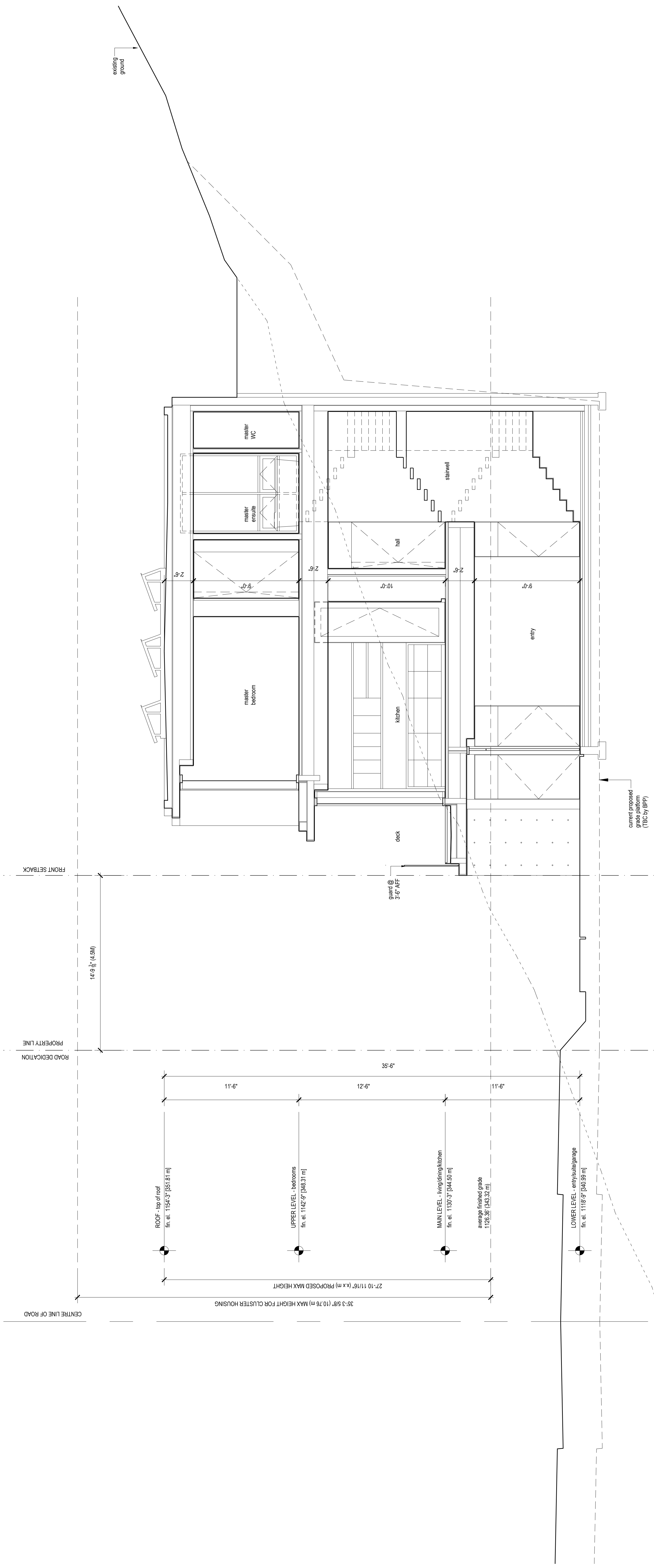


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SECTION AA
1/4" = 1'-0"

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Rodgers Creek
Area 6, Lot 4
West Vancouver, BC

SECTION AA
Unit 7 (Type A)

A2.4

SCALE as noted
Date: April 18, 2018



BRITISH PACIFIC
PROPERTIES

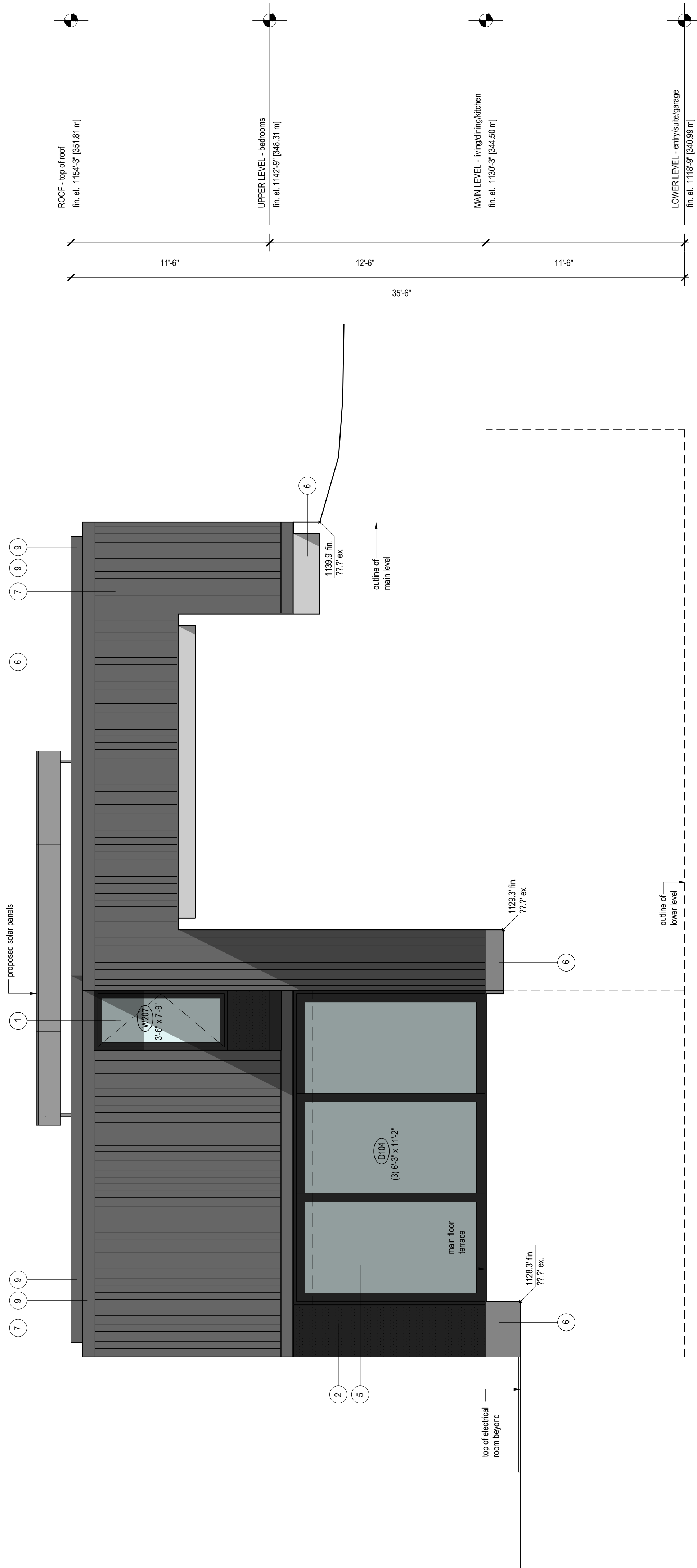
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VANCOUVER, BC V6H 2Y6 CANADA
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FINISH SCHEDULE - EXTERIOR

