

DISTRICT OF WEST VANCOUVER
 750 17TH STREET, WEST VANCOUVER BC V7V 3T3

COUNCIL REPORT

Date:	November 2, 2022
From:	Erik Wilhelm, Senior Community Planner
Subject:	Proposed Zoning Amendment, OCP Amendment and Development Permit for 671, 685, 693 Clyde Avenue and 694 Duchess Avenue
File:	05.1010.20/21-185.2022

RECOMMENDATION

THAT opportunities for consultation on the proposed Official Community Plan amendment, with persons, organizations, and authorities, as outlined in the report dated November 2, 2022, be endorsed as sufficient consultation for purposes of section 475 of the *Local Government Act*.

RECOMMENDATION

THAT proposed “Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5222, 2022” be read a first time.

RECOMMENDATION

THAT proposed “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5223, 2022” be read a first time.

RECOMMENDATION

THAT proposed “Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5222, 2022” and proposed “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5223, 2022” be presented at a public hearing on January 23, 2022, at 6 p.m. in the Municipal Hall Council Chamber and via electronic communication facilities (WebEx video conferencing software), and that notice be given of the scheduled public hearing.

RECOMMENDATION

THAT proposed “Development Permit No. 21-185” be presented at a public meeting scheduled for January 23, 2022, at 6 p.m. in the Municipal Hall, to be held concurrently with the public hearing scheduled for January 23, 2022, at 6:00 p.m. in the Municipal Hall, and that notice be given of the scheduled public meeting.

1.0 Purpose

To present to Council a proposed development application to rezone 671, 685, 693 Clyde Avenue and 694 Duchess Avenue (**Appendix A**) to allow for a 201 unit market rental apartment development (See “Project Profile” – **Appendix B**) and a consequential text amendment to the Comprehensive Development Zone 30 applicable to Park Royal North. Presented as part of the development are:

- bylaws serving to amend the Official Community Plan and Zoning Bylaw; and
- a development permit to regulate the form and character of the development proposal.

2.0 Legislation/Bylaw/Policy

Provincial Legislation

The *Local Government Act* requires that a Public Hearing be held on the proposed rezoning bylaw and OCP amendment bylaw, in accordance with Sections 464 through 470.

Transportation Act

As the subject site is located within a “controlled area¹”, in compliance with Section 52 of the Transportation Act, the Ministry of Transportation and Infrastructure (MOTI) will be required to approve rezoning of the subject site to accommodate the proposal.

Official Community Plan Bylaw

Most of the subject site is within the “Clyde Avenue area east of Taylor Way” development permit area (DPA). The proposed OCP amendment aims to expand the Clyde Avenue Area East of Taylor Way DPA to include 694 Duchess Avenue (**Appendix C**).

Zoning Bylaw

The subject site, consisting of four legal lots, is “split zoned”. The northern portion of the site, 694 Duchess Avenue, is zoned RS3 (Single Family Dwelling Zone 3) and the remaining area to the south (671, 685, and 693 Clyde Avenue) is zoned CD30 (Park Royal North). The RS3 zone allows for single-family dwelling uses and the CD30 zone allows for at-grade parking and a parking ramp in that particular area of CD30. A rezoning is required to accommodate the proposal.

The proposed Comprehensive Development Zone 62 (CD62 - 671, 685, 693 Clyde Avenue and 694 Duchess Avenue) is a site-specific zone that reflects the development proposal. As an associated aspect of the

¹ Land located within a radius of 800 metres from an intersection of a MOTI controlled access highway

rezoning, the parking rate applicable to Park Royal North will be modified (**Appendix D**).

3.0 Official Community Plan and Council Strategic Objective(s)

Official Community Plan (OCP) – Development Permit Area and Taylor Way Local Area Plan

Most of the site is within the Clyde Avenue area east of Taylor Way DPA which allows for significant redevelopment of sites fronting along Clyde Avenue. The DPA aims to support a mix of uses and encourages property consolidation to create larger parcels of land. A 2.0 floor area ratio (FAR) is supported in this DPA for proposals that deliver community benefits such as rental housing.

The subject site is also located within the Taylor Way Corridor Local Area Plan (LAP) Boundary² (**Appendix A**). The OCP directs the creation of a local area plan for the Taylor Way Corridor to create additional housing capacity of approximately 500-600 new housing units. The public consultation and planning process for Taylor Way Corridor has not yet been initiated.

Prior to the adoption of a LAP, the development proposed can be reviewed in compliance with the Clyde Avenue area east of Taylor Way DPA guidelines, which allows for increased density for developments with a community benefit (such as rental housing), and in conjunction with OCP Policy 2.1.15 that allows for consideration of rezoning proposals within a LAP boundary by:

- a. Applying relevant District-wide policies contained in this plan and any existing area specific policies and guidelines; and
- b. Requiring the proposal's contribution to rental, non-market or supportive housing, or its advancement of low-carbon construction, or its ability to forward the public interest or provide other community benefits as determined by Council.

The OCP also includes Policy 2.1.17 that supports securing new purpose-built market and non-market rental, seniors and supportive housing units in appropriate locations close to transit and amenities by:

- a. Incentivizing new rental units through bonus density, increased height, and available zoning tools;
- b. Considering cash-in-lieu contributions to the District's Affordable Housing Fund when preferable for meeting the District's housing objectives;
- c. Considering financial incentives for non-market rental units (e.g., the reduction of development fees or charges, tax incentives);

² The final boundaries of the Taylor Way Local Area Plan will be considered and confirmed through the subsequent Taylor Way local area planning process.

- d. Reducing off-street parking requirements; and
- e. Securing market and non-market rental housing units in perpetuity through Housing Agreements and available zoning tools.

2021 – 2022 Council Strategic Goals and Objectives

Applicable strategic goals and objectives:

- Goal 1.0: Significantly expand the diversity and supply of housing, including housing that is more affordable.
 - Objective 1.1: Approve an average of 250 net new housing units each year, including accessible housing, of which approximately 100 are market or non-market rental, approximately 75 are infill or missing middle (such as coach houses, multiplexes, and townhouses), and approximately 75 are strata apartment or mixed-use.

4.0 Financial Implications

4.1 Community Amenity Contribution

New developments are to deliver community amenities related to the impacts of new development. The value of the amenity is proportional to the increased potential of land use in comparison with existing zoning and land uses onsite. District policy defines a range of appropriate amenities, including housing affordability and diversity, childcare and cultural facilities, heritage preservation, public art, and public space, parks and the environment.

Consistent with District policy and through a negotiated approach, the applicant offers a voluntary community amenity contribution (CAC) of \$4,000,000 in cash. District staff consulted with a third-party financial consultant (at the cost of the developer) to determine the voluntary CAC. Staff recommend acceptance of the CAC that would flow into the District's amenity reserve account(s) to contribute to future amenity projects as determined by Council.

4.2 Infrastructure Upgrades

Redevelopment of the site will require in-ground servicing infrastructure upgrades and a new sidewalk along Clyde Avenue. As the Taylor Way corridor is under the jurisdiction of the MOTI, the final boulevard design will be subsequently ratified as part of the development process at the expense of the developer. All required servicing upgrades and public realm improvements would be paid for by the applicant and secured through a development covenant.

The developer would also be required to provide Development Cost Charges at the building permit stage.

5.0 Background

5.1 Previous Decisions

Council considered the preliminary development proposal on October 4, 2021 and resolved to allow the development to proceed with public consultation prior to the adoption of the Taylor Way Local Area Plan.

Analysis

5.2 Discussion

Site Context

The site, with an approximate area of 4,056 m² (43,659 sq. ft.), is located on the east side of Taylor Way. The site is situated on the south edge of the Taylor Way LAP boundary just north of the Marine Drive LAP boundary (**Appendix A**). The “L-shaped” site is comprised of three lots fronting Clyde Avenue, as well as a single lot fronting Duchess Avenue. The current development permit area, along Clyde Avenue, supports redevelopment of the site provided that developments include a defined community benefit such as rental housing. The site is vacant and has not been developed with the southern portion currently serving as an ancillary parking lot for Park Royal North commercial uses. The north edge of the site is characterized by an embankment with mature vegetation (Figure 1).

Existing land uses adjacent to the site include are listed below and seen in Figure 1:

- **East:** a 5-storey seniors housing complex
- **South:** a 6-level parking structure (across Clyde Avenue);
- **West:** Park Royal North
- **North:** and Northeast: 2-storey single family residential housing



Figure 1 – Aerial view of Clyde Avenue area east of Taylor Way

The site includes a private easement on the southwest portion of the site to allow for Park Royal North’s exit ramp.

As indicated in Figure 1, Clyde Avenue provides vehicular access to several multi-family developments and senior housing complexes east of Taylor Way. The 89-unit “Executive Parc” development, approved on December 15, 2021, at the corner of Taylor Way and Marine Drive will be provided vehicular access from the 6th Avenue cul-de-sac which is accessed via Clyde Avenue.

Proposal

The applicant³ proposes to rezone the site to allow for a 201 unit market rental apartment building proposal within a six-storey format (Figure 2). The architectural and landscape package form part of **Appendix E** which includes numerous images, perspectives, and extensive design rationale.



Figure 2 – Rendering of proposal (looking northward from Clyde Avenue)

The proposal aims to deliver needed rental housing for the community. The architecture is consistent with applicable development permit area guidelines and with the emerging built form in the Park Royal area. The proposal includes smaller “micro-unit” rental apartments which will be more affordable for potential tenants.

The development proposal will require rezoning the site to a site-specific Comprehensive Development Zone 62 (CD62 - **Appendix D**). The CD62 introduces “rental only” zoning by limiting residential tenure to rental only which negates the need for a housing agreement. Upon completion, the applicant plans to own and operate the rental building.

³ Larco Investments Ltd. which owns Park Royal

The proposed development includes:

- 201 residential apartment units (100% market rental units);
 - 79% “Micro-units” (350 sq. ft.);
 - 8% Studio Units (362 to 378 sq. ft.); and
 - 13% Adaptable Units (466 to 497 sq. ft.).
- An approximate FAR of 2.04⁴;
- 8,271.24 m² (89,031 sq. ft.) of floor area;
- Approximate 36% site coverage;
- 21.6 m (71 ft.) maximum height;
- 6 storeys maximum with rooftop amenity area;
- 1 level of underground parking (accessed from the southeast corner of the development including 50 parking stalls in total (40 for residents and 10 for visitors⁵);
- 283 secure bicycle storage stalls (in the underground parking area);
- 20 transitory bicycle storage stalls (at grade near the front entrance);
- Expansive rooftop deck, front plaza, and ground level outdoor areas;
- Large community outdoor area with small trail network with naturalized landscaping on the northwest portion of the site; and
- 2,700 sq. ft. of indoor amenity areas (including exercise gym, social space and lounge areas on the upper floors).

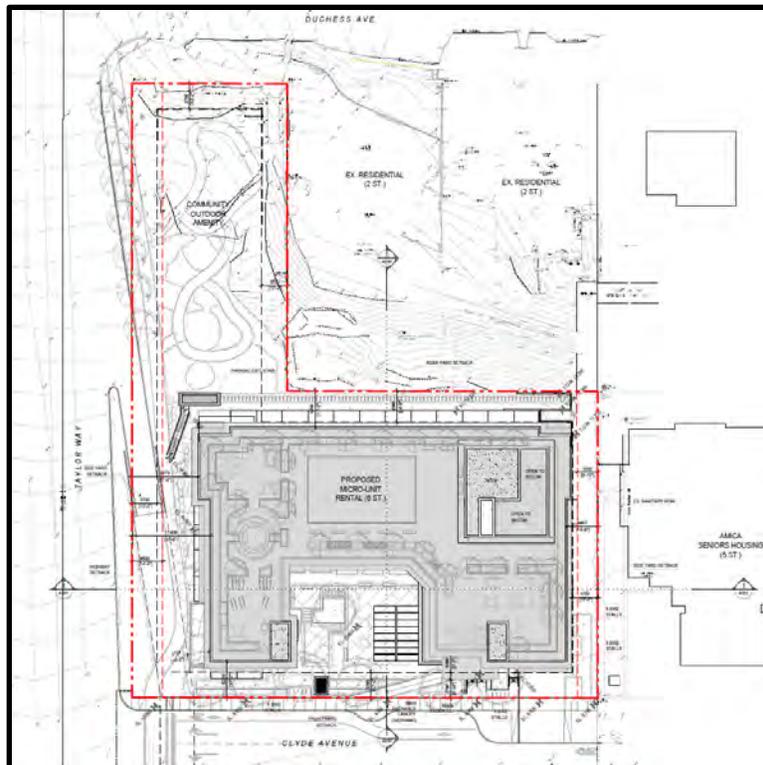


Figure 3 – General Site Plan

⁴ The 2.04 FAR is spread over the entire site

⁵ Each residential parking stall and at least 4 visitor stalls will include a 240-volt Electrical Vehicle (EV) charging capacity

The general siting, proposed boulevard improvements and on-site landscaping can be seen in Figure 3. The “Community Outdoor Amenity” (seen on the northwest portion of the site) is slated to be accessible to the public through registration of a statutory right-of-way (SROW) which will be secured through the development process. The ongoing maintenance of the area would be the responsibility of the building owner/operator⁶.

Unit Size and Configuration

The typical configuration of a “micro-unit” can be seen in Figure 4 and can be summarized as follows:

- The smaller units will provide relative affordability for residents;
- Flexible space provides for all the necessities of living, dining, sleeping, relaxing and entertaining;
- In-suite laundry is provided with a combination washer & dryer for each unit;
- Efficient interior design in the kitchens and bathrooms;
- Energy efficient appliances coupled with a high-performance building to reduce energy consumption; and
- The shared amenity areas are designed to complement the efficient suite layouts with over 2,000 sq. ft. of indoor amenity area, as well as the expansive rooftop outdoor amenity garden.

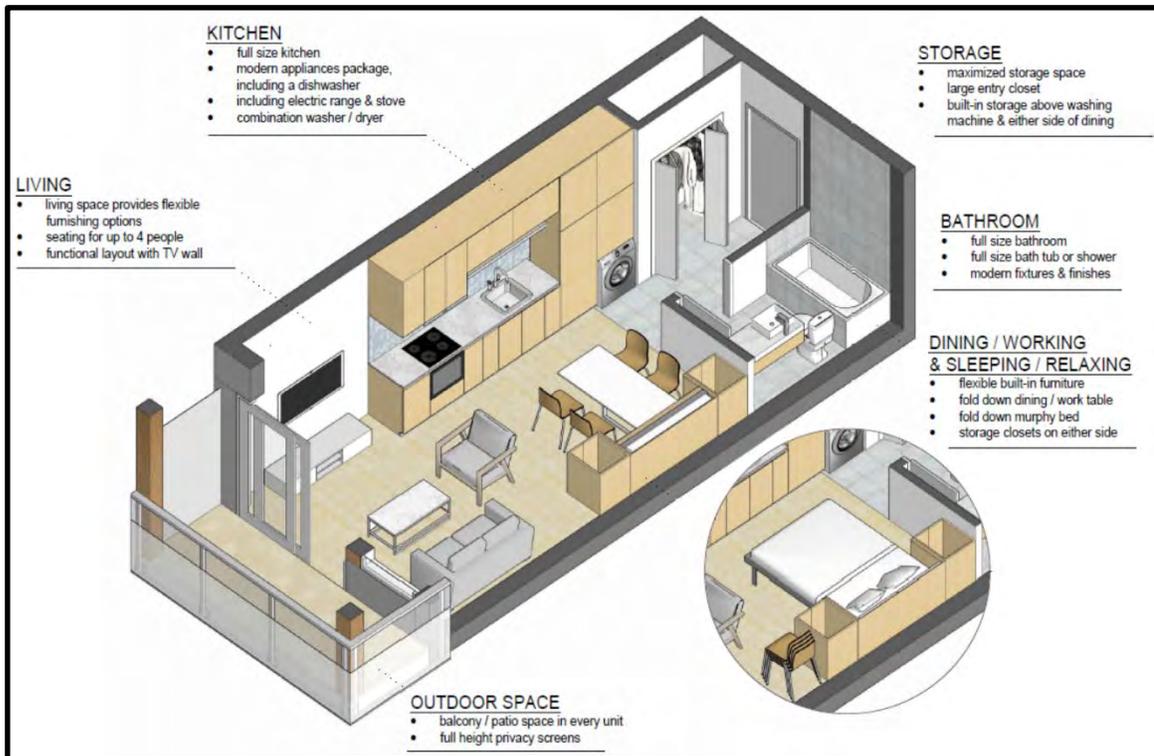


Figure 4 – Rendering of typical micro-unit

⁶ As the proposed CD62 zoning only allows for rental residential tenure, the building may not be stratified and is to remain under one owner.

Accessibility

The development proposal was reviewed and supported by the North Shore Advisory Committee on Disability Issues (ACDI) on March 24, 2022. A total of 27 units (which represents 13% of the units) in this development are designed to meet the Level 2 Adaptability Standard and those units are slightly larger than the typical “micro-unit” to allow for more manoeuvrability⁷. The typical layout of an accessible unit with enhancement features is seen in **Appendix F**.

Design Review Committee

The development proposal was reviewed by the Design Review Committee (DRC) on February 10, 2022. At that meeting, the DRC resolved to require resubmission of the proposal to address several design concerns. The proposal was subsequently considered by the DRC on April 12, 2022. The DRC supported the revised proposal subject to further design development with staff on specified items. The applicant provided further information and improvements to the development to address DRC comments and staff are satisfied with the responses. Final specific design improvements included:

- Provision of an expansive covered outdoor kitchen area on the roof top deck and ground-level covered gazebo which offers protection from the elements.
- Extending the overhang at the front entrance to provide more protection from the elements and pronouncement of the entrance area.
- Improvements incorporated under the northbound on-ramp to contribute to the public realm.
- A 1' high and 6" deep metal break-shape profile was added on the front elevation to create a strong horizontal transition line between the brick and the cementitious panel above.
- The DRC recommended an increased amount of glass in the two primary stair towers facing Clyde Avenue. Subsequently, the amount of glass remained unchanged as increasing the amount of glazing would create a hotter, south facing space requiring extraneous mechanical ventilation. Without ‘overpowering’ the design, the current glazed stairwells offer a balanced design with attractive lantern-like elements that will provide an ambient glow at night, with ample daylight and views out during the day (Figures 5 and 6).

⁷ Adaptable units will range from 466 sq. ft. to 497 sq. ft.



Figure 5 – Rendering of proposal (indicating landscape improvements, elevator glazing, entrance improvements and metal band between brick and cementitious paneling)



Figure 6 – Rendering of building (with rooftop deck shown prominently)

OCP Amendment

The southern portion of the site (671, 685, and 693 Clyde Avenue) is located within the OCP’s “Clyde Avenue Area East of Taylor Way” development permit area. An OCP amendment (**Appendix C**) is proposed to expand the Clyde Avenue East of Taylor Way Development Permit Area to include 694 Duchess Avenue (Figure 7). The same development permit area form and character guidelines will be applicable, yet with a slightly amended boundary.

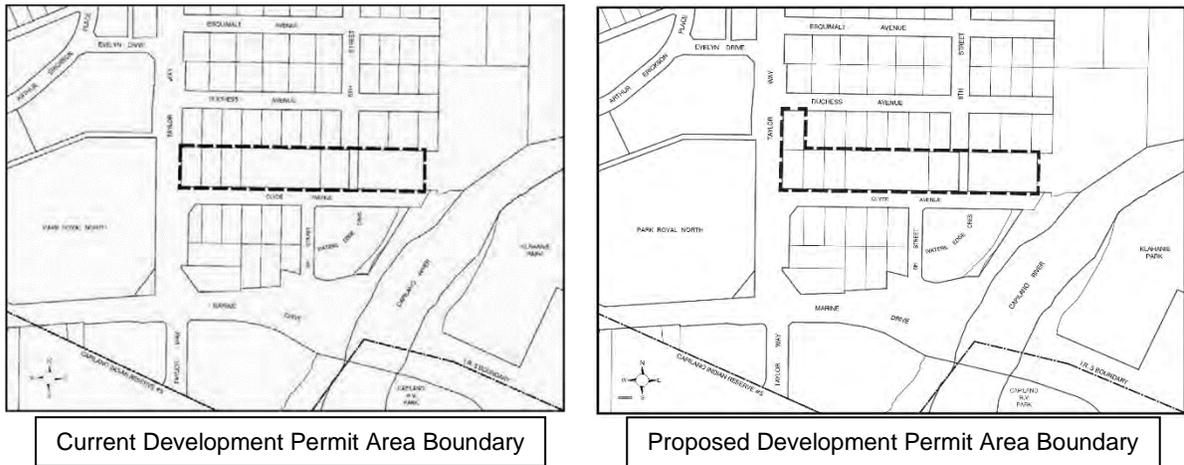


Figure 7 – Proposed mapping change (OCP amendment)

Development Permit

Staff have reviewed the proposal against the “Clyde Avenue Area East of Taylor Way Development Permit Area” form and character guidelines and support the development as outlined within proposed Development Permit 21-185 (**Appendix E**). The following provides an overview of primary policy directions within the guidelines and how the directions are met within the proposal:

- **Policy BF-D 2** states, “Allow for rezoning in the Clyde Avenue area east of Taylor Way to allow for a mix of uses including residential, mixed commercial residential buildings with street oriented commercial uses at grade, commercial office buildings, hotels and specialized residential facilities.”

The development includes rental housing with smaller/affordable “micro-units”. It should be noted that a commercial retail analysis was completed by the applicant which deemed that this site is not suitable for ground level commercial activities.

- **Policy BF-D 3** states, “Provide incentives for development to encourage property consolidation to create larger parcels of land with better opportunities for design and for improvements to the public street areas, and to encourage uses that would have defined community benefit.
 - Allow for a density of development with a Floor Area Ratio (FAR) of up to 1.75 on properties of 20,000 sq. ft. or greater, and 1.0 on smaller properties.
 - A density bonus of up to 0.25 FAR may be considered for proposals that provide seniors’ care services, rental accommodations, public parkland, community use facilities (for example, child or adult daycare) or assisted and congregate care housing, subject to the registration of specific restrictions on title that will ensure retention of such use over the long term.”

The development of this larger site includes smaller/affordable “micro-unit” rental accommodations and public parkland⁸ which are both community benefits and the development is within the FAR parameters for larger sites⁹.

- **Policy BF-D 4** states, “Encourage the highest quality of design in redevelopment of the Clyde Avenue area east of Taylor Way which reflects the mix of uses, the need for a landscaped setting adjacent to the Capilano River and to address the proximity of regional through traffic and major shopping area.”

The development includes significant landscaping throughout with a high-quality design and includes a coordinated boulevard design along Clyde Avenue that will complete and complement existing development to the east. The development also includes limited parking which reduces car dependency near a major shopping area and recurrent regional traffic congestion.

Transportation and Parking

The applicant provided a Traffic Impact Assessment (TIA). As outlined in the next two sections, the assessment report provides a review of the traffic access and parking supply for the proposed 201 unit “market” rental development. In summary, staff have reviewed the TIA and are satisfied with the findings and support the proposed parking ratio and transportation improvements that would be delivered with the development.

Projected Traffic Generation

The proposed development, as outlined in the TIA, is anticipated to generate approximately 52 vehicle trips (combined inbound and outbound) during the weekday morning peak hour, 48 vehicle trips during the weekday afternoon peak hour, and 42 trips during the Saturday afternoon peak hour traffic period (or, on average, less than one vehicle per minute added to the area road system). The TIA concludes that The Taylor Way at Keith Road and the Taylor Way at Clyde Avenue intersections presently operate within capacity and the added trips by the proposed development are estimated to account for 0.6% of the total traffic at Taylor Way and Marine Drive during the weekday afternoon peak traffic period. Staff have reviewed and accept the findings of the TIA.

Development Site Parking

The development proposal includes 40 parking spaces available for residents and 10 visitor stalls within one level of underground parking. The proposed parking equates to 0.25 parking stalls per unit (including visitor stalls) which entails less than 1 stall per 4 units. The proposed parking supply rate is lower than the minimum supply requirement currently within

⁸ The public will be permitted to use the outdoor amenity area through registration of a SROW.

⁹ The extra 0.04 FAR proposed (above the 2.0 FAR permitted within the guidelines) is permitted through “high performance buildings” regulations within the zoning bylaw.

the West Vancouver Zoning Bylaw for residential apartment land use which is intentional as a measure to attract future residents who are less reliant on private vehicle ownership than with conventional residential housing.

The TIA estimates car ownership will be considerably lower than typical apartment buildings within West Vancouver. The projected lower vehicle ownership and use was determined by reviewing the proposed housing type (rental), size of units, accessible location, available transit, bike storage and relies on data from other lower mainland town centres. Accordingly, the TIA determined the optimal number of resident and visitor stalls for the development.

The applicant will provide a 'post occupancy parking analysis report' to allow the District to better understand the development's use of the underground parkade and measure potential impact on street parking.

Road Dedication and Northbound Overhead Onramp

The final road specification along the Taylor Way corridor will require approval of the MOTI. As a condition of the rezoning, the applicant will dedicate 4.5 m (9.17 ft.) of road to the District of West Vancouver along Taylor Way to ensure sufficient space for potential vehicle lane realignment, bike, and pedestrian improvements.

Furthermore, as the northbound overhead onramp servicing Park Royal North onto Taylor Way may not be needed in the future¹⁰, the applicant has agreed to modify the terms of the existing easement agreement affecting the site to allow the 'onramp lands' to be transferred to the District of West Vancouver if the onramp is no longer needed in the future. This would allow future flexibility for potential road improvements along Taylor Way.

The planned improvements for Clyde Avenue include dedicated westbound turning lanes (allowing for dedicated lanes to turn either north or south onto Taylor Way), a bike lane on the north side of Clyde Avenue and a vehicle pullout for drop-offs in front of the primary entrance of the apartment building.

Parking Rate Modification for Park Royal North (CD30)

The southern portion of the development site is currently within "Area 3" of the CD30 zone which, in part, regulates land use and parking for Park Royal North (Figure 8). The proposed zoning amendment would remove the development site from the CD30 which will affect the required parking rate for Park Royal North.

¹⁰ Depending on future vehicle circulation requirements for Park Royal

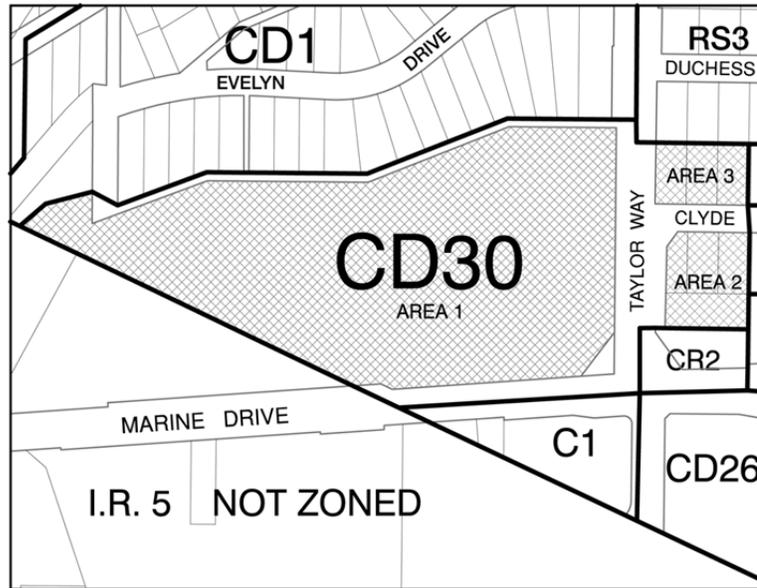


Figure 8 – Excerpt of CD30

Actual available for Park Royal North is indicated in Figure 9 on the next page. Upon detailed review of the CD30, the parking stalls located within I.R. No. 5. cannot be used within CD30 parking calculation (as those lands are not within the CD30 or within the jurisdiction of the District). Accordingly, to update the parking regulations for Park Royal North, the proposed zoning amendment is slated to update the CD30 parking requirement rate from 5 parking spaces per 92.9 m² of gross floor area (excluding pedestrian mall areas) to 3.6 parking spaces per 92.9 m² of gross floor area.

The revised parking rate works out to a minimum of 1 parking space for every 25.8 m² of gross floor area. As a direct comparison, the Ambleside commercial areas currently require a minimum of 1 parking space for every 37 m² of gross floor area.

In effect, Park Royal North still has 1,749 available parking stalls¹¹ and the development proposal is not taking away any useable parking from Park Royal North given that the current development site has never been used for day-to-day parking for Park Royal North. Furthermore, the modified parking rate ensures the correct parking ratio is included with the zoning for the site which effectively limits the allowable floor area of Park Royal North. Any subsequent increase in proposed floor area for Park Royal North would necessitate a zoning amendment and further consideration by Council.

¹¹ Actual number of stalls available to Park Royal North Mall (in Area 1 & 2 within CD30 and I.R.5)
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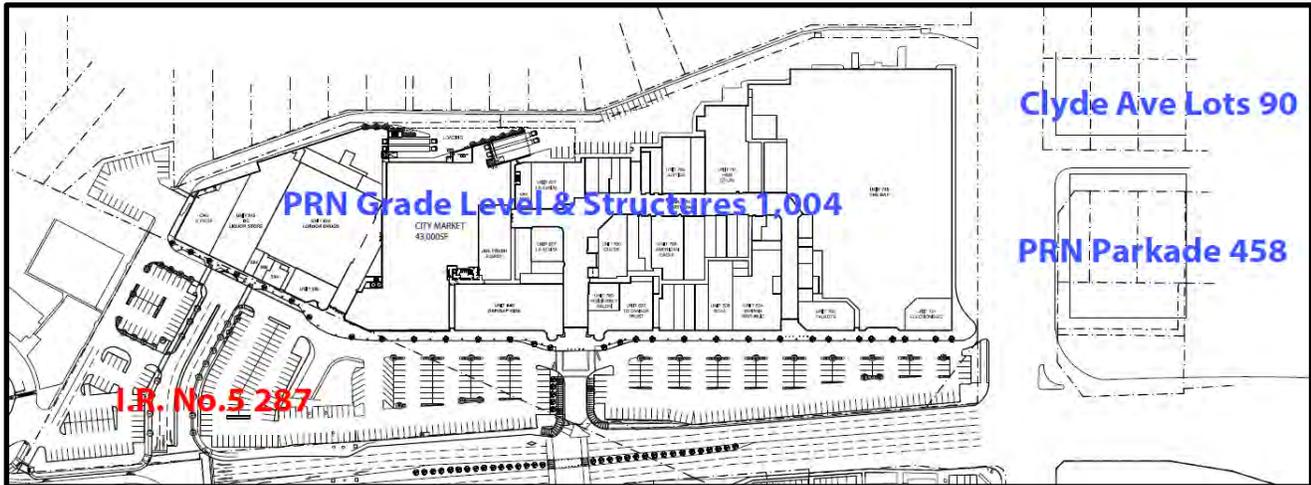


Figure 9 – Actual Available Parking Map for Park Royal North

Sustainability

New development proposals within the District of West Vancouver deliver high-performance buildings, in compliance with the BC Energy Step Code required by the Building Bylaw. All rezoning applications are expected to be compliant with “Sustainable Buildings Policy” that states “*New buildings should comply with the Low-carbon Energy System pathway and should meet the step higher of the BC Energy Step code than is otherwise required by Building Bylaw No. 4400, 2004.*” Accordingly, the development will be required to attain Step 3 and utilize a low-carbon energy system.

All residential parking spaces, and at least 4 visitor stalls, will be required to comply with the zoning bylaw to include EV charging and secure bicycle storage is proposed within the parkade.

The proposal, with smaller and therefore more affordable units, will be available to people who work within West Vancouver contributing to sustainability goals by allowing employees to live and work within West Vancouver. In addition, the smaller housing type may also aid with older tenants wishing to downsize.

5.3 Public Engagement and Outreach

Public Information Meetings

Prior to submission of the formal application, and in compliance with District public engagement requirements, the applicant completed an in-person Preliminary Public Information Meeting on November 24, 2021, prior to formal submission. A summary of the meeting is provided in **Appendix G**.

