

Bruce Street Perspective



Halex Architecture

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Residence6457 Bruce St
West Vancouver I BCCOVER

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~ Street Perspective



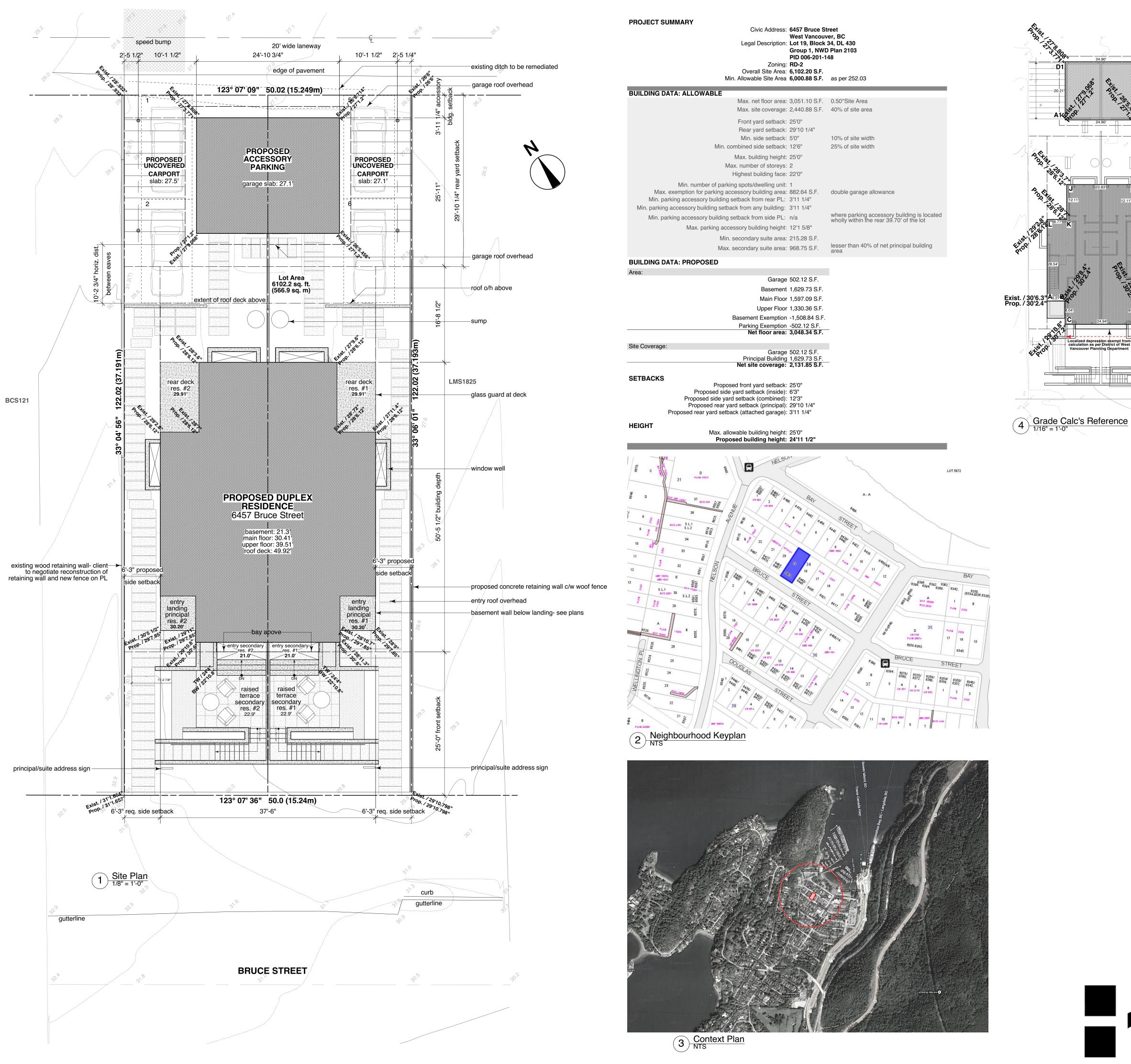
Lane perspective

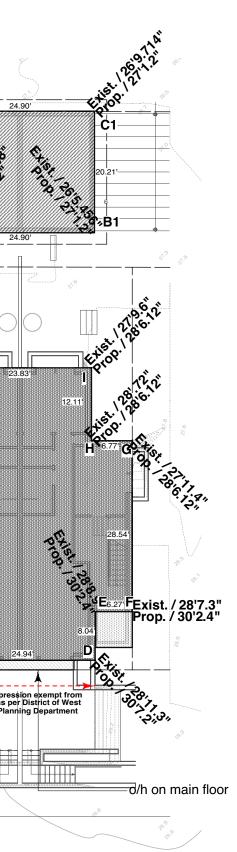


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B-C 298 3/8" + 29'10 3/4" + 2 C-D 29'10 3/4" + 27'11 3/8" + 2 C-D 29'10 3/4" + 27'11 3/8" + 2 F-F 289 7/8" + 28'7 1/4" + 2 C-B 28'7 1/4" + 27'11 3/8" + 2 C-B 28'7 1/4" + 27'1 5/8" + 2 C-B 28'7 1/4" + 27'1 5/8" + 2 C-B 28'7 1/4" + 28'7 1/4" + 2 C-B 21/2" = 842.43 K-L 28'7" + 28'2 3/4" + 2 C-B 21/2" = 842.43 K-L 28'7" + 29'2 3/4" + 2 C-B 20'2 1/2" = 852.75 Average natural grade 4959.56 sq ft + 172'2 3/4" = 28'9 1/2" Parking- Natural Grades A1-B1 27'9 1/8" + 26'5 1/2" + 2 A1-B1 27'9 1/8" + 26'5 1/2" + 2 C-D 30'7 1/4" + 26'9 3/4" + 2 C-D 30'7 1/4" + 30'2 3/8" + 2 C-D 30'2 3/8" + 30'2 3/8" + 2 C-D 30'2 3/8" + 30'2 3/8" + 2 C-D 30'2 3/8" + 30'2 3/8" + 2 C-D 30'7 1/4" + 30'2 3/8" + 2	Princir	al Buildin	a- N	latural Grad	les					
AB 30° 14" + 29° 38" + 22° 63° 14" = 188 st BC 29° 308" + 29° 10° 4" + 22° 60° 14" = 23° 50° CD 29° 10° 4" + 27° 130" + 2° 60° 14" = 72° 130° FG 29° 10° 4" + 27° 130" + 2° 60° 14" = 72° 130° FG 29° 14" + 27° 130" + 2° 60° 14" = 72° 130° FG 29° 14" + 27° 130" + 2° 60° 14" = 19° 42° CP 29° 14" + 27° 130" + 2° 60° 14" = 19° 42° CP 29° 14" + 27° 130" + 2° 12° 130° = 34° 14° H 20° 14" + 27° 56° + 2° 14" + 2° 12° 36° 14° = 19° 42° LA 29° 36° + 28° 34" + 2° 12° 130° = 34° 14° LA 29° 234" + 28° 7" + 2° 12° 130° = 34° 14° LA 29° 234" + 28° 7" + 2° 12° 130° = 34° 14° Average natural grade 4959.56 sq ft + 17° 2° 34" + 2° 2° 26° 12" = 674.92° B1 C1 28° 12" + 26° 34" + 2° 2° 26° 12" = 674.92° C1 28° 12" + 26° 34" + 2° 2° 24° 134" = 679.07° D1 A1 90° 25′8" + 27° 1⁄8" + 2° 2° 24° 134" = 679.07° C1 28° 12" + 26° 34" + 2° 2° 24° 134" = 679.07° D1 A1 90° 25′8" + 27° 1⁄8" + 2° 2° 20° 1⁄2" = 538.23° C1 01 28° 34" + 2° 714" + 2° 34° + 2° 2° 20° 1⁄2" = 19° 1′2" Principal Building-Finished Grades Wall Section average grade A-B 30° 236" + 30° 1⁄4" + 2° 80° 1⁄2" = 244.42° FG 30° 236" + 30° 1⁄4" + 2° 80° 1⁄2" = 244.42° FG 30° 236" + 30° 1⁄4" + 2° 80° 1⁄2" = 244.42° FG 30° 236" + 30° 1⁄4" + 2° 80° 1⁄2" = 244.42° FG 30° 236" + 30° 1⁄4" + 2° 80° 1⁄2" = 244.42° FG 30° 236" + 30° 236" + 2° 56° 1′2" = 6° 14" = 189.35° FG 30° 236" + 28° 1⁄8" + 2° 6° 1⁄4" + 2° 2° 26° 1⁄2" = 837.79° FG 30° 26° 16° + 28° 1⁄8" + 2° 14° 3° = 2° 24° 3′4" Parking-Finished Grades A1-B 27° 1⁄4" + 30° 236" + 2° 14° + 2° 12° 3′8" = 345.26° A1-B 27° 1⁄4" + 27° 1⁄4" + 2° 12° 3′4" = 2° 23° 1′2" Average finished grade S062.22 sq ft + 172° 23′4" = 2° 43′4" Parking-Finished Grades A1-B 27° 1⁄4" + 27° 1⁄4" + 2° 12° 1′4" + 2° 12° 12° = 544.84° S062.22 sq ft + 172° 23′4" = 2° 43′4" Average finished grade (parking) 2449.79 sq ft + 90° 25′8" = 27° 17″8' Average finished grade (parking) 2449.79 sq ft + 90° 25′8" = 27° 17″8' Average finished grade (parking) 2449.79 sq ft + 20° 25′8" = 27° 17″8' Average finished grade (parking) 27° 17″8'			_					Wall Section		
$\begin{array}{rrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrr$		Walls	ecu		aue			Length		
$ \begin{array}{cccccccccccccccccccccccccccccccccccc$			+						=	188.81 sq f
$ \begin{array}{rrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrr$			+		÷				=	239.59 sq f
$\begin{array}{rrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrr$										721.39 sq f
$\begin{array}{cccccccccccccccccccccccccccccccccccc$										228.24 sq f
$\begin{array}{cccccccccccccccccccccccccccccccccccc$						2				180.05 sq f
$\begin{array}{rrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrr$										807.09 sq f
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K-L $287" + 29'2 34" + 30'6 14" + 2 \frac{1}{28'} 6'9 14" = 1957.5Total: 1722 34" + 30'6 14" + 2 \frac{1}{28'9 1/2"} = 857.5Total: 1722 34" + 3959.56Average natural grade4959.56 sq ft + 172'2 3/4" = 28'9 1/2"Parking- Natural GradesA1-B1 22'7 18" + 26'5 1/2" + 2 \frac{1}{2} 24'10 3/4" = 674.92B1-C1 28'5 1/2" + 26'9 3/4" + 2 \frac{1}{2} 20'2 1/2" = 538.23C1-D1 28'9 3/4" + 27'8 34" + 2 \frac{1}{2} 20'2 1/2" = 538.23C1-D1 28'9 3/4" + 27'8 1/8" + 2 \frac{1}{2} 20'2 1/2" = 538.23C1-D1 28'9 3/4" + 27'8 34" + 2 \frac{1}{2} 20'2 1/2" = 1192.14 \frac{1}{102.14!}Average natural grade (parking)3084.36 sq ft = 90'2 5/8" = 34'2 1/4"Principal Building-Finished GradesWall section average gradeA-B 30'2 3/8" + 30'2 3/8" + 2 \frac{1}{8} 80'1/2" = 244.42 \frac{1}{8} 168' \frac{1}{12} = 24.42 \frac{1}{8} 168' \frac{1}{14} = 189.35F-G 30'2 3/8" + 30'2 3/8" + 2 \frac{1}{8} 80'1/2" = 244.42 \frac{1}{8} 30'2' \frac{1}{8} = 345.26 \frac{1}{14} = 189.35F-G 30'2 3/8" + 28'6 1/8" + 2 \frac{1}{2} 80'1/2" = 244.42 \frac{1}{8} 37.9 \frac{1}{14} = 345.26 \frac{1}{14} = 189.31 \frac{1}{14} = 189.31 \frac{1}{14} = 189.35 \frac{1}{12} \frac{1}{14} = 189.35 \frac{1}{14} = 123 \frac{1}{14} = 189.35 \frac{1}{14} = 189.35 \frac{1}{14} = 189.35 \frac{1}{14} = 189.35 \frac{1}{14} =$							*			