- 1 PVC window (charcoal grey finish)
- 2 alum trim/paint to match window (finish to match windows)
- 3 custom wood front entry door (clear finish)
- 4 PVC exterior swing door with glazed lite (charcoal grey finish)
- 5 PVC exterior sliding door (charcoal grey finish)
- 6 exposed architectural concrete (light sandblasted finish)
- 7 vertical fibre cement cladding (BM - HIC168 Kendall Charcoal) fin. el. 1154'-3" [351.81 m]
- 8 stone cladding (exact spec TBC)
- 9 aluminium flashing - 24 gauge (product spec and colour to be confirmed)
- 10 non-combustible roofing
- 11 metal work - handrail, guardrail & guard supports (see details)
- 12 1/2" tempered glass guard (see details)
- 13 overhead garage door (clear in clear finished cedar siding)
- 14 garage main door (BM - HIC168 Kendall Charcoal)

NOTE: all soffits to be clear red cedar 1x4 T & G micro v-groove with clear finish unless otherwise noted (confirm exact spec. with Designers)



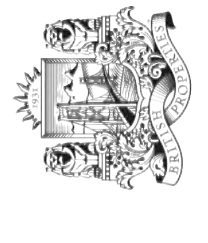
1 NORTH ELEVATION
1/4" = 1' - 0"

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Rodgers Creek
Area 6, Lot 4
West Vancouver, BC

NORTH ELEVATION
Unit 7 (Type A)
A2.5

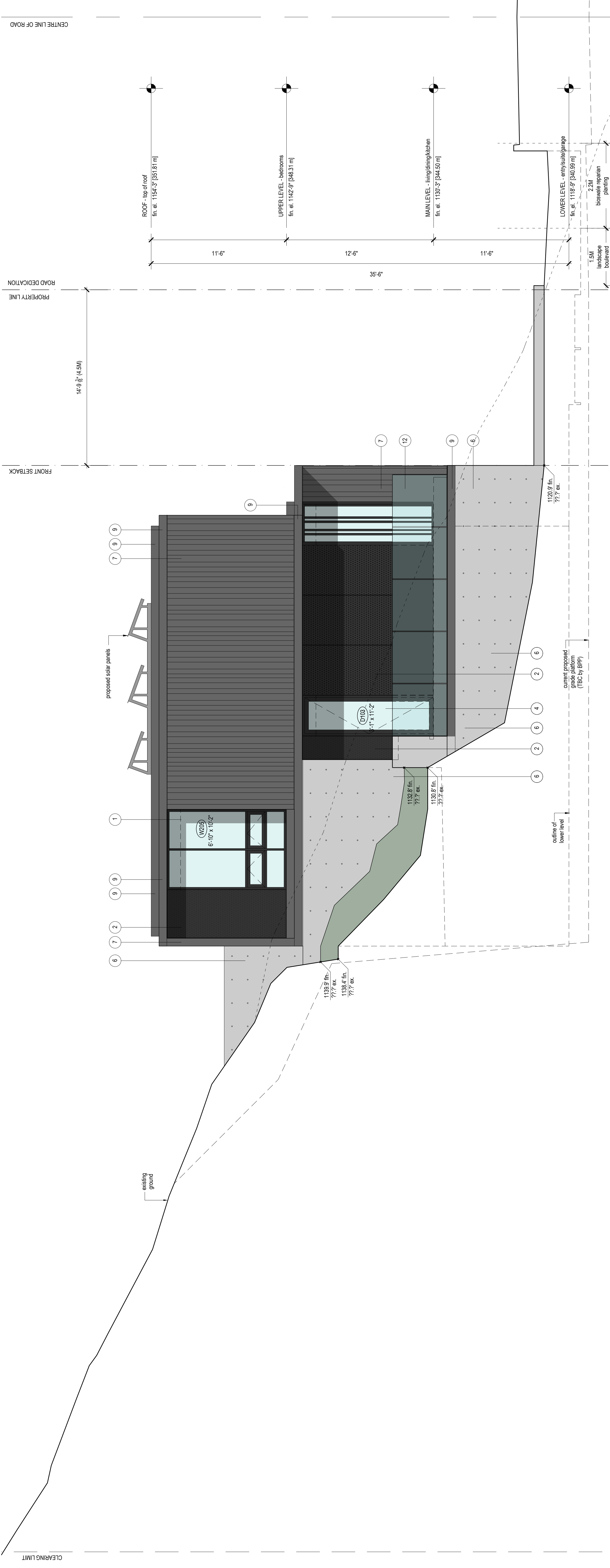
SCALE as noted
Date: April 18, 2018



BRITISH PACIFIC
PROPERTIES

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1
WEST ELEVATION
1/4" = 1' - 0"