Should the proposal advance, the applicant will be required to advertise and conduct a second information meeting prior to the public hearing.

Signage

Should the proposal advance, the applicant will be required to install a

development information sign with particulars about the second public information meeting and public hearing.

Public Hearing and Notification

A public hearing must be held to consider the proposed bylaws. The recommendation herein projects the public hearing to be held on December 12, 2022. Notice of the public hearing and consideration of the development permit will be given in accordance with District procedures.

Website

In alignment with current practise, a description of the proposal, applicable dates and architectural drawings have been placed on the District website. The website will be updated should the proposal advance.

5.4 Conditions Precedent to Adoption

Prior to adoption of the bylaws and approval of the development permit, the following requirements must be met:

- Payment of the community amenity contribution;
- Registration of a requisite development covenant¹²; and
- Approval of Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5223, 2022 by MOTI.

6.0 Options

6.1 Recommended Option

Council give first reading to the proposed bylaws and set a date for a public hearing and a concurrent public meeting.

6.2 Considered Options

- a) give first reading to the proposed bylaws and set an alternative date (to be specified) for a public hearing and concurrent public meeting; or
- b) defer consideration of the proposal pending the receipt of additional information (to be specified) to assist in the consideration of the application; or
- c) reject the application.

7.0 Conclusion

Staff assessment of this application has concluded that the proposal is appropriate and supportable based on relevant OCP policy. Specifically, the proposal is generally consistent with the Clyde Avenue Area East of Taylor Way Development Permit Area and meets the intent of OCP policy 2.1.15, which allows for consideration of this market rental proposal prior

¹² The development covenant will ensure dedication of roadway (along Taylor Way), secure public realm improvements and provision of a development servicing agreement that would secure payment/construction of all required upgrades that would be determined through technical review at the building permit stage.

to adoption of the Taylor Way Local Area Plan. The OCP also includes Policy 2.1.17 that supports securing new purpose-built rental market housing units (among other housing types) in appropriate locations close to transit and amenities.

As well, as a primary aspect of sustainability, good land use planning principles include allowing for higher density development in locations that have convenient access to established public transit, amenities, services, and recreational opportunities. Accordingly, the site's central location will contribute to reduced car dependency, encourage transit use, walking and cycling to nearby shops and services. Overall, the proposed rezoning will facilitate development recognized as a more sustainable and efficient land use within the OCP and not unduly affect traffic and parking in the area. Staff recommends that the proposed bylaws be given first reading and a date for a public hearing and concurrent public meeting for DP21-185 be scheduled.

Author: 

Erik Wilhelm, Senior Community Planner

Concur: 

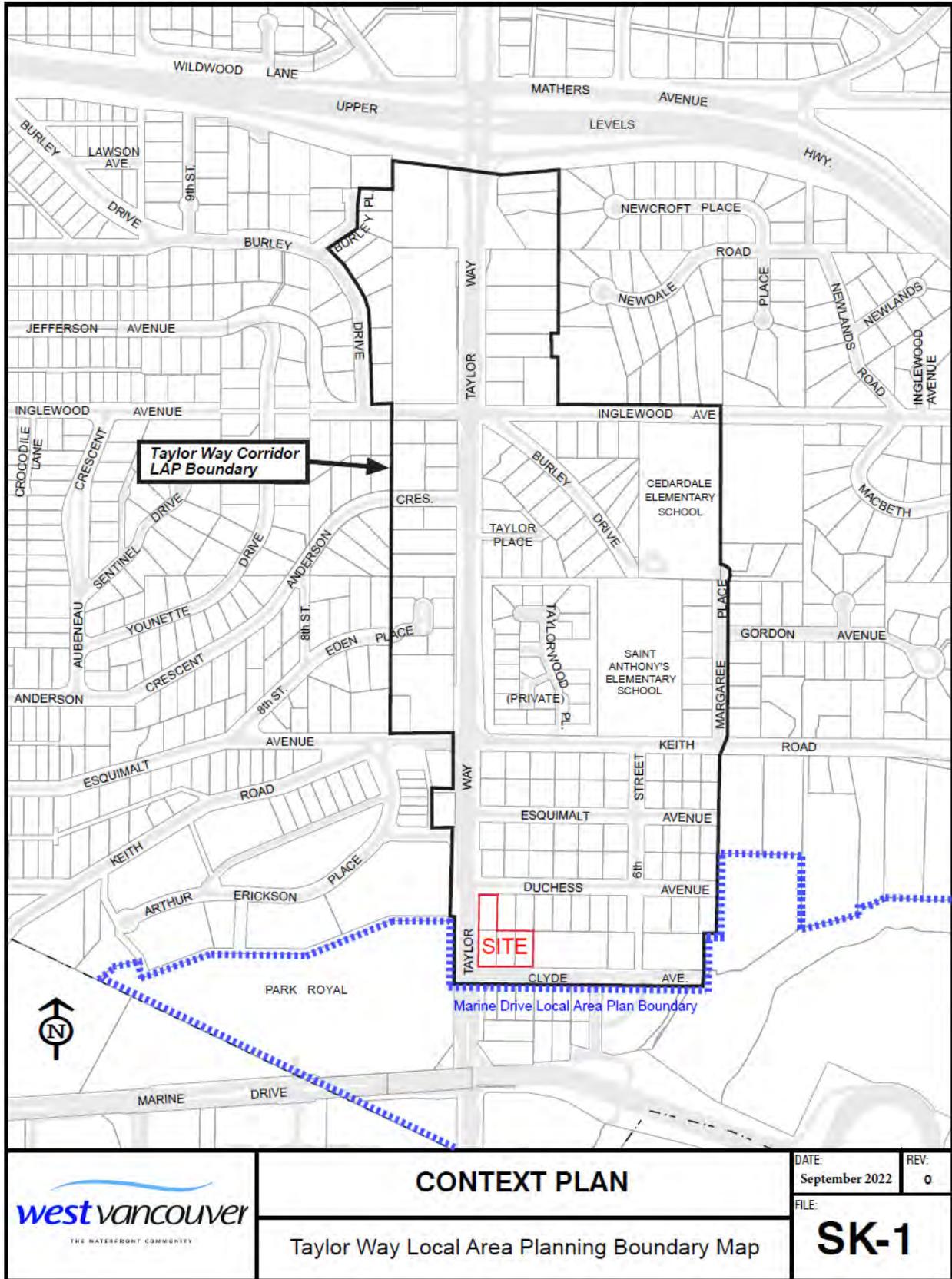
Michelle McGuire, Senior Manager of Current Planning and Urban Design

Date: November 2, 2022 Page 18
From: Erik Wilhelm, Senior Community Planner
Subject: Proposed Zoning Amendment, OCP Amendment and Development Permit for 671,
685, 693 Clyde Avenue and 694 Duchess Avenue

Appendices:

- A - Context Map (Showing Local Area Plan Boundaries)
- B - Project Profile
- C - Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5222, 2022
- D - Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5223, 2022
- E - Proposed Development Permit 21-185
- F - Typical Layout of Accessible Units Rendering
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APPENDIX A – CONTEXT MAP



CONTEXT PLAN

Taylor Way Local Area Planning Boundary Map

DATE:	September 2022	REV:	0
FILE:	SK-1		

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APPENDIX B – PROJECT PROFILE

Project:	Park Royal North - “Micro-suites”
Application:	File No. 21-185
Applicant:	Park Royal (Larco Investments Ltd.)
Architect:	DA Architects + Planners
Landscape Architect:	Vaughan Landscape Planning & Design
Property Address:	694 Duchess Avenue
Legal Description:	LOT 25 DISTRICT LOT 1039 PLAN 2127
PID:	014-020-394
Existing Zoning:	RS3
Site Area:	1,014 m ²
Property Address:	671 Clyde Avenue
Legal Description:	LOT 38 DISTRICT LOT 1039 PLAN 2127
PID:	014-020-581
Existing Zoning:	CD30
Site Area:	1,014 m ²
Property Address:	685 Clyde Avenue
Legal Description:	LOT 39 DISTRICT LOT 1039 PLAN 2127
PID:	014-020-611
Existing Zoning:	CD30
Site Area:	1,014 m ²
Property Address:	693 Clyde Avenue
Legal Description:	LOT 40 DISTRICT LOT 1039 PLAN 2127
PID:	014-020-637
Existing Zoning:	CD30
Site Area:	1,014 m ²
Primary OCP Policies:	2.1.15 and 2.1.17
Guidelines:	Clyde Avenue East of Taylor Way
Zoning (Proposed):	CD62 (671, 685, 693 Clyde Avenue and 694 Duchess Avenue)
Proposal:	To consolidate 4 lots and rezone the site to CD62 for a 6-storey market rental building with 201 units and public realm improvements.

Particulars	Proposed	Notes
FAR	2.04	Additional .04 permitted through "High Performance Buildings Section of the Zoning Bylaw
Site Coverage	36%	
Building Height	21.6m	
Number of Storeys	6	With rooftop amenity area
Building Floor Area (Gross)	8,897.45	
Number of Units		
Market Apartment	0	
Rental	201	
Total:	201	
Setbacks		
Front	3.7m	Before required dedications South lot line
Rear	4.5m	North lot line
Side	3.7m	East lot line
Side	9.6m	West lot line
Parking		
Residential:		
Regular Size	31	
Small Car	5	
Accessible	4	
Sub-Total:	40	0.2/unit (ratio)
Visitor		
Regular Size	6	
Small Car	3	
Accessible	1	
Sub-Total:	10	
Total Parking:	50	0.05/unit (ratio)
Bicycle Parking/Storage:	303	
EV Charging	Level 2 Charging	4 visitor stalls with Level 2 charging



District of West Vancouver

Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5222, 2022

Effective Date:

**Official Community Plan Bylaw No. 4985,
2018,
Amendment Bylaw No. 5222, 2022**

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District of West Vancouver

Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5222, 2022

A bylaw to amend the Official Community Plan to include 694 Duchess Avenue within Development Permit Area BF-DF “Clyde Avenue Area East of Taylor Way”.

Previous amendments: Amendment bylaws 5008, 5045, 5054, 5057, 5064, 5074, 5076, 5120, 5128, 5135, and 5172.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an amendment to the Official Community Plan to allow for the appropriate development of lands at 671, 685, 693 Clyde Avenue and 694 Duchess Avenue and include 694 Duchess Avenue within the “Clyde Avenue Area East of Taylor Way” development permit area;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5222, 2022.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Amends Area-Specific Policy

- 3.1 Schedule ii of Official Community Plan Bylaw No. 4985, 2018 is amended as follows:

- 3.1.1 By amending Policy BF-D4 “Clyde Avenue Area East of Taylor Way” as follows:
- 3.1.2 On page 78 of Schedule ii forming part of Official Community Plan Bylaw No. 4985, 2018 delete Schedule A and insert in its place Schedule B.

Schedules

Schedule A – Current “Development Permit Area Designation Map BF-D4”

Schedule B – Proposed “Development Permit Area Designation Map BF-D4”

READ A FIRST TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on

PUBLICATION OF NOTICE OF PUBLIC HEARING on

PUBLIC HEARING HELD on

READ A SECOND TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on

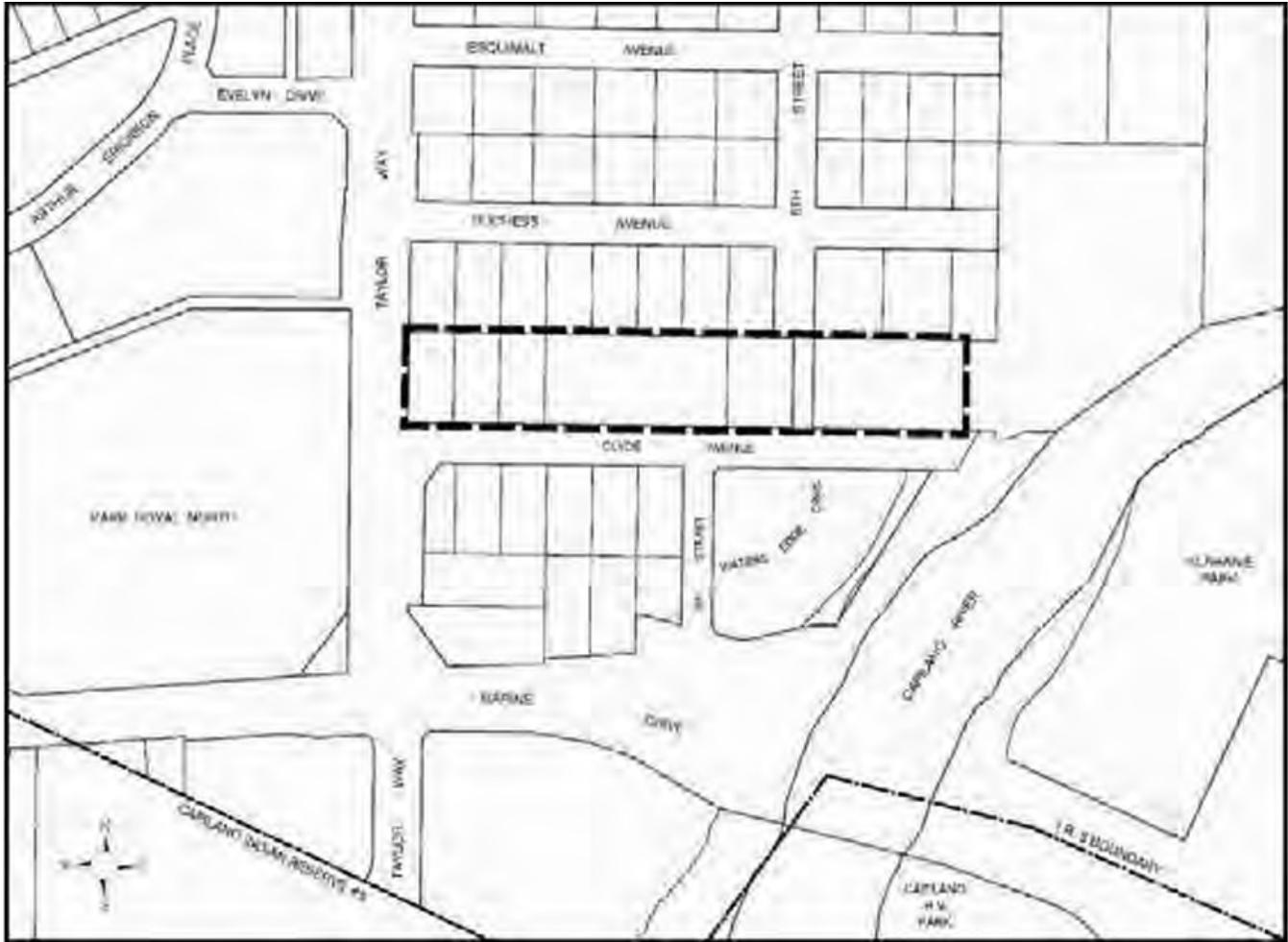
READ A THIRD TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on

ADOPTED by the Council (MAJORITY VOTE IN THE AFFIRMATIVE) on

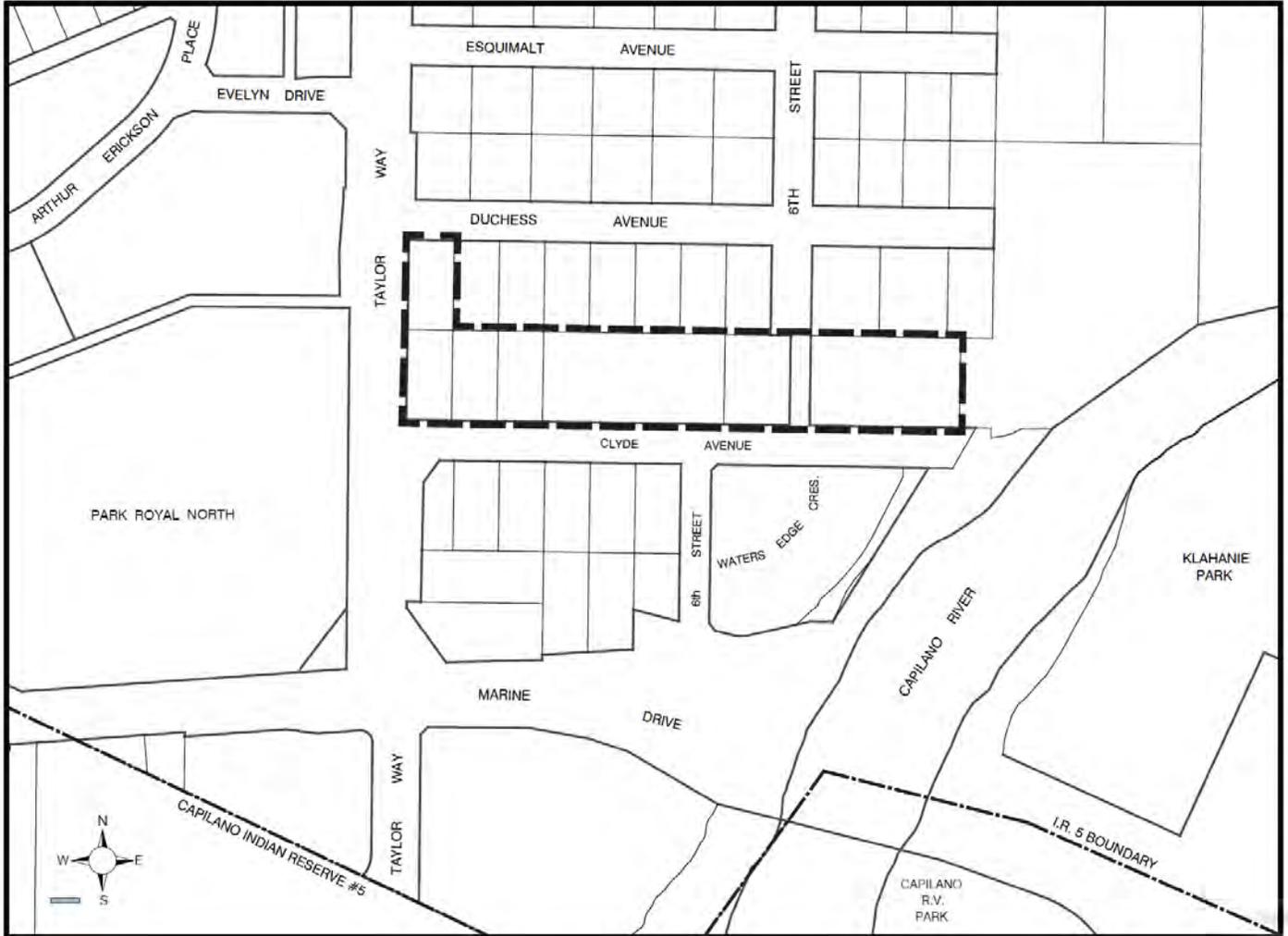
Mayor

Corporate Officer

Schedule A – Current “Development Permit Area Designation Map BF-D4”



Schedule B – Proposed “Development Permit Area Designation Map BF-D4”



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District of West Vancouver

Zoning Bylaw No. 4662, 2010
Amendment Bylaw No. 5223, 2022
(671, 685, 693 Clyde Avenue and 694 Duchess Avenue)

Effective Date:

Zoning Bylaw No. 4662, 2010 Amendment Bylaw No. 5223, 2022

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District of West Vancouver

Zoning Bylaw No. 4662, 2010 Amendment Bylaw No. 5223, 2022

A bylaw to rezone 671, 685, 693 Clyde Avenue and 694 Duchess Avenue for a 201-unit rental apartment building development.

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, 4767, 4787, 4788, 4784, 4772, 4791, 4805, 4809, 4828, 4854, 4873, 4866, 4895, 4839, 4898, 4927, 4944, 4905, 4974, 4967, 4982, 4962, 4928, 4992, 5001, 5021, 5024, 5028, 5009, 4938, 5044, 5055, 5051, 5068, 5065, 5087, 5069, 5110, 5106, 5132, 5161, 5160, 5013, 5122, 5155, 5169, 5192, 5175, 5171, and 5201.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for and amendment to the Zoning Bylaw;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Zoning Bylaw No. 4662, 2010 Amendment Bylaw No. 5223, 2022.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Adds CD62 Zone & Rezones the Lands

- 3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 600 (Comprehensive Development Zones) is hereby amended by adding Section 662 as the

- CD62 – Comprehensive Development Zone 62 (671, 685, 693 Clyde Avenue and 694 Duchess Avenue), as set out in **Schedule A** of this bylaw.
- 3.2 The Lands, as set out in **Schedule B** of this bylaw are rezoned from Single Family Dwelling Zone 3 (RS3) and Comprehensive Development Zone 30 (Park Royal North) (CD30) to Comprehensive Development Zone 62 (671, 685, 693 Clyde Avenue and 694 Duchess Avenue) (CD62).

Part 4 Amends CD30

- 4.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 630.01 “Map” is amended by:
- 4.1.1 Deleting the current map and replacing it with the map seen in **Schedule C**.
- 4.2 Zoning Bylaw No. 4662, 2010, Schedule A, Section 630.02 “Permitted Uses” is amended by:
- 4.2.1 Deleting regulation “**(3)**” in its entirety.
- 4.3 Zoning Bylaw No. 4662, 2010, Schedule A, Section 630.052 “Off-Street Parking” is amended by:
- 4.3.1 Deleting Section 630.052(1)(a) in its entirety and replacing it with “3.6 parking spaces per 92.9 square metres of gross floor area.”
- 4.3.2 Adding the following to Section 630.052 (1):
- “(c) For the purposes of this section, when calculating the required number of parking spaces, the required number of parking spaces may be rounded down.”

Part 5 Amends the Table of Contents

- 5.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 100 Table of Contents is amended accordingly to insert Comprehensive Development Zone 62 (671, 685, 693 Clyde Avenue and 694 Duchess Avenue).

Part 6 Amends Zoning Map

- 6.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2, Zoning Maps is hereby amended by changing the zoning on the Lands as shown shaded on the map in **Schedule D** of this bylaw,

FROM: RS3 (Single Family Dwelling Zone 3) and CD30 (Comprehensive Development Zone 30 (Park Royal North)

TO: CD62 – Comprehensive Development Zone 62 (671, 685, 693 Clyde Avenue and 694 Duchess Avenue).

Schedules

Schedule A - CD62 – Comprehensive Development Zone 62 (671, 685, 693 Clyde Avenue and 694 Duchess Avenue)

Schedule B - Rezoning Map

Schedule C – Revised CD30 Map

Schedule D - Amendment to Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2, Zoning Index Map 2

READ A FIRST TIME on

PUBLICATION OF NOTICE OF PUBLIC HEARING on

PUBLIC HEARING HELD on

READ A SECOND TIME on

READ A THIRD TIME on

APPROVED by the Ministry of Transportation and Infrastructure on

ADOPTED by the Council on

Mayor

Corporate Officer

Schedule A – CD62 Zone

662 CD62 (671, 685, 693 Clyde Avenue and 694 Duchess Avenue)

662.01 Permitted Uses

- (1) Apartment building
- (2) Accessory buildings, structures and uses
- (3) Child care
- (4) Community care
- (5) Home based business
- (6) Necessary interconnected elevated ramps accessory to the parking structures in Area 1 and 2 of CD30

662.02 Conditions of Use

- (1) Residential tenure is limited to *Residential rental tenure* within CD62
- (2) Only one storey of underground parking is permitted within CD62

662.03 Floor Area Ratio (FAR)

- (1) Total maximum of 2.0 FAR
- (2) For the purposes of calculating FAR, the site area is 4,056.05 square metres, being the area prior to any required dedications

662.04 Density

A maximum of 201 dwelling units

662.06 Setbacks

Minimum:

Front (south – Clyde Avenue):	3.7 metres; however, the primary entrance canopy may protrude a maximum of 2.7 metres into the front yard setback
Rear (north):	4.5 metres
Side (east):	3.7 metres
Side (west):	9.6 metres; however, excluding 1 parkade exit staircase

662.07 Building Height

- (1) Apartment building height is limited to a maximum height of 21.6 metres

- (2) Notwithstanding Section 120.19(2)(a), the height measurement shall not include elevator shafts and rooftop mechanical equipment

662.08 Number of Storeys

- (1) Maximum 6 storeys (rooftop outdoor amenity area, and associated rooftop enclosure)

662.09 Off-Street Parking

- (1) All underground parking shall comply with Section 142
- (2) Notwithstanding Section 142.10(1), at least 4 visitor stalls shall include an energized outlet that is:
 - (a) capable of providing Level 2 charging for an electric vehicle; and
 - (b) labelled for the use of electric vehicle charging.
- (3) Notwithstanding the parking reductions permitted with Section 143.01(4), the following must be provided and located within an underground parkade:
 - a) A minimum of 40 parking spaces available for residents; and
 - b) A minimum of 10 visitor parking spaces

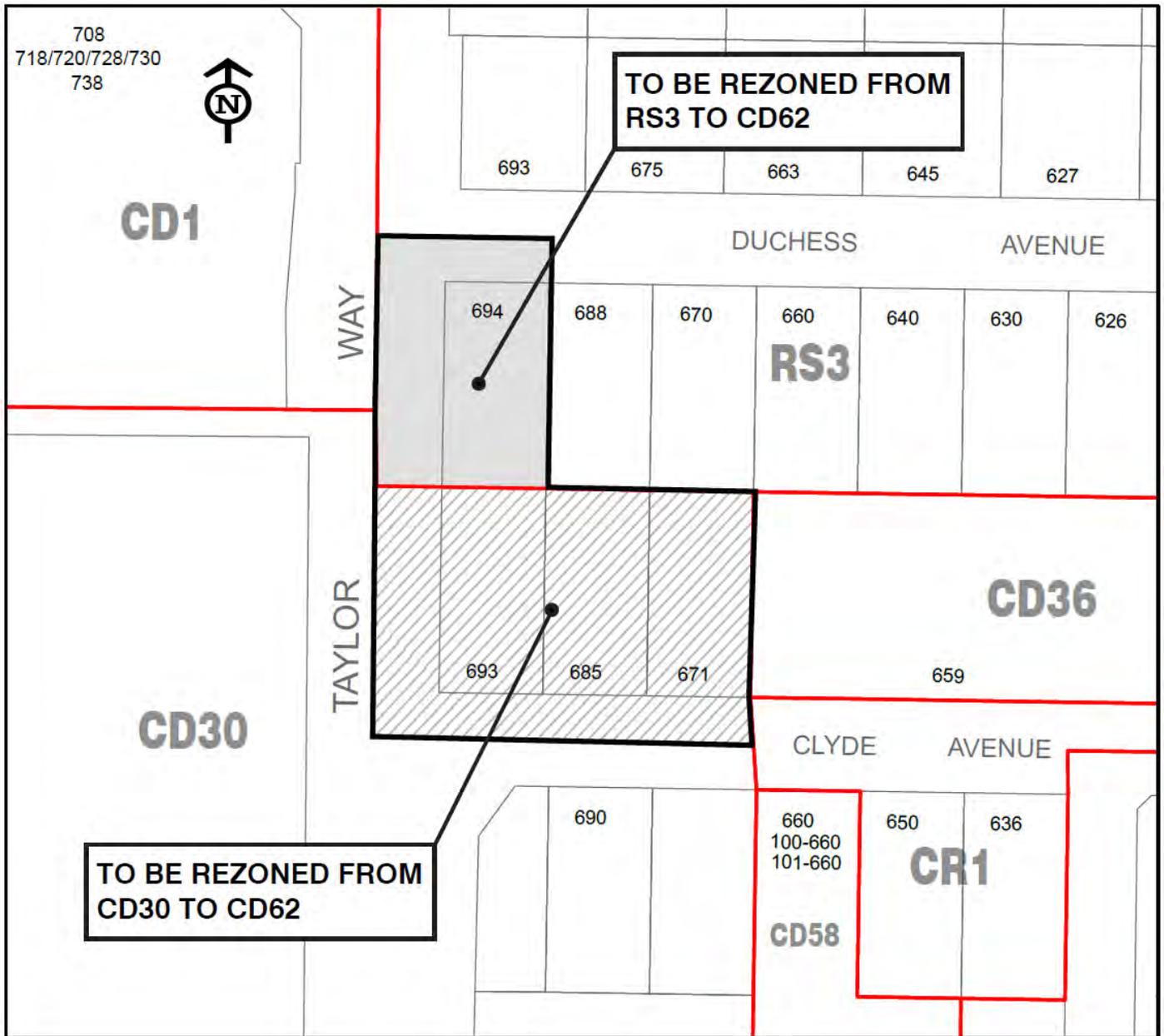
662.10 Bicycle Parking

- (1) The provision of secure bicycle parking shall comply with Section 143.01 of the Zoning Bylaw
- (2) Notwithstanding Sections 143.02(2) and 143.02(3), at least 0.1 short-term bicycle parking spaces per unit must be provided that all area permitted to be unsheltered

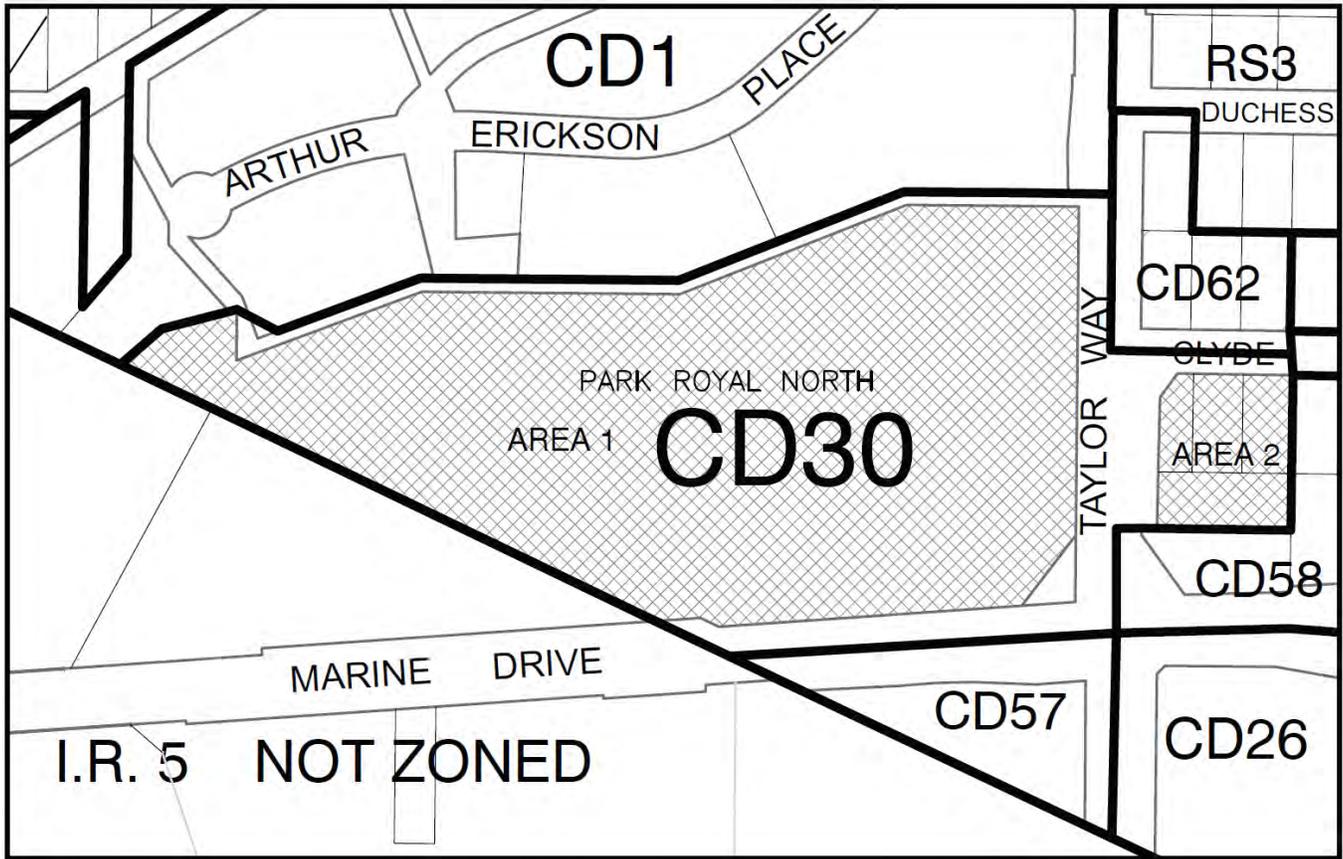
662.11 Notes

- (1) The minimum setbacks outlined in Section 662.06 are to be measured from the legal plans on record at the Land Titles and Survey Authority of British Columbia as of the effective date of CD62 prior to any required dedications.