L-A $29234'' + 30'614'' + 2 Total: \frac{28612''}{172'234''} = \frac{85275}{4959.56}Average natural grade4959.56 sq ft + 172'234'' = 28'912''Parking- Natural GradesA1-B1 27'91/8'' + 26'512'' + 2 2 24'1034'' = 674.92B1-C1 26'512'' + 26'934'' + 2 2 22'1034'' = 674.92C1-D1 26'934'' + 27'934'' + 2 2 22'1034'' = 679.07D1-A1 90'25/8'' + 27'918'' + 2 2 20'212'' = 538.23C1-D1 26'934'' + 27'918'' + 2 2 20'212'' = 674.92Average natural grade (parking)3084.36 sq ft + 90'25/8'' = 34'21/4''Principal Building- Finished GradesWall SectionLengthA-B 30'238'' + 30'238'' + 2 80'12'' = 244.42C-D 30'714'' + 30'238'' + 2 80'12'' = 244.42C-D 30'714'' + 30'238'' + 2 63'14'' = 189.35B-C 30'238'' + 30'238'' + 2 63'14'' = 189.35B-C 30'238'' + 30'238'' + 2 63'14'' = 189.35B-G 30'238'' + 30'238'' + 2 63'14'' = 189.35H-G 30'238'' + 28'618'' + 2 2''114'' = 763.16D-B 30'714'' + 30'238'' + 2 63'14'' = 189.35B-G 30'238'' + 28'618'' + 2 2''138'' = 34'24C-D 30'714'' + 30'238'' + 2 63'14'' = 189.35B-G 30'238'' + 28'618'' + 2 2''138'' = 34'28'C-D 30'714'' + 30'238'' + 2 2''138'' = 34'28'C-D 30'714'' + 30'238'' + 2 2''138'' = 34'28'D-E 30'714'' + 28'618'' + 2 2''138'' = 34'28'C-D 30'714'' + 27''14'' + 2 2''138'' = 34'28'C-D 30'714'' + 27''14'' + 2 2''23'4''Parking- Finished Grades5062.22 sq ft + 172'23'4'' = 29'43'4''Average finished gradeC-D 127'114'' + 27''134'' + 2 2''24''034'' = 674.79B1-C1 27'114'' + 27''134'' + 2 2''24''34''Average finished grade (parking)24'49.79 sq ft + 90'25'8'' = 27'17'8''SummaryAverage natural grade (parking)24'49.79 sq ft + 90'25'8'' = 27'17'8''SummaryAverage finished grade (parking)24'49.79 sq ft + 90'25'8'' = 27'17'8''Average finished grade (parking)24'49.4'' - 21'35'8'' = 8'11'8''Average finished grade (parking)34'21/4''Average finished grade (parking)34'21/4''Average finished grade$							*			195.71 sq f
Average natural grade $4959.56 \text{ sq ft} \div 172'2 3/4" = 28'9 1/2"$ Parking- Natural Grades A1-81 27'9 1/8" $\div 26'5 1/2" \div 2 \div 20'2 1/2" = 67'4.92$ B1-C1 26'5 1/2" $\div 26'9 3/4" \div 2 \div 20'2 1/2" = 67'9.07$ D1-A1 902 5/8" $\div 27'9 1/8" \div 2 \div 24'10 3/4" = 67'9.07$ D1-A1 902 5/8" $\div 27'9 1/8" \div 2 \div 24'10 3/4" = 67'9.07$ D1-A1 902 5/8" $\div 27'9 1/8" \div 2 \div 24'10 3/4" = 67'9.07$ D1-A1 902 5/8" $\div 27'9 1/8" \div 2 \div 20'2 1/2" = 1192.14;$ Average natural grade (parking) 3084.36 sq ft $\div 90'2 5/8" = 34'2 1/4"$ Principal Building-Finished Grades Wall Section average grade A-B 30'2 3/8" $\div 30'2 3/8" \div 2 \div 6'3 1/4" = 189.35$ B-C 30'2 3/8" $\div 30'2 3/8" \div 2 \div 6'3 1/4" = 189.35$ B-C 30'2 3/8" $\div 30'2 3/8" \div 2 \div 6'3 1/4" = 189.35$ B-C 30'2 3/8" $\div 30'2 3/8" \div 2 \div 6'3 1/4" = 189.35$ B-C 30'2 3/8" $\div 30'2 3/8" \div 2 \div 6'3 1/4" = 189.35$ B-C 30'2 3/8" $\div 30'2 3/8" \div 2 \div 6'3 1/4" = 189.35$ B-C 30'2 3/8" $\div 30'2 3/8" \div 2 \div 6'3 1/4" = 189.35$ B-C 30'2 3/8" $\div 30'2 3/8" \div 2 \div 6'3 1/4" = 189.35$ B-C 30'2 3/8" $\div 30'2 3/8" \div 2 \div 6'3 1/4" = 189.35$ B-C 30'2 3/8" $\div 30'2 3/8" \div 2 \div 6'3 1/4" = 189.35$ B-C 30'2 3/8" $\div 20'2 3/8" \div 2 \div 6'3 1/4" = 189.35$ B-C 30'2 3/8" $\div 20'2 3/8" \div 2 \div 6'9 1/4" = 189.35$ B-C 30'2 3/8" $\div 20'2 3/8" \div 2 \div 6'9 1/4" = 189.35$ B-C 30'2 3/8" $\div 20'2 3/8" \div 2 \div 6'9 1/4" = 189.35$ B-C 30'2 3/8" $\div 20'2 3/8" \div 2 \div 6'9 1/4" = 193.01$ H-I 28'6 1/8" $\div 28'6 1/8" \div 2 \div 6'9 1/4" = 193.01$ H-I 28'6 1/8" $\div 28'6 1/8" \div 2 \div 6'9 1/4" = 193.01$ L-A 28'6 1/8" $\div 28'6 1/8" \div 2 \div 20'2 1/2" = 547.69$ D-1-A1 27'1 3/4" $\div 27'1 1/4" \div 2 \div 20'2 1/2" = 547.69$ D-1-A1 27'1 1/4" $\div 27'1 1/4" \div 2 \div 20'2 1/2" = 547.69$ D-1-A1 27'1 1/4" $\div 27'1 1/4" \div 2 \div 20'2 1/2" = 547.69$ D-1-A1 27'1 3/4" $\div 27'1 1/4" \div 2 \div 20'2 1/2" = 549.86$ D-1-A1 27'3 3/4" $\div 27'1 7/8"$ Average finished grade (parking) 2449.79 sq ft $\div 90'2 5/8" = 27'1 7/8"$ Average finished grade (parking) 2449.79 sq ft $\div 90'2 5/8" = 27'1 7/8"$ Average finished grade (parking) 27'1 7/8" As per Section 130.08 (e) the percentage floor area exemption f								28'6 1/2"	=	852.75 sq f