FINISH SCHEDULE - EXTERIOR

- 1 PVC window (charcoal grey finish)
- 2 alum trim/panel to match window (finish to match windows)
- 3 custom wood front entry door (clear finish)
- 4 PVC exterior swing door with glazed lite (charcoal grey finish)
- 5 PVC exterior sliding door (charcoal grey finish)
- 6 exposed architectural concrete (light sandblasted finish)
- 7 vertical fibre cement cladding (BM - HC166 Kendall Charcoal)
- 8 stone cladding (exact spec TBC)
- 9 aluminium flashing - 24 gauge (product spec and colour to be confirmed)
- 10 non-combustible roofing
- 11 metal work, handrail, guardrail & guard supports (see details)
- 12 1/2" tempered glass guard (see details)
- 13 overhead garage door (clear in clear finished cedar siding)
- 14 garage main door (BM - HC166 Kendall Charcoal)

NOTE: all soffits to be clear red cedar 1x4 & 6" micro v-groove with clear finish unless otherwise noted (column exact spec, with brackets)



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Rodgers Creek
Area 6, Lot 4
West Vancouver, BC

WEST ELEVATION
Unit 7 (Type A)

A2.6

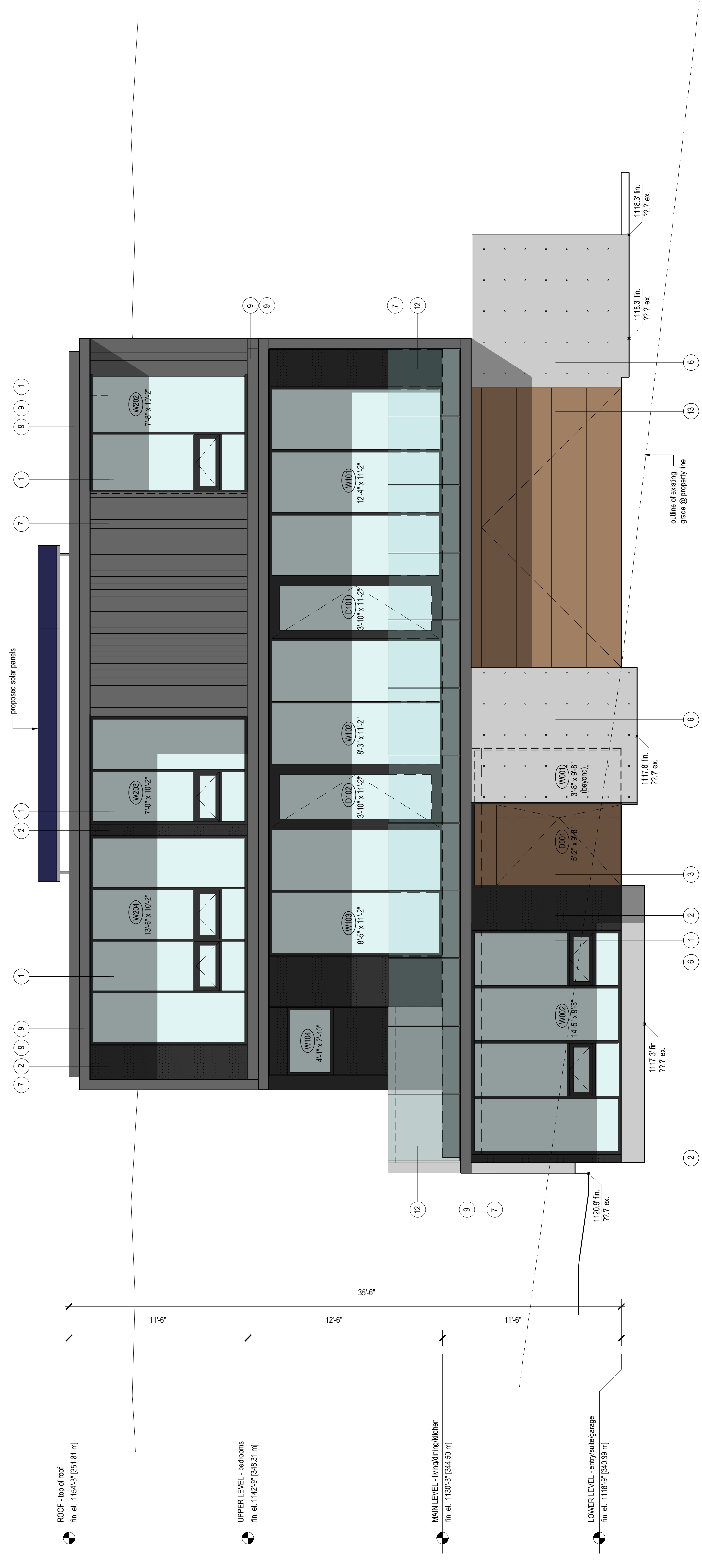
SCALE: as noted
Date: April 18, 2018

Issued for DP
2018/04/18

FINISH SCHEDULE - EXTERIOR

- 1 PVC window (charcoal grey finish)
- 2 aluminium trim panel to match window (finish to match windows)
- 3 custom wood front entry door (clear finish)
- 4 PVC exterior swing door with glazed lite (charcoal grey finish)
- 5 PVC exterior sliding door (charcoal grey finish)
- 6 exposed architectural concrete (light sandblasted finish)
- 7 vertical fibre cement cladding (BM - HC 166 Kendall Charcoal)
- 8 stone cladding (exact spec TBC)
- 9 aluminium flashing - 24 gauge (product spec and colour to be confirmed)
- 10 non-combustible roofing
- 11 metal work - handrail, guardrail & guard supports (see details)
- 12 1/2" tempered glass guard (see details)
- 13 overhead garage door (clear in clear finished cedar siding)
- 14 garage man door (BM - HC 166 Kendall Charcoal)

NOTE: all soffits to be clear red cedar 1x4 T & G micro v-groove with clear finish unless otherwise noted (confirm exact spec. with Designers)