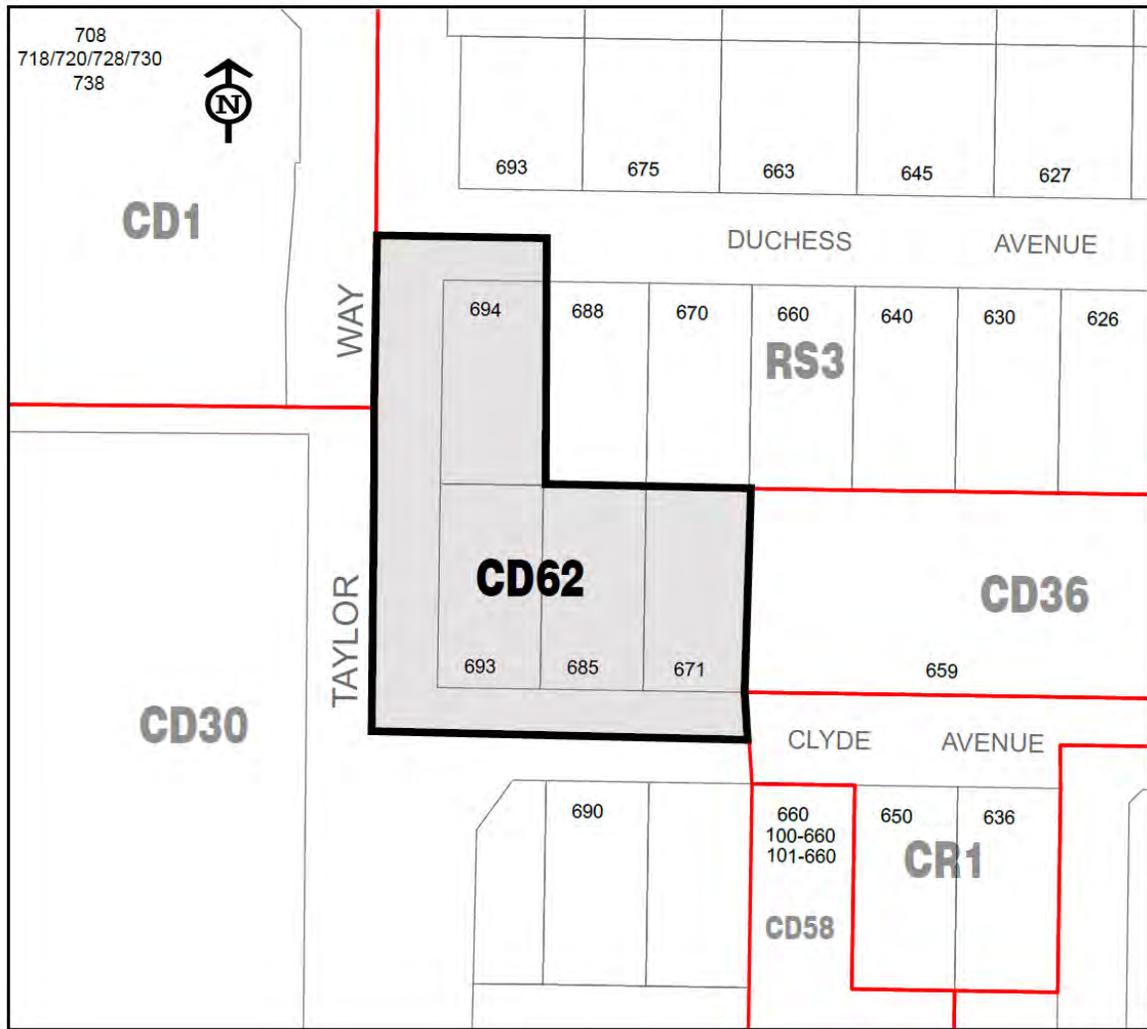
Schedule B – Rezoning Map



Schedule C – Revised CD30 Map



Schedule D – Zoning Map Amendment



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District of West Vancouver

Proposed Development Permit No. 21-185

Current Owner: PARK ROYAL SHOPPING CENTRE HOLDINGS LTD., INC.NO.
C-596935(3rd FLOOR – 100 PARK ROYAL, WEST VANCOUVER,
BC, V7T 1A2)

This Development Permit applies to “the Lands”:

Civic Address: 671, 685, 693 CLYDE AVENUE AND 694 DUCHESS AVENUE

Legal Description: LOT 25 DISTRICT LOT 1039 PLAN 2127 (PID: 014-020-394)
LOT 38 DISTRICT LOT 1039 PLAN 2127 (PID: 014-020-581)
LOT 39 DISTRICT LOT 1039 PLAN 2127 (PID: 014-020-611)
LOT 40 DISTRICT LOT 1039 PLAN 2127 (PID: 014-020-637)

1. This Development Permit:
 - (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan within the “Clyde Avenue East of Taylor Way” Development Permit Area to promote the siting and design of mixed-use, commercial and multi-family development that reflects quality building design, materials and landscaping subject to Guidelines BF-D4 specified in the Official Community Plan; and
 - (b) is issued subject to the Owner’s compliance with all of the Bylaws of the District applicable to the Lands, except as specifically varied or supplemented by this Permit.

2. The following requirements and conditions shall apply to the Lands:
 - 2.1 Buildings, structures, and site development shall take place in substantial compliance with the drawings from DA Architects + Planners dated June 10, 2022 attached as Schedule “A”.
 - 2.2 On-site landscaping shall take place in substantial compliance with the drawings from Vaughan Landscape Planning & Design and DA Architects + Planners dated June 10, 2022 attached as Schedule “B”.
 - 2.3 Contingent on input from the Ministry of Transportation and Infrastructure, off-site infrastructure and roadworks “*off-site works*” along the frontage of the Lands shall take place in substantial compliance with Schedule “A” and Schedule “B”.
 - 2.4 The minimum energy performance of the development proposal shall conform to a minimum Step 3, with a Low-Carbon Energy System, as defined by the British Columbia Energy Step Code. Compliance with

the required step shall be demonstrated through provision of sufficient documentation to the satisfaction of the Chief Building Official.

3. Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner must:
 - 3.1 Provide and implement a plan for traffic management during construction to the satisfaction of the District's Manager of Development Engineering.
 - 3.2 Apply for, and receive a tree permit to allow for proposed tree removal as outlined in the "Tree Removal Plan" as outlined in Schedule "B". This will require installation of tree, vegetation and/or hedge protection measures as required to the satisfaction of the District's Environmental Protection Officer.
 - 3.3 Submit a "Sediment and Erosion Plan" to the District's Environmental Protection Officer for approval, which the Owner shall comply with and be responsible for maintaining, repairing and implementing the sediment control measures.
 - 3.4 Enter into a "Works and Services Agreement" (WSA) to ensure installation of *off-site works* to the satisfaction of the District's Manager of Development Engineering. The WSA will require engineering civil drawings detailing works, including but not limited to:
 - (a) storm water management measures;
 - (b) site service connections;
 - (c) new boulevard plan along the frontage of the site including curbs, sidewalk and grading plan; and
 - (d) repaving along the frontage of the Lands,which must be submitted for acceptance, and security provided for the due and property completion of the engineering works, all to the satisfaction of the District's Manager of Land Development.
 - 3.5 Identify the location and number of accessible units and specify the accessibility measures to be installed in each unit, to the satisfaction of the District's Director of Planning and Development Services (or designate).
 - 3.6 Provide a letter, and requisite information, to the Director of Planning and Development Services that outlines how conditions of the development covenant (required through the rezoning process) have been met.
4. Prior to the issuance of a building permit and as security for the due and proper completion of the landscaping works ("Landscaping Works") as set forth in Section 2.2 of this Development Permit, the Owner shall:
 - 4.1 Provide, to the District's Manager of Land Development, a cost estimate ("Cost Estimate") for the on-site Landscaping Works to be installed.

4.2 Provide, to the District's Manager of Land Development, a landscape deposit ("Landscape Deposit") in the amount determined by the Cost Estimate, in the form of cash or unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union to ensure the due and proper completion of the Landscaping Works.

4.3 Release of the Landscape Deposit:

(a) Following installation of the Landscape Works and upon receipt of a certified letter or report by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects to the District stating that:

- a. the Landscaping Works have been installed substantially in accordance with Schedule A; and
- b. any variations that may have been undertaken to the Landscaping Works are clearly identified, including but not limited to:
 - i. any adjustments to retaining walls,
 - ii. changes to the mixture or sizes of any plant materials or trees,
 - iii. completion of any off-site or boulevard works,
 - iv. any areas that received alternative treatment,
 - v. any paving changes, or
 - vi. any other additional or omitted plantings or alterations,

together with a clear rationale and explanation thereof and stating

- c. that a final review with the landscape contractor or consultant of record has been completed, including provision of the date when this final review was completed on,
- d. whether there are any outstanding Landscape Works which are outstanding or which need attention, and
- e. notwithstanding outstanding works in 5.2(a)(d) above, that the Landscaping Works are complete,

then District will release 75% of the initial value of the Landscape Deposit. The remaining 25% of the initial value of the Landscape Deposit shall be retained by the District as a warranty deposit (the "Warranty Deposit") to ensure successful installation of the Landscaping Works.

(b) After a one-year period following certification that the Landscaping Works have been completed, and upon final certification by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects that the Landscaping Works are successful, the District will release the Warranty Deposit.

6. Prior to Occupancy:

6.1 The applicant must submit documentation demonstrating that the “as-built” development complies with all requirements of this development permit. Any variations must be clearly identified with a rationale and explanation noting that planning staff review and approval may be needed for variations prior to final occupancy.

7. This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON _____.

MAYOR

CORPORATE OFFICER

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO BY THE CURRENT OWNER. IT IS UNDERSTOOD:

- THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION; AND
- THE DEVELOPMENT MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFIED AT THE BUILDING PERMIT STAGE.

FOR THE PURPOSES OF SECTION 7, THIS PERMIT IS ISSUED ON _____.

Schedules:

- A - Architectural Drawings (DA Architects + Planners dated June 10, 2022).
- B - Landscape Drawings (Vaughan Landscape Planning & Design and DA Architects + Planners dated June 10, 2022)

END OF DEVELOPMENT PERMIT 21-185

Clyde Ave. Microunits

671, 685, 693 Clyde Ave & 694 Duchess Ave.,
West Vancouver

Schedule "A"

Issued for: Development Permit
Date: 2022-06-10



DRAWING LIST:

Executive Summary	A201 Site Plan
Development Proposal	A301 Parking Plan P1
Statistical Summary	A302 Level 1 Floor Plan
Existing Context: Neighbourhood	A303 Levels 2-4 Floor Plan
Existing Context: Development	A304 Level 5 Floor Plan
Existing Context: Photos	A305 Level 6 Floor Plan
Target Market	A306 Rooftop Amenity Plan
Microunit Concept - Typical Units	A320 Exterior Elevations
3D Views - Context	A321 Exterior Elevations
3D Views - View Studies	A322 Exterior Elevations
Design Concept	A330 Building Sections
Design Rationale - Precedent Imagery	A331 Building Sections
3D Views - Proposal	A335 Partial Sections
Material Board	A336 Partial Sections
Off Ramp Glare Screening	
Off Ramp CPTED Measures	
Space Saving Features / Accessibility	
Sustainability	
Amenity Areas - Precedent Imagery	
Shadow Studies	
Site Sections	



PARK ROYAL

SUMMARY

Clyde Avenue Microunits Executive Summary

This proposal presented for the consideration of a Development Permit and Rezoning submission responds to the need for more diverse and affordable rental housing in West Vancouver. While the notion of for rent micro-units is new to West Vancouver, this type of housing has provided comfortably smart living, at an attainable price range, to young professionals, frontline and service workers in communities around the world.

The introduction of micro-units is proposed in this particular location given the proximity to public and active transportation, as well as close proximity to amenities, shopping and services. It is a creative solution to help West Vancouver address some of the challenges outlined in the November 2020 West Vancouver Housing Report. The Report states in part “labour force participation rates have been on the decline, and close to three-quarters of the labour force **commutes** into the municipality for work. Feedback from engagement indicates **the cost of housing is increasingly out-of-reach and employers are struggling to recruit and retain staff. Mid-market rental and affordable home ownership should be strongly considered to help meet the needs of the local labour force.**”

The Clyde Avenue neighbourhood consists of market housing, rental housing, senior living, offices and services. The introduction of micro-unit rental accommodation is not only complimentary to the existing uses, but would also create an attractive entrance feature, as a gateway to the existing compact cluster of buildings.

Park Royal is excited about working with West Vancouver Council, staff and the community to bring this innovative and forward-looking style of rental accommodation to life.



PROPOSAL

Existing & Future Context

The development site is located on Clyde Avenue off Taylor Way and is characterized by the following features:

- Comprised of three lots fronting Clyde Avenue, as well as a single lot fronting Duchess Avenue.
- Has never been developed and is currently serving as an ancillary parking lot for Park Royal North commercial.
- To the east is an existing 5-storey seniors housing complex, to the south is an existing 6 level parking structure (34' 8" high)
- To the north is existing 2-storey single family residential housing.
- To the west is a northbound exit ramp that allows the vehicular traffic from Park Royal North to exit onto Taylor Way.
- The north edge of the site is characterized by a steep embankment with mature vegetation.
- The parking structure to the south is zoned for that use and currently there are no plans for redevelopment as it was excluded from the Marine Drive Local Area Plan.
- Further north, the 657 Marine Dr. development has been approved at Marine Dr. & Taylor Way intersection including buildings from 4-8 storeys high.

Project Description

The proposal conforms to the District's current OCP as it relates to Clyde Avenue. However, given the current zoning the property needs to be rezoned in order to allow construction of 100% Rental Micro-unit Housing as follows:

- Rental Micro-unit Housing development at the corner of Clyde Ave. and Taylor Way
- 6-storey housing component with rooftop amenity
- FAR: 2.04 (1.75 base + 0.25 Rental bonus + 0.04 Step 3 Compliance)
- FAR Floor Area: 8,271.24 sm (89,031 sf)

- Unit Type: Rental Micro Units
- Number of Units: 201
- Unit Mix:
 - 87% (174) Move-In Ready Micro-units (350-378 sf)
 - 13% (27) Adaptable Level 2 Micro-units (452-474 sf)
- Parking: 51 stalls at 0.25 stalls per unit
- Bicycle Parking: 306 stalls at 1.5 stall per unit

Project Design Rationale

The proposed development is located in the transition area between the 4-8 storey density at Marine Drive and the 2-storey single family neighbourhood to the north. The project design is based on the following major considerations:

- 6-storey building massing mediates between the larger scale to the south and the lower scale to the north, as well as the 5-storey seniors housing to the east.
- The building is sited on the three lots fronting Clyde Avenue at the entrance to this neighbourhood.
- The northern lot off Duchess Avenue will not be developed as part of this proposal and provides an opportunity for outdoor green space or another amenity accessible to the public.
- The U-shape building massing configuration creates a south-facing courtyard that is buffered from the traffic at Taylor Way.
- The rental housing comprises a 6-storey massing block with a rooftop amenity garden.
- The project will provide 201 micro-units ranging between 350-474 sf in size, with all the units being move-in ready.
- The outdoor amenities will include the rooftop garden, as well as the south-facing courtyard green space with outdoor fitness area.
- Adjacent to the lobby at L1 over 2000 sf of indoor amenities will include a shared indoor working IT spaces and dining / kitchen amenity.

- At each level from Level 2 to Level 6 there will be a lounge / coworking area off the elevator lobby.
- All vehicular and bicycle parking, as well as the garbage / recycling facilities are provided on a single level of underground parking at P1.
- The bicycle facilities will include a bicycle repair area.
- Provisions for vehicular and bicycle electrical charging will also be included.
- The development will increase the supply of affordable rental housing in the area through provision of move-in ready micro-units.
- Located in close proximity to the Marine Drive / Taylor Way node, the residents will have access to public transportation, as well as active transportation modes.

Compliance with OCP policies

The proposed development adheres to the intent of the OCP at Clyde Avenue East of Taylor Way (BF-D 2) with the following features:

- Provision of move-in ready rental micro-unit housing with close proximity to transit / active transportation
- High performance building with Energy Step Code: Step 3 with LCES or Step 4 compliance
- Electrical charging for cars and bicycles
- Extensive indoor / outdoor amenities
- Provision of public green space at Taylor Way / Duchess
- High quality windows to mitigate traffic noise from Taylor Way
- Utilizing reclaimed wood from the original 1950 Park Royal North buildout
- Landscaped courtyard with pedestrian-friendly design features at Clyde Avenue
- Articulated building facades to better relate to the existing 2-5 storey neighbourhood scale
- Gateway articulation at Clyde Ave / Taylor Way through prominent, highly-articulated stair towers

STATISTICAL SUMMARY

Current Zoning: CD30
 Lot 38, 39, 40
 Lot 25 RS3
 Lot width (at Clyde Ave) 67.9 m 222.77 ft

Total Project Site Area: 4,054.53 s.m. 43,643 s.f.
 Allowable FAR Ratio (w/ Step 3): 2.04
 Allowable FAR Area: 8,271.24 89,031
 Proposed FAR Ratio: 2.04
 Proposed FAR Area: 8,271.24 89,031
 Proposed Height: 6 storeys 21.6m (70.87 ft)
 Proposed Units: 201

Front yard Setback: 3.7 m
 Side Yard Setback: 3.7 m
 Rear Yard Setback: 4.5 m
 Site Coverage: 36%

Development Area Summary

	Gross Floor Area		FAR Exclusions		FAR Area		Units
	s.m.	s.f.	s.m.	s.f.	s.m.	s.f.	
Level P1	2,418.48	26,032	2,418.48	26,032	-	-	
Level 1	1,338.07	14,403	283.71	3,054	1,054.36	11,349	26
Level 2	1,468.57	15,808	25.19	271	1,443.38	15,536	35
Level 3	1,468.57	15,808	25.19	271	1,443.38	15,536	35
Level 4	1,468.57	15,808	25.19	271	1,443.38	15,536	35
Level 5	1,468.57	15,808	25.19	271	1,443.38	15,536	35
Level 6	1,468.57	15,808	25.19	271	1,443.38	15,536	35
Level 7 - Rooftop Amenity	216.53	2,331	216.53	2,331	-	-	
Total GFA(above grade):	8,897.45	95,771	Total FAR Area:		8,271.24	89,031	201

FAR Area Exclusions: entrance lobby area, recreation rooms, common area in basement used for hallways, elevator shafts, stairwells, mechanical / service rooms, storage spaces, parking & loading areas.

Parking Requirements Summary

	Stalls / Unit	# of Units	Required	Provided
Residential Parking	0.20	201	40	40
Res. Visitor Parking	0.05	201	10	10
Total:	0.25	201	50	50

Parking Stall Type Summary

	Regular	Small Car	Accessible	Total
Residential Parking	31	5	4	40
Res. Visitor Parking	6	3	1	10
Total:	37	8	5	50

Bicycle Parking

	Stalls/Unit	# of Units	Required	Provided
Short-term Spaces	0.1	201	20	20
Horizontal Spaces			106	130
Vertical Spaces (35% max)			90	88
Stacked Spaces			90	85
Total:	1.5	201	302	303

43%
29%
28%

Bicycle Parking: Long-term Spaces: 1.5 stalls per unit required per bylaw for apartment residential.
 Short-term Spaces: 0.1 stalls per unit, see TIA for details

Unit Mix

	Type A1 Microunit (350 sf)	Type A2 Microunit (362 sf)	Type B1 Microunit (350 sf)	Type C Microunit (378 sf)	Type G Adaptable Microunit (496 sf)	Type E Adaptable Microunit (466 sf)	Type F Adaptable Microunit (497 sf)	Total
Level 1	22	0	1	1	0	2	0	26
Level 2	25	1	2	2	2	2	1	35
Level 3	25	1	2	2	2	2	1	35
Level 4	25	1	2	2	2	2	1	35
Level 5	25	1	2	2	2	2	1	35
Level 6	25	1	2	2	2	2	1	35
Total:	147	5	11	11	10	12	5	201
% Mix:	73%	2%	5%	5%	5%	6%	2%	100%
Total Microunits:	174				27			
Total % Microunits:	79%				13%			
Total Adaptable:					27			
Total % Adaptable:					13%			

EXISTING CONTEXT: NEIGHBOURHOOD



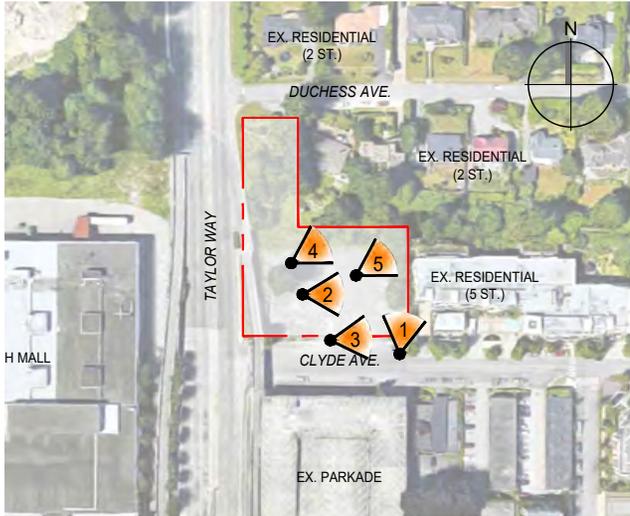
EXISTING CONTEXT: DEVELOPMENT



EXISTING CONTEXT: PHOTOS



EXISTING CONTEXT: PHOTOS



TARGET MARKET: Workplace & Young Professionals Housing



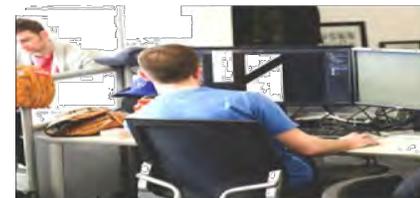
Medical Support Staff



Service Workers



Retail workers



Tech workers



Library workers



Film workers



ECE workers



Teachers



Senior care

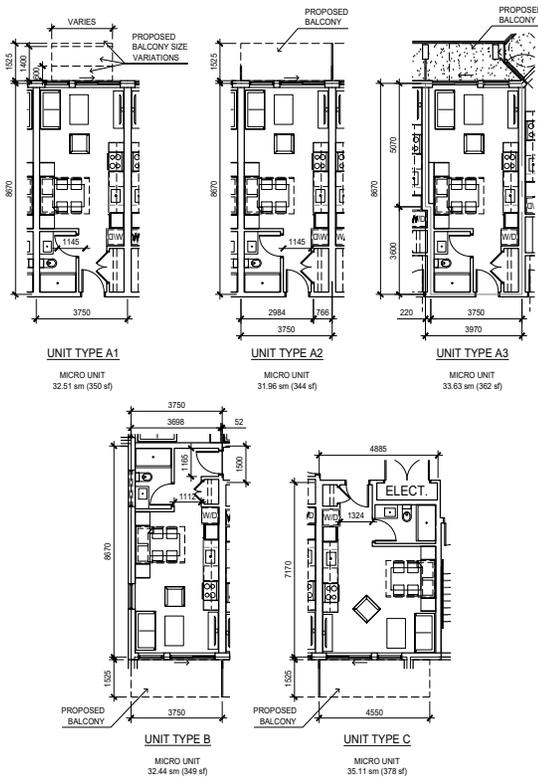


Anyone who works long hours

MICRO UNIT CONCEPT

TYPICAL MICRO UNIT

- 82% of Micro Units at 350sf provide an affordable rental price point for the residents
- Flexible space provides for all the necessities of living, dining, sleeping, relaxing and entertaining
- In-suite laundry with combination washer & dryer in each unit
- Contemporary interior design in the kitchens and bathrooms with energy efficient appliances
- High performance building with increased thermal comfort
- The amenity package is designed to complement the efficient suite layouts with over 2,000 sf of the indoor amenity area, as well as the expansive rooftop outdoor amenity garden



STORAGE

- maximized storage space
- large entry closet
- built-in storage above washing machine & either side of dining

KITCHEN

- full size kitchen
- modern appliances package, including a dishwasher
- including electric range & stove
- combination washer / dryer

LIVING

- living space provides flexible furnishing options
- seating for up to 4 people
- functional layout with TV wall

BATHROOM

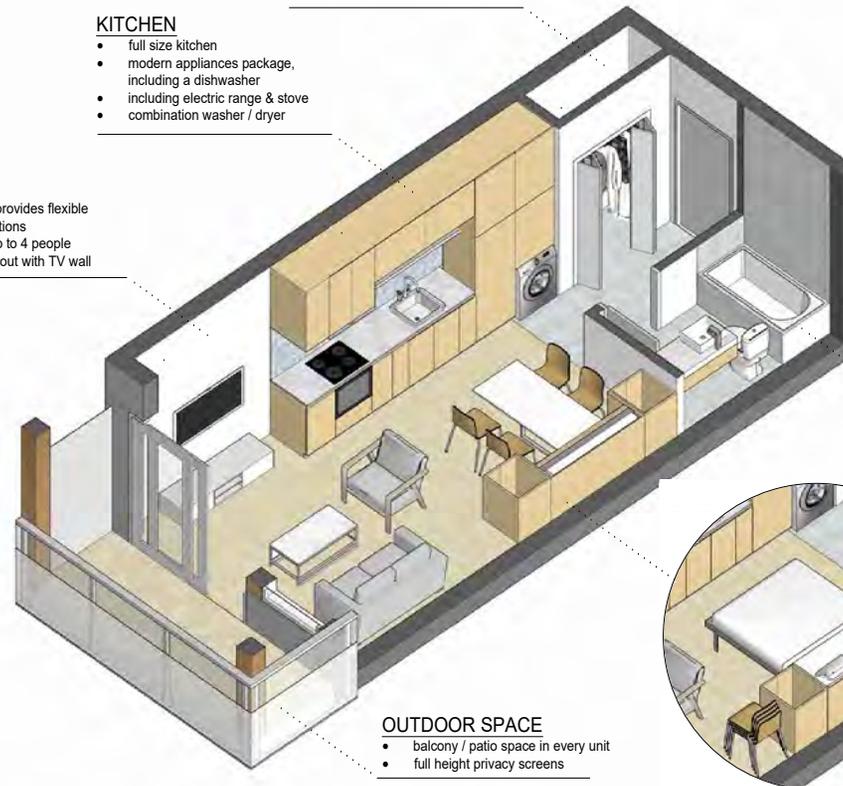
- full size bathroom
- full size bath tub or shower
- modern fixtures & finishes

DINING / WORKING & SLEEPING / RELAXING

- flexible built-in furniture
- fold down dining / work table
- fold down murphy bed
- storage closets on either side

OUTDOOR SPACE

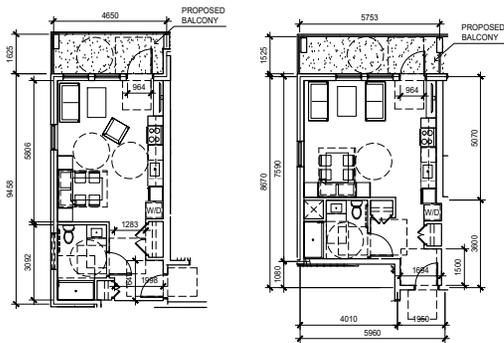
- balcony / patio space in every unit
- full height privacy screens



ADAPTABLE MICROUNIT CONCEPT

TYPICAL ADAPTABLE MICRO UNIT

Adaptable design creates liveable residences for a wider range of persons than current building codes require. By considering design features that can be easily and inexpensively incorporated at a future time, adaptable design also allows flexibility for residents whose needs may change over time. 13% of units in this development are designed to meet the Level 2 Adaptability Standard per the District guidelines.

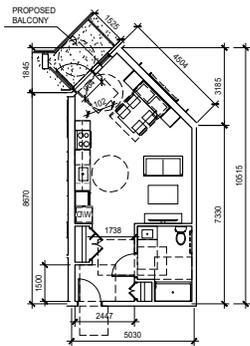


UNIT TYPE E

ADAPTABLE (LEVEL 2)
MICRO UNIT
43.3 m² (466 sf)

UNIT TYPE F

ADAPTABLE (LEVEL 2)
MICRO UNIT
46.55 m² (507 sf)



UNIT TYPE G

ADAPTABLE (LEVEL 2)
MICRO UNIT
45.11 m² (486 sf)

KITCHEN

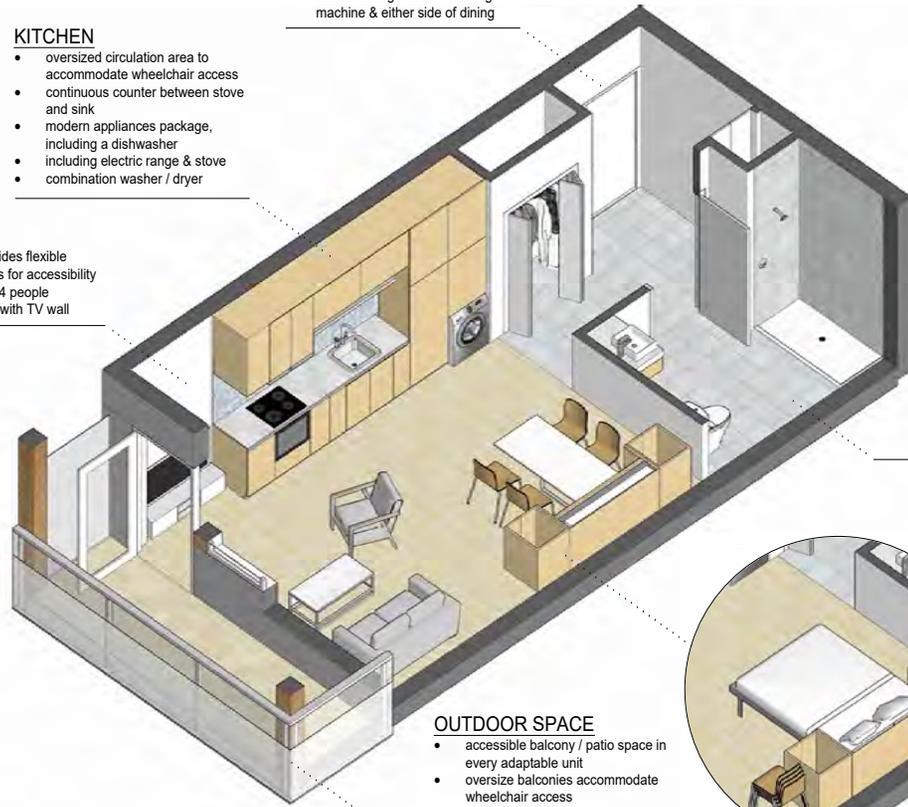
- oversized circulation area to accommodate wheelchair access
- continuous counter between stove and sink
- modern appliances package, including a dishwasher
- including electric range & stove
- combination washer / dryer

LIVING

- living space provides flexible furnishing options for accessibility
- seating for up to 4 people
- functional layout with TV wall

ENTRY / STORAGE

- oversize entry to accommodate wheelchair turning radius
- maximized storage space
- large entry closet
- built-in storage above washing machine & either side of dining



BATHROOM

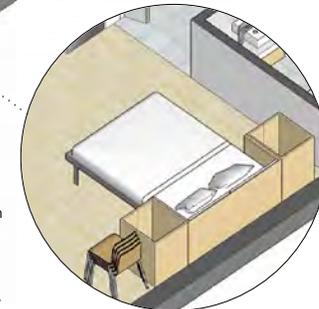
- oversized bathroom to accommodate future accessibility upgrades
- barrier free shower
- bathroom accommodates wheelchair access

DINING / WORKING & SLEEPING / RELAXING

- flexible built-in furniture
- fold down dining / work table
- fold down murphy bed
- storage closets on either side

OUTDOOR SPACE

- accessible balcony / patio space in every adaptable unit
- oversize balconies accommodate wheelchair access
- full height privacy screens



DESIGN CONCEPT

1. A 6-storey building is placed on the three south lots, allowing the north lot to become a public outdoor amenity.



2. Outdoor amenity spaces are created for the residents at the south facing courtyard on the main level and at the rooftop garden.