4959.56 sq ft ÷ 1722 3/4" = 28'9 1/2" Parking- Natural Grades B1-C1 26'5 1/2" + 26'9 3/4" ÷ 2 24'10 3/4" = 674.92 B1-C1 26'5 1/2" + 26'9 3/4" ÷ 2 20'2 1/2" = 538.23 C1-D1 26'5 1/2" + 27'9 1/8" ÷ 2 20'2 1/2" = 538.23 D1-A1 90'2 5/8" + 27'9 1/8" ÷ 2 20'2 1/2" = 1192.14 i Total: 90'2 5/8" 3084.36 sq ft ÷ 90'2 5/8" 3084.36 Average natural grade (parking) 3084.36 sq ft ÷ 90'2 5/8" 3084.36 S084.36 sq ft ÷ 90'2 5/8" + 34'2 1/4" Principal Building-Finished Grades Wall Section average grade Wall Section 12" = A-B 30'2 3/8" + 30'2 3/8" + 2 6'3 1/4" = 189.35 F-G 30'2 3/8" + 30'2 3/8" + 2 6'3 1/4" = 189.35 F-G 30'2 3/8" + 30'2 3/8" + 2 6'3 1/4" = 189.35 F-G 30'2 3/8" + 2 6'3 1/4" = 189.35 F-G 30'2 3/8" + 2 6'3 1/4" = 189.35 F-G 30'2 3/8" + 2 6'3 1/4" = 193.01 H-1 28'6 1/8" + 2 12'1 3/8" = 345.26 Stot 1/8" + <td>Averag</td> <td>e natural or</td> <td>ade</td> <td></td> <td></td> <td></td> <td>l otal:</td> <td>172'2 3/4'</td> <td>1</td> <td>4959.56 sq f</td>	Averag	e natural or	ade				l otal:	172'2 3/4'	1	4959.56 sq f
A1-B1 279 1/8" + 265 1/2" ÷ 2 · 24'10 3/4" = 674.92 B1-C1 26'5 1/2" + 26'9 3/4" ÷ 2 · 20'2 1/2" = 538.23 D1-A1 90'2 5/8" + 27'9 1/8" ÷ 2 · 20'2 1/2" = 1192.14 Total: 90'2 5/8" - 30'8 3/8" ÷ 2 · 6'3 1/4" = 149.35 BC 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 BC 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 BC 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 BC 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 BC 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 BC 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 BC 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 FG 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 FG 30'2 3/8" + 28'6 1/8" ÷ 2 · 26'6 1/2" = 837.79 G-H 28'6 1/8" + 28'6 1/8" ÷ 2 · 12'1 3/8" = 345.26 I-J 28'0 1/2" 1/4" = 193.01 I-A 28'6 1/8" + 28'6 1/8" ÷ 2 · 12'1 3/8" · 2 · 20'2 1/2" = 547.69 I-C 12 27'1 1/4" + 27'1 1/4" ÷ 2 · 20'2 1/2" = 547.69 I-C 12 27'1 1/4" + 27'1 1/4" ÷ 2 · 20'2 1/2" = 547.69 I-C 12 27'1 1/4" + 27'1 1/4" ÷ 2 · 20'2 1/2" = 547.69 I-C 12 27'1 1/4" + 27'1 1/4" ÷ 2 · 20'2 1/2" = 547.69 I-C 12 27'1 1/4" + 27'1 1/4" ÷ 2 · 20'2 1/2" = 547.69 I-D 12	-	-		172'2 3/4"	=	28'9 ⁻	1/2"			
A1-B1 279 1/8" + 265 1/2" ÷ 2 · 24'10 3/4" = 674.92 B1-C1 26'5 1/2" + 26'9 3/4" ÷ 2 · 20'2 1/2" = 538.23 D1-A1 90'2 5/8" + 27'9 1/8" ÷ 2 · 20'2 1/2" = 1192.14 Total: 90'2 5/8" - 30'8 3/8" ÷ 2 · 6'3 1/4" = 149.35 BC 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 BC 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 BC 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 BC 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 BC 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 BC 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 BC 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 FG 30'2 3/8" + 30'2 3/8" ÷ 2 · 6'3 1/4" = 149.35 FG 30'2 3/8" + 28'6 1/8" ÷ 2 · 26'6 1/2" = 837.79 G-H 28'6 1/8" + 28'6 1/8" ÷ 2 · 12'1 3/8" = 345.26 I-J 28'0 1/2" 1/4" = 193.01 I-A 28'6 1/8" + 28'6 1/8" ÷ 2 · 12'1 3/8" · 2 · 20'2 1/2" = 547.69 I-C 12 27'1 1/4" + 27'1 1/4" ÷ 2 · 20'2 1/2" = 547.69 I-C 12 27'1 1/4" + 27'1 1/4" ÷ 2 · 20'2 1/2" = 547.69 I-C 12 27'1 1/4" + 27'1 1/4" ÷ 2 · 20'2 1/2" = 547.69 I-C 12 27'1 1/4" + 27'1 1/4" ÷ 2 · 20'2 1/2" = 547.69 I-C 12 27'1 1/4" + 27'1 1/4" ÷ 2 · 20'2 1/2" = 547.69 I-D 12	Darkin	a- Natural	Gra	dee						
B1-C1 265 1/2" + 269 3/4" + 22 C1-D1 269 3/4" + 278 3/4" + 2 D1-A1 902 5/8" + 279 1/8" + 2 Average natural grade (parking) 3084.36 sq ft + 90'2 5/8" = 34'2 1/4" Principal Building- Finished Grades Wall section average grade A-B 30'2 3/8" + 30'2 3/8" + 2 C-D 30'7 1/4" + 30'7 1/4" + 2 C-D 30'7 1/4" + 30'7 1/4" + 2 C-D 30'7 1/4" + 30'2 3/8" + 2 C-D 30'7 1/4" + 28'6 1/8" + 2 C-D 30'7 1/4" + 28'6 1/8" + 2 C-D 30'7 1/4" + 30'2 3/8" + 2 C-D 30'7 1/4" + 30'2 3/8" + 2 C-D 30'7 1/4" + 28'6 1/8" + 2 C-D 1/4" 2 - 28'6 1/8" + 2 C-D 1/4" 2 - 28'6 1/8" + 2 C-D 1/4" 2 - 28'6 1/8" + 2 C-D 28'6 1/8" + 28'6 1/8" + 2 C-D 28'6 1/8" + 28'6 1/8" + 2 C-D 28'6 1/8" + 28'6 1/8" + 2 C-D 29'4 3/4" C-D 29'4 3/4" = 67'4.79 Total: 172'2 3/4" = 67'4.79 Total: 172'2 3/4" = 67'4.79 C-D 1/2" 17'1 1/4" + 27'1 1/4" + 2 C-D 20'2 1/2" = 54'9.86 C-D 1/-A1 27'3 3/4" + 27'1 1/4" + 2 C-D 20'2 1/2" = 54'9.86 C-D 1/-A1 27'3 3/4" + 27'1 1/4" + 2 C-D 20'2 1/2" = 54'9.86 C-D 1/-A1 27'3 3/4" + 27'1 1/4" + 2 C-D 20'2 1/2" = 54'9.86 C-D 1/-A1 27'3 3/4" + 27'1 1/4" + 2 C-D 20'2 1/2" = 54'9.86 C-D 1/-A1 27'3 3/4" + 27'1 1/4" + 2 C-D 20'2 1/2" = 54'9.86 C-D 1/-A1 27'3 3/4" + 27'1 1/4" + 2 C-D 20'2 1/2" = 54'9.86 C-D 1/-A1 27'3 3/4" + 27'1 1/4" + 2 C-D 20'2 1/2" = 54'9.86 C-D 20'2 1/2" = 54'9.86 C-D 20'2 1/2" = 54'9.86 C-D 20'2 1/2" = 54'9.86 C-D 20'2					÷	2	*	24'10 3/4"	-	674 92 sa fi