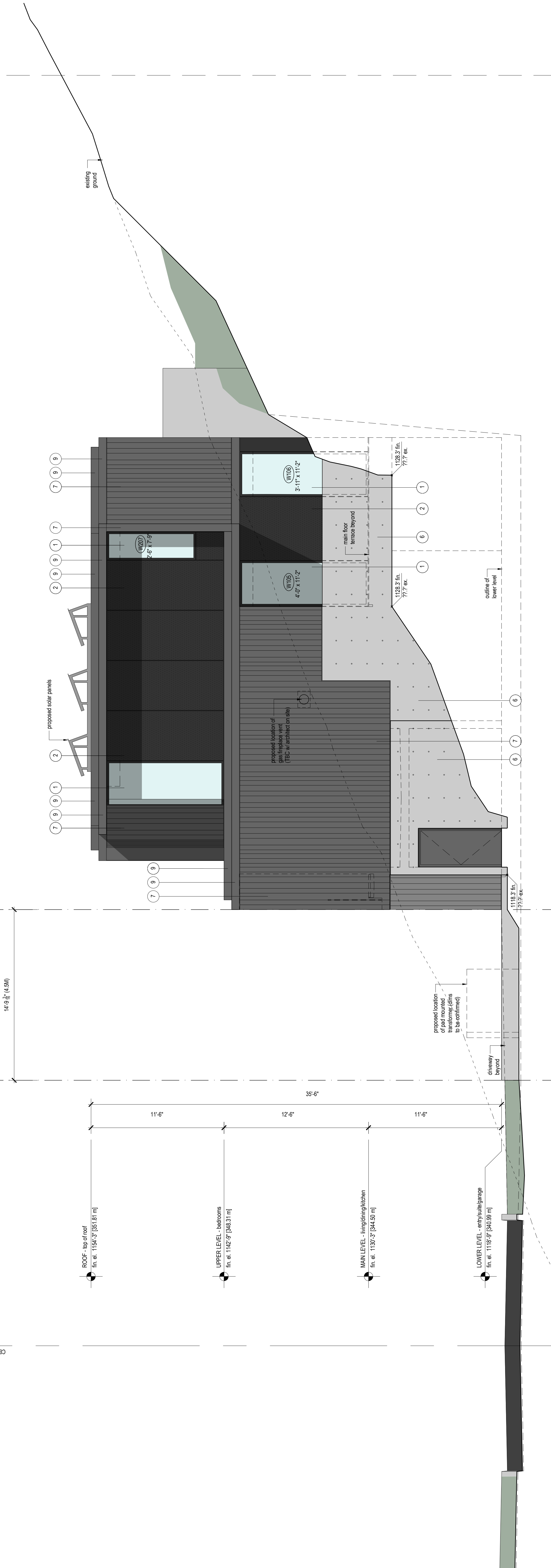
1 SOUTH ELEVATION
1/4" = 1'-0"

CENTRE LINE OF ROAD

PROPERTY LINE

FRONT SETBACK

CLEARING LIMIT



1 EAST ELEVATION
1/4" = 1'-0"

FINISH SCHEDULE - EXTERIOR

- 1 PVC window (charcoal grey finish)
- 2 alum trim/pane to match window (finish to match windows)
- 3 custom wood front entry door (clear finish)
- 4 PVC exterior swing door with glazed lite (charcoal grey finish)
- 5 PVC exterior sliding door (charcoal grey finish)
- 6 exposed architectural concrete (light sandblasted finish)
- 7 vertical fibre cement cladding (BM - HC165 Kendall Charcoal)
- 8 stone cladding (exact spec TBC)
- 9 aluminium flashing - 24 gauge (product spec and colour to be confirmed)
- 10 non-combustible roofing
- 11 metal work - handrail, guardrail & guard supports (see details)
- 12 1/2" tempered glass guard (see details)
- 13 overhead garage door (cold in clear finished cedar siding)
- 14 garage man door (BM - HC165 Kendall Charcoal)

NOTE: all soffits to be clear red cedar 1x4 & G micro v-groove with clear finish unless otherwise noted (confirm exact spec with baggym)



CLOSE UP VIEW OF UNITS 5 AND 6

Issued for DP
2018/04/18

Rodgers Creek
Area 6, Lot 4
West Vancouver, BC

RENDERINGS &
FINISH MATERIALS

A3.0

SCALE as noted
Date: April 18, 2018



BRITISH PACIFIC
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VIEW DOWNHILL FROM WESTERN END OF LOT

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2018/04/18

Rodgers Creek
Area 6, Lot 4
West Vancouver, BC

RENDERINGS &
FINISH MATERIALS

A3.1

SCALE as noted
Date: April 18, 2018



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TYPICAL VIEW SOUTH FROM MAIN LEVEL LIVING SPACE

Issued for DP
2018/04/18

Rodgers Creek
Area 6, Lot 4
West Vancouver, BC

RENDERINGS &
FINISH MATERIALS

A3.2

SCALE: as noted
Date: April 18, 2018



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TYPICAL VIEW TO NORTH TERRACE FROM MAIN LEVEL LIVING SPACE

Issued for DP
2018/04/18

Rodgers Creek
Area 6, Lot 4
West Vancouver, BC

RENDERINGS &
FINISH MATERIALS

A3.3

SCALE: as noted
Date: April 18, 2018



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FLOOR AREA RATIO (Unit Type A):