3. The building form is articulated through a series of 4-storey volumes that relate to the existing 2-5 storey context.



DESIGN RATIONALE

1. Development Permit Guidelines



2. Existing Neighbourhood Context



3. Emerging Character of Park Royal



4. West Coast Contemporary Style



DESIGN RATIONALE

1. Development Permit Guidelines

Design Principles:

II. BUILDING DESIGN

- a. Encourage high performance or "green" buildings.
- b. Situate buildings within a landscaped setting..
- c. Step back from the street, floors above the second storey, , and introduce planters, exterior balconies, and building articulation to create interest and complement the landscaped character.
- d. Design pedestrian scale ground floor spaces oriented to Clyde Avenue.
- e. Recognize the potential contribution of building massing, design and character to the gateway image of West Vancouver.
- f. Orient building entrances to face the street with high visibility and pedestrian accessibility.
- g. Consider the impact on privacy of adjacent homes on the north side of Clyde Avenue. Outdoor patios and balconies should generally be south facing.
- h. Encourage the use of sloped roofs or components.
- i. Site and screen loading areas, mechanical equipment and garbage bins, within the building, to minimize visual and acoustical impacts on adjacent properties and the streetscape.
- j. Provide signage compatible with a mixed-use area and designed to fit and complement buildings.

III. LANDSCAPE DESIGN

- a. Create an overall park like character for the landscape treatment.
- b. Encourage public access connections between Capilano River and Taylor Way through the use of landscape treatments.
- c. Retain the bank on the north side of Clyde Avenue in a forested, natural state to provide separation of mixed commercial / residential development from the low density residential area to the north. A geo-technical report addressing the potential impact of a proposed development on the stability of the bank and groundwater flows should be provided.
- d. Maintain and restore the edge adjacent to the Capilano River walkway in a natural state. Impervious paved surfaces, fencing or walls directly adjacent to the walkway should be minimized.
- e. Provide useable common open space.
- f. Locate the common area landscaped open space in a courtyard, side yard or rear yard depending on the building configuration.
- g. Incorporate landscape elements in and around the entire site with planting beds, planters, hanging baskets, and pots located at the ground level.
- h. Provide a cohesive pattern of concrete or brick paving for pedestrian walkways.
- i. Minimize retaining walls visible from the street. Where unavoidable, retaining walls should be constructed or faced with natural materials such as rock or heavily screened with landscaping.
- j. Design landscaping to minimize potential view impacts.
- k. Minimize exterior lighting glare and light spill to surrounding properties.

DESIGN RATIONALE

2. Existing Neighbourhood Context

Design Principles:

- Top / Middle / Base Articulation
- Use of Brick at the base
- Neutral / Pastel Colour Palette
- Horizontal Expression
- "Floating Roof"



Amica Seniors Housing



Water's Edge



Heritage Building



Watermark Apartments



DESIGN RATIONALE

3. Emerging Character of Park Royal

Design Principles:

- Wood expression as a feature
- Use of dark, rich brick at the base
- Contrasting light and dark elements
- Warmth of wood
- Accentuated Horizontals



Executive Parc Residential



Gateway Residences



Arthur Erickson Place



DESIGN RATIONALE

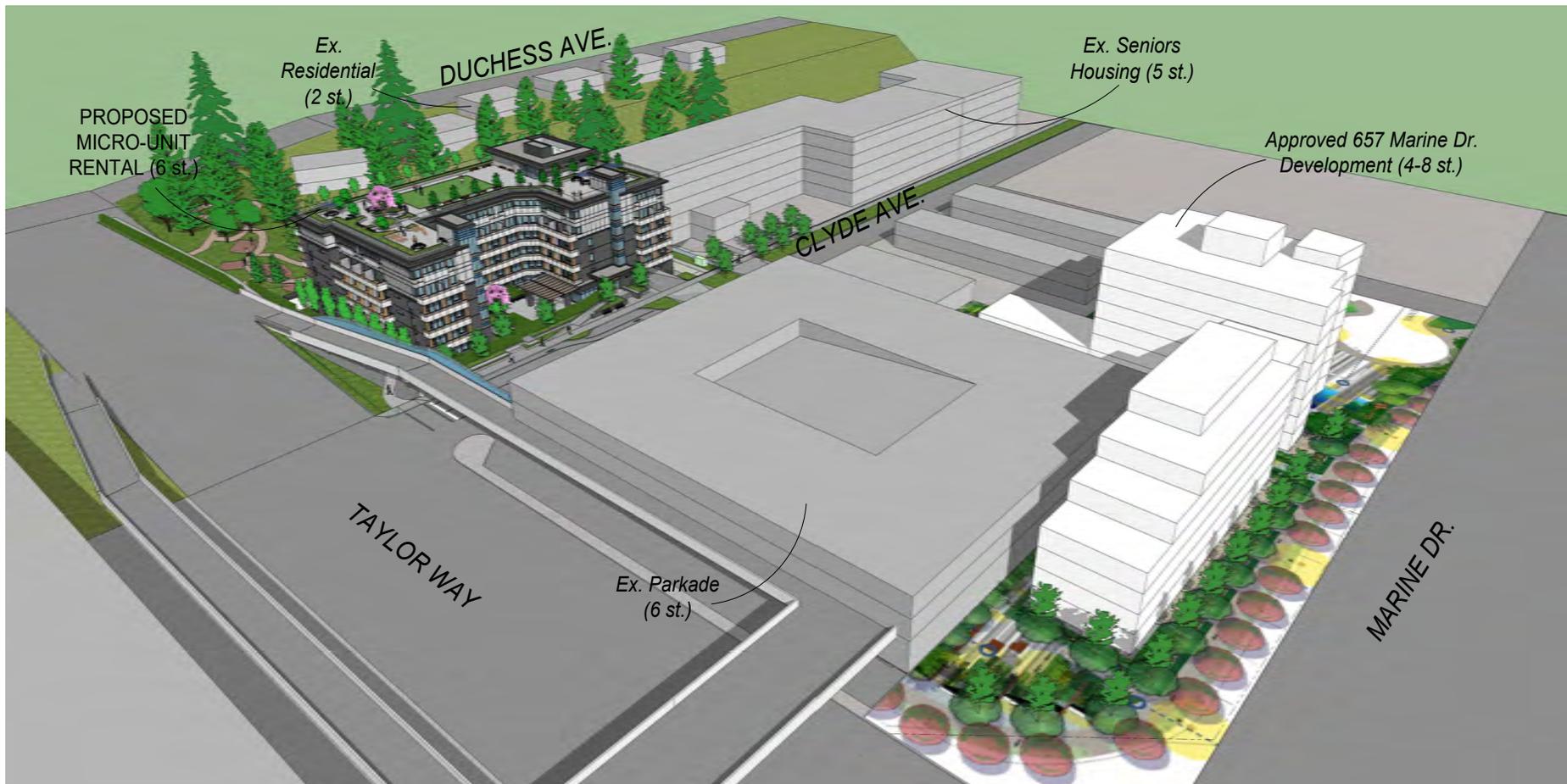
4. West Coast Contemporary Style

Design Principles:

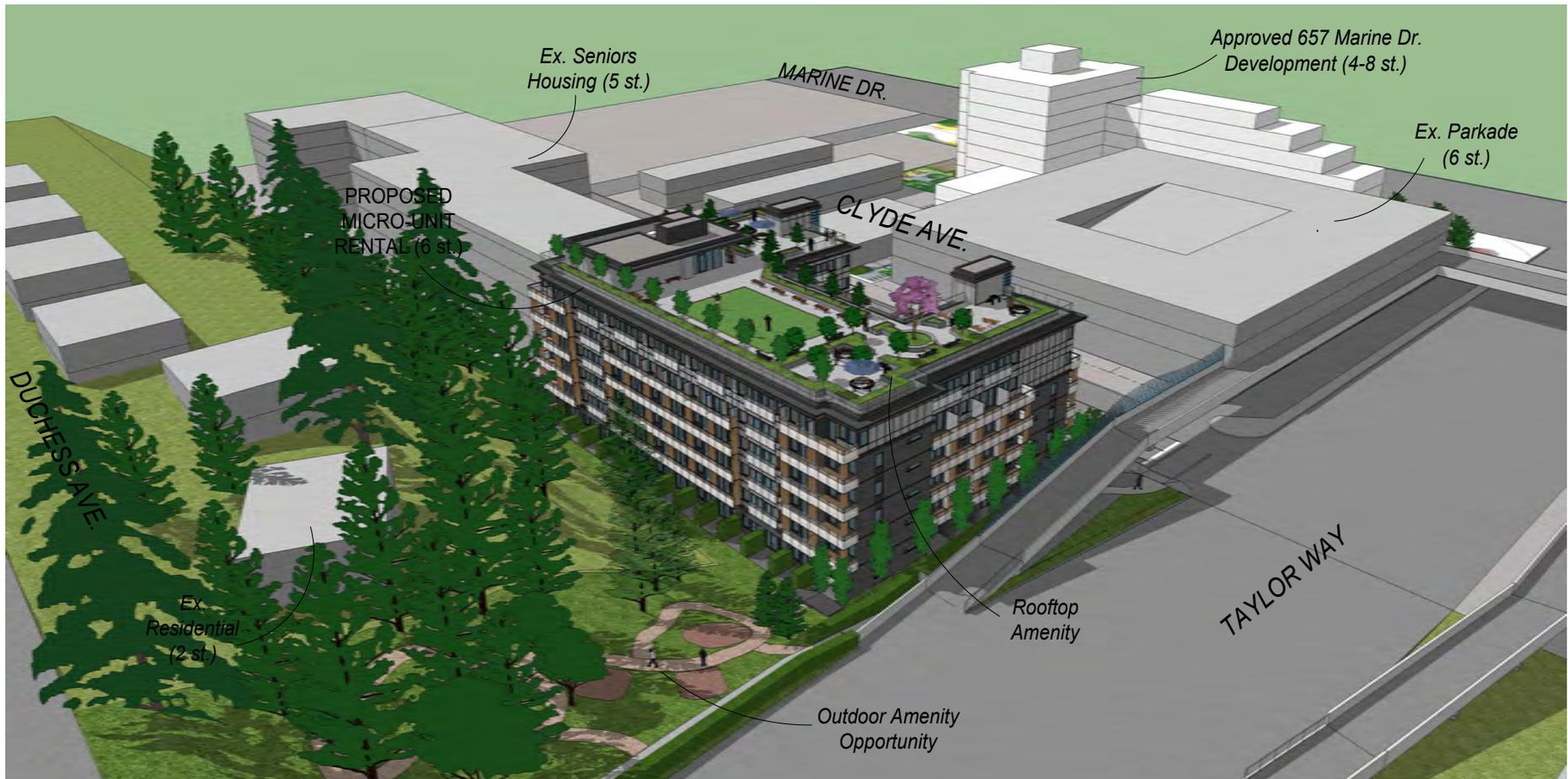
- Use of Local Natural Materials
- Building in landscape
- Openness to the Outdoors
- Muted colour palette
- Horizontal Expression



SOUTH-WEST CORNER - FUTURE CONTEXT



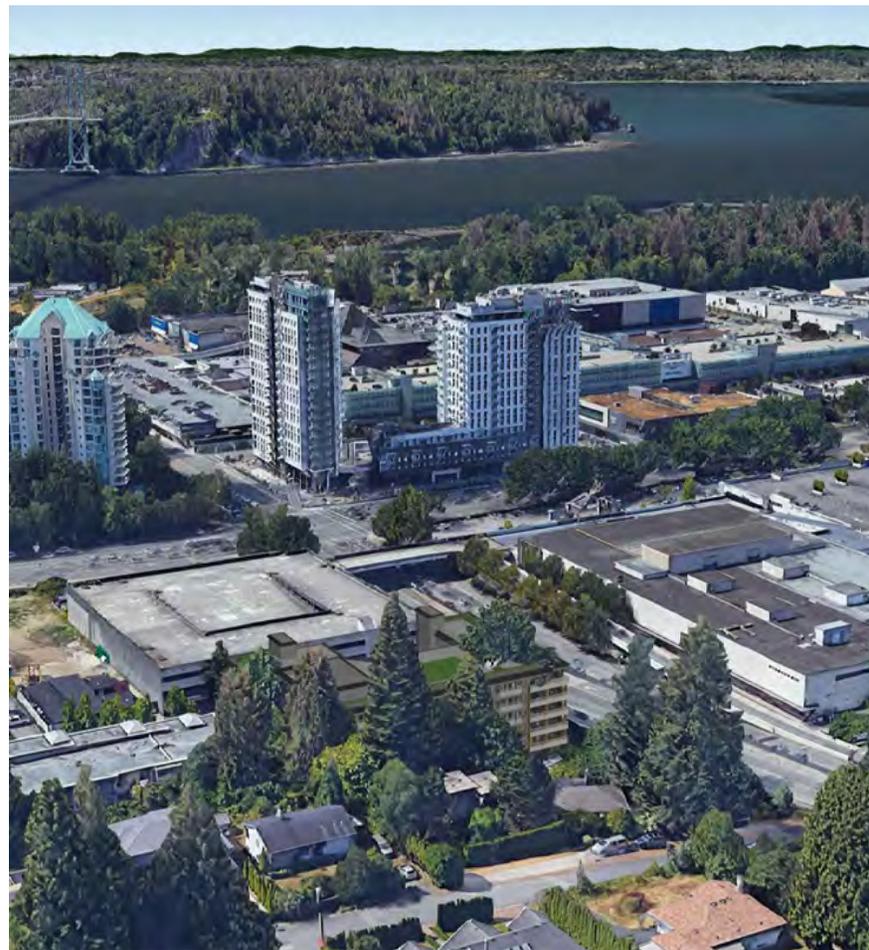
NORTH-WEST CORNER - FUTURE CONTEXT



AERIAL VIEWS



① AERIAL VIEW - LOOKING NORTH-EAST



② AERIAL VIEW - LOOKING SOUTH-WEST

WEST ELEVATION - TAYLOR WAY



SOUTH ELEVATION



SOUTH COURTYARD AMENITY



SOUTH COURTYARD AMENITY



SOUTH/ EAST ELEVATION



MAIN ENTRANCE



NORTH ELEVATION



ROOFTOP AMENITY



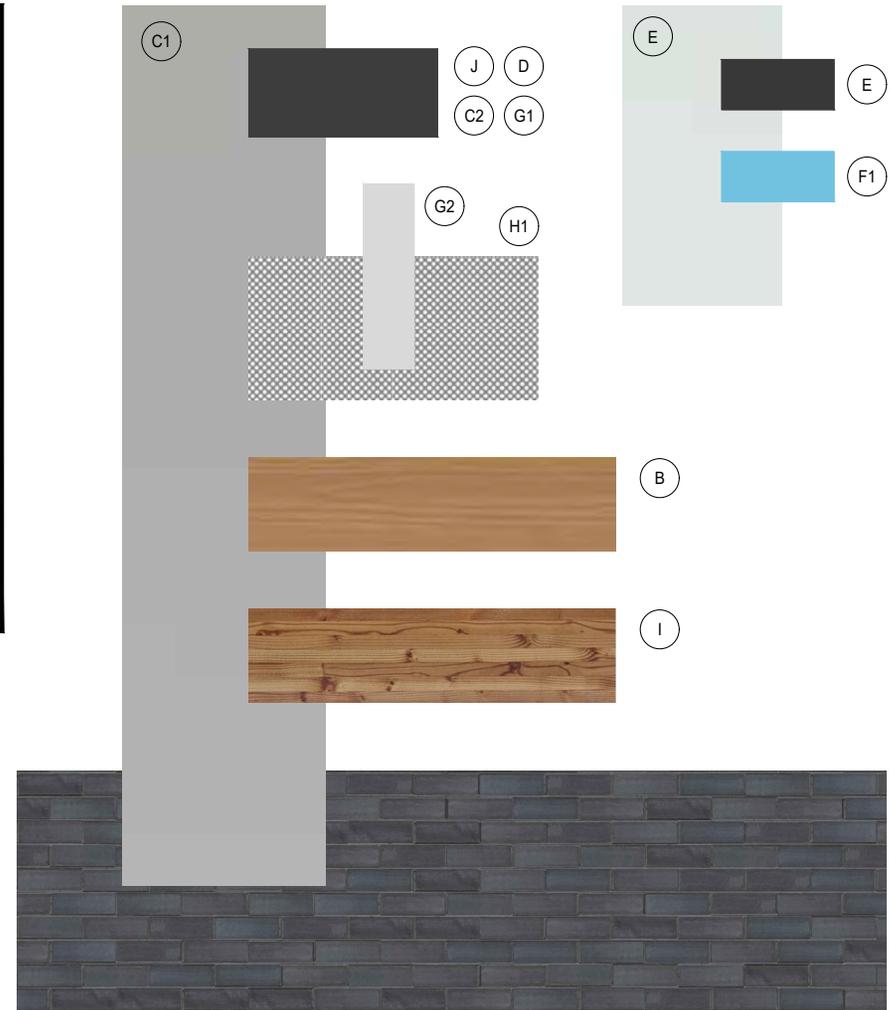
ROOFTOP AMENITY



MATERIAL BOARD

MATERIALS LEGEND

- (A) BRICK CLADDING
COLOUR: DARK GREY
- (B) CEMENTITIOUS PANEL CLADDING
COLOUR: LIGHT BROWN
- (C) CEMENTITIOUS
PANEL CLADDING W/ BLACK TRIMS
C1 - COLOUR: GREY
C2 - COLOUR: BLACK
- (D) PREFINISHED METAL FASCIA
COLOUR: BLACK
- (E) WINDOW SYSTEM
GLAZING: CLEAR LOW-E
MULLIONS: BLACK
- (F) COLOURED (LAMINATED) GLASS
F1 - SKY BLUE
- (G) PREFINISHED METAL RAILING SYSTEM
G1 - COLOUR: LIGHT GREY
- (H) GLASS RAILING SYSTEM
H1 - COLOUR: WHITE FRIT
H2 - COLOUR: CLEAR GLASS
- (I) WOOD CANOPY STRUCTURE
COLOUR: LIGHT BROWN
- (J) CEMENTITIOUS TRIM
COLOUR: BLACK



EXISTING OFF RAMP: GLARE SCREENING

STANDARD ANTI GLARE SCREEN:



PROPOSED DESIGN:



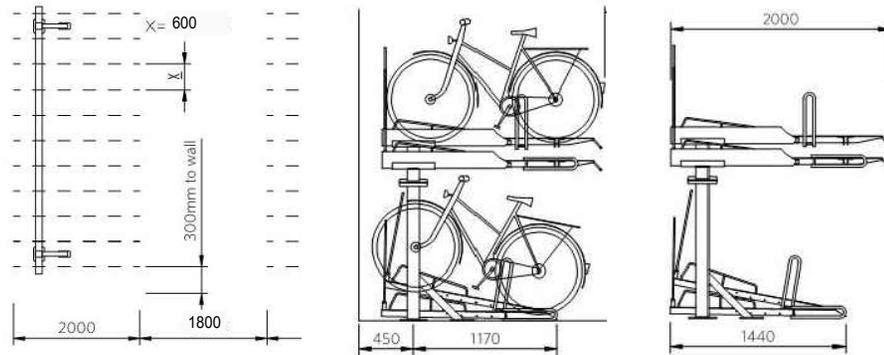
EXISTING OFF RAMP: CPTED MEASURES



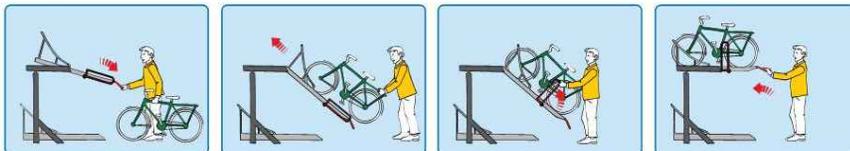
MICRO UNIT CONCEPT

SPACE-SAVING FEATURES

- Flexible Dining / Sleeping areas with built-in murphy beds
- Combination Washer / Dryer
- Stacked Secure Bicycle Parking Stalls:

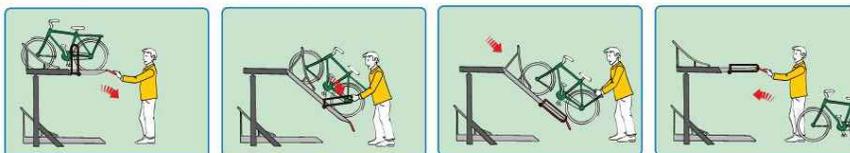


Loading your bike on to the upper racks



1. Pull down the upper rack.
2. Lift the front wheel onto the lowered rack and push forwards.
3. Raise the locking bar and lock the bike to it.
4. Lift the rack back into the horizontal position

Unloading your bike from the upper racks



1. Pull down the upper rack, the bike will lower slowly towards you
2. Unlock the bike and lower the locking bar
3. Hold the bike and guide backwards towards you
4. Return the upper rack to its original position

ACCESSIBILITY FEATURES

- 27 residential units conforming to the City of North Vancouver Level 2 Adaptable Standards.
- See ACDI comments response for additional accessibility features
- Building Entrance:
 - Accessible intercom.
 - Power operated doors.
- Exit Stairs:
 - Yellow handrails in exit stairs.
 - Yellow stair nosings.
 - Yellow tactile warning areas at the top and bottom of stairs.
- Amenity Areas:
 - Power operated door leading to all amenity rooms.
 - Doors leading from the amenity areas to the exterior shall have accessible threshold and power operated doors.
- Accessible washroom adjacent to main amenities on ground floor which will include the following:
 - Power operated entrance door.
 - BCBC compliant plumbing fixtures, handrails, washroom accessories and clearances for accessible washrooms.
 - Wall colour that achieves 70% contrast with white plumbing fixtures.
 - Floor colour contrasting with wall tile.
- Underground Parking:
 - 5 accessible parking stalls provided adjacent to elevator lobby entrance.
 - Striped access aisles beside all accessible parking stalls.
 - Striped markings extend from the accessible parking stalls to the elevator lobby entrance.
- Signage: Residential doors and amenity rooms to have raised lettering with a 70% contrast with background.
- Outdoor Areas:
 - Landscape furniture design to be accessible.
 - Level and accessible social and recreational areas.

SUSTAINABILITY



Enhancing Resiliency

- Shading of site hardscapes to reduce heat island effect, including green roof amenity space and landscaped central courtyard
- Potable water use reductions through installation of native landscape species and low flow plumbing fixtures to prepare for water scarcity through summer drought
- 'Park-like' public amenity and urban agriculture amenity will provide some residents the opportunity to grow their own food improving social resilience of the community
- Design for improved thermal comfort through optimized window to wall ratio, high performance glazing and exterior shading

BUILDING SUSTAINABILITY

Energy Performance: Step 3 with a Low Carbon Energy System

- High performance building envelope reducing heating and cooling energy consumption
- Optimized glazing placement balancing daylight penetration and thermal comfort
- Reduced reliance on fossil fuel combustion for space heating and domestic hot water with low carbon heat pump based systems

Low Carbon Construction

- Wood frame construction supports the local low carbon building material industry, while reducing the project's embodied emissions

Low Carbon Transportation

- Car parking will meet the minimum provision and will be equipped to support Level 2 electric vehicle charging to support the transition away from fossil fuel vehicles
- Bicycle parking and a bicycle repair station will support sustainable living and further support the mode shift away from vehicles for the dense city living lifestyle



AMENITY PACKAGE

Outdoor Amenity Areas

- Courtyard



- Rooftop Garden



- North Lot Green Space



Indoor Amenity Areas (2,700 sf total)

- Level 1 (1,700 sf):
 - Social / Gathering Spaces
 - Exercise Space



- Levels 2-6 (200 sf per floor):
 - Lobby Lounge Space



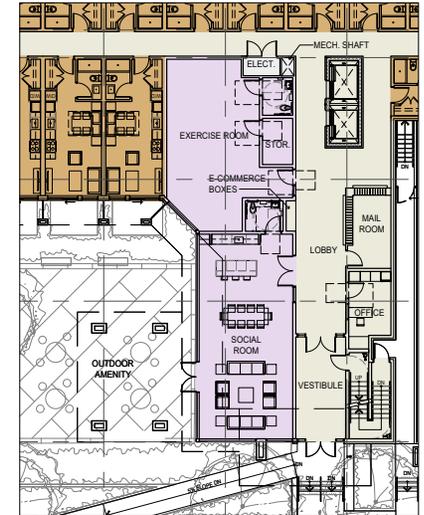
AMENITY PACKAGE

Indoor Amenity Areas - Level 1 (1,700 sf)

Social / Gathering Space



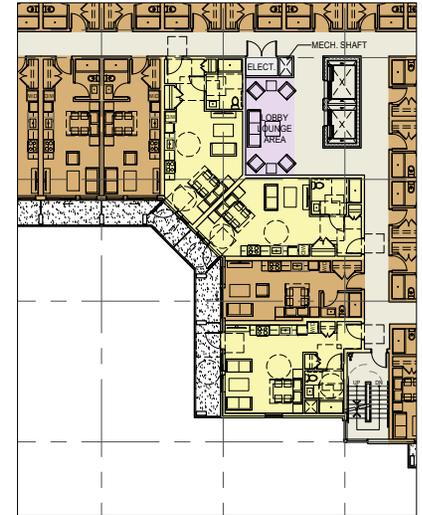
Exercise Space



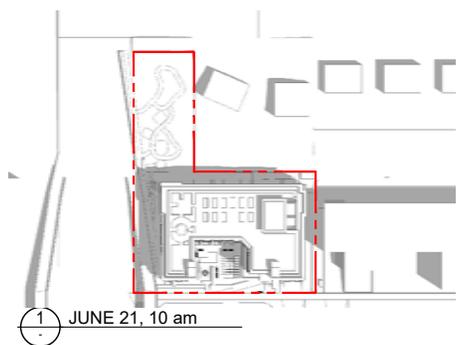
AMENITY PACKAGE

Indoor Amenity Areas - Levels 2-6 (200sf per floor)