$\begin{array}{cccccccccccccccccccccccccccccccccccc$	– .						*			538.23 sq f
D1-A1 902 5/8" + 279 1/8" \div 2 $\frac{*}{104!}$ 202 1/2" = 1192.14 \cdot Total: 902 5/8" 3084.36 Average natural grade (parking) 3084.36 sq ft \div 902 5/8" = 34'2 1/4" Principal Building-Finished Grades Wall section average grade A-B 302 3/8" \div 307 3/8" \div 2 \div 6'3 1/4" = 189.35 B-C 302 3/8" \div 307 1/4" \div 2 \cdot 80 1/2" = 244.42 CD 307 1/4" \div 307 1/4" \div 2 \cdot 24'1 1/4" $=$ 763.16 D-E 307 1/4" \div 302 3/8" \div 2 \cdot 6'3 1/4" = 189.35 F-G 302 3/8" \div 302 3/8" \div 2 \cdot 6'3 1/4" = 189.35 F-G 302 3/8" \div 302 3/8" \div 2 \cdot 6'3 1/4" = 189.379 G-H 28'6 1/8" \div 28'6 1/8" \div 2 \cdot 24'1 1/4" $=$ 183.01 H-1 28'6 1/8" \div 28'6 1/8" \div 2 \cdot 23'10" $=$ 679.39 J-K 28'6 1/8" \div 28'6 1/8" \div 2 \cdot 23'10" $=$ 679.39 J-K 28'6 1/8" \div 28'6 1/8" \div 2 \cdot 24'1 3/4" $=$ 193.01 H-1 28'6 1/8" \div 28'6 1/8" \div 2 \cdot 24'1 3/4" $=$ 345.26 K-L 28'6 1/8" \div 28'6 1/8" \div 2 \cdot 24'10 3/4" $=$ 677.49 J-K 28'6 1/8" \div 28'6 1/8" \div 2 \cdot 24'10 3/4" $=$ 677.49 Total: 1722 3/4" $=$ 5062.22 Average finished grade 5062.22 sq ft \div 172'1 3/4" \div 2 \cdot 24'10 3/4" $=$ 677.49 D1-A1 27'3 3/4" \div 27'1 1/4" \div 2 \cdot 24'10 3/4" $=$ 677.49 Total: 172'2 3/4" $=$ 549.86 Total: 90'2 5/8" $=$ 27'1 7/8" Summary Average natural grade (parking) Average finished grade (parking) A	-						*			679.07 sq f
Total: 90'2 5/8" 3084.36 Average natural grade (parking) 3084.36 sq ft \div 90'2 5/8" = 34'2 1/4" Principal Building- Finished Grades Wall section average grade A-B 30'2 3/8" \div 30'2 3/8" \div 2 \div 6'3 1/4" = 189.35 B-C 30'2 3/8" \div 30'7 1/4" \div 2 \div 8'0 1/2" = 244.42 C-D 30'7 1/4" \div 30'7 1/4" \div 2 \div 8'0 1/2" = 244.42 E-F 30'2 3/8" \div 30'2 3/8" \div 2 \div 6'3 1/4" = 189.35 F-G 30'2 3/8" \div 30'2 3/8" \div 2 \div 8'0 1/2" = 244.42 E-F 30'2 3/8" \div 23/8" \div 2 \div 8'0 1/2" = 244.42 E-F 30'2 3/8" \div 28'6 1/8" \div 2 \div 8'0 1/2" = 837.79 G-H 28'6 1/8" \div 28'6 1/8" \div 2 \div 12'1 3/8" = 345.26 I-J 28'6 1/8" \div 28'6 1/8" \div 2 \div 12'1 3/8" = 345.26 I-J 28'6 1/8" \div 28'6 1/8" \div 2 \div 12'1 3/8" = 345.26 I-J 28'6 1/8" \div 28'6 1/8" \div 2 \div 23'10" = 6'7.93 J-K 28'6 1/8" \div 28'6 1/8" \div 2 \div 23'10" = 6'7.93 J-K 28'6 1/8" \div 28'6 1/8" \div 2 \div 23'10" = 6'7.93 J-K 28'6 1/8" \div 28'6 1/8" \div 2 \div 23'10" = 6'7.93 J-K 28'6 1/8" \div 28'6 1/8" \div 2 \div 29'1 3/4" = 133.01 I-A 28'6 1/8" \div 28'6 1/8" \div 2 \div 29'1 4'' = 83'7.79 Total: 172'2 3/4" = 5062.22 Average finished grade 5062.22 sq ft \div 172'2 3/4" $=$ 29'4 3/4" Parking- Finished Grades A1-B1 27'1 1/4" \div 27'1 1/4" \div 2 \div 20'2 1/2" = 547.69 B1-C1 27'1 1/4" \div 27'1 1/4" \div 2 \div 22'10 3/4" = 6'77.46 D1-A1 27'3 3/4" \div 27'1 1/4" \div 2 \div 22'10 3/4" = 6'77.46 D1-A1 27'3 3/4" \div 27'1 1/4" \div 2 \div 22'10 3/4" = 6'77.46 D1-A1 27'3 3/4" \div 27'1 1/4" \div 2 \div 22'2 1/2" $=$ 549.86' Z0'2 1/2" $=$ 549.86' Average finished grade (parking) 2449.79 sq ft \div 90'2 5/8" $=$ 27'1 7/8" Summary Average finished grade (parking) Average finished grade (parking) 2449.79 sq ft \div 90'2 5/8" $=$ 27'1 7/8" As per Section 130.08 (e) the percentage floor area exemption for principal building basement is: avg. grade elevation - basement floor elevation main floor elevation - basement floor elevation $=$ 29'4 3/4" \cdot 21'3 5/8" $=$ $\frac{8'1 1/8"}{9'1 3/8"}$ X 100 $=$ 88.83%							*			1192.14 sq ft