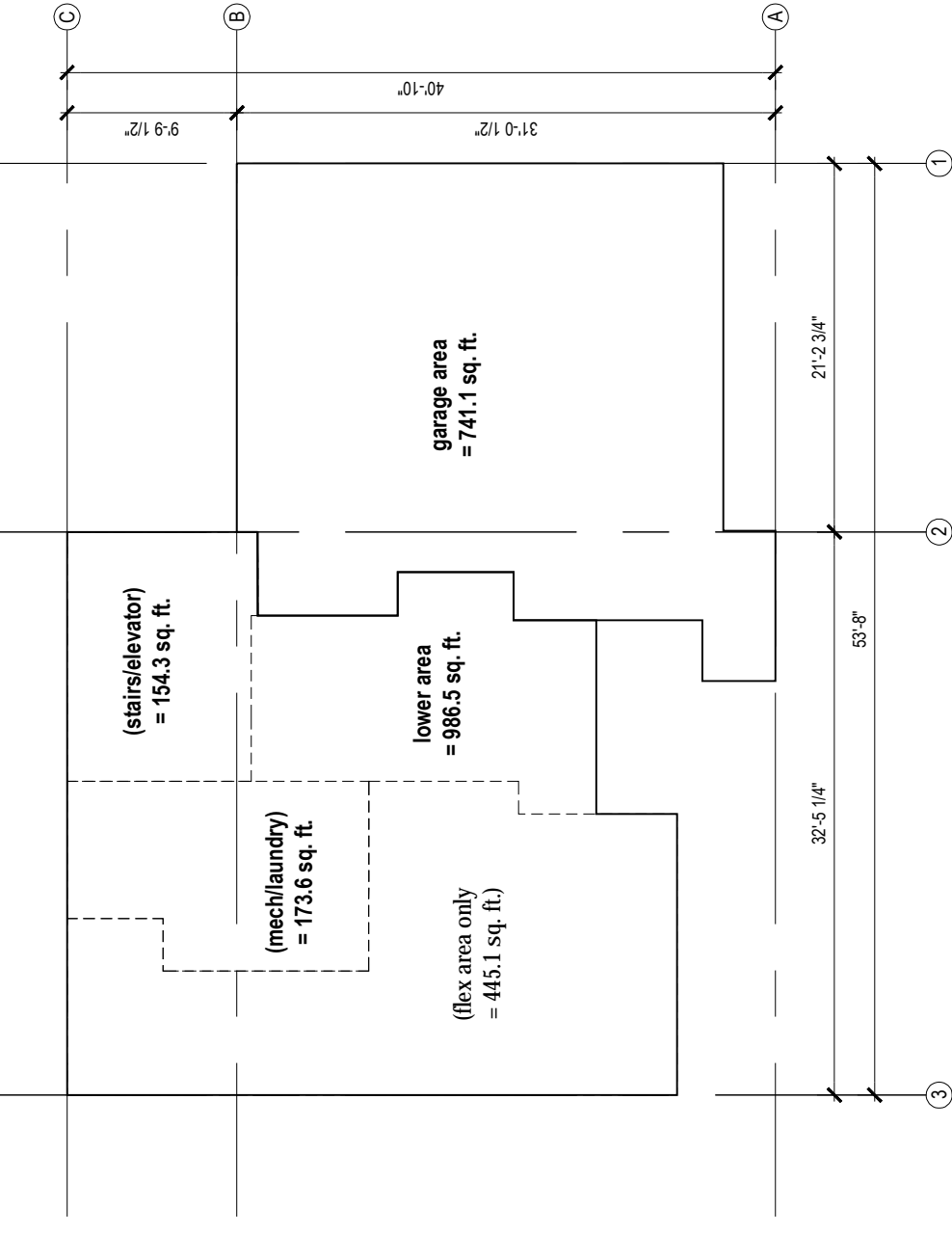
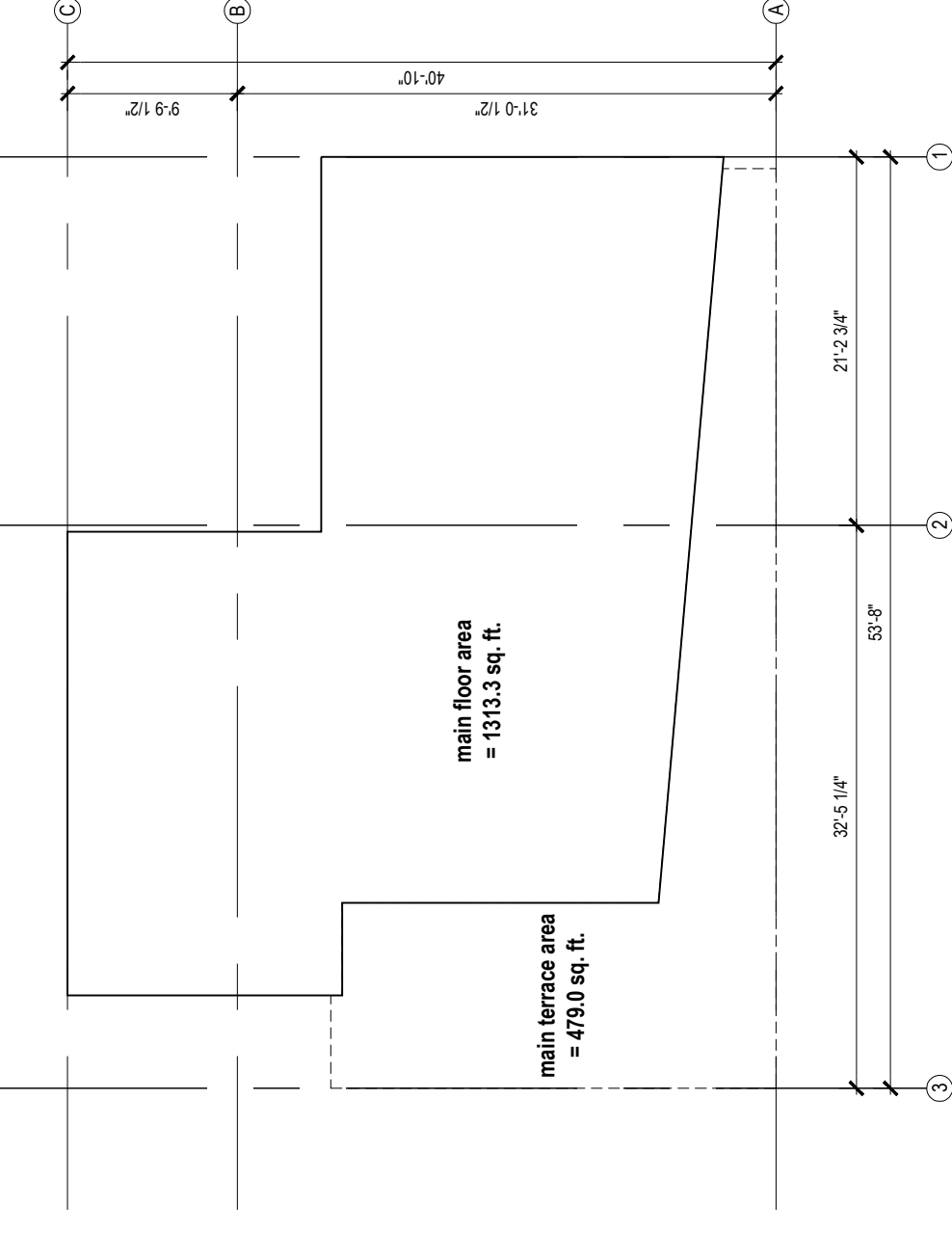
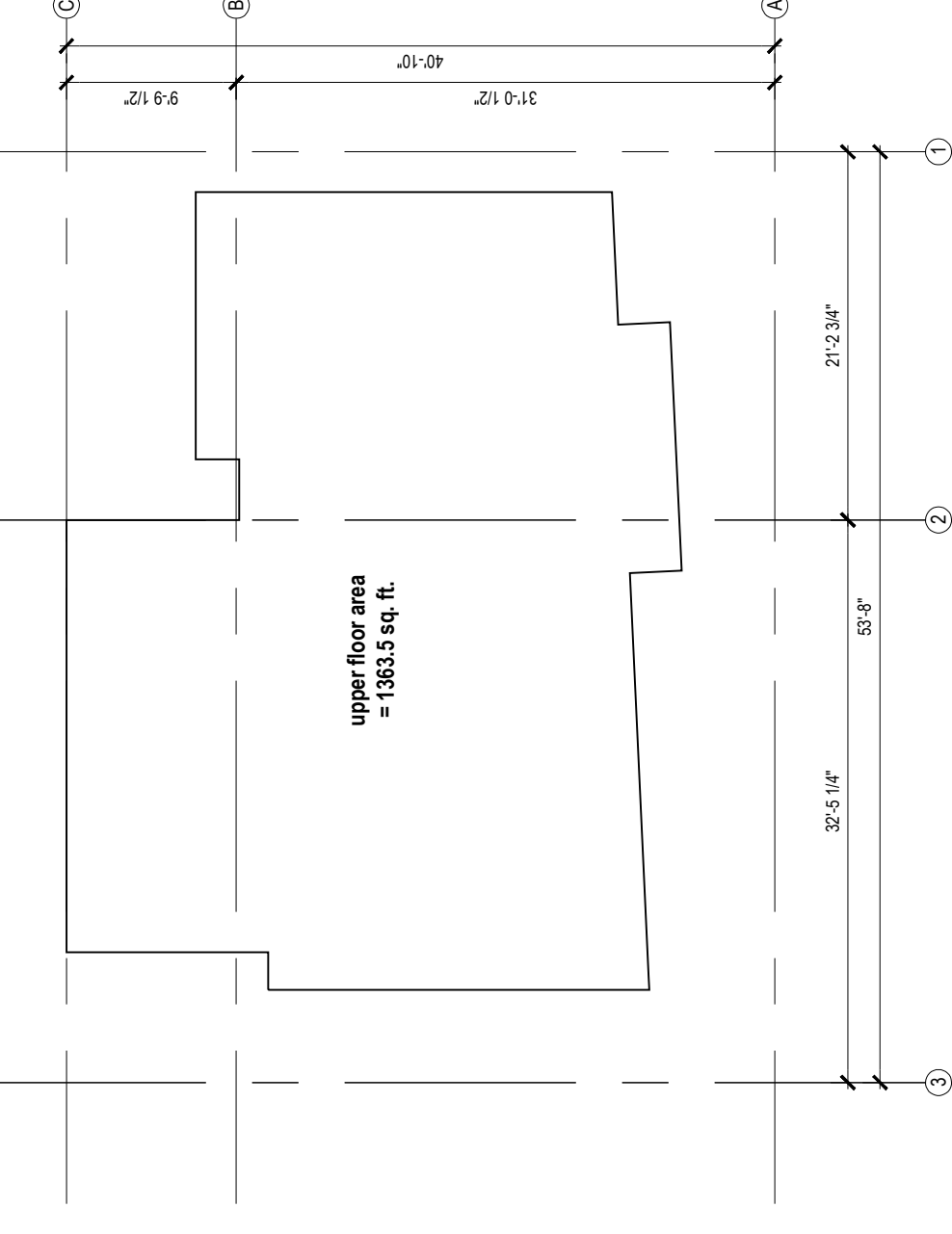
Floor Area @ Basement: proposed = 986.5 ft²
 Floor Area @ Main Level: proposed = 1313.3 ft²
 Floor Area @ Upper Level: proposed = 1363.5 ft²
TOTAL FLOOR AREA: proposed = 3863.3 ft²