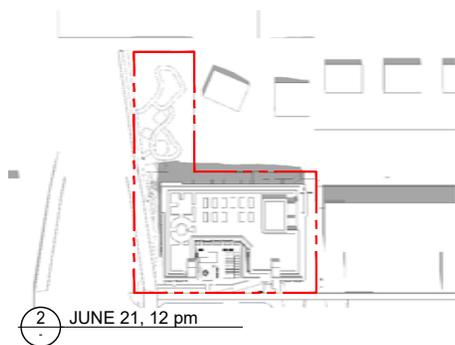
Lobby Lounge Space



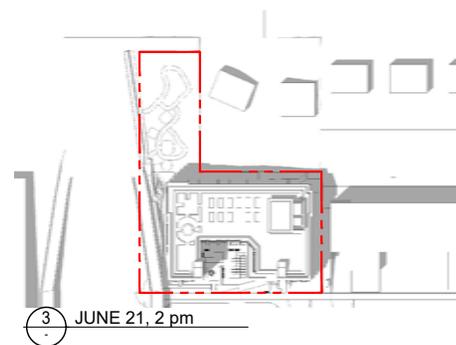
SHADOW STUDIES



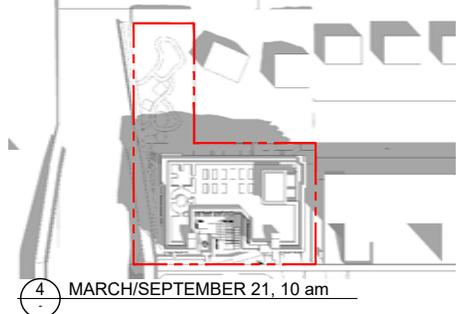
1 JUNE 21, 10 am



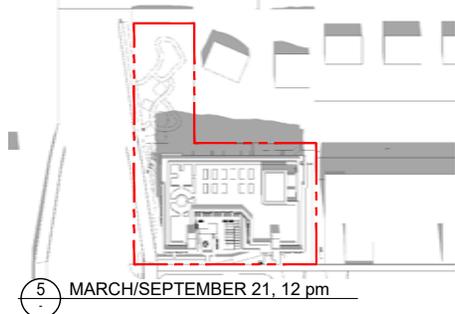
2 JUNE 21, 12 pm



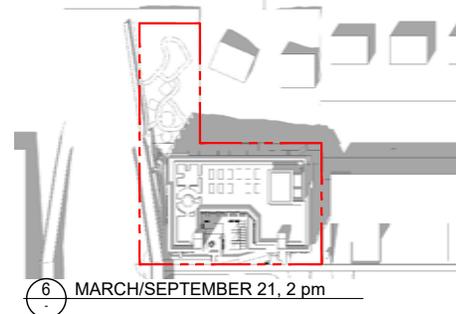
3 JUNE 21, 2 pm



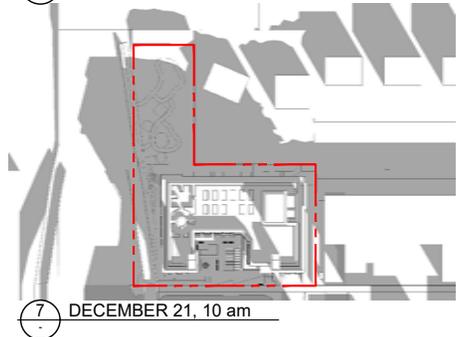
4 MARCH/SEPTEMBER 21, 10 am



5 MARCH/SEPTEMBER 21, 12 pm



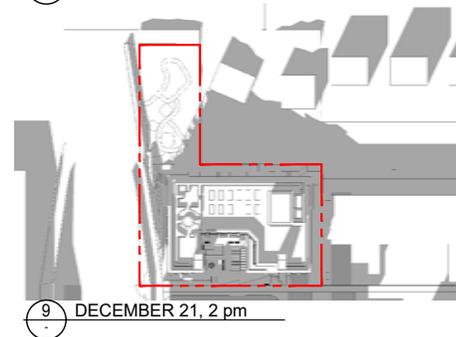
6 MARCH/SEPTEMBER 21, 2 pm



7 DECEMBER 21, 10 am

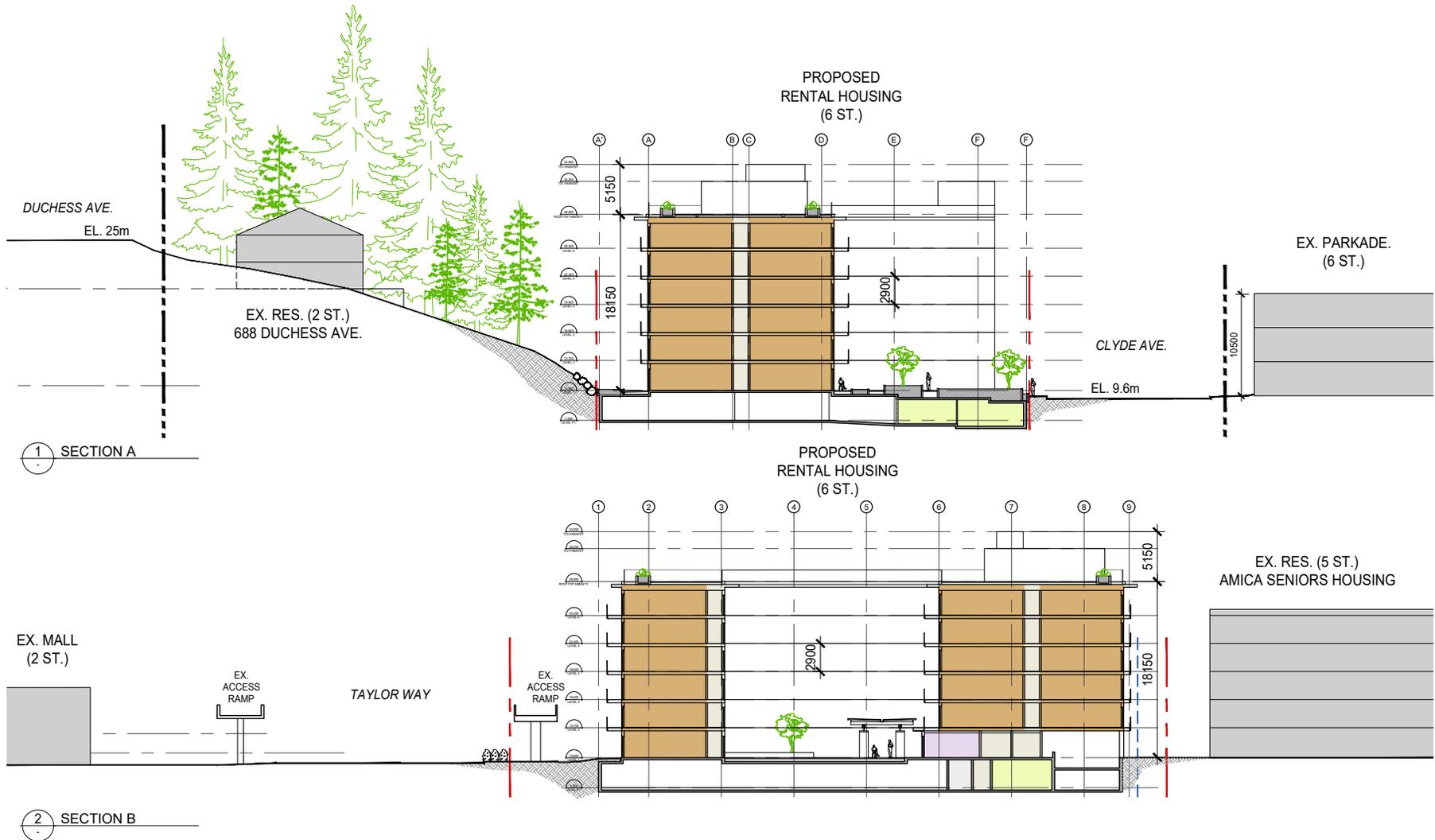


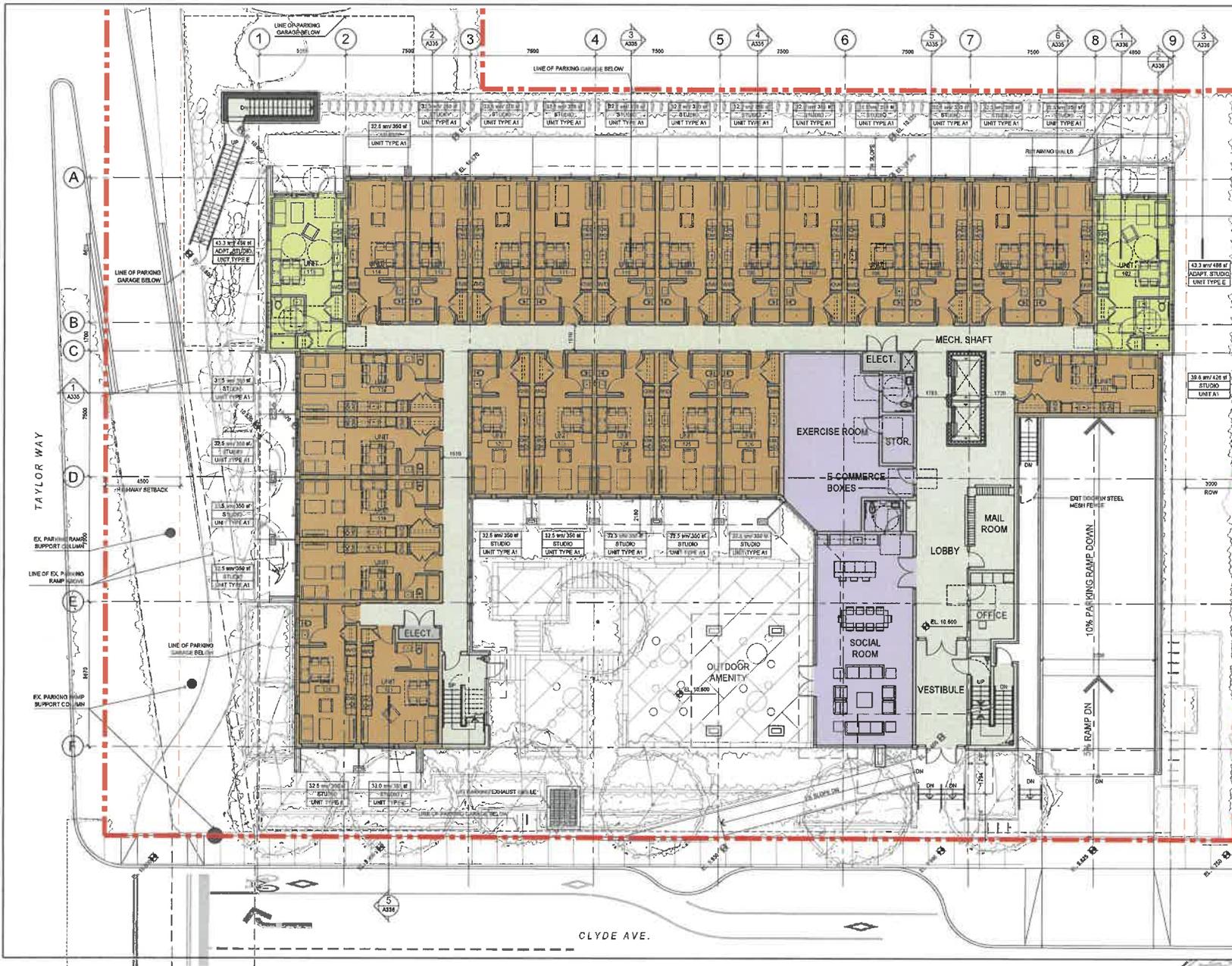
8 DECEMBER 21, 12 pm



9 DECEMBER 21, 2 pm

SITE SECTIONS





KEY PLAN



No.	Description	Date	Dr.
1	ISSUED FOR PERMITS (CP)	APR 19 2021	
2	ISSUED FOR PERMITS (JP)	OCT 21 2021	
Revisions: Track Up			

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Sheet No. **FLOOR PLAN LEVEL 01**

Job No.	20-16-000	Revision	
Scale	1:100		
Client	MUB		
Contract	PK		A302
Approved	ME		
Date	2021.11.24	Prepared	

20-16-000_R2_A302 Floor Plan - Level 01.dwg



KEY PLAN



No.	Description	Date	Dr.
1	ISSUED FOR PERMITS (CP)	APR 01 2021	DA
2	ISSUED FOR PERMITS (CP)	MAY 21 2021	DA
Revisions: Read Up			

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FLOOR PLAN
 LEVEL 2-4

Job No.	20-14-000	Sheet No.	
Scale	1:100	Drawn	MS
Checked	PK	Reviewed	MS
Date	2021.11.24	Project	A303

KEY PLAN



NO.	Description	Date	Dr.
1	ISSUED FOR PERMITS / CP	2021.11.24	MS
2	ISSUED FOR PERMITS / CP	2021.11.24	MS

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**FLOOR PLAN
LEVEL 5**

Rev. No.	20-14-000	Sheet No.	
Scale	1:100	Drawn	MS
Checked	MS	Reviewed	RK
Approved	ME	Project No.	A304
Date	2021.11.24	Project Name	



KEY PLAN



No.	Description	Date	Dr.
1	PROVIDE FOR MEZZANINE TOP	2021.11.24	ME
2	REMOVE FOR MEZZANINE TOP	2021.11.24	ME
3	REVISION	2021.11.24	ME

Revisions Read Up

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 Issue To:
FLOOR PLAN LEVEL 6

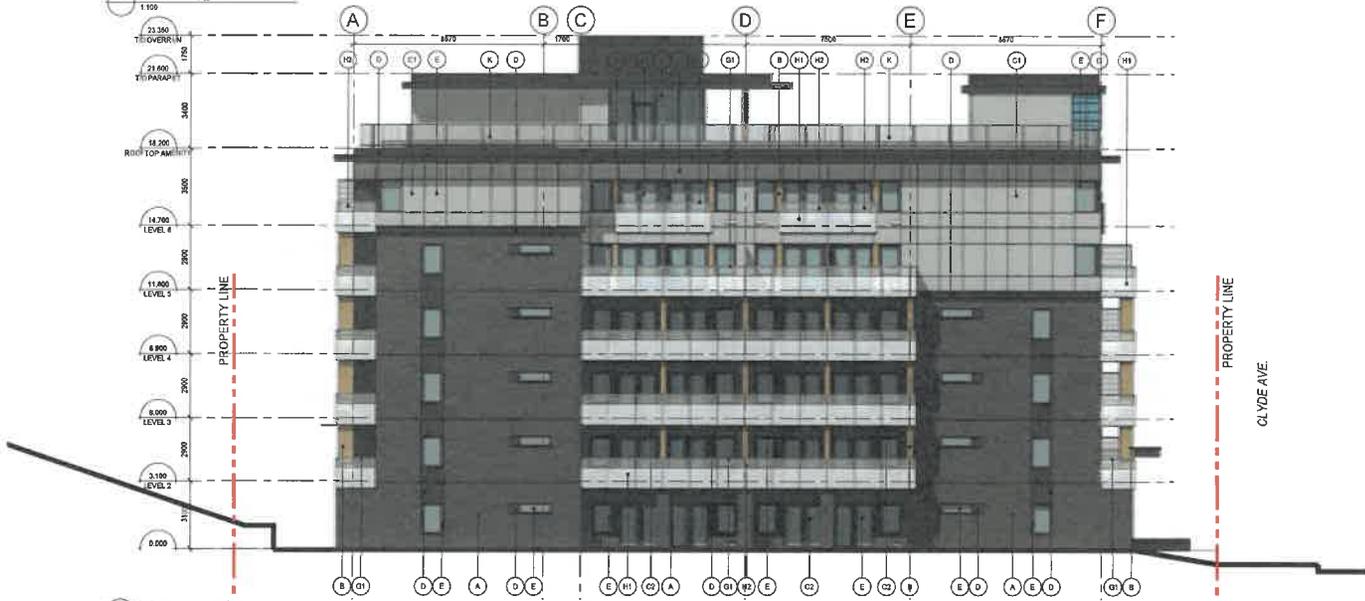
Job No.	20-16-000	Sheet No.	
Scale	1:100	Client	M55
Checked	JK	Project	A305
Approved	ME	Date	2021.11.24
Date	2021.11.24	Per. No.	



KEY PLAN



1 NORTH ELEVATION
1:100



2 WEST ELEVATION
1:100

MATERIALS LEGEND	
1	BRICK CLADDING COLOUR: DARK GREY
2	CEMENTITIOUS PANEL CLADDING COLOUR: LIGHT BROWN
3	CEMENTITIOUS PANEL CLADDING C1 - COLOUR: GREY C2 - COLOUR: BLACK
4	PREPARED METAL PROFILE COLOUR: BLACK
5	WINDOW SYSTEM GLAZING: CLEAR GLASS MULLIONS: BLACK
6	COLOURED LAMINATED GLASS COLOUR: SKY BLUE
7	PREPARED METAL RAILING SYSTEM 01 - COLOUR: LIGHT GREY
8	GLASS RAILING SYSTEM 01 - COLOUR: CLEAR GLASS 02 - COLOUR: CLEAR GLASS 03 - COLOUR: CLEAR GLASS 04 - COLOUR: CLEAR GLASS 05 - COLOUR: CLEAR GLASS 06 - COLOUR: CLEAR GLASS 07 - COLOUR: CLEAR GLASS 08 - COLOUR: CLEAR GLASS 09 - COLOUR: CLEAR GLASS 10 - COLOUR: CLEAR GLASS 11 - COLOUR: CLEAR GLASS 12 - COLOUR: CLEAR GLASS 13 - COLOUR: CLEAR GLASS 14 - COLOUR: CLEAR GLASS 15 - COLOUR: CLEAR GLASS 16 - COLOUR: CLEAR GLASS 17 - COLOUR: CLEAR GLASS 18 - COLOUR: CLEAR GLASS 19 - COLOUR: CLEAR GLASS 20 - COLOUR: CLEAR GLASS 21 - COLOUR: CLEAR GLASS 22 - COLOUR: CLEAR GLASS 23 - COLOUR: CLEAR GLASS 24 - COLOUR: CLEAR GLASS 25 - COLOUR: CLEAR GLASS 26 - COLOUR: CLEAR GLASS 27 - COLOUR: CLEAR GLASS 28 - COLOUR: CLEAR GLASS 29 - COLOUR: CLEAR GLASS 30 - COLOUR: CLEAR GLASS 31 - COLOUR: CLEAR GLASS 32 - COLOUR: CLEAR GLASS 33 - COLOUR: CLEAR GLASS 34 - COLOUR: CLEAR GLASS 35 - COLOUR: CLEAR GLASS 36 - COLOUR: CLEAR GLASS 37 - COLOUR: CLEAR GLASS 38 - COLOUR: CLEAR GLASS 39 - COLOUR: CLEAR GLASS 40 - COLOUR: CLEAR GLASS 41 - COLOUR: CLEAR GLASS 42 - COLOUR: CLEAR GLASS 43 - COLOUR: CLEAR GLASS 44 - COLOUR: CLEAR GLASS 45 - COLOUR: CLEAR GLASS 46 - COLOUR: CLEAR GLASS 47 - COLOUR: CLEAR GLASS 48 - COLOUR: CLEAR GLASS 49 - COLOUR: CLEAR GLASS 50 - COLOUR: CLEAR GLASS 51 - COLOUR: CLEAR GLASS 52 - COLOUR: CLEAR GLASS 53 - COLOUR: CLEAR GLASS 54 - COLOUR: CLEAR GLASS 55 - COLOUR: CLEAR GLASS 56 - COLOUR: CLEAR GLASS 57 - COLOUR: CLEAR GLASS 58 - COLOUR: CLEAR GLASS 59 - COLOUR: CLEAR GLASS 60 - COLOUR: CLEAR GLASS 61 - COLOUR: CLEAR GLASS 62 - COLOUR: CLEAR GLASS 63 - COLOUR: CLEAR GLASS 64 - COLOUR: CLEAR GLASS 65 - COLOUR: CLEAR GLASS 66 - COLOUR: CLEAR GLASS 67 - COLOUR: CLEAR GLASS 68 - COLOUR: CLEAR GLASS 69 - COLOUR: CLEAR GLASS 70 - COLOUR: CLEAR GLASS 71 - COLOUR: CLEAR GLASS 72 - COLOUR: CLEAR GLASS 73 - COLOUR: CLEAR GLASS 74 - COLOUR: CLEAR GLASS 75 - COLOUR: CLEAR GLASS 76 - COLOUR: CLEAR GLASS 77 - COLOUR: CLEAR GLASS 78 - COLOUR: CLEAR GLASS 79 - COLOUR: CLEAR GLASS 80 - COLOUR: CLEAR GLASS 81 - COLOUR: CLEAR GLASS 82 - COLOUR: CLEAR GLASS 83 - COLOUR: CLEAR GLASS 84 - COLOUR: CLEAR GLASS 85 - COLOUR: CLEAR GLASS 86 - COLOUR: CLEAR GLASS 87 - COLOUR: CLEAR GLASS 88 - COLOUR: CLEAR GLASS 89 - COLOUR: CLEAR GLASS 90 - COLOUR: CLEAR GLASS 91 - COLOUR: CLEAR GLASS 92 - COLOUR: CLEAR GLASS 93 - COLOUR: CLEAR GLASS 94 - COLOUR: CLEAR GLASS 95 - COLOUR: CLEAR GLASS 96 - COLOUR: CLEAR GLASS 97 - COLOUR: CLEAR GLASS 98 - COLOUR: CLEAR GLASS 99 - COLOUR: CLEAR GLASS 100 - COLOUR: CLEAR GLASS

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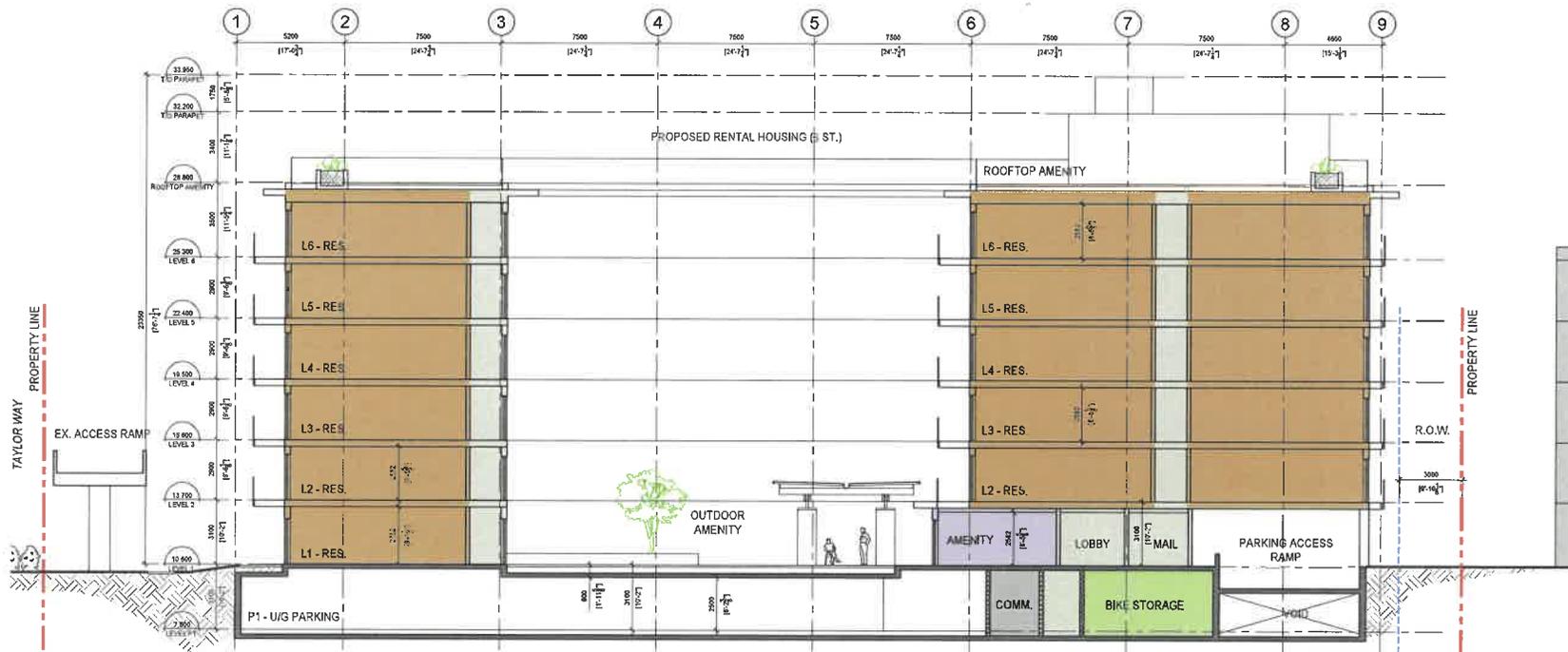
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EXTERIOR ELEVATIONS

Job No.	20-14-000	Rev. No.	
Scale	1:200		
Drawn	MS		
Checked	RC		A321
Approved	ME		
Date	2021.11.24	Printed	

20-14-000_R2_A320 Elevations.dwg

KEY PLAN



No.	Description	Date	Dr.
1	PREPARED FOR RECORDING (CP)	APR 19	2021
2	REVISED FOR RECORDING (CP)	APR 19	2021
3	REVISED FOR RECORDING (CP)	APR 19	2021

Revisions: Read Up

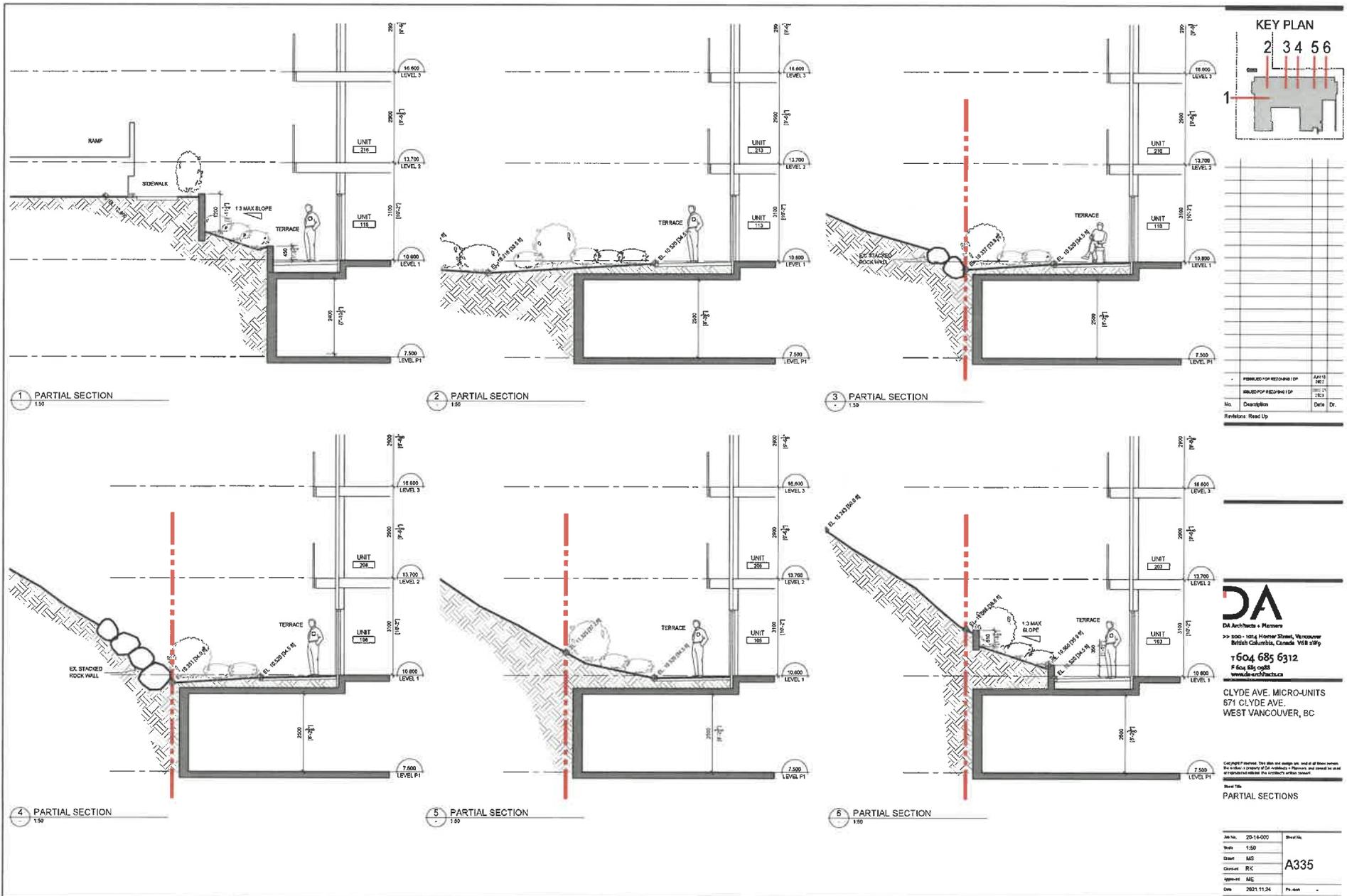
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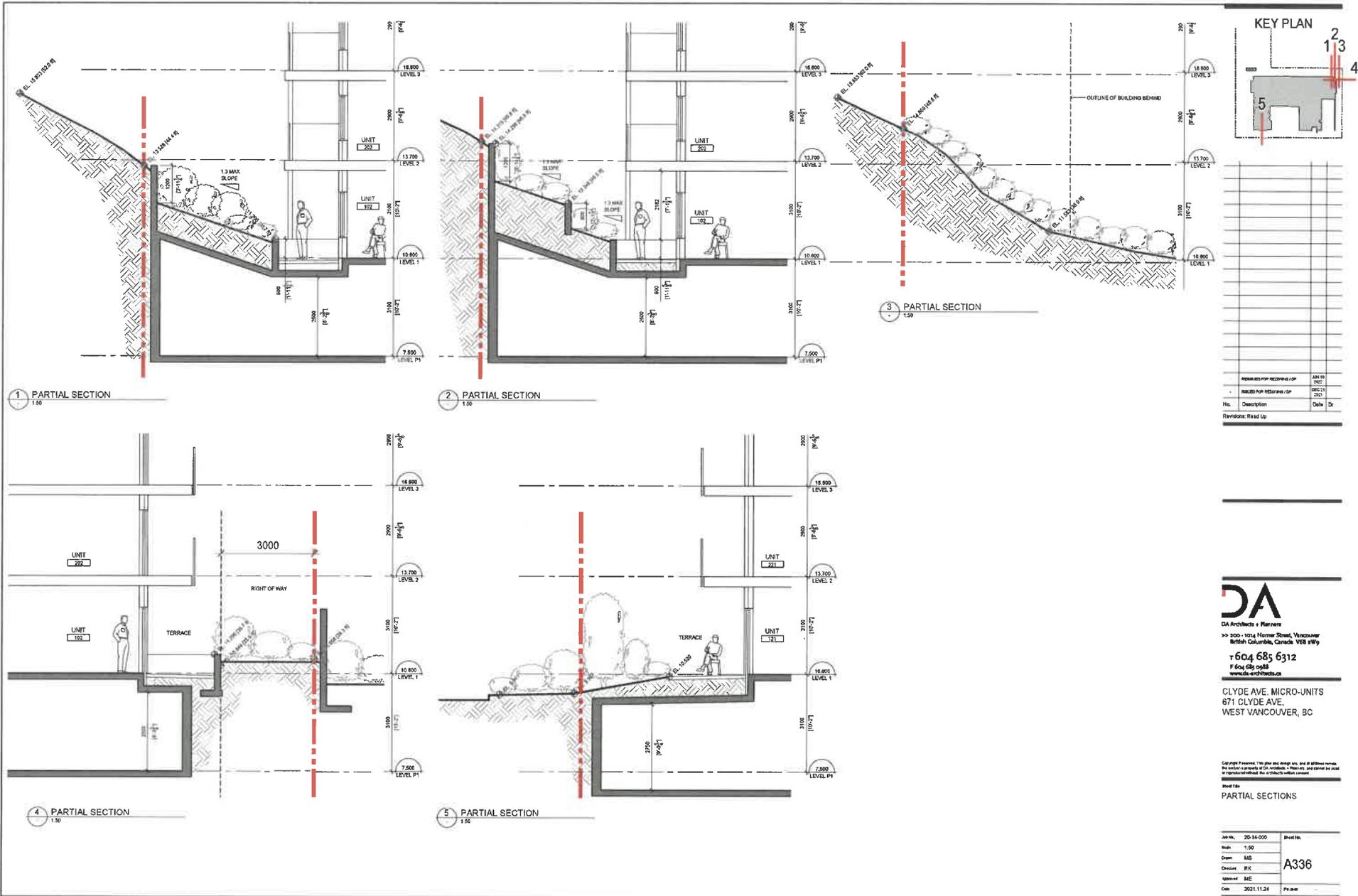
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Sheet Title
**BUILDING SECTIONS
 WEST-EAST**

Job No.	20-14-000	Sheet No.	
Scale	1:200		
Drawn	MG		
Checked	RK		A331
Approved	ME		
Date	2021-11-24	Plot Date	

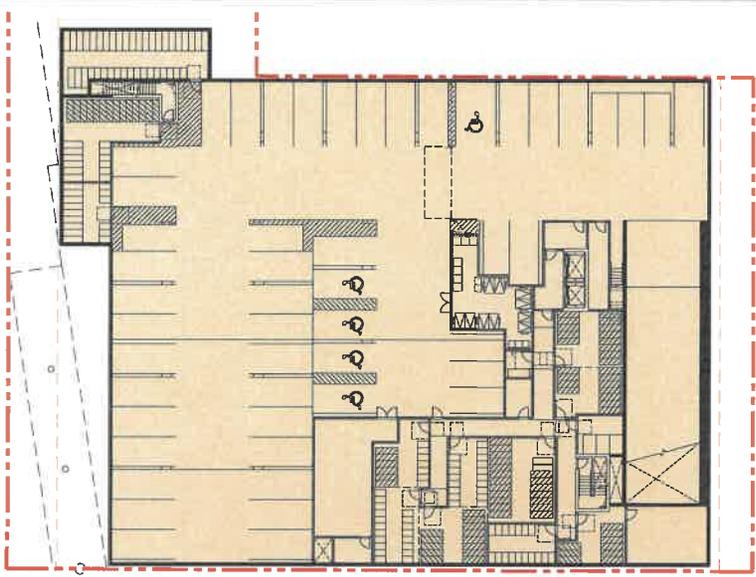




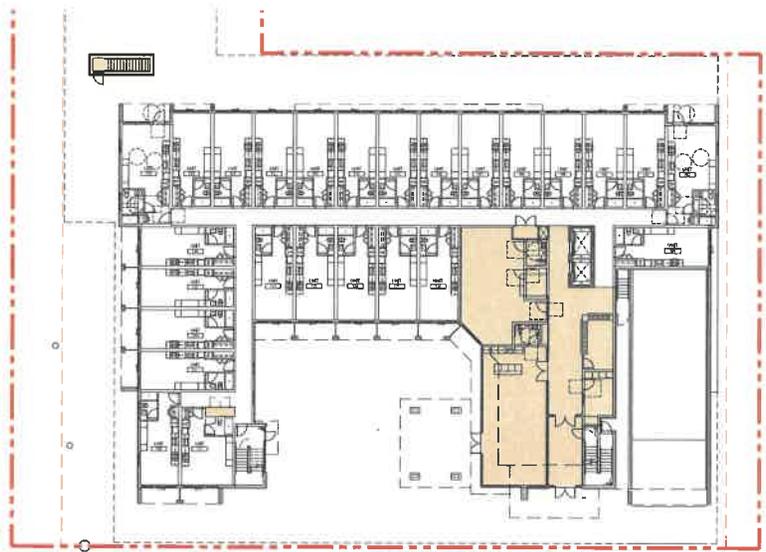
KEY PLAN



PROJECT NO. 20-14-000	DATE: 2021.11.24		
DESIGNER: DA ARCHITECTS + PLANNERS	DATE: 2021.11.24		
NO.	DESCRIPTION	DATE	DR.
1	REVISED		