$3084.36 \text{ sq ft} \div 90'2 5/8" = 34'2 1/4"$ Principal Building- Finished Grades Wall section average grade A-B 30'2 3/8" + 30'2 3/8" ÷ 2 * 6'3 1/4" = 189.35 B-C 30'2 3/8" + 30'2 3/8" ÷ 2 * 8'0 1/2" = 244.42 C-D 30'7 1/4" + 30'2 3/8" ÷ 2 * 8'0 1/2" = 244.42 C-D 30'7 1/4" + 30'2 3/8" ÷ 2 * 6'3 1/4" = 189.35 F-G 30'2 3/8" + 30'2 3/8" ÷ 2 * 6'3 1/4" = 189.35 F-G 30'2 3/8" + 28'6 1/8" ÷ 2 * 28'6 1/2" = 837.79 G-H 28'6 1/8" + 28'6 1/8" ÷ 2 * 28'6 1/2" = 837.79 G-H 28'6 1/8" + 28'6 1/8" ÷ 2 * 12'1 3/8" = 345.26 H-J 28'6 1/8" + 28'6 1/8" ÷ 2 * 12'1 3/8" = 345.26 H-J 28'6 1/8" + 28'6 1/8" ÷ 2 * 12'1 3/8" = 345.26 K-L 28'6 1/8" + 28'6 1/8" ÷ 2 * 12'1 3/8" = 345.26 K-L 28'6 1/8" + 28'6 1/8" ÷ 2 * 12'1 3/8" = 345.26 K-L 28'6 1/8" + 28'6 1/8" ÷ 2 * 28'6 1/2" = 837.79 L-A 28'6 1/8" + 28'6 1/8" ÷ 2 * 20'2 1/2" = 547.69 H-A 28'6 1/8" + 27'1 1/4" ÷ 2 * 20'2 1/2" = 547.69 H-A 28'6 1/8" + 27'1 1/4" ÷ 2 * 20'2 1/2" = 547.69 H-A 12'7' 3/4" + 27'1 1/4" ÷ 2 * 20'2 1/2" = 547.69 H-A 12'7' 3/4" + 27'1 1/4" ÷ 2 * 20'2 1/2" = 547.69 H-A 12'7' 3/4" + 27'1 1/4" ÷ 2 * 20'2 1/2" = 547.69 H-A 12'7' 3/4" + 27'1 1/4" ÷ 2 * 20'2 1/2" = 547.69 H-A 12'7' 3/4" + 27'1 1/4" ÷ 2 * 20'2 1/2" = 547.69 H-A 12'7' 3/4" + 27'1 1/4" ÷ 2 * 20'2 1/2" = 547.69 H-A 12'7' 3/4" + 27'1 1/4" ÷ 2 * 20'2 1/2" = 547.69 H-A 24'9.79 sq ft ÷ 90'2 5/8" = 27'1 7/8" Summary Average finished grade (parking) 24'49.79 sq ft ÷ 90'2 5/8" = 27'1 7/8" Average finished grade (parking) 24'49.79 sq ft ÷ 90'2 5/8" = 27'1 7/8" As per Section 130.08 (e) the percentage floor area exemption for principal building basement is: avg. grade elevation - basement floor elevation - X 100 = 88.83% $\frac{29'4 3/4"}{30'4 7/8" - 21'3 5/8"} = \frac{8'1 1/8"}{9'1 3/8"} X 100 = 88.83\%$							Total:		I	3084.36 sq f
Principal Building- Finished Grades Wall section average grade Wall Section A-B 30'2 3/8" + 30'2 3/8" + 2 6'3 1/4" = 189.35 B-C 30'2 3/8" + 30'7 1/4" + 2 * 80'1/2" = 244.42 C-D 30'7 1/4" + 2 * 80'1/2" = 244.42 E-F 30'2 3/8" + 30'2 3/8" + 2 * 6'3 1/4" = 189.35 F-G 30'2 3/8" + 30'2 3/8" + 2 * 6'3 1/4" = 189.35 F-G 30'2 3/8" + 28'6 1/8" + 2 * 6'9 1/4" = 193.01 H-1 28'6 1/8" + 28'6 1/8" + 2 * 23'10" = 6'9 1/4" = 193.01 L-A 28'6 1/8" + 28'6 1/8" + 28'6 1/8" + 2 * 24'10 3/4" = 6'7.4'9 L-A 28'6 1/8"	Average	e natural gra	ade	(parking)						
Wall section average gradeWall Section LengthA-B $30'2 3/8'' + 30'7 1/4'' + 2$ $6'3 1/4'' = 189.35$ B-C $30'2 3/8'' + 30'7 1/4'' + 2$ $8'0 1/2'' = 244.42$ C-D $30'7 1/4'' + 30'7 1/4'' + 2$ $24'11 1/4'' = 763.16$ D-E $30'7 1/4'' + 30'2 3/8'' + 2$ $8'0 1/2'' = 244.42$ E-F $30'2 3/8'' + 30'2 3/8'' + 2$ $6'3 1/4'' = 763.16$ D-E $30'7 1/4'' + 30'2 3/8'' + 2$ $6'3 1/4'' = 763.16$ D-F $30'2 3/8'' + 28'6 1/8'' + 2$ $6'9 1/4'' = 189.35$ F-G $30'2 3/8'' + 28'6 1/8'' + 2$ $6'9 1/4'' = 189.35$ L-A $28'6 1/8'' + 28'6 1/8'' + 2$ $2'' 12'' 3/8'' = 345.26$ K-L $28'6 1/8'' + 28'6 1/8'' + 2$ $2'' 12'' 3/8'' = 345.26$ K-L $28'6 1/8'' + 28'6 1/8'' + 2$ $2'' 12'' 3/8'' = 345.26$ K-L $28'6 1/8'' + 28'6 1/8'' + 2$ $2'' 12'' 3/8'' = 345.26$ K-L $28'6 1/8'' + 28'6 1/8'' + 2$ $2'' 12'' 3/8'' = 345.26$ K-L $28'6 1/8'' + 28'6 1/8'' + 2$ $2'' 2'' 13''' = 677.49$ L-A $28'6 1/8'' + 27'' 1/4'' + 2'' 2'' 1/4'' + 2''' 2''' = 549.86$ Total: $72'' 2'' 3/4'' = 677.46$ D1-A1 $27'' 3/4'' + 27'' 1/4'' + 2''' 2''' 2''' = 549.86$ D1-A1 $27'' 3/4'' + 27'' 1/4'' + 2'''' 2''' 2''' 2''' = 549.86$ Average finished grade (parking) $34' 2 1/4'' - 2'''' 2'' 3/4'''' = 29'4 3/4''''''''''''''''''''''''''''''''''$	3	3084.36 sq ft	÷	90'2 5/8"	=	34'2 1/	4"			
$\begin{array}{rcrcrc} Length & $	Princip		_					Wall Castion		
A-B $30^2 3/8^{"} + 30^2 3/8^{"} + 2 * 6'3 1/4" = 189.35$ B-C $30^2 3/8^{"} + 30^7 1/4" + 2 * 8'0 1/2" = 244.42$ C-D $30^7 1/4" + 30^2 3/8" + 2 * 8'0 1/2" = 244.42$ E-F $30^2 3/8" + 30^2 3/8" + 2 * 6'3 1/4" = 763.16$ D-E $30^7 1/4" + 30'2 3/8" + 2 * 6'3 1/4" = 763.16$ D-E $30^7 3/4" + 30'2 3/8" + 2 * 6'3 1/4" = 189.35$ F-G $30^2 3/8" + 28'6 1/8" + 2 * 6'9 1/4" = 193.01$ H-I $28'6 1/8" + 28'6 1/8" + 2 * 12'1 3/8" = 345.26$ K-L $28'6 1/8" + 28'6 1/8" + 2 * 12'1 3/8" = 345.26$ K-L $28'6 1/8" + 28'6 1/8" + 2 * 12'1 3/8" = 345.26$ K-L $28'6 1/8" + 28'6 1/8" + 2 * 12'1 3/8" = 345.26$ K-L $28'6 1/8" + 28'6 1/8" + 2 * 12'1 3/8" = 345.26$ K-L $28'6 1/8" + 28'6 1/8" + 2 * 12'1 3/8" = 345.26$ K-L $28'6 1/8" + 28'6 1/8" + 2 * 2 * 12'1 3/8" = 345.26$ K-L $28'6 1/8" + 28'6 1/8" + 2 * 2 * 12'1 3/8" = 345.26$ K-L $28'6 1/8" + 28'6 1/8" + 2 * 2 * 12'1 3/8" = 345.26$ K-L $28'6 1/8" + 28'6 1/8" + 2 * 2 * 12'1 3/8" = 345.26$ K-L $28'6 1/8" + 28'6 1/8" + 2 * 2 * 28'6 1/2" = 837.79$ Total: $172'2 3/4" = 5062.22$ Average finished grade 5062.22 sq ft + 172'2 3/4" = 29'4 3/4" Parking- Finished Grades A1-B1 $27'1 1/4" + 27'1 1/4" + 2 * 2 * 20'2 1/2" = 547.69$ C1-D1 $27'1 1/4" + 27'1 1/4" + 2 * 2 * 20'2 1/2" = 549.86$ Total: $90'2 5/8" = 27'1 7/8"$ Summary Average natural grade (parking) 2449.79 sq ft + 90'2 5/8" = 27'1 7/8" Summary Average finished grade (parking) 27'1 7/8" As per Section 130.08 (e) the percentage floor area exemption for principal building basement is: $avg. grade elevation - basement floor elevation main floor elevation - basement floor elevation 34'2 1/4" 100 = \frac{29'4 3/4" - 21'3 5/8"}{30'4 7/8" - 21'3 5/8"} = \frac{8'1 1/8"}{9'1 3/8"} X 100 = 88.83\%$		Wall s	ectio	on average gi	rade					