Floor Area @ Garage: proposed = 741.1 ft²
TOTAL FLOOR AREA (w/ garage): proposed = 4604.4 ft²

Exclusions (per Zoning Bylaw 120.21):

Garage: 741.1 ft²
 Mechanical Room & Laundry (Bsm): 173.6 ft²
 Stairwell & Elevator (Bsm): 154.3 ft²

TOTAL FLOOR AREA (w/ exclusions): proposed = 3335.4 ft²



1 UNIT TYPE A - AREA CALCULATION
 3/32" = 1'-0"

FLOOR AREA RATIO (Unit Type B):

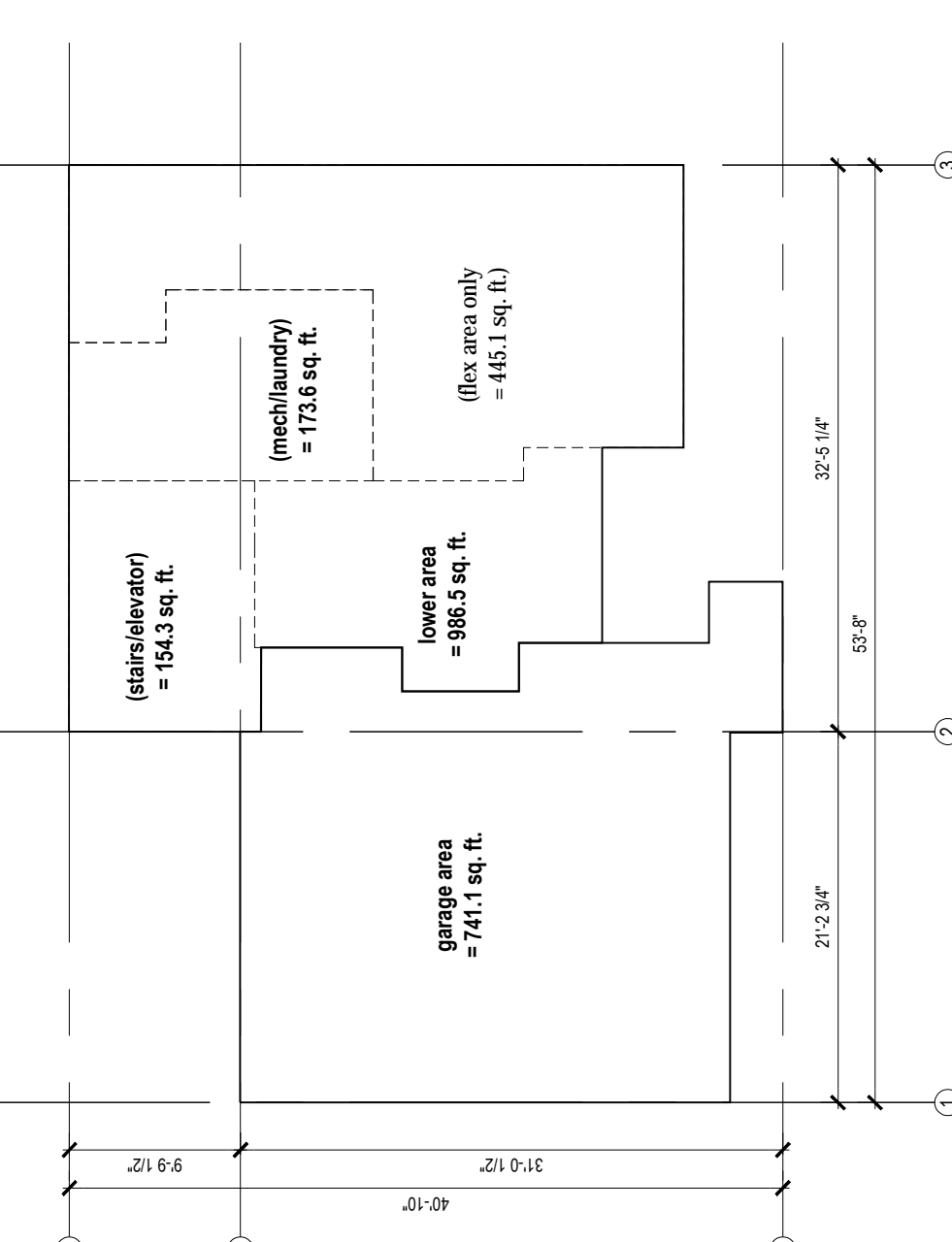
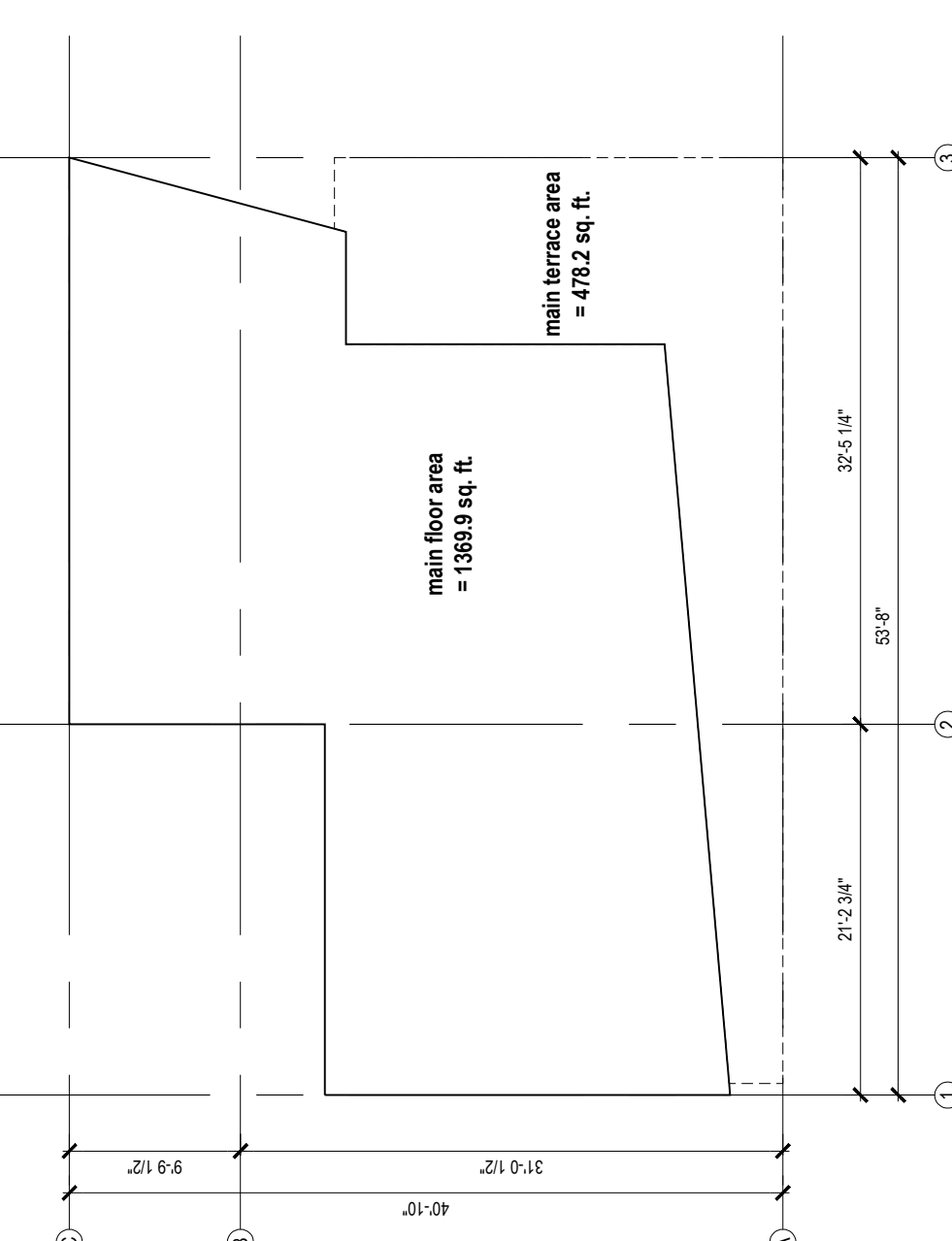
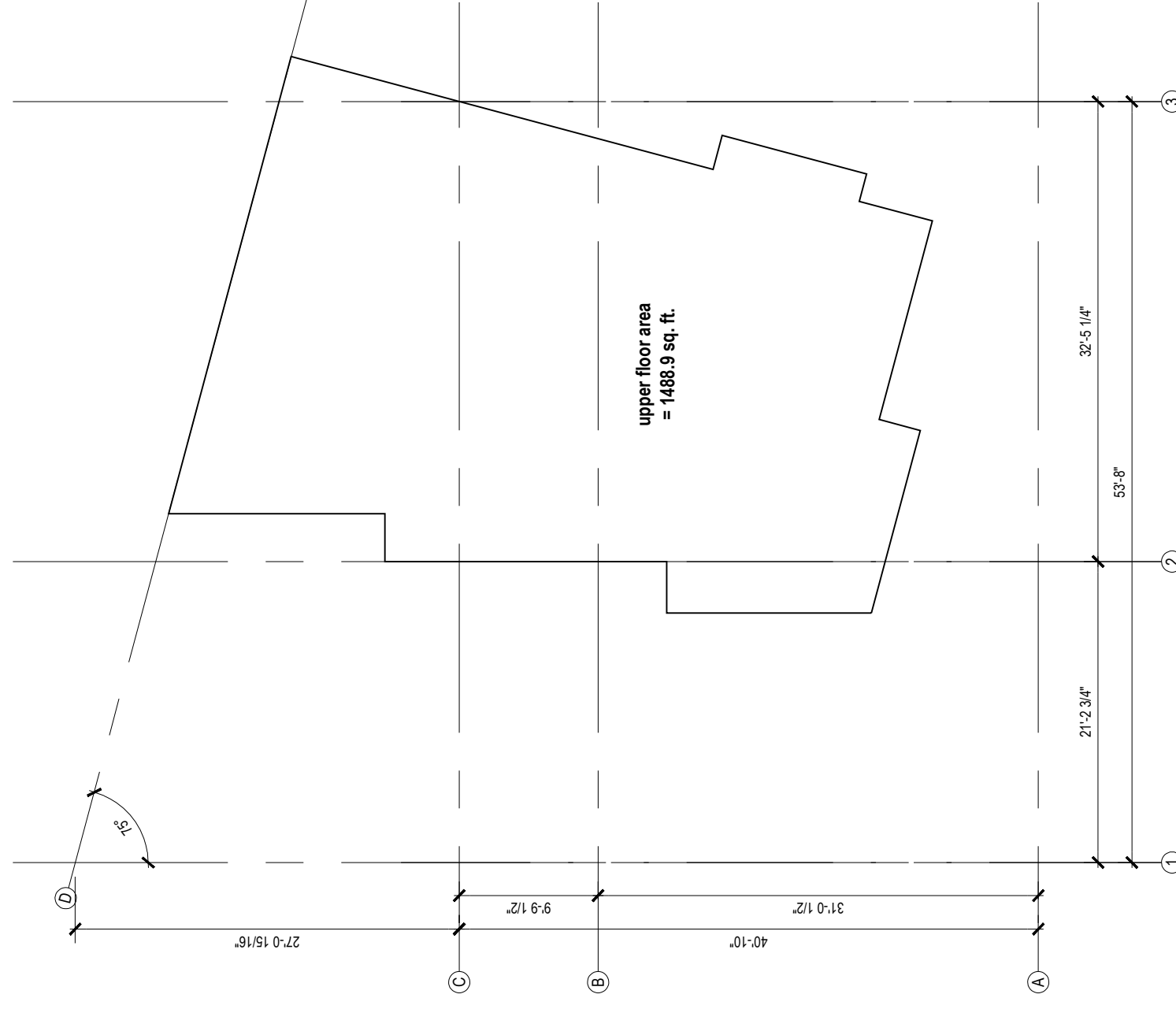
Floor Area @ Basement: proposed = 986.5 ft²
 Floor Area @ Main Level: proposed = 1389.9 ft²
 Floor Area @ Upper Level: proposed = 1488.9 ft²
TOTAL FLOOR AREA: proposed = 3865.3 ft²

Floor Area @ Garage: proposed = 741.1 ft²
TOTAL FLOOR AREA (w/ garage): proposed = 4606.4 ft²

Exclusions (per Zoning Bylaw 120.21):

Garage: 741.1 ft²
 Mechanical Room & Laundry (Bsm): 173.6 ft²
 Stairwell & Elevator (Bsm): 154.3 ft²

TOTAL FLOOR AREA (w/ exclusions): proposed = 3317.4 ft²



2 UNIT TYPE B - AREA CALCULATION
 3/32" = 1'-0"

UNIT	FLOOR AREA	EXCLUSIONS	TOTAL FLOOR AREA	TOTAL FLOOR AREA (w/ GARAGE)
1	3863.3	1077.9	4941.2	4941.2
2	3865.3	1077.9	4943.2	4943.2



BRITISH PACIFIC
 PROPERTIES

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