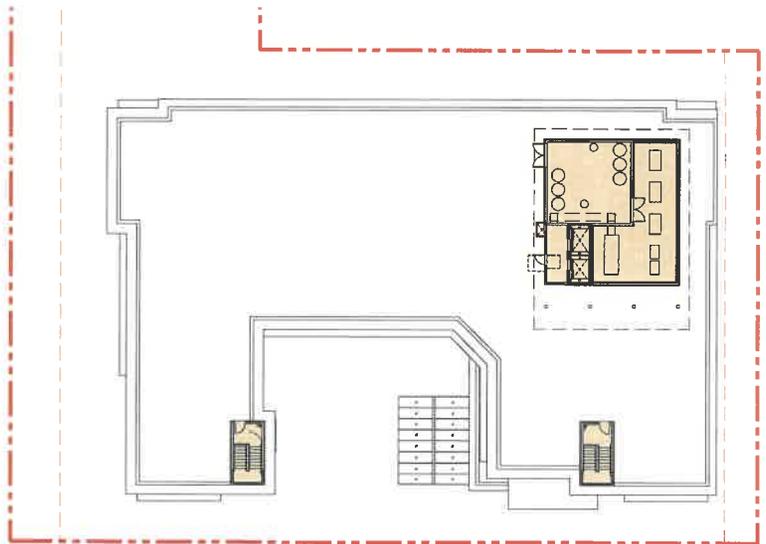
1 LEVEL P1 FAR EXCLUSION
1:200



2 LEVEL 1 FAR EXCLUSIONS
1:200



3 LEVEL 2-6 FAR EXCLUSION
1:200



4 AMENITY FAR EXCLUSION
1:200

LEGEND

[Yellow Box]	FAR EXCLUSIONS
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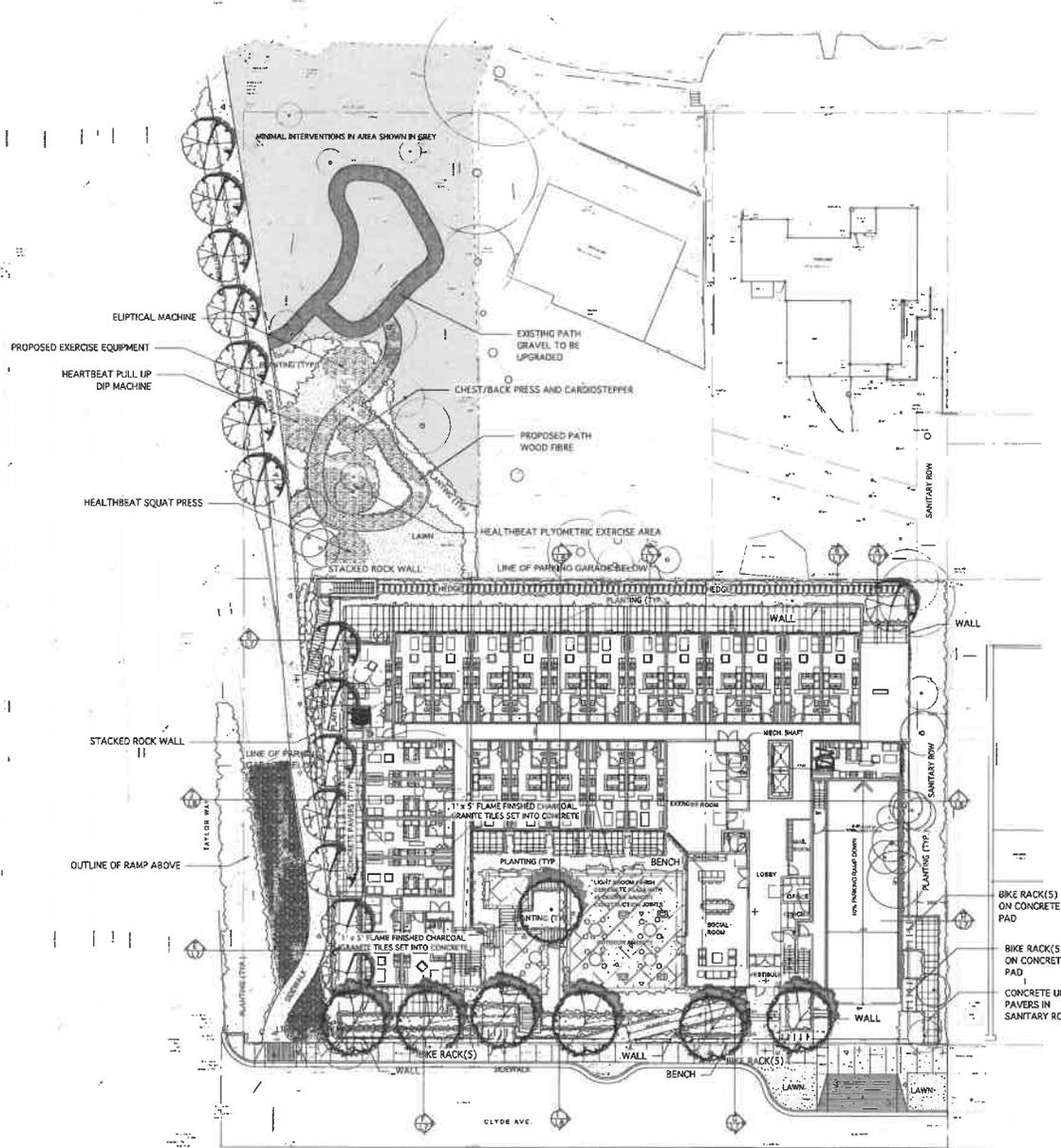
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FLOOR PLAN FAR EXCLUSIONS

Job No.	20-14-000	Sheet No.	
Scale	1:200		
Drawn	MB		
Checked	JPL		
Approved	MB		
Date	2021.11.24	Project	A401

20-14-000_R2_A401 FAR Exclusions.dwg



No.	Description	Date
2	REVISIONS FROM DP	06/10/22
1	REVISIONS FROM DP	03/21/22

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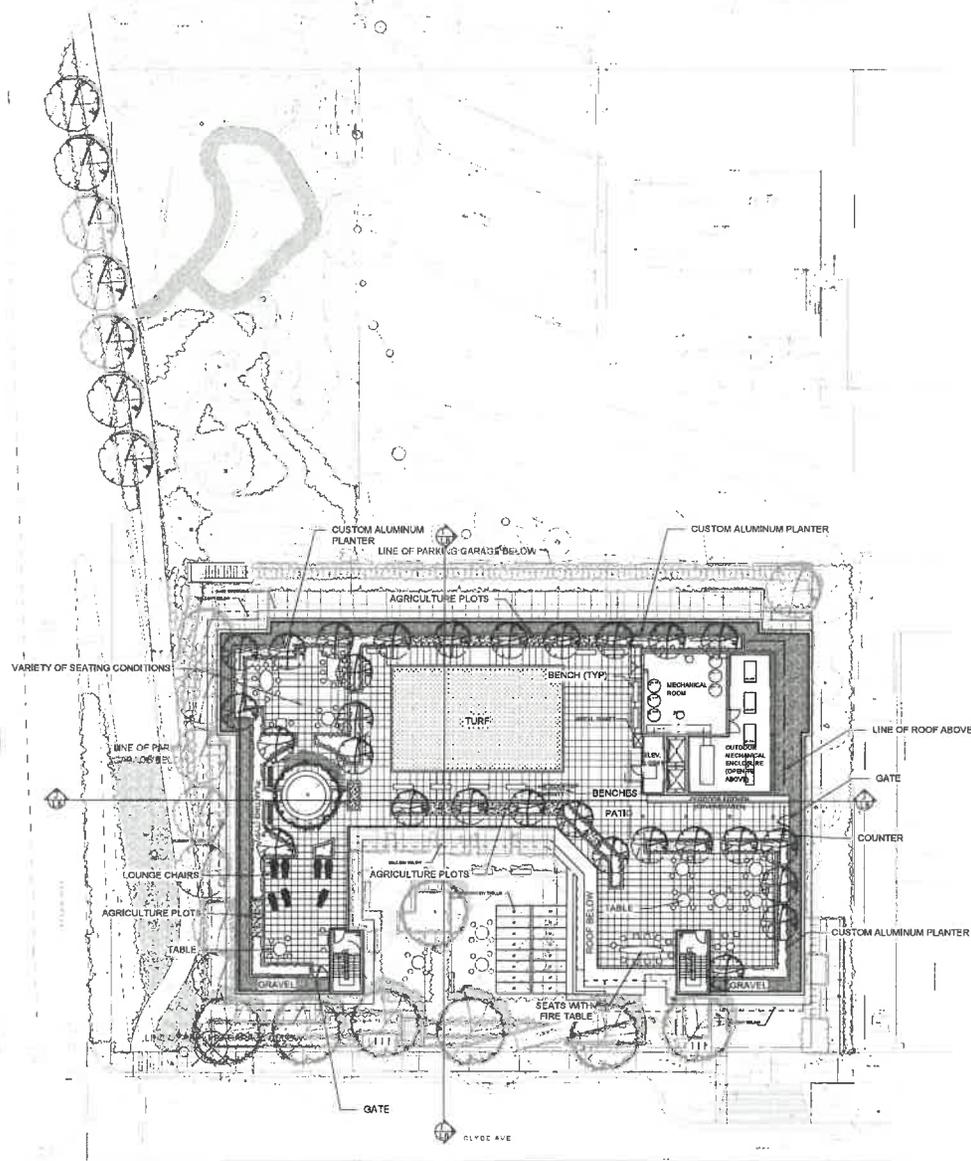
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Sheet No. **GROUND MATERIALS PLAN**

Job No.	Draw No.	L01
Scale 1:200	Drawn MCV	
Checked JMV	Drawn	r2



No	Description	Date
2	REVISIONS FROM DP	05/10/22
1	REVISIONS FROM DP	03/21/22

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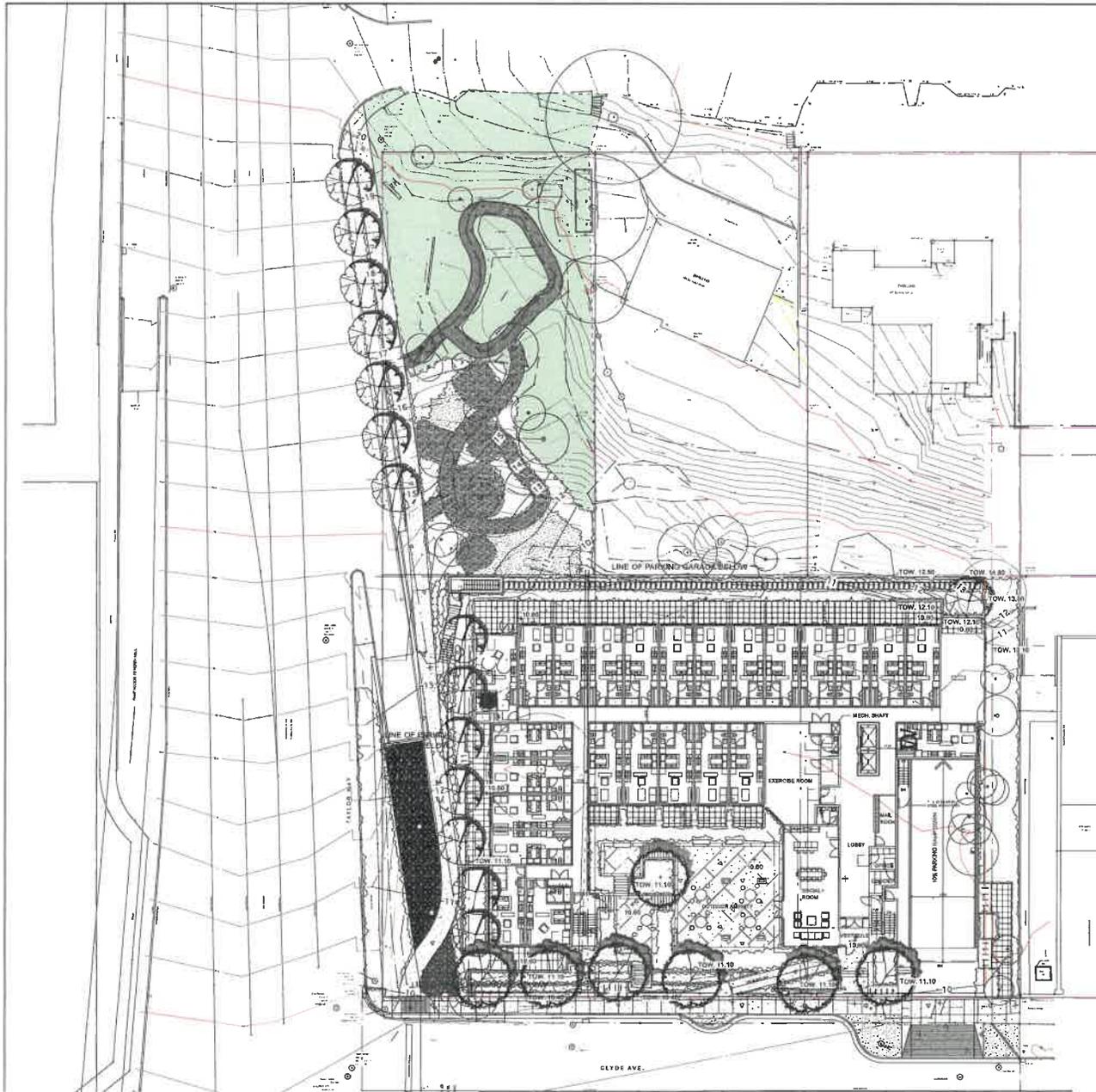
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Sheet Title
**ROOF
MATERIALS PLAN**

Job No.	Sheet No.
Scale: 1:200	Drawn: MCV
Checked: JMV	

L02 r2



No.	Description	Date
2	REVISIONS FROM DP	06/10/22
1	REVISIONS FROM DP	03/21/22

Revisions: Resac Up

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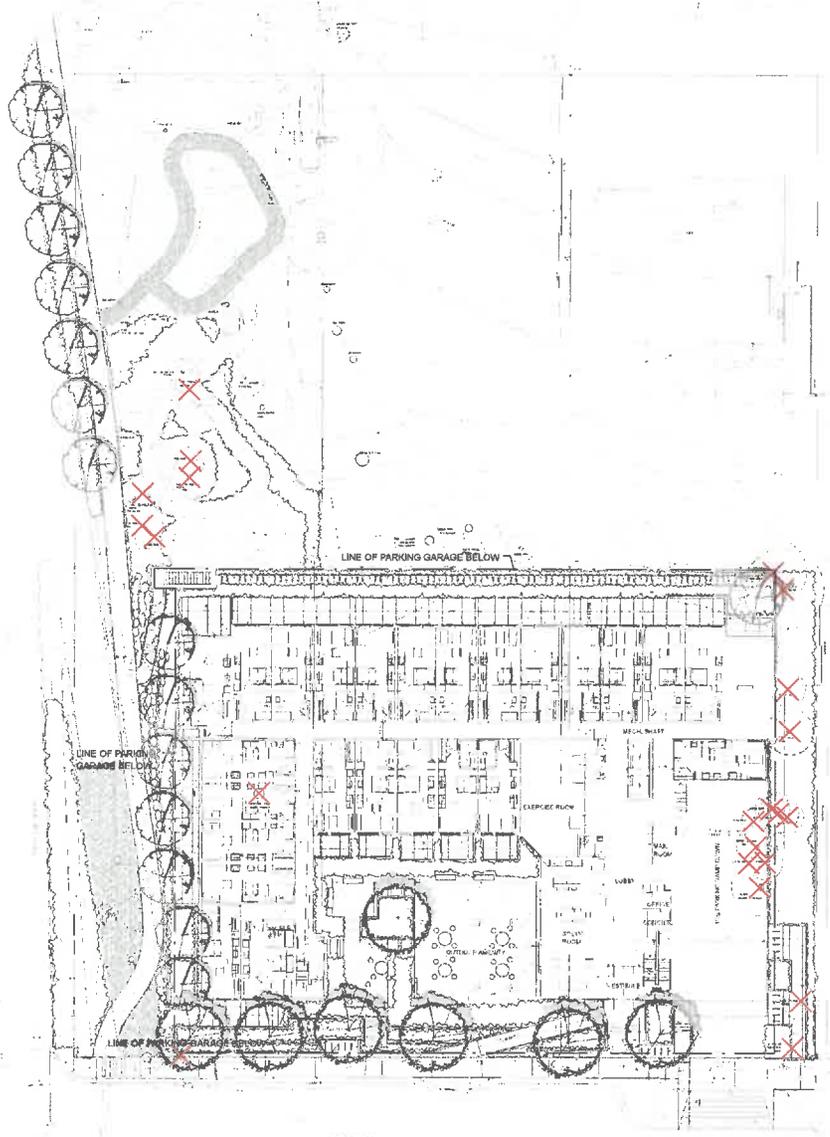
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Sheet Title
GROUND GRADING PLAN

JOB No.	Sheet No.
Scale 1:200	
Drawn MCV	
Checked JMV	

L03 r2



TREE PROTECTION:

1 GENERAL

1.1 RELATED WORK IN OTHER SECTIONS

Section 02110 - Site Grading
 Section 02090 - Plants and Planting
 Section 02021 - Topsoil and Fines Grading

1.2 CONFORMANCE

1.2.1 Conforms to Division 1 - General Requirements

1.3 WORK INCLUDED

- 1.3.1 Furnish all labor, materials, equipment and services necessary to protect existing trees on site and on adjacent road right-of-way and sites, including but not limited to:
 - 1.3.2 Survey and layout for locations of protective barriers.
 - 1.3.3 Installation, maintenance, adjustment during construction, and final removal of protective barriers and signs.
 - 1.3.4 Pruning as required, including hand excavation and root pruning.
 - 1.3.5 Watering, fertilizing and all other measures directed by the Certified Arborist as required to maximize the health and prospects for survival of the trees.
 - 1.3.6 Provision of 18hr services of a Certified Arborist to plan for and supervise tree protection measures.

1.4 GENERAL

1.4.1 The drip line, i.e. the furthest horizontal extent of the branching, is considered the location of most important roots, however the root system actually extends far beyond that limit. Tree roots are very shallow, generally in the top 1' of soil. The key to tree retention is minimizing root loss and possible sites for decay. Once the limit of disruption is established, it must be demarcated on site and fenced off from all impacts of construction.

1.4.2 The certified arborist shall be notified (give no less than two days notice) of the timing for root pruning, placement of protective barriers, and all other tree protection measures. The certified arborist shall on or supervise all root pruning, etc.

1.4.3 Excavation and stabilizing measures, shoring (if necessary) and related work shall be planned and executed such that no excavation or other disturbance occurs within the Tree Protection Area.

1.6 QUALITY ASSURANCE

1.6.1 Inspection: The Contractor shall give at least forty-eight (48) hours notice to the Consultant and the Certified Arborist when the protective barrier locations are accurately located on site, before staking and excavation and root pruning, arborist shall be present when all work is being done along the line of the protective fence.

2 PRODUCTS

2.1 PROTECTIVE BARRIER

2.1.1 Protective Barrier shall be a 4' high chain link fence (minimum 0.1875 inch dia. link) or temporary construction fencing, securely installed, planned, and securely tied in the approved position.

2.2 TREE PROTECTION AREA SIGNS

2.2.1 Tree Protection Area signs shall be signs at least 900mm x 450mm, on certified plywood or other acceptable weather resistant material, showing TREE PROTECTION AREA: No Dumping, No Burning, No Storage, No Cutting, No Machinery.

2.3 WATER, FERTILIZERS, MISCELLANEOUS

2.3.1 Water, fertilizers and miscellaneous materials shall be as specified in other sections of the specification and as directed by the Certified Arborist.

3 EXECUTION

3.1 PROTECTIVE BARRIER

3.1.1 Before starting site work, install a clearly visible 1.2m high compressive chain link fence barrier or temporary fence at the approved lines for "Zones of No Disturbance". Maintain this barrier until Substantial Performance and remove from the site at that time. Support fence on steel posts driven vertically into the ground at 5m on center, or as other wise approved by the consultant.

3.2 TREE PROTECTION AREA SIGNS

3.2.1 Install Tree Protection Area signs as specified on the snow fence barrier, both of five signs. Signs shall be well-secured and shall be maintained in place until Substantial Performance.

3.2.2 Take all measures necessary to prevent the following activities within tree protection areas except as authorized by the Consultant:

- B Storage of materials or equipment.
- B Stockpiling of soil or excavated materials.
- B Staking.
- B Excavation or trenching.
- B Cutting of roots or branches.

3.3 ROOT PRUNING

3.3.1 Before the start of machine excavation, hand excavate along the established limit of excavation and prune all roots along the line. Cuts shall be clean, to recommended arborist depth.

3.4 WATERING AND FERTILIZING

3.4.1 Retained trees shall be watered thoroughly and deeply, as necessary to supplement natural moisture in plant biology without prolonged saturation of the root zone. The method, amount and frequency of watering shall be as recommended by the arborist.

3.4.2 Retained trees may require fertilizing to stimulate regeneration of leaf roots and foliage. The fertilizer program shall be as recommended by the arborist.

3.5 OTHER MEASURES

3.5.1 Other measures may be necessary for tree protection and ongoing survival, depending on site conditions. These may be determined during the initial planning for retention and excavation, or may be recommended by the arborist during the course of construction.

END OF SECTION 02110

No	Description	Date
2	REVISIONS FROM DP	06/10/22
1	REVISIONS FROM DP	03/12/22
Revisions Read Up		

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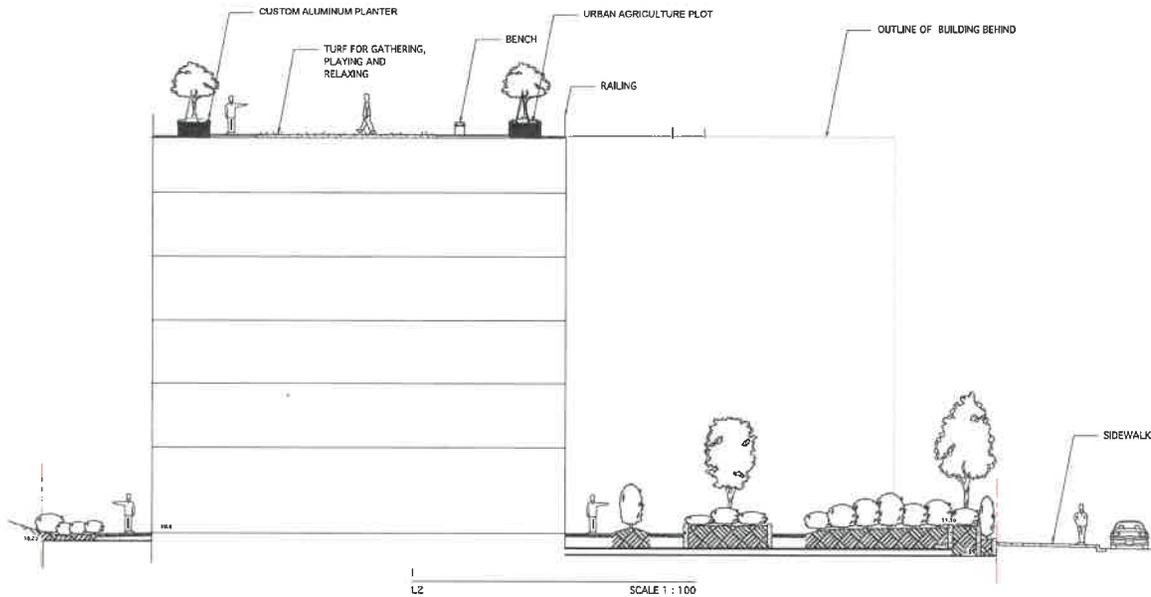
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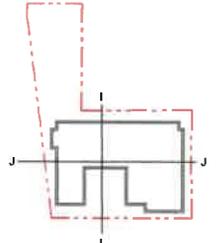
TREE REMOVAL PLAN

Job No.	Sheet No.
Scale	1:200
Drawn	MCV
Checked	JMV
Approved	

L05
r2



SECTION INDEX



No	Description	Date
2	REVISIONS FROM DP	05/10/22
1	REVISIONS FROM DP	03/21/22
No	Description	Date

Revisions:	Read Up
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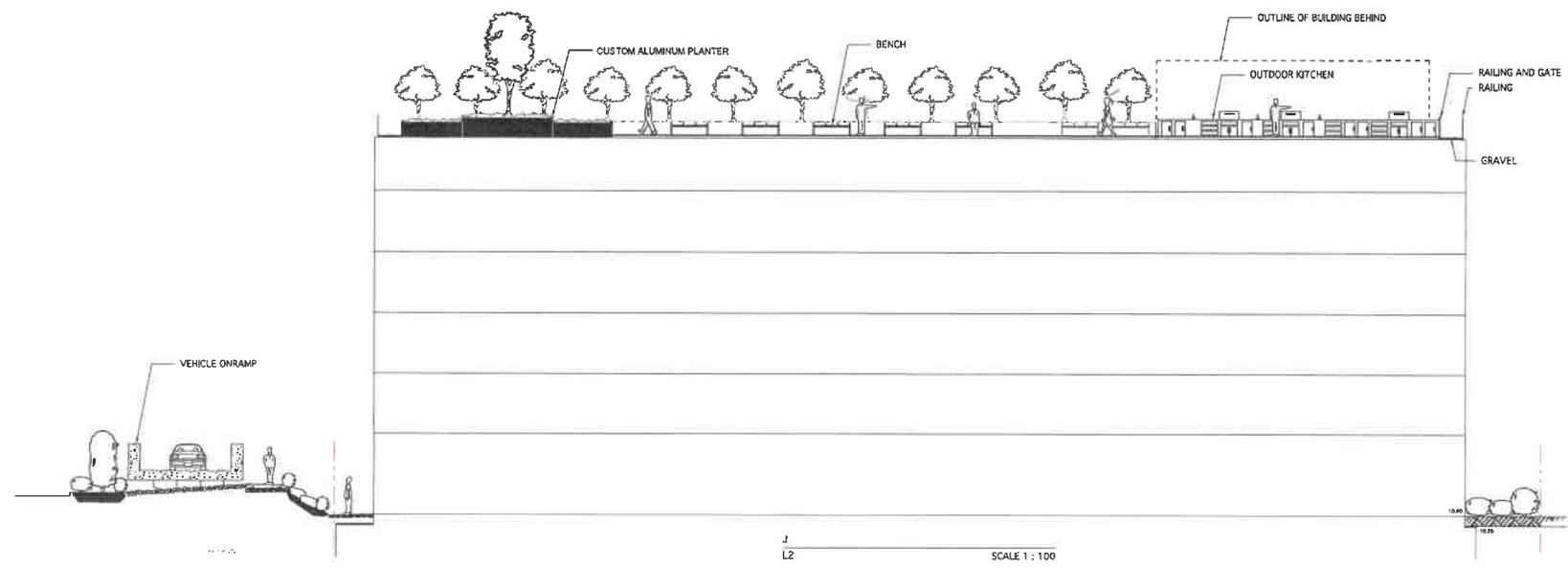
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SECTIONS 2

Job No.	Sheet No.
Scale: AS SHOWN	
Drawn: MCV	
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L08 r2

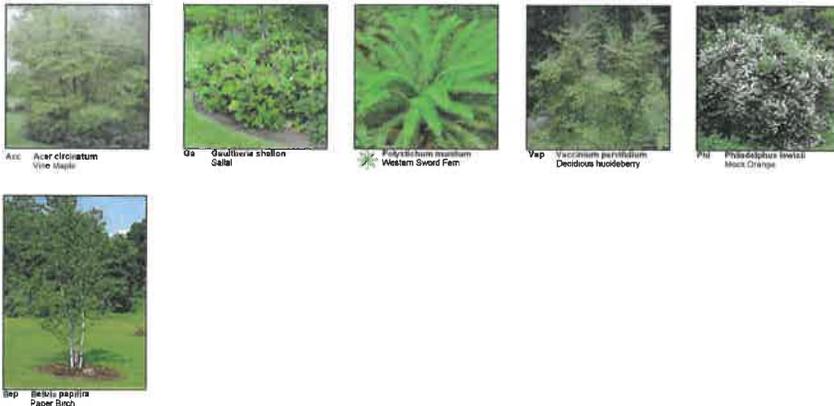


Plant List north and east of building

SYM.	LATIN NAME	COMMON NAME	SIZE	CONDITION
TREES				
Acc	<i>Acer circinatum</i>	Vine Maple	3.5m. ht.	B&B
Bep	<i>Betula papyrifera</i>	Paper Birch	2.0 m. ht.	B&B
SHRUBS				
Ac	<i>Achnatherum calamagrostis</i>	Needle Grass	0.3m ht.	#3 pot
Bl	<i>Blechnum spicant</i>	Deer Fern		#1 pot
Cev	<i>Ceanothus velutinus</i>	Snowbush ceanothus	1.0 m. ht.	#3 Pot
Fc	<i>Fragaria chiloensis</i>	Coastal Strawberry		10 cm pot
Gs	<i>Gaultheria shallon</i>	Salal		10 cm. pot
Im	<i>Iris missouriensis</i>	Missouri Iris		#1 pot
Phl	<i>Philadelphus lewisii</i>	Lewis's Mock Orange	1.0 m. ht.	#5 pot
	<i>Polystichum munitum</i>	Western Sword Fern		#1 Pot
Ris	<i>Ribes sanguineum</i>	Red Flowering Currant	1.5 m. ht.	#5 pot
Sya	<i>Symphocarpus albus</i>	Common Snowberry	0.3m. ht.	#3 pot
Vap	<i>Vaccinium parvifolium</i>	Red Huckleberry	0.6 m. ht.	#3 Pot

All work to CSLA/CNTA Standards

SHRUBS



Plant List on Roof



Sym.	Latin Name	Common Name	Size	Cdn
Trees				
Acpg	<i>Acer palmatum 'sango-kaku'</i>	Coral Bark Maple	1.5 m ht.	#10 pot
Prs	<i>Prunus serrulata 'Mt. Fuji'</i>	Mt. Fuji Japanese Flowering Cherry	7 cm. cal.	B&B
Styj	<i>Styrax japonica</i>	Japanese Snowbell Tree	2.5 m. ht.	B&B
Shrubs				
Aw	<i>Azalea 'Gumpo White'</i>	Gumpo White Azalea	0.3m ht.	#3 pot
Ec	<i>Erica carnea 'springwood white'</i>	Springwood White Flowering Heather	0.3m ht.	#3 pot
Lp	<i>Lonicera pileata</i>	Box-leaf Honeysuckle	0.3m ht.	#3 pot
Rmy	<i>Rosa meidiland 'Yellow'</i>	Meidiland Rose Yellow	0.3m ht.	#3 pot
Groundcovers and Perennials				
An	<i>Aster novi-belgii</i>	New York Aster		#1 pot
Ep	<i>Echinacea purpurea</i>	Purple Coneflower	0.3m ht.	#3 pot
Fo	<i>Festuca ovina 'Glaucia'</i>	Elijah Blue Fescue		#1 pot
Fc	<i>Fragaria chiloensis</i>	Coastal Strawberry		10 cm pot
La	<i>Lavandula angustifolia 'Nana'</i>	Dwarf Lavender	0.3m ht.	#3 pot
Ps	<i>Phlox subulata 'Snowflake'</i>	Creeping Phlox		10 cm pot
Rh	<i>Rudbeckia hirta 'Goldstrum'</i>	Black Eyed Susan	0.3m ht.	#3 pot

No	Description	Date
2	REVISIONS FROM DP	06/19/22
1	REVISIONS FROM DP	03/21/22

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Sheet Title
**PLANT LIST
ROOF AND
NORTH**

Job No.	Sheet No.
Drawn: MCV	
Checked: JMV	

L11 r2

TREES



Quc *Quercus coccinea*
Scarlet Oak



Acr *Acer rubrum* 'Franks Red'
Red Maple Franks Red



Acr *Acer palmatum* 'Bonsai-kae'
Coral Bark Maple



Styj *Styax japonica*
Japanese Snowbell Tree



Prs *Prunus serrulata* 'Shirotae'
Mt. Fuji Cherry

SHRUBS



Bux *Buxus sempervirens*
Dwarf Boxwood



Er *Erica carnea* 'Springwood white'
Winter flowering heather



Ep *Echinacea purpurea*
Purple Coneflower



Ca *Calamagrostis canadensis* 'Karl Foerster'
Feather Reed Grass



Fc *Fragaria chiloensis*
Coastal Strawberry



Aw *Azalea gumpo white*
White gumpo azalea



Rmy *Rosa meidiland* 'Yellow'
Meidiland Yellow Rose



Fg *Festuca gaultieri*
Bearskin Fescue



Sr *Sarcococca fuscicola*
Fragrant sweet box



Cl *Clematis lanata*
Mexican orange



Rme *Rosa meidiland* 'White'
Meidiland White Rose



Hs *Hosta Stebbii*
Hosta - variety of selections



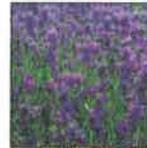
Gs *Gaultheria shallon*
Salal



Ab *Aster novi-belgii*
Mourning Glory



Lp *Lonicera pileata*
Privet Honeysuckle



La *Lavandula angustifolia* 'Hansa'
Lavender Hansa



Aw *Azalea gumpo white*
White gumpo azalea



Pol *Polystichum munitum*
Western Sword Fern



Cel *Ceanothus impressus* 'Victoria'
California Lilac



Rh *Rhododendron* 'Snow Lady'
Snow Lady's Rhododendron

Plant List area around building

Sym.	Latin Name	Common Name	Size	Cdn
Trees				
Acpg	<i>Acer palmatum</i> 'sango-kaku'	Coral Bark Maple	1.5 m ht.	#10 pot
Acr	<i>Acer rubrum</i> 'Franks Red'	Franks Red Red Maple	7 cm. cal.	Cage
Prs	<i>Prunus serrulata</i> 'Kwanzan'	Kwanzan Japanese Flowering Cherry	6 cm. cal.	B&B
Prs	<i>Prunus serrulata</i> 'Mt. Fuji'	Mt. Fuji Japanese Flowering Cherry	7 cm. cal.	B&B
Quc	<i>Quercus coccinea</i>	Scarlet Oak	7 cm. cal.	Cage
Styj	<i>Styax japonica</i>	Japanese Snowbell Tree	2.5 m. ht.	B&B
Shrubs				
Aw	<i>Azalea</i> 'Gumpo White'	Gumpo White Azalea	0.3m ht.	#3 pot
Cev	<i>Ceanothus velutinus</i>	Snowbush ceanothus	1.0m ht.	#3 pot
Cht	<i>Choisy ternata</i>	Mexican Orange	0.5m ht.	#3 pot
Ec	<i>Erica carnea</i> 'springwood white'	Springwood White Flowering Heather	0.3m ht.	#3 pot
Hs	<i>Hosta seiboldiana</i>	Hosta	0.2m ht.	#1 pot
Lp	<i>Lonicera pileata</i>	Box-leaf Honeysuckle	0.3m ht.	#3 pot
	<i>Polystichum munitum</i>	Western Sword Fern		#1 pot
Rmy	<i>Rosa meidiland</i> Yellow	Meidiland Rose Yellow	0.3m ht.	#3 pot
Groundcovers and Perennials				
An	<i>Aster novi-belgii</i>	New York Aster		#1 pot
Ep	<i>Echinacea purpurea</i>	Purple Coneflower	0.3m ht.	#3 pot
Fo	<i>Festuca ovina</i> 'Glaucia'	Elijah Blue Fescue		#1 pot
Fc	<i>Fragaria chiloensis</i>	Coastal Strawberry		10 cm pot
Gs	<i>Gaultheria shallon</i>	Salal		10 cm pot
La	<i>Lavandula angustifolia</i> 'Nana'	Dwarf Lavender	0.3m ht.	#3 pot
Ps	<i>Phlox subulata</i> "Snowflake"	Creeping Phlox		10 cm pot
Rh	<i>Rudbeckia hirta</i> 'Goldstrum'	Black Eyed Susan	0.3m ht.	#3 pot

No	Description	Date
2	REVISIONS FROM DP	09/12/22
1	REVISIONS FROM DP	03/21/22

Revisions: Read Up

Vaughan Landscape Planning and Design
 #105 1425 Marine Dr.
 West Vancouver, B.C.
 Canada V7V 1G1
 PH: 604-818-9500
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Clyde Avenue Microunits
 671, 685, 693 Clyde Ave
 & 694 Duchess Ave.