B-C $30'2 3/8'' + 30'7 1/4'' + 2 * 80 1/2'' = 244.42 C-D 30'7 1/4'' + 30'2 3/8'' + 2 * 63 1/4'' = 763.16D-E 30'7 1/4'' + 30'2 3/8'' + 2 * 63 1/4'' = 189.35F-G 30'2 3/8'' + 28'6 1/8'' + 2 * 63 1/4'' = 189.35F-G 30'2 3/8'' + 28'6 1/8'' + 2 * 28'6 1/2'' = 837.79G-H 28'6 1/8'' + 28'6 1/8'' + 2 * 12'1 3/8'' = 345.26I-J 28'6 1/8'' + 28'6 1/8'' + 2 * 12'1 3/8'' = 345.26I-J 28'6 1/8'' + 28'6 1/8'' + 2 * 12'1 3/8'' = 345.26I-J 28'6 1/8'' + 28'6 1/8'' + 2 * 12'1 3/8'' = 345.26I-J 28'6 1/8'' + 28'6 1/8'' + 2 * 12'1 3/8'' = 345.26I-J 28'6 1/8'' + 28'6 1/8'' + 2 * 12'1 3/8'' = 345.26I-J 28'6 1/8'' + 28'6 1/8'' + 2 * 12'1 3/8'' = 345.26I-J 28'6 1/8'' + 28'6 1/8'' + 2 * 23'10'' = 679.39J-K 28'6 1/8'' + 28'6 1/8'' + 2 * 28'6 1/2'' = 837.79Total: 172'2'3/4'' = 5062.22Average finished grade5062.22 \text{ sq ft} \div 172'2'3/4'' = 29'4 3/4''Parking- Finished GradesA1-B1 27'1 1/4'' + 27'1 1/4'' \div 2 * 20'2 1/2'' = 547.69C1-D1 27'1 1/4'' + 27'1 1/4'' \div 2 * 20'2 1/2'' = 549.86Total: 90'2 5/8'' = 27'1 7/8''SummaryAverage finished grade (parking)2449.79 \text{ sq ft} \div 90'2 5/8'' = 27'1 7/8''Lower of natural & finishedAverage finished grade (parking)2449.79 \text{ sq ft} \div 90'2 5/8'' = 27'1 7/8''Average finished grade (parking)2'49.79 \text{ sq ft} \div 90'2 5/8'' = 27'1 7/8''Average finished grade (parking)2'4' 3/4'' - 21'3 5/8'' = \frac{8'1 1/8''}{9'1 3/8''} X 100 = 88.83\%$	A-B	30'2 3/8"	+	30'2 3/8"	÷	2	*		=	189.35 sq f
C-D $30^{7} 1/4^{"} + 30^{7} 1/4^{"} + 2 + 24^{+1} 1/4^{"} = 763.16$ D-E $30^{7} 1/4^{"} + 30^{2} 3/8^{"} + 2 + 80 1/2^{"} = 244.42$ E-F $30^{2} 3/8^{"} + 30^{2} 3/8^{"} + 2 + 2 + 63 1/4^{"} = 189.35$ F-G $30^{2} 3/8^{"} + 28^{6} 1/8^{"} + 2 + 2 + 69 1/4^{"} = 193.01$ H-1 $28^{6} 1/8^{"} + 28^{6} 1/8^{"} + 2 + 2 + 12^{1} 3/8^{"} = 345.26$ I-J $28^{6} 1/8^{"} + 28^{6} 1/8^{"} + 2 + 2 + 12^{1} 3/8^{"} = 345.26$ I-J $28^{6} 1/8^{"} + 28^{6} 1/8^{"} + 2 + 2 + 12^{1} 3/8^{"} = 345.26$ I-J $28^{6} 1/8^{"} + 28^{6} 1/8^{"} + 2 + 2 + 12^{1} 3/8^{"} = 345.26$ I-J $28^{6} 1/8^{"} + 28^{6} 1/8^{"} + 2 + 2 + 12^{1} 3/8^{"} = 345.26$ I-J $28^{6} 1/8^{"} + 28^{6} 1/8^{"} + 2 + 2 + 12^{1} 3/8^{"} = 345.26$ I-J $28^{6} 1/8^{"} + 28^{6} 1/8^{"} + 2 + 2 + 12^{1} 3/8^{"} = 345.26$ I-A $28^{6} 1/8^{"} + 28^{6} 1/8^{"} + 2 + 2 + 23^{1} 12^{1} 3/8^{"} = 345.26$ Average finished grade $5062.22 \text{sq} \text{ft} + 30^{1} 2 3/8^{"} + 2 + 2 + 28^{1} 1/4^{"} = 345.26$ D1-A $28^{1} 6 1/8^{"} + 30^{1} 2 3/8^{"} + 2 + 2 + 28^{1} 1/4^{"} = 674.79$ B1-C1 $27^{1} 1/4^{"} + 27^{1} 1/4^{"} + 2 + 2 + 20^{2} 1/2^{"} = 547.69$ D1-A1 $27^{1} 3/4^{"} + 27^{1} 1/4^{"} + 2 + 2 + 20^{2} 1/2^{"} = 547.69$ D1-A1 $27^{1} 3/4^{"} + 27^{1} 1/4^{"} + 2 + 2 + 20^{2} 1/2^{"} = 549.86$ Total: $90^{1} 2 5/8^{"} = 24^{4} 10^{3} 3/4^{"} = 674.79$ Average finished grade (parking) $2449.79 \text{sq} \text{ft} + 90^{1} 2 5/8^{"} = 27^{1} 17/8^{"}$ Summary Average finished grade (parking) Average finished grade (parking) $27^{1} 7/8^{"}$ As per Section 130.08 (e) the percentage floor area exemption for principal building basement is: $\frac{avg. grade elevation - basement floor elevation}{asement is:} X 100 = \frac{29^{1} 3/4^{"} - 21^{1} 3 5/8^{"}}{30^{1} 4 7/8^{"} - 21^{1} 3 5/8^{"}} = \frac{8^{1} 1/8^{"}}{9^{1} 3/8^{"}} X 100 = 88.83\%$							*			244.42 sq f
D-E $30714'' + 30'23/8'' + 2 * 801/2'' = 244.42 E-F 30'23/8'' + 30'23/8'' + 2 * 6'31/4'' = 189.35F-G 30'23/8'' + 2861/8'' + 2 * 6'31/4'' = 189.35F-G 30'23/8'' + 2861/8'' + 2 * 2 * 6'91/4'' = 193.01H-I 2861/8'' + 2861/8'' + 2 * 12'13/8'' = 345.26I-J 2861/8'' + 2861/8'' + 2 * 23'10'' = 679.39J-K 2861/8'' + 2861/8'' + 2 * 2 * 12'13/8'' = 345.26K-L 2861/8'' + 2861/8'' + 2 * 2 * 6'91/4'' = 193.01L-A 28'61/8'' + 28'61/8'' + 2 * 2 * 6'91/4'' = 193.01L-A 28'61/8'' + 28'61/8'' + 2 * 2 * 6'91/4'' = 193.01L-A 28'61/8'' + 28'61/8'' + 2 * 2 * 28'61/2'' = 837.79Total: 172'23/4'' = 547.69C1-D1 27'11/4'' + 27'11/4'' + 2 * 20'21/2'' = 547.69C1-D1 27'11/4'' + 27'13/4'' + 2 * 20'21/2'' = 547.69C1-D1 27'11/4'' + 27'33/4'' + 2 * 20'21/2'' = 547.69C1-D1 27'11/4'' + 27'33/4'' + 2 * 20'21/2'' = 547.69C1-D1 27'11/4'' + 27'33/4'' + 2 * 20'21/2'' = 549.86Total: 90'25/8'' = 24'49.79Average finished grade (parking)2449.79 sq ft \div 90'25/8'' = 27'17/8''SummaryAverage finished grade (parking)Average finished grade (parking)Avera$	-						*			763.16 sq f