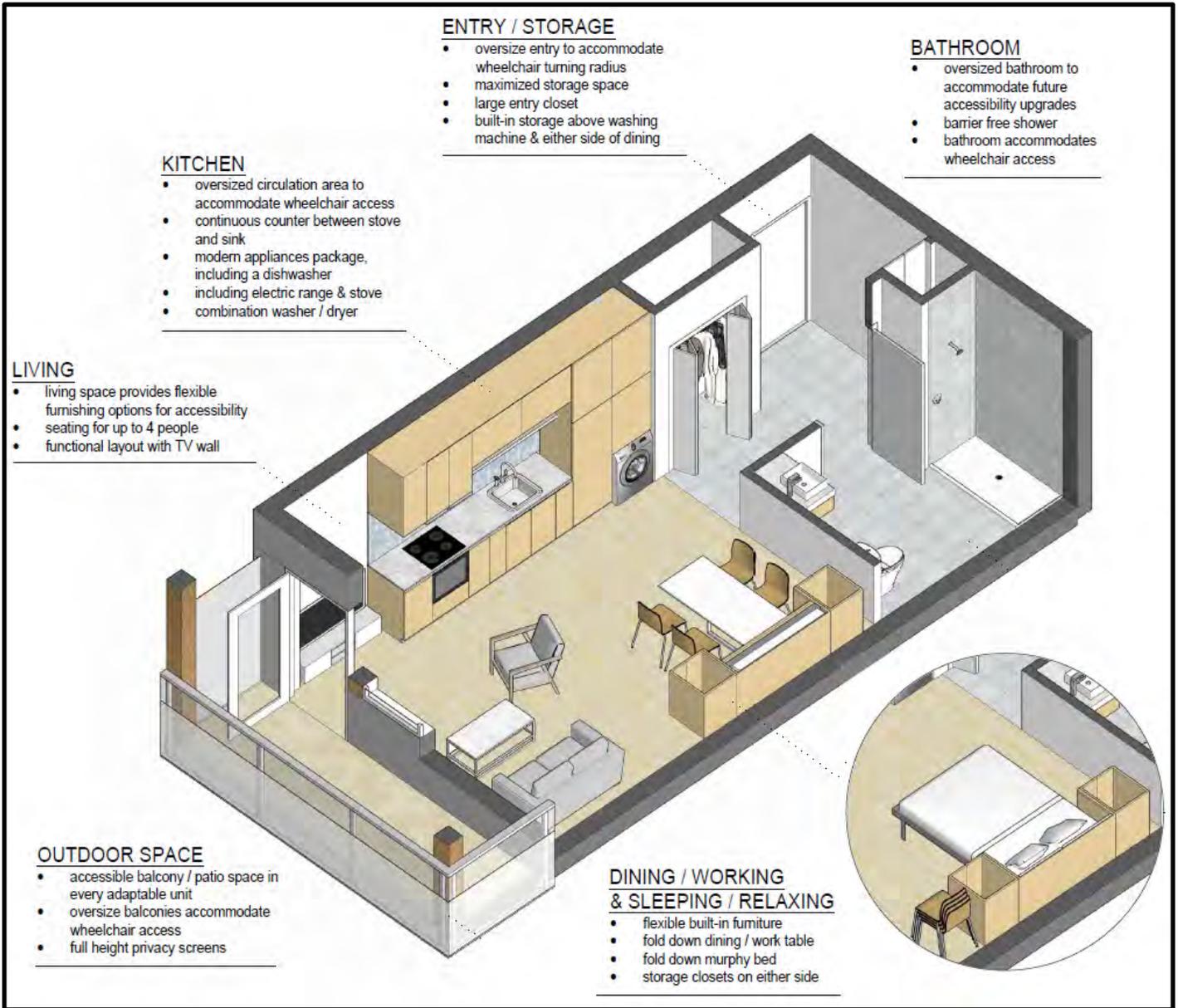
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PLANT LIST AROUND BUILDING

Job No.	Sheet No.
Scale	
Drawn	MCV
Checked	JMV
Approved	

L10 r2

Appendix F – Typical Layout of Accessible Units



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Clyde Avenue Micro Units

(671, 685, 693 Clyde Avenue, 694 Duchess Avenue)

In Person and Virtual Developer Public
Information Meetings and Developer Open House
Summary Report

*Prepared by Park Royal Shopping Centre Holdings Ltd.
December 15, 2021*



Park Royal Shopping Centre Holdings Ltd.
2002 Park Royal South
West Vancouver, BC V7T 2W4
T 604.922.3211 F 604.922.3217

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PARK ROYAL

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OVERVIEW

Further to the Preliminary Development Proposal for 671, 685, 693 Clyde Avenue and 694 Duchess Avenue submitted to the District of West Vancouver (DWV) on July 21, 2021 and the October 4, 2021 West Vancouver Council Council's motion stating "THAT the preliminary development proposal outlined within the report titled Preliminary Development Proposal for 671, 685, 693 Clyde Avenue and 694 Duchess Avenue dated September 15, 2021 from the Senior Community Planner proceed to public consultation prior to adoption of the Taylor Way Local Area Plan in accordance with Council's Preliminary Development Proposal and Public Consultation Policy.", Park Royal Shopping Centre Holdings Ltd. (Park Royal) has conducted the following public consultation.

November 24, 2021, Park Royal hosted an In-Person Public Information Meeting on the development proposal and in compliance with the DWV Public Consultation Policy. The Public Information Meeting was at 779 Main Street in Park Royal South, from 6:00pm to 8:00pm in West Vancouver, providing the opportunity for the public to meet the project team, learn about the proposal, ask questions and provide feedback.

Park Royal hosted a Virtual Public Information Meeting on the development proposal in compliance with the DWV Public Consultation Policy. The Virtual Meeting opened 9am on Monday November 22nd and closed at 5pm on Monday November 29th, 2021. This was accessed at: clydemicrounits.com/feedback

The Virtual Meeting included application information, FAQs and the ability to email questions and comments to the Park Royal consultant team.

Additionally, Park Royal hosted a Public Open House at the same location as the Public Information Meeting from November 19-28, 2021 to further inform the public, ask questions, and provide feedback about the proposal. All visitors to the Open House were encouraged to attend either the Virtual or Physical Public Information Meeting.

PUBLIC CONSULTATION SUMMARY

In-Person Public Information Meeting Outcome--November 24, 2021,

- Thirty members of the public attended, including one District of West Vancouver staff member
- All members of the public were encouraged to fill out a comment form that night. Those who did not, were encouraged to scan a QR code which took them to the virtual meeting, where a comment form was available to fill out. Seven comment forms were completed and returned to Park Royal that night

Of the seven comments received:

- 100% were supportive or supportive with additional suggestions
- 67% of the Comment Forms submitted were from residents of West Vancouver
- 0% were non-supportive

Virtual Public Information Meeting Outcome-- November 22-29, 2021

- One hundred fifty-nine people visited the on-line Virtual Public Information Meeting Site
- Twenty-nine comment forms were completed

Of the twenty-nine comments received:

- 97% were supportive or supportive with additional suggestions
- 3% (1) expressed concern based on the incorrect assumption that the property belonged to the District of West Vancouver
- 0% were non-supportive
- 67% of the Comment Forms submitted were from residents of West Vancouver

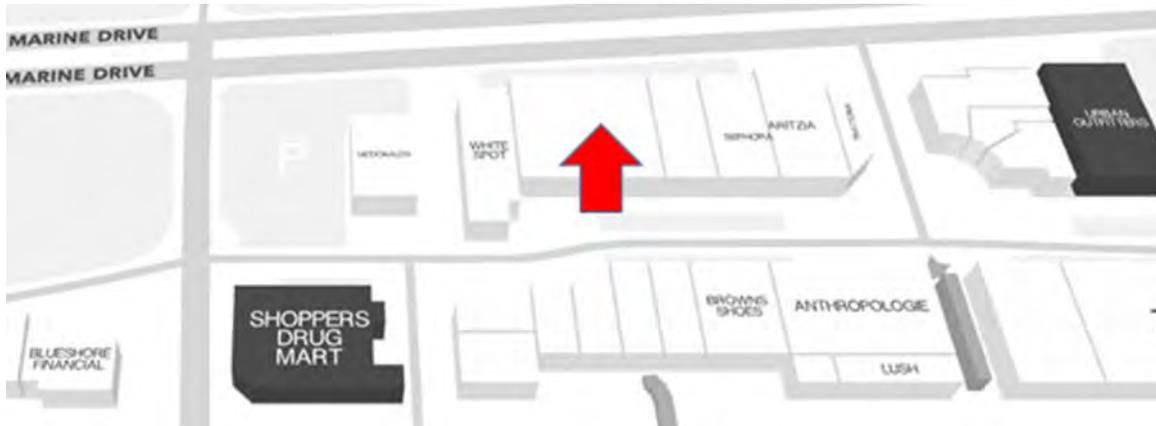
1.0 INTRODUCTION

Park Royal Shopping Centre Holdings Ltd. has applied to the District of West Vancouver for a rezoning and development permit for 671, 685, 693 Clyde Avenue and 694 Duchess Avenue.

The project team hosted *both* a Virtual and In Person Public Information Meeting to share information about the proposal with members of the public and gather feedback.

PHYSICAL MEETING: November 24, 2021

VIRTUAL MEETING: November 22 – 29, 2021, 779 Main St, Park Royal South



Location of In-Person Public Information Meeting

2.0 NOTIFICATION DETAILS

While residents and businesses within a 100-metre radius received notices according to District of West Vancouver requirements, in order to garner feedback from a greater representation of residents and businesses--appendix B (approximately 701 mailing addresses). All were notified about the Public Information Meeting via Canada Post addressed mail. The community was also notified through newspaper advertisements. Additionally, information about the Virtual and In -person Public Information Meetings and the 10-day Open House was featured on the Park Royal website (40,000 users per month), which was bolstered by Twitter (2,462 followers) and Facebook (11,215 Facebook friends)

Mail Notification

701 Public Information Meeting notification flyers were distributed through mail by Canada Post on November 12, 2021.

See Appendix A for a copy of the notification flyer.

See Appendix B for the notification area.

Newspaper Advertisement

A newspaper advertisement in the North Shore News ran on November 10 and 17, 2021.

See Appendix C for a copy of the newspaper advertisement.

3.0 MEETING FORMAT

Event Details

PHYSICAL MEETING: 779 Main Street, Park Royal South
DATE: November 24, 2021
TIME: 6:00pm – 8:00pm

The Physical Meeting was a drop-in open house. Social distancing, sanitization and personal protection measures were in place as per WorkSafe BC requirements.

VIRTUAL MEETING: clydemicrounit.com/feedback
DATE: November 22-29, 2021

The Virtual Meeting opened 9am on Tuesday November 23rd and closed at 5pm, Thursday November 25th, 2021. It was accessed at: clydemicrounit.com/feedback

The Virtual Meeting included application information, FAQs and the ability to email questions and comments the Park Royal consultant team.

In-Person Event Description

The in-person Public Information Meeting took place on Wednesday November 24th from 6:00 pm to 8:00 pm in Park Royal South, next door to the White Spot. Upon arrival, attendees were invited to sign-in, review the display boards, ask questions, and fill out a comment form. The display boards were arranged along the south, east and north walls. A diagram, depicting the size of a typical micro unit and typical adaptable micro unit was taped to the floor. Tables were placed near the exit of the room for attendees to fill out comment forms before leaving. Members of the project team were available to answer questions throughout the event.

Project Team in Attendance

Park Royal

- Rick Amantea
- Wendy LeBreton
- Misti Mussatto

DA Architects

- Ross Komnatskyy
- Mark Ehman

Bunt & Associates Engineering Ltd.

- Peter Joyce

Vaughan Landscape

- Mark Vaughan

4.0 PRESENTATION MATERIAL

The In-Person Public Information Meeting board titles, which are representative of the content, are listed below.

1. Directional Welcome
2. Welcome
3. Purpose of this Public Information Meeting
4. Executive Summary
5. Proposal Existing & Future Context/Project Description/Project Design Rationale/Compliance with OCP policies
6. Existing Context: Neighbourhood
7. Existing Context: Development
8. Existing Context: Photos
9. Site Plan
10. Site Sections
11. Floor Plans
12. Micro Unit Concept—Typical Micro Unit
13. Micro Unit Concept—Typical Adaptable Micro Unit
14. Target Market: Workplace & Young Professionals Housing
15. 3D Views: North & South West Corners—existing and future context
16. 3D Views: North, South, East, West elevation
17. 3D Views: Aerial
18. Sustainability
19. Transportation – Options
20. Transportation – Traffic
21. Landscape (2 slides)

See Appendix E for a copy of the boards.

5.0 COMMENT FORM SUMMARY

Comment forms were available to attendees when they entered and exited for both the Public Open House and In Person Public Information Meeting. Everyone was encouraged to complete one, and those who didn't were encouraged to participate in the Virtual Public Information Meeting.

A total of 9 comment forms were completed in person from both in person events. **(67% of respondents were West Vancouver residents)**

A total of 29 comment forms were completed virtually **(67% of respondents were from West Vancouver)**

Comment Form Responses

There were no specific questions asked on the in-person comment forms.

Of the 9 comment forms completed and returned:

- 4 mentioned affordability, 44%
- 5 mentioned employment housing, 56%
- 1 mentioned replacing an "eyesore" 11%

See Appendix E for a copy of the comment form.

See Appendix F for In Person comment forms completed transcriptions and Appendix G for Virtual comments

6.0 APPENDICES

Appendix A: Notification Flyer - *Front*

PLEASE JOIN US

Applicant Hosted Preliminary Public Information Meeting

Proposed Rezoning of 671, 685, 693 Clyde Avenue and 694 Duchess Avenue

MEETING LOCATION: 779 Main Street, Park Royal South (next to White Spot)
DATE: November 24, 2021
TIME: 6:00pm – 8:00pm
APPLICANT: Park Royal Shopping Centre Holdings Ltd.



Rendering of Proposal (looking eastward)



Location Map/Site Plan

The Proposal

Park Royal Shopping Centre Holdings Ltd. plans to submit a rezoning and development permit application for residential rental units at 671, 685 and 693 Clyde Avenue that includes:

- 201 residential “micro-unit” rentals (2.0 FAR)
- Approximately 49 parking stalls (.25 stalls per unit)
- Approximately 302 bicycle stalls (1.5 per unit)
- 6 storey residential building with landscaped rooftop amenity
- Northern lot (694 Duchess Avenue) outdoor green space or other amenity

Online Preliminary Public Information Meeting

If you prefer to provide your comments online (rather than at the in-person meeting), please visit: www.clydemicrounits.com/feedback. The webpage will be open for comments from November 22, 2021 to November 29, 2021.

Questions or Comments?

Please contact Misti Mussatto mmussatto@parkroyal.ca or at (604) 923-4728.

Need More Information?

Please visit the District of West Vancouver’s preliminary development application overview web page at <https://westvancouver.ca/micro>

Appendix A: Notification Flyer - Back



Aerial View—Looking Northeast

Meeting Details

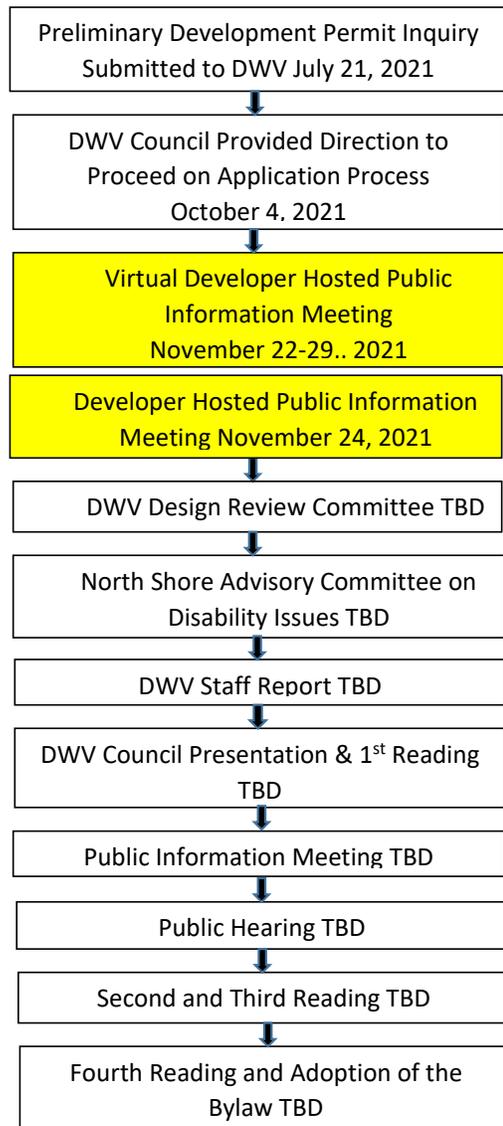
Park Royal Shopping Centre Holdings Ltd. is hosting a Public Information Meeting on November 24, 2021 between 6:00pm - 8:00pm at Park Royal South, 779 Main Street.

The purpose of this event is to share information on the proposal and receive public feedback.

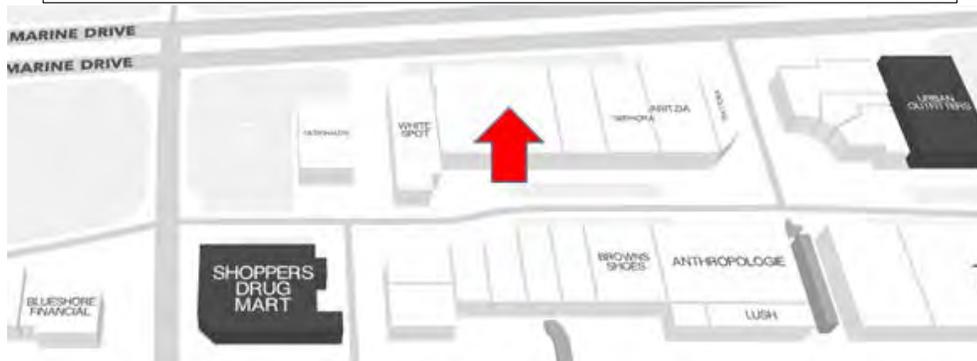
The meeting format is a drop-in open house. Members of the public are invited to attend, view display material, ask questions, and provide comments. There will be no formal presentation. The meeting is hosted by Park Royal Shopping Centre Holdings Ltd. and is not a District of West Vancouver event.

The In-Person Public Information Meeting location will be sanitized and all Worksafe BC protocols will be in place.

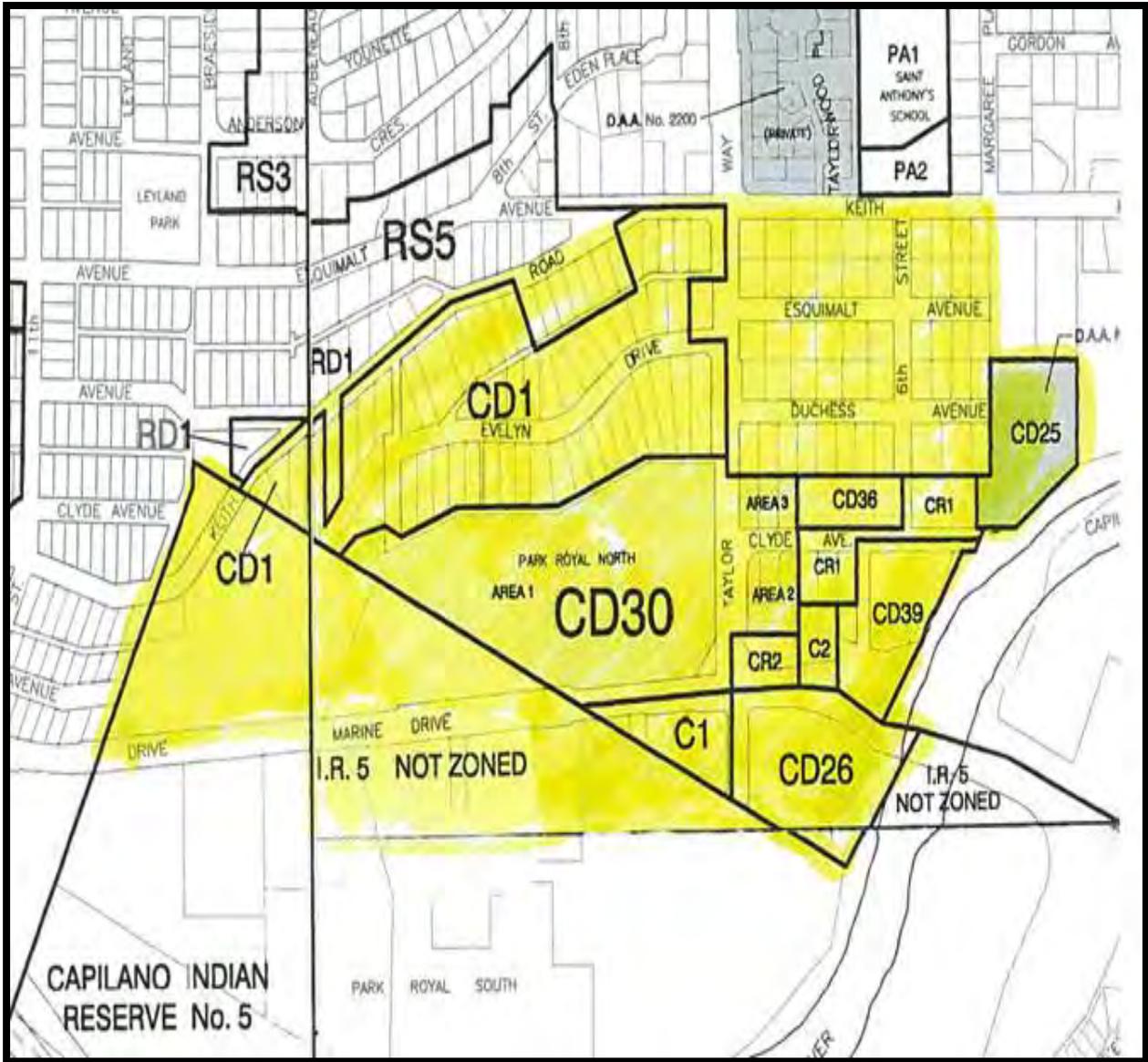
Process



MEETING LOCATION: 779 MAIN STREET PARK ROYAL SOUTH, NEXT TO WHITE SPOT



Appendix B: Notification Area



Appendix C: Newspaper Advertisement

PLEASE JOIN US

Applicant Hosted Preliminary Public Information Meeting

Proposed Rezoning of 671, 685, 693 Clyde Avenue and 694 Duchess Avenue

MEETING LOCATION:	779 Main Street, Park Royal South (next to White Spot)
DATE:	November 24, 2021
TIME:	6:00pm – 8:00pm
APPLICANT:	Park Royal Shopping Centre Holdings Ltd.



Rendering of Proposal (looking eastward)



Location Map/Site Plan

The Proposal

Park Royal Shopping Centre Holdings Ltd. plans to submit a rezoning and development permit application for residential rental units at 671, 685 and 693 Clyde Avenue that includes:

- 201 residential “micro-unit” rentals (2.0 FAR)
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- 6 storey residential building with landscaped rooftop amenity
- Northern lot (694 Duchess Avenue) outdoor green space or other amenity

Online Preliminary Public Information Meeting

If you prefer to provide your comments online (rather than at the in-person meeting), please visit: www.clydemicrounits.com/feedback. The webpage will be open for comments from November 22, 2021 to November 29, 2021.

Questions or Comments?

Please contact Misti Mussatto mmussatto@parkroyal.ca or at (604) 923-4728.

Need More Information?

Please visit the District of West Vancouver’s preliminary development application overview web page at <https://westvancouver.ca/micro>

Appendix D: Display Boards

Welcome to
Clyde Ave. Microunits
671, 685, 693 Clyde Ave.
& 694 Duchess Ave., West Vancouver



PUBLIC INFORMATION MEETING

Date: November 24, 2021
Hosted by:
PARK ROYAL



Welcome to
Clyde Ave. Microunits
671, 685, 693 Clyde Ave
& 694 Duchess Ave., West Vancouver

**PUBLIC
INFORMATION
MEETING**

Date: November 24, 2021
Hosted by:
PARK ROYAL



PURPOSE OF THIS PUBLIC INFORMATION MEETING

GOALS:

- To present the Clyde Ave. Micro Units proposal to the public
- To understand the opportunities and benefits of this proposal
- To receive public comments and feedback

STATISTICAL SUMMARY:

Current zoning: Lot 18, 19, 40
Use 25

	CRP	
	413	
	314	14
Total Project Site Area:	4,095.50	68,624
Allowable FAR Ratio:	0.20	
Allowable FAR Area:	819.100	87,838
Proposed FAR Ratio:	0.20	
Proposed FAR Area:	819.100	87,838
Proposed Height:	6 stories	
Proposed Units:	301	

Front yard setbacks: 5.7 m
Side Yard setbacks: 3.7 m
Rear Yard setbacks: 5.1 m

Development Area Summary

	Group 1/2/3/4 Area	FAR Encompassed	FAR Area	Units
Level P1	4.11	4.11	4.11	0.1
Level P2	2,438.00	2,438.00	2,438.00	0.1
Level 1	1,408.17	1,408.17	1,408.17	0.1
Level 2	1,408.17	1,408.17	1,408.17	0.1
Level 3	1,408.17	1,408.17	1,408.17	0.1
Level 4	1,408.17	1,408.17	1,408.17	0.1
Level 5	1,408.17	1,408.17	1,408.17	0.1
Level 6	1,408.17	1,408.17	1,408.17	0.1
Level 7 - Rooftop Terrace	175.23	175.23	175.23	0.1
Level 8 - Rooftop Terrace	175.23	175.23	175.23	0.1
Total (Development Area)	8,191.00	8,191.00	8,191.00	0.1

FAR Area Excludes: entrance lobby area, mechanical rooms, common area (basement used for balconies, elevator shafts, stairwells, mechanical / service rooms, storage spaces, parking & loading areas)

Parking Summary (P1)

	Units/Unit	# of Units	Required	Provided
Residential Parking	0.20	60	60	60
Res. Visitor Parking	0.05	30	30	30
Total	0.25	90	90	90

Bicycle Parking (P2)

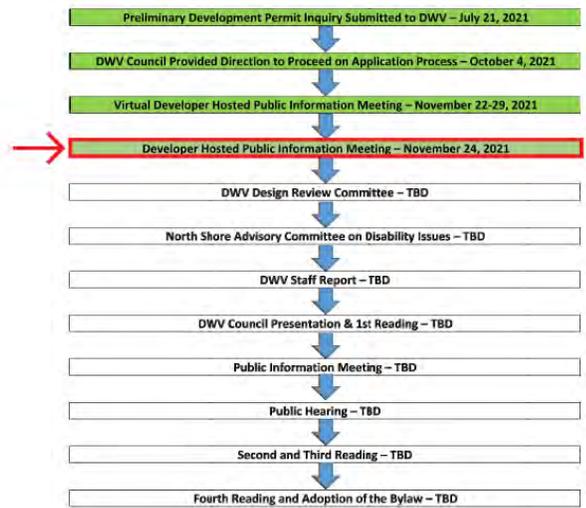
	Units/Unit	# of Units	Required	Provided
Micro-unit Storage	0.10	30	30	30
General Storage	0.05	15	15	15
Stacked Storage	0.05	15	15	15
Total	0.20	60	60	60

Special Provisions: 1.5 multi-use units required per bylaw for apartment residential

Unit Mix

	Type A Micro-unit (45-60 sq ft)	Type B Micro-unit (45-60 sq ft)	Type C Apartment Micro-unit (45-60 sq ft)	Type D Independent Micro-unit (45-60 sq ft)	Type E Independent Micro-unit (45-60 sq ft)	Total
Level 1	24	1	1	0	0	26
Level 2	24	2	2	2	1	31
Level 3	24	2	2	2	1	31
Level 4	24	2	2	2	1	31
Level 5	24	2	2	2	1	31
Level 6	24	2	2	2	1	31
Level 7	24	2	2	2	1	31
Level 8	24	2	2	2	1	31
Total	192	13	13	10	5	233
% Micro	82%	6%	6%	4%	2%	100%
Total Micro-unit	192					192
Total % Micro-unit	82%					82%

TIMELINE:



SUMMARY

Clyde Avenue Microunits Executive Summary

This proposal presented for the consideration of a Development Permit and Rezoning submission responds to the need for more diverse and affordable rental housing in West Vancouver. While the notion of for rent micro-units is new to West Vancouver, this type of housing has provided comfortably smart living, at an attainable price range, to young professionals, frontline and service workers in communities around the world.

The introduction of micro-units is proposed in this particular location given the proximity to public and active transportation, as well as close proximity to amenities, shopping and services. It is a creative solution to help West Vancouver address some of the challenges outlined in the November 2020 West Vancouver Housing Report. The Report states in part "labour force participation rates have been on the decline, and close to three-quarters of the labour force **commutes** into the municipality for work. Feedback from engagement indicates **the cost of housing is increasingly out-of-reach and employers are struggling to recruit and retain staff. Mid-market rental and affordable home ownership should be strongly considered to help meet the needs of the local labour force.**"

The Clyde Avenue neighbourhood consists of market housing, rental housing, senior living, offices and services. The introduction of micro-unit rental accommodation is not only complimentary to the existing uses, but would also create an attractive entrance feature, as a gateway to the existing compact cluster of buildings.

Park Royal is excited about working with West Vancouver Council, staff and the community to bring this innovative and forward-looking style of rental accommodation to life.



671, 685, 693 CLYDE AVE & 694 DUCHESS AVE, WEST VANCOUVER | 2021-11-24

PROPOSAL

Existing & Future Context

The development site is located on Clyde Avenue off Taylor Way and is characterized by the following features:

- Comprised of three lots fronting Clyde Avenue, as well as a single lot fronting Duchess Avenue.
- Has never been developed and is currently serving as an ancillary parking lot for Park Royal North commercial.
- To the east is an existing 5-storey seniors housing complex, to the south is an existing 6 level parking structure (34' 8" high)
- To the north is existing 2-storey single family residential housing.
- To the west is a northbound exit ramp that allows the vehicular traffic from Park Royal North to exit onto Taylor Way.
- The north edge of the site is characterized by a steep embankment with mature vegetation.
- The parking structure to the south is zoned for that use and currently there are no plans for redevelopment as it was excluded from the Marine Drive Local Area Plan.
- Further north, the 657 Marine Dr. development has been approved at Marine Dr. & Taylor Way intersection including buildings from 4-8 storeys high.

Project Description

The proposal conforms to the District's current OCP as it relates to Clyde Avenue. However, given the current zoning the property needs to be rezoned in order to allow construction of 100% Rental Micro-unit Housing as follows:

- Rental Micro-unit Housing development at the corner of Clyde Ave. and Taylor Way
- 6-storey housing component with rooftop amenity
- FAR: 2.00 (1.75 base + 0.25 Rental bonus)
- FAR Floor Area: 6,113 sm (67,328 sf)

- Unit Type: Rental Micro Units
- Number of Units: 201
- Unit Mix:
 - 87% Move-in Ready Micro-units (350 sf)
 - 13% Adaptable Level 2 Micro-units (470 sf)
- Parking: 51 stalls at 0.25 stalls per unit
- Bicycle Parking: 301 stalls at 1.5 stall per unit

Project Design Rationale

The proposed development is located in the transition area between the 4-8 storey density at Marine Drive and the 2-storey single family neighbourhood to the north. The project design is based on the following major considerations:

- 6-storey building massing mediates between the larger scale to the south and the lower scale to the north, as well as the 5-storey seniors housing to the east.
- The building is sited on the three lots fronting Clyde Avenue at the entrance to this neighbourhood.
- The northern lot off Duchess Avenue will not be developed as part of this proposal and provides an opportunity for outdoor green space or another amenity accessible to the public.
- The U-shape building massing configuration creates a south-facing courtyard that is buffered from the traffic at Taylor Way.
- The rental housing comprises a 6-storey massing block with a rooftop amenity garden.
- The project will provide 201 micro-units ranging between 350-478 sf in size, with all the units being move-in ready.
- The outdoor amenities will include the rooftop garden, as well as the south-facing courtyard green space with outdoor fitness area.
- Adjacent to the lobby at L1 over 2000 sf of indoor amenities will include a shared indoor working IT spaces and dining / kitchen amenity.

- At each level from Level 2 to Level 6 there will be a lounge / coworking area off the elevator lobby.
- All vehicular and bicycle parking, as well as the garbage / recycling facilities are provided on a single level of underground parking at P1
- The bicycle facilities will include a bicycle repair area.
- Provisions for vehicular and bicycle electrical charging will also be included.
- The development will increase the supply of affordable rental housing in the area through provision of move-in ready micro-units.
- Located in close proximity to the Marine Drive / Taylor Way node, the residents will have access to public transportation, as well as active transportation modes.

Compliance with OCP policies

The proposed development adheres to the intent of the OCP at Clyde Avenue East of Taylor Way (BF-D 2) with the following features:

- Provision of move-in ready rental micro-unit housing with close proximity to transit / active transportation
- High performance building with Energy Step Code: Step 3 with LCES or Step 4 compliance
- Electrical charging for cars and bicycles
- Extensive indoor / outdoor amenities
- Provision of public green space at Taylor Way / Duchess
- High quality windows to mitigate traffic noise from Taylor Way
- Utilizing reclaimed wood from the original 1950 Park Royal North buildout
- Landscaped courtyard with pedestrian-friendly design features at Clyde Avenue
- Articulated building facades to better relate to the existing 2-5 storey neighbourhood scale
- Gateway articulation at Clyde Ave / Taylor Way through prominent, highly-articulated stair towers

EXISTING CONTEXT: NEIGHBOURHOOD



671, 685, 693 CLYDE AVE & 694 DUCHESS AVE, WEST VANCOUVER | 2021-11-24

EXISTING CONTEXT: DEVELOPMENT



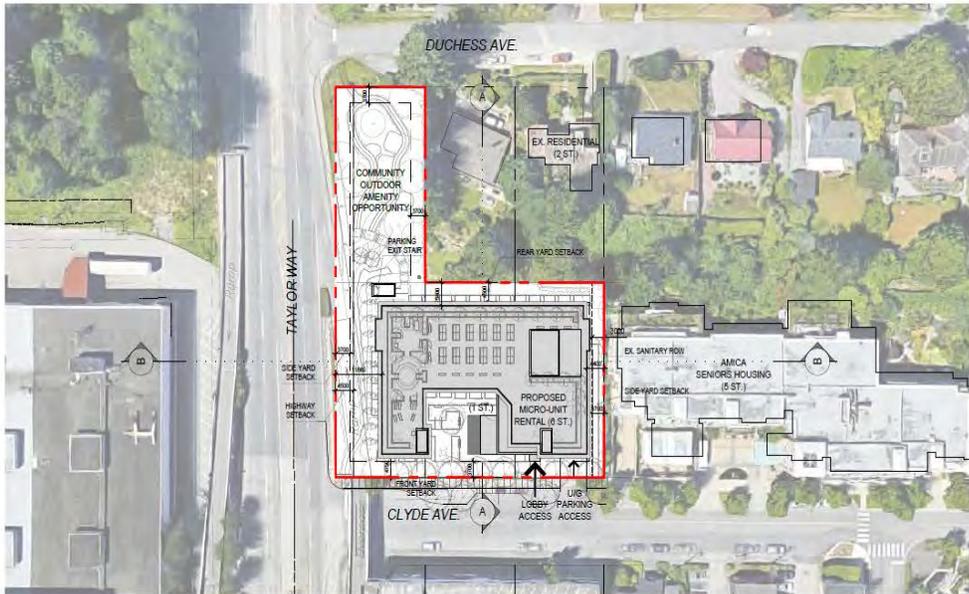
671, 685, 693 CLYDE AVE & 694 DUCHESS AVE, WEST VANCOUVER | 2021-11-24

EXISTING CONTEXT: PHOTOS

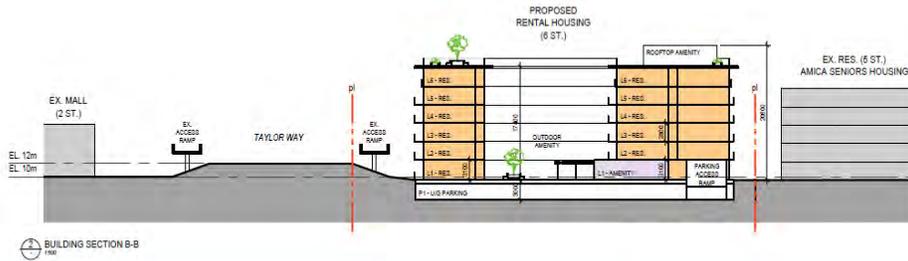
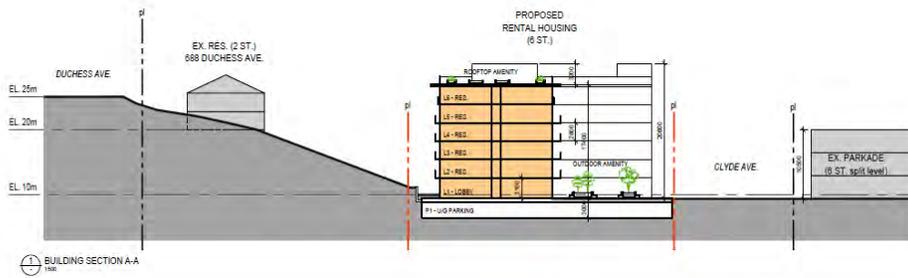


671, 685, 693 CLYDE AVE & 694 DUCHESS AVE, WEST VANCOUVER | 2021-11-24

SITE PLAN



SITE SECTIONS

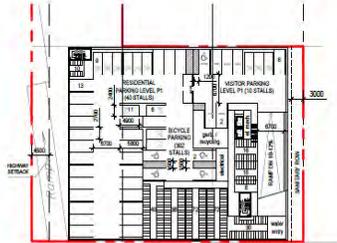


671, 685, 693 CLYDE AVE & 694 DUCHESS AVE, WEST VANCOUVER | 2021-11-24

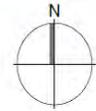
FLOOR PLANS



1 LEVEL 1 FLOOR PLAN
1:400



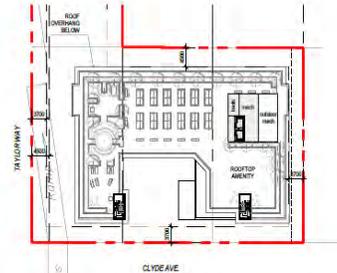
4 PARKING LEVEL P1
1:400



- NOTE:
- 100% parking stalls with EV charging rough-in provided
 - hatched bicycle parking stalls are stacked (22%)



2 LEVELS 2-6 FLOOR PLAN
1:400



3 LEVEL 7 FLOOR PLAN
1:400

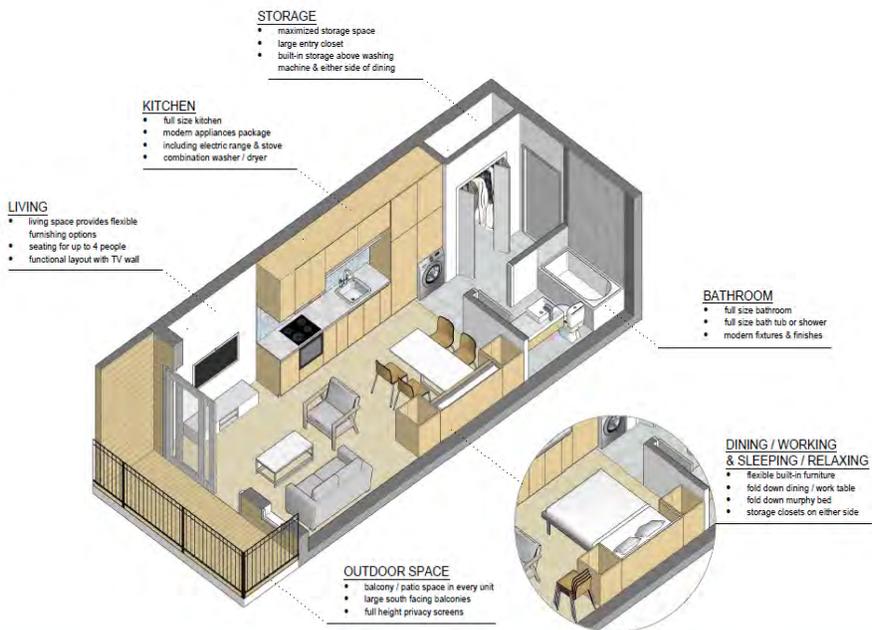
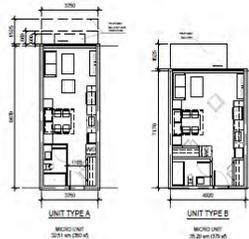
- LEGEND
- Unit Type A: Micro Unit 32.51 sm (350 sf)
 - Unit Type B: Micro Unit 35.28 sm (379 sf)
 - Unit Type C: Adaptable* Micro Unit 44.42 sm (478 sf)
 - Unit Type D: Adaptable* Micro Unit 43.6 sm (469 sf)
 - Unit Type E: Adaptable* Micro Unit 40.45 sm (435 sf)
- *All adaptable units achieve Level 2 Adaptability Standard.



MICRO UNIT CONCEPT

TYPICAL MICRO UNIT

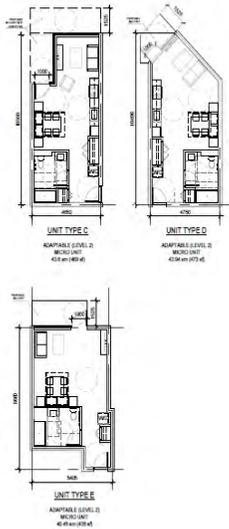
- 82% of Micro Units at 350sf provide an affordable rental price point for the residents
- Flexible space provides for all the necessities of living, dining, sleeping, relaxing and entertaining
- In-suite laundry with combination washer & dryer in each unit
- Contemporary interior design in the kitchens and bathrooms with energy efficient appliances
- High performance building with increased thermal comfort
- The amenity package is designed to complement the efficient suite layouts with over 2,000 sf of the indoor amenity area, as well as the expansive rooftop outdoor amenity garden



MICRO UNIT CONCEPT

TYPICAL ADAPTABLE MICRO UNIT

Adaptable design creates liveable residences for a wider range of persons than current building codes require. By considering design features that can be easily and inexpensively incorporated at a future time, adaptable design also allows flexibility for residents whose needs may change over time. 13% of units in this development are designed to meet the Level 2 Adaptability Standard per the District guidelines.



KITCHEN

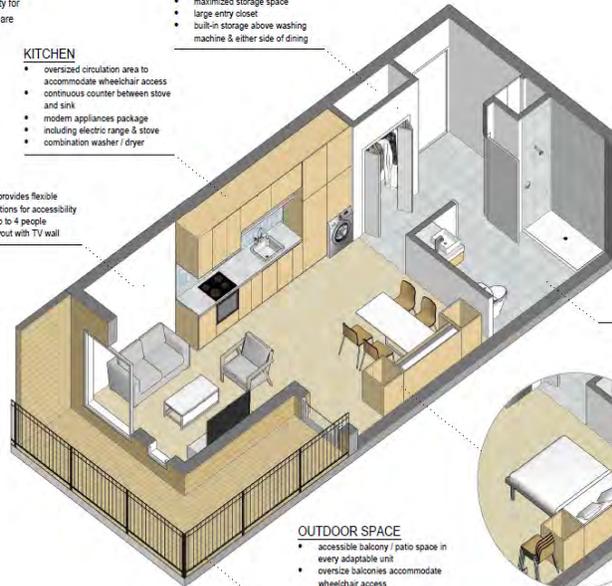
- oversized circulation area to accommodate wheelchair access
- continuous counter between stove and sink
- modern appliances package including electric range & stove
- combination washer / dryer

LIVING

- living space provides flexible furnishing options for accessibility
- seating for up to 4 people
- functional layout with TV wall

ENTRY / STORAGE

- oversize entry to accommodate wheelchair turning radius
- maximized storage space
- large entry closet
- built-in storage above washing machine & either side of dining



BATHROOM

- oversized bathroom to accommodate future accessibility upgrades
- barrier free shower
- bathroom accommodates wheelchair access

DINING / WORKING & SLEEPING / RELAXING

- flexible built-in furniture
- fold down dining / work table
- fold down Murphy bed
- storage closets on either side

OUTDOOR SPACE

- accessible balcony / patio space in every adaptable unit
- oversize balconies accommodate wheelchair access
- full height privacy screens



671, 685, 693 CLYDE AVE & 694 DUCHESS AVE, WEST VANCOUVER | 2021-11-24

TARGET MARKET: Workplace & Young Professionals Housing

Medical Support Staff

Service Workers

Tech workers

Library workers

Retail workers

Film workers

ECE workers

Teachers

Senior care

Anyone who works long hours

3D VIEWS



1 NORTH-WEST CORNER - EXISTING CONTEXT



2 NORTH-WEST CORNER - FUTURE CONTEXT



3 SOUTH-WEST CORNER - EXISTING CONTEXT



4 SOUTH-WEST CORNER - FUTURE CONTEXT



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3D VIEWS



⊕ WEST ELEVATION - TAYLOR WAY



⊕ NORTH ELEVATION



⊕ SOUTH ELEVATION

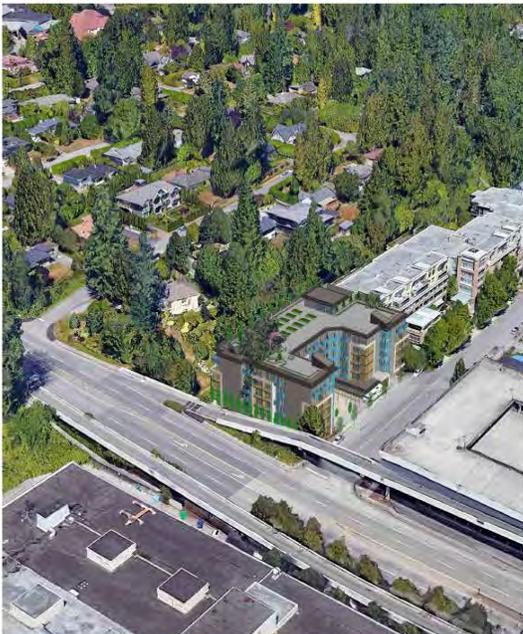


⊕ SOUTH / EAST ELEVATION



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3D VIEWS



⊕ AERIAL VIEW - LOOKING NORTH-EAST



⊕ AERIAL VIEW - LOOKING SOUTH-WEST



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SUSTAINABILITY



Enhancing Resiliency

- Shading of site hardscapes to reduce heat island effect, including green roof amenity space and landscaped central courtyard
- Potable water use reductions through installation of native landscape species and low flow plumbing fixtures to prepare for water scarcity through summer drought
- 'Park-like' public amenity and urban agriculture amenity will provide some residents the opportunity to grow their own food improving social resilience of the community
- Design for improved thermal comfort through optimized window to wall ratio, high performance glazing and exterior shading

BUILDING SUSTAINABILITY

Energy Performance: Step 3 with a Low Carbon Energy System

- High performance building envelope reducing heating and cooling energy consumption
- Optimized glazing placement balancing daylight penetration and thermal comfort
- Reduced reliance on fossil fuel combustion for space heating and domestic hot water with low carbon heat pump based systems

Low Carbon Construction

- Wood frame construction supports the local low carbon building material industry, while reducing the project's embodied emissions

Low Carbon Transportation

- Car parking will meet the minimum provision and will be equipped to support Level 2 electric vehicle charging to support the transition away from fossil fuel vehicles
- Bicycle parking and a bicycle repair station will support sustainable living and further support the mode shift away from vehicles for the dense city living lifestyle



671, 685, 693 CLYDE AVE & 694 DUCHESS AVE, WEST VANCOUVER | 2021-11-24

TRANSPORTATION - OPTIONS

- Multiple public transit routes with nearby stops
- R2 rapid bus service commenced in April 2020
- Localized cycling infrastructure improvements
- 40 parking spaces for residents (0.20 per unit)
10 parking spaces for visitors (0.05 per unit)
- 302 secured bike parking spaces (1.5 per unit)
- Nearby car share vehicles



TRANSPORTATION - TRAFFIC



Existing Peak Hour Traffic Volumes



Proposed Development - Site Traffic

Weekday Morning and Afternoon Peak Hour
 20 resident vehicles
 20 other (i.e., ride-hailing vehicles, taxis)

LANDSCAPE

POTENTIAL EXERCISE EQUIPMENT FOR FITNESS/NATURE TRAIL



EXAMPLES OF POTENTIAL PLANT CHOICES



TREES



NATIVE SHRUBS AND GROUNDCOVERS



GARDEN PLANTS FOR PATIOS AND DECKS



DROUGHT TOLERANT PLANTS AND GRASSES



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Appendix E: Comment Form

Proposed Rezoning: 671, 685, 693 Clyde Avenue and 694 Duchess Avenue Micro Unit Rentals

Public Information Meeting - Hosted by Park Royal – November 24, 2021

Comment Form

Thank you for attending our Public Open House, we trust the information provided was helpful. The following is a brief summary of our preliminary proposal:

- 201 Residential Apartment Micro Units. (2.0 FAR)
- Parking stalls at .25 stalls per unit (approximately 51 stalls)
- Bicycle storage 1.5 per unit (approximately 302)
- 6 story residential building with landscaped rooftop amenity
- Northern lot (694 Duchess Avenue) outdoor green space or other amenity

Please provide your comments below and on the other side of this sheet. You may place your comments in the “comment box” provided.

DATE:

RESPONDENT'S

ZIP CODE:

NAME:

EMAIL:

ADDRESS (Optional):

Appendix F: In Person PIM Comment Form Transcriptions

<p>Very much need affordable rentals, and I work @ care facility-+allow pets! Amica Employee and North Vancouver resident</p>
<p>Great to see this kind of “affordable density” come to W Van. Need more of these kinds of projects in W. Van. It will get/retain a younger demographic resident in the community West Vancouver resident</p>
<p>STRONGLY IN SUPPORT OF THIS PROPOSAL AS IT MEETS SO MANY OF THE NEEDS OF WV West Vancouver resident</p>
<p>I’m in support West Vancouver resident</p>
<p>A creative concept that will meet a definite need in our community-the utilization of a property that has been an unfortunate “eyesore” entrance to our community West Vancouver residents</p>
<p>Fascinating Concept and Idea. Full rentals in the centre of transportation connection in West Van. Ticks almost every box for affordability and need West Vancouver resident</p>
<p>I like the proposal. I hope it succeeds. We need “employment” housing on the North Shore otherwise it will become a disfunctional community North Vancouver resident</p>
<p>The 100% rental, affordable, bikeable characters of this project along with the guidelines stated in the OCP. The close proximity to the bridge puts less pressure on the existing traffic congestion. The abundant green space provides buffer West Vancouver resident</p>
<p>This is an excellent idea! It would definitely help save time by not having to transit half the day. Also it would to have a place on their own to get some down time to relax alone. It would definitely help save money by being so close to work, travel, food, and getting all this furniture, house stuff North Vancouver resident</p>

Appendix G: Virtual PIM Comments

<p><i>Are there any other potential opportunities, benefits or concerns you think should be considered?</i></p>
<p><i>Open-Ended Response</i></p>
<p>In addition to the pedestrian link along Taylor Way between Marine Drive and Duchess Ave, I would like to see room made for a bike lane, preferably protected from pedestrians and motorists to connect to the planned separated bike lane on the north side of Marine Drive to Taylor Way and partway up Taylor Way towards Clyde Ave. West Vancouver resident</p>
<p>Unit priority registration focused on workers with full time schedules - suggest there may be an opportunity for part-time workers such as students. Would agree with the low carbon energy system - a must. Love the pedestrian/cycling improvements. Vehicle traffic may be a concern - would appreciate more staff assessment on this. Privacy of neighbours in behind may be a concern - especially with roof-top activity. Interesting use of an unusual lot - love the rental micro-units offered to help meet our housing needs. West Vancouver resident</p>
<p>I fully support this initiative. I think we need a diversity of housing and it needs to be affordable. Just a few thoughts: I hope a foot bridge or tunnel will allow pedestrians and cyclists safe and quick connection between the site and a westerly and southerly direction. Although there are traffic lights there, in the dark, on a wet night, it would be safer to not have to negotiate the crossing particularly from that east corner of Taylor/Marine, across the feeder lane from Marine to Taylor. West Vancouver resident</p>
<p>I've read your FAQs and you seem to have covered all the bases. Just want to voice my support for this initiative. West Vancouver resident</p>
<p>I want to voice my support for this residential concept to diversify the tenure and pricing options for our local workforce and to implement some or the innovations reflected in terms of transportation modes and on-site recreation amenities. I would like to see similar innovation locally for affordable ownership opportunities, too. West Vancouver resident</p>
<p>WE are totally on board with this affordable proposal for reasonable housing. As a long time resident the North shore I feel it is important that we house in place people who work in the community. We also hope that this sets a precedent for further developments that provide affordable accommodation for the average working class. We are also pleased that locals are to be given priority. North Vancouver resident</p>

Love the idea of an outdoor pickleball court! Great for fresh air and exercise at any age. Thank you!

Hi there, I like this proposal and support it, provided that a workable system is set up and maintained, which steers people who work in the essential services sector in West Vancouver, into these rental units. Living successfully in such a tiny space turns on storage. For example, where do you hang your wet towel/pj's/bathrobe? Make sure each bathroom door has two good quality hooks on the back of it to supplement towel/pyjama/bathrobe storage. Ideally, these units would have below counter refrigerators which are so common in the UK and Europe. It lowers your hydro bill, and creates more precious storage. It also turns on effective public spaces, like those for garbage and recycling. In such a tiny space, there won't be enough room to keep hardly any garbage or recycling, plus food waste will smell up such a small space quickly, so the public garbage/recycling area should be pleasant, easily accessible, well lit, safe and with maybe a clean surface to set stuff down and sort it out, with the same upbeat feel as the bike repair area. It should contemplate continuing changes to the municipal recycling regime. Right now, for example, there's no glass collection. It should take batteries, lightbulbs, broken glass, electronics etc. They can take their unused pharmaceuticals back to Shoppers. Residents won't have cars to go to a recycling depot. Today, garbage and recycling has to be right up front, not around the back where it's not kept tidy. Maybe the building could somehow specifically accommodate the new Buy nothing movement with a place for residents to swap their unwanted belongings. You might offer to support residents with the interior decorating by giving them standard sizes for the couch, lounge chair, coffee table, tv screen, and patio furniture. Also, for example, what size of dishes will fit in the cupboards, cookie sheet or muffin tin will fit in the oven, and kitchen garbage container will fit under the sink. Finally, I don't think you mentioned the proximity to the trails up the Capilano Canyon and down to Ambleside Park, the Seawalk and the Millennium Trail which are all priceless amenities and part of the car-free lifestyle that the residents will enjoy. **Vancouver resident**

We are very supportive of this project. We had a chance to attend the open house on Wednesday Nov. 24th, and really enjoyed it. Great displays and the floor outlines were very helpful. Lots of people associated with the project on hand to answer detailed questions. This type of housing is needed throughout the North Shore. Hopefully, this will create a model that can be duplicated elsewhere. All in all, we love it; fabulous idea! Opportunities: - Good location, opportunity to duplicate the project in the adjacent area. - While we love gardening, the boxes take up a large part of the rooftop amenity space and can be relatively lifeless (unattractive) for parts of the year. They may be better located on the west side (adjacent to Taylor Way) and allow for the quieter center of the roof for the public space. Benefits: - Access to transit and downtown - Great access to all shopping needs and Ambleside park - Bike access to Stanley park etc. Concerns: - Limited parking (25% of residences). How will these be prioritized? - Traffic noise on the West (Taylor Way) side.

North Vancouver resident

We respectfully submit the following feedback for your consideration and response: - Zoning: The lots under consideration fall under the Upper Taylor Way Corridor planning area, and not the Marine Drive/Taylor Way Local Area Plan (see westvancouver.ca planning documents)^[1] - Ownership/Community contribution: We believe the lots under consideration are owned by West Vancouver, with a 2021 assessed value of \$7.99M under current zoning (if zoned as the adjacent Amica facility, the land assessment would be closer to \$17M, based on 75% of their 2021 land assessment). This is a significant taxpayer contribution that warrants further consideration, and needs to be highlighted^[2] - Liveability: There is no mention of noise levels throughout the day/night at this location adjacent to a Provincial highway. Given the population density proposed, and the noise levels, how much time would residents be able to spend indoors or outdoors enjoyably? Would

<p>another location be better suited to this type of housing? (see: http://livablecities.org/articles/can-micro-units-be-livable). Thank you, s.22(1)</p> <p>Address Unknown</p>
<p>s.22(1) Community Housing Action Committee who advocate for affordable housing on the North Shore. s.22(1) advocate strongly for affordability wherever we can find it-so I'm wondering what rents you expect for these micro suites North Vancouver resident</p>
<p>As a micro unit dweller myself, the inclusion of laundry and fully equipped kitchens is a wonderful idea. I also back the idea of the green space on the roof and more room for bicycles, encouraging people out of their cars.</p>
<p>I am in principle in full support of the development as proposed, with a few additional amendments.</p> <ol style="list-style-type: none"> 1. on the rooftop : ensure elevator access to the gardens for handicapped people. (wheelchairs) 2. Add to the rooftop structure a 16 ft full width bay to provide a multi purpose closed common space, where a noisy musician can practice cello or saxophone , and a portion to accommodate garden tool storage and picknick furniture 3. At the garden level create some additional space to allow for a Tool Library or even a Sharing Depot, combined with a regular session of a repair cafe. You can google the successful 3 locations in Toronto to get a sense of the space requirements. These are very successful social incubators for the residents, in tune with the intent of your proposal West Vancouver resident
<p>I fully support this development. Especially important to me is the reduced use of fossil fuels in building and the low carbon use for renters. The information provided in this virtual developers meeting has been useful.</p> <p>West Vancouver resident</p>
<p>I support this development West Vancouver resident</p>
<p>Great idea with lots of potential for those not wanting to have to share living accommodation with another person to manage the cost. With the great connections to Horseshoe Bay and the rest of the lower mainland this proposal would also make a great place to live for someone who already has a residence on Vancouver Island but works on the mainland. More communities and developers should embrace such housing options. West Vancouver resident</p>
<p>I think this is a idea whose time has come. It is the right project in the right place and will provide some badly needed housing West Vancouver West Vancouver resident</p>
<p>Greet idea. It's about time west van supported this. Great way to grow the city ! West Vancouver resident</p>
<p>Given the small unit size, adding a workspace 'hub' for people and flex meeting/common space is excellent. This also has the potential to bring the community into the space. Charging stations for electric bikes and cars. Given growing concerns with climate change, making this a net zero carbon neutral demonstration building builds on the Park Royal brand and aligns with West Vancouver brand. West Vancouver resident</p>
<p>All sound good. Have no problem with the idea. West Vancouver resident</p>
<p>This is one of the most thorough presentations I have ever seen on a new development. It covers all of my questions.</p>
<ol style="list-style-type: none"> 1. Sound proof walls on the side where the senior home is. 2. Numerous emergency response phones, since it is a complex, there will be many vulnerabilities in the premises from theft, fires and health scares. 3. A bridge to access the mall 4. For people that do drive, make a road mall side to access the complex. 5. Many guest parking. 6. Roof pool and hot tub. 7. Easy accesses for emergency team 8. Extremely powerful free wifi for the building. 9. One or two indoor entertainment rooms with a screen and projector. Burnaby resident

These micro units are a very good idea! It's getting next to impossible to attract workers to West Vancouver because of high housing costs not to mention the cost and travel times associated with public transit! Matters will only get worse as times goes on. West Vancouver should support such a project as it's in the city's interest to do so. **North Vancouver resident**

Hi - I want to voice my support for this project. WVan desperately needs more affordable housing for workers within our community. This is also a great "first shot" for young people who want to access the outdoor amenities of the Northshore. I really like the outdoor fitness amenities (hope they come through with that). The development plans should include proper bicycle and pedestrian access to the surrounding area, which I don't necessarily see on the plans. I'd suggest a bike lane up from Marine along Taylor Way to at least Duchess. Thanks for your consideration. **West Vancouver resident**

As a longtime resident of West Vancouver (I moved here when I was [REDACTED] s.22(1)). I would like to applaud Council for considering to green-light this initiative. This is a step in the right direction. We need to do more. We need larger housing options (not just micro-homes for 1 person) to accommodate varied family groupings. I have seen us lose amazing Teachers to districts and towns with more affordable housing that permit Teachers to start their own families-- we used to have so many Teachers with their own families here in West Van. I have seen seniors and young adults (long time residents of our communities) forced to leave their friends and families to more affordable districts. I have also heard many many shop keepers lament the fact that there is nobody here to work and keep their business afloat. What a privilege it is to live along side a wide section of communities, as I did when I was growing-up. What a privilege it is to be part of an inclusive community. I am in full support of this initiative and want to see more subsidized housing and affordable housing options in West Vancouver. **West Vancouver resident**

This is a great idea. Above is my contact information. I live at [REDACTED] s.22(1) West Vancouver. **West Vancouver resident**