E-F $30'2'3/8" + 30'2'3/8" + 28'6'1/8" + 2 * 6'3'1/4" = 189.35$ F-G $30'2'3/8" + 28'6'1/8" + 28'6'1/8" + 2 * 28'6'1/2" = 837.79$ G-H $28'6'1/8" + 28'6'1/8" + 2 * 6'9'1/4" = 193.01$ H-I $28'6'1/8" + 28'6'1/8" + 2 * 12'1'3/8" = 345.26$ K-L $28'6'1/8" + 28'6'1/8" + 2 * 12'1'3/8" = 345.26$ K-L $28'6'1/8" + 28'6'1/8" + 2 * 12'1'3/8" = 345.26$ K-L $28'6'1/8" + 28'6'1/8" + 2 * 12'1'3/8" = 345.26$ K-L $28'6'1/8" + 28'6'1/8" + 2 * 12'1'3/8" = 345.26$ K-L $28'6'1/8" + 28'6'1/8" + 2 * 12'1'3/8" = 345.26$ K-L $28'6'1/8" + 28'6'1/8" + 2 * 12'1'3/8" = 345.26$ K-L $28'6'1/8" + 28'6'1/8" + 2 * 2'' 3/4" = 6''' 3/79$ Total: $172'2'3/4" = 6''' 3.79$ Average finished grade 5062.22 sq ft + 172'2'3/4" = 29'4'' Average finished Grades A1-B1 $27'1'1/4" + 27''1'1/4" + 2 * 20'2'1/2" = 547.69$ D1-A1 $27''3'3/4" + 27''1'1/4" + 2 * 20'2'1/2" = 549.86$ Total: $90'2'5/8" = 27''1'7/8"$ Summary Average finished grade (parking) 2449.79 sq ft + 90'2'5/8" = 27''1'7/8" Lower of natural & finished Average finished grade (parking) Average finished grade (parking) 2449.79 sq ft + 90'2'5/8" = 27''1'7/8" Lower of natural & finished 29'4'3/4" Average finished grade (parking) 2'' 3''' As per Section 130.08 (e) the percentage floor area exemption for principal building basement is: $avg. grade elevation - basement floor elevation main floor elevation - basement floor elevation X = 100 = \frac{29'4'3/4" - 21''3'5/8"}{30'4''7/8" - 21''3'5/8"} = \frac{8'1'1/8"}{9'1'3/8"} X = 100 = 88.83\%$		30'7 1/4"	+					8'0 1/2"	=	244.42 sq f
$\begin{array}{rcl} G-H & 28'6 1/8'' + 28'6 1/2'' = 837.79 \\ \hline G-H & 28'6 1/8'' + 28'6 1/8'' + 28'6 1/8'' + 2 & 12'1 3/8'' = 345.26 \\ K-L & 28'6 1/8'' + 28'6 1/8'' + 2 & 12'1 3/8'' = 345.26 \\ K-L & 28'6 1/8'' + 28'6 1/8'' + 2 & 12'1 3/8'' = 6'74.79 \\ \hline L-A & 28'6 1/8'' + 20'2 3/8'' + 2 & 28'6 1/2'' = 837.79 \\ \hline Total: & 172'2 3/4'' & 5062.22 \\ \hline Average finished grade \\ S062.22 sq ft + 172'2 3/4'' + 2 & 2 & 24'10 3/4'' = 674.79 \\ \operatorname{B1-C1} & 27'1 1/4'' + 27'3 3/4'' + 2 & 2 & 20'2 1/2'' = 547.69 \\ \operatorname{C1-D1} & 27'1 1/4'' + 27'3 3/4'' + 2 & 2 & 20'2 1/2'' = 547.69 \\ \operatorname{C1-D1} & 27'1 1/4'' + 27'3 3/4'' + 2 & 2 & 20'2 1/2'' = 549.86 \\ \operatorname{D1-A1} & 27'3 3/4'' + 27'1 1/4'' + 2 & 2 & 20'2 1/2'' = 549.86 \\ \hline Total: & 90'2 5/8'' & = 27'1 7/8'' \\ \hline Summary \\ Average finished grade (parking) \\ 2449.79 sq ft + 90'2 5/8'' & = 27'1 7/8'' \\ \hline Lower of natural & finishe \\ Average finished grade (parking) \\ Average natural grade (parking) \\ Average finished grade (parkin$	E-F	30'2 3/8"	+		÷			6'3 1/4"	=	189.35 sq f
$\begin{array}{rrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrr$	F-G	30'2 3/8"	+	28'6 1/8"	÷	2		28'6 1/2"	=	837.79 sq f
$\begin{array}{rrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrr$			+	28'6 1/8"				6'9 1/4"	=	193.01 sq f
$\begin{array}{rcrcrcrc} JK & 286 1/8'' + 286 1/8'' + 2 & 12'1 3/8'' = 075.35 \\ K-L & 28'6 1/8'' + 28'6 1/8'' + 2 & 12'1 3/8'' = 345.26 \\ K-L & 28'6 1/8'' + 30'2 3/8'' + 2 & 69 1/4'' = 193.01 \\ L-A & 28'6 1/8'' + 30'2 3/8'' + 2 & 28'6 1/2'' = 837.79 \\ Total: & 172'2 3/4'' = 837.79 \\ Total: & 172'2 3/4'' = 674.79 \\ Total: & 172'2 3/4'' = 674.79 \\ B1-C1 & 27'1 1/4'' + 27'1 1/4'' + 2 & 2 & 20'2 1/2'' = 547.69 \\ C1-D1 & 27'1 1/4'' + 27'3 3/4'' + 2 & 24'10 3/4'' = 674.79 \\ B1-C1 & 27'1 1/4'' + 27'3 3/4'' + 2 & 24'10 3/4'' = 677.46 \\ D1-A1 & 27'3 3/4'' + 27'1 1/4'' + 2 & 2 & 20'2 1/2'' = 549.86 \\ Total: & 90'2 5/8'' & 2449.79 \\ Average finished grade (parking) \\ 2449.79 sq ft + 90'2 5/8'' = 27'1 7/8'' \\ Summary \\ Average natural grade \\ Average finished grade (parking) \\ Big (arking) \\ Average finished grade (parking) \\ Big (arking) \\ Average finished grade (parking) \\ Big (arking) \\ Average fi$			+			2			=	345.26 sq f
$\begin{array}{rrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrrr$			+			2			=	679.39 sq f
Image: Number of the system of the syste					÷	2				345.26 sq f
LA 286 1/8 + 30 2 3/8 + 2 $\frac{286 1/2}{172'2 3/4''}$ = $\frac{337.79}{5062.22}$ Average finished grade 5062.22 sq ft + 172'2 3/4'' = $29'4 3/4''$ Parking- Finished Grades A1-B1 27'1 1/4'' + 27'1 1/4'' + 29'4 3/4'' Parking- Finished Grades A1-B1 27'1 1/4'' + 27'1 1/4'' + 2 * 24'10 3/4'' = 674.79 B1-C1 27'1 1/4'' + 27'1 1/4'' + 2 * 20'2 1/2'' = 547.69 C1-D1 27'1 1/4'' + 27'1 3/4'' + 27'1 1/4''' + 2 * 20'2 1/2''' = 547.69 C1-D1 27'1 1/4'' + 27'1 1/4''' + 2 * 20'2 1/2''' = 549.86 Total: 90'2 5/8'' = 27'1 7/8'' Eower of natural & finishe 2449.79 sq ft + 90'2 5/8'' = 27'1 7/8'' Eower of natural & finishe Average finished grade (parking) 34'2 1/4'' Lower of natural & finishe 27'1 7/8'' <										193.01 sq f
Average finished grade $5062.22 \text{ sq ft} \div 172'2 3/4" = 29'4 3/4"$ Parking- Finished Grades A1-B1 27'1 1/4" + 27'1 1/4" ÷ 2 * 20'2 1/2" = 547.69 B1-C1 27'1 1/4" + 27'3 3/4" ÷ 2 * 20'2 1/2" = 547.69 C1-D1 27'1 1/4" + 27'3 3/4" ÷ 2 * 20'2 1/2" = 549.86 D1-A1 27'3 3/4" + 27'1 1/4" ÷ 2 * 20'2 1/2" = 549.86 Total: 90'2 5/8" 2449.79 Average finished grade (parking) 2449.79 sq ft ÷ 90'2 5/8" = 27'1 7/8" Summary Average natural grade 28'9 1/2" Average natural grade 28'9 1/2" Average finished grade (parking) 34'2 1/4" Average finished gra	L-A	28'0 1/8"	+	30'2 3/8"	÷	2				5062.22 sq f
Parking- Finished Grades A1-B1 27'1 1/4" + 27'1 1/4" + 2 * 24'10 3/4" = 674.79 B1-C1 27'1 1/4" + 27'1 3 3/4" + 2 * 20'2 1/2" = 547.69 C1-D1 27'1 1/4" + 27'3 3/4" + 2 * 20'2 1/2" = 547.69 D1-A1 27'3 3/4" + 27'1 1/4" + 2 * 20'2 1/2" = 549.86 D1-A1 27'3 3/4" + 27'1 1/4" + 2 * 20'2 1/2" = 549.86 Total: 90'2 5/8" = 27'1 7/8" * 2449.79 * 2449.79 Average finished grade (parking) 249.79 sq ft > 90'2 5/8" 24'9.79 * 29'4 3/4" 2'4'9.79 Average natural grade grade 28'9 1/2" Lower of natural & finishe 29'4 3/4" 29'4 3/4" 29'4 3/4" 29'4 3/4" 29'4 3/4" 29'4 3/4" 29'4 3/4" Average finished grade (parking) 34'2 1/4" Lower of natural & finishe 27'1 7/8"	Average	e finished g	rade	e						·
A1-B1 27'1 1/4" + 27'1 1/4" ÷ 2 * 24'10 3/4" = 674.79 B1-C1 27'1 1/4" + 27'1 1/4" ÷ 2 * 20'2 1/2" = 547.69 C1-D1 27'1 1/4" + 27'3 3/4" ÷ 2 * 24'10 3/4" = 677.46 D1-A1 27'3 3/4" + 27'1 1/4" ÷ 2 * 24'10 3/4" = 677.46 D1-A1 27'3 3/4" + 27'1 1/4" ÷ 2 * 20'2 1/2" = 549.86 Total: 90'2 5/8" 2449.79 Average finished grade (parking) 2449.79 sq ft ÷ 90'2 5/8" = 27'1 7/8" Summary Average natural grade 28'9 1/2" Lower of natural & finishe Average finished grade (parking) 34'2 1/4" Lower of natural & finishe Average finished grade (parking) 27'1 7/8" As per Section 130.08 (e) the percentage floor area exemption for principal building basement is: avg. grade elevation - basement floor elevation X 100 = $\frac{29'4 3/4" - 21'3 5/8"}{30'4 7/8" - 21'3 5/8"} = \frac{8'1 1/8"}{9'1 3/8"} X 100 = 88.83\%$	5	5062.22 sq ft	÷	172'2 3/4"	=	29'4 3	8/4"			
B1-C1 27'1 1/4" + 27'1 1/4" ÷ 2 * 20'2 1/2" = 547.69 C1-D1 27'1 1/4" + 27'3 3/4" ÷ 2 * 24'10 3/4" = 677.46 D1-A1 27'3 3/4" + 27'1 1/4" ÷ 2 * 24'10 3/4" = 677.46 D1-A1 27'3 3/4" + 27'1 1/4" ÷ 2 * 20'2 1/2" = 549.86 Total: 90'2 5/8" 2449.79 Average finished grade (parking) 2449.79 sq ft ÷ 90'2 5/8" = 27'1 7/8" Summary Average natural grade 28'9 1/2" Lower of natural & finishe Average finished grade (parking) 34'2 1/4" Lower of natural & finishe Average finished grade (parking) 27'1 7/8" As per Section 130.08 (e) the percentage floor area exemption for principal building basement is: avg. grade elevation - basement floor elevation X 100 = $\frac{29'4 3/4" - 21'3 5/8"}{30'4 7/8" - 21'3 5/8"} = \frac{8'1 1/8"}{9'1 3/8"} X 100 = 88.83\%$	Parkin		d Gr							
C1-D1 27'1 1/4" + 27'3 3/4" ÷ 2 D1-A1 27'3 3/4" + 27'1 1/4" ÷ 2 Average finished grade (parking) 2449.79 sq ft ÷ 90'2 5/8" = 27'1 7/8" Summary Average natural grade 28'9 1/2" Average natural grade 29'4 3/4" Average natural grade (parking) Average natural grade (parking) Average finished grade (parking							*			674.79 sq f
C1-D1 271174 $+$ 27334 \div 2 241034 $=$ 677.46 D1-A1 $27'33/4"$ $+$ $27'11/4"$ \div 2 $\frac{*}{20'21/2"}$ $=$ 549.86 D1-A1 $27'33/4"$ $+$ $27'111/4"$ \div 2 $\frac{*}{10}$ $\frac{20'21/2"}{20'25/8"}$ $=$ 549.86 Average finished grade (parking) 2449.79 sq ft \div $90'25/8"$ 2449.79 2449.79 Average finished grade (parking) $24'91/2"$ Lower of natural & finishedAverage natural grade (parking) $34'21/4"$ Lower of natural & finishedAverage finished grade (parking) $34'21/4"$ Lower of natural & finishedAverage finished grade (parking) $27'17/8"$ $27'17/8"$ As per Section 130.08 (e) the percentage floor area exemption for principal building basement is: $avg. grade elevation - basement floor elevationX100\frac{29'43/4" - 21'35/8"}{30'47/8" - 21'35/8"}=\frac{8'11/8"}{9'13/8"}X100=88.83\%$							*			
Drive the transmission of the transmission of tra							*			677.46 sq f
Average finished grade (parking) $2449.79 \text{ sq ft} \div 90'2 5/8'' = 27'1 7/8''$ SummaryAverage natural grade Average finished grade $28'9 1/2''$ $29'4 3/4'' 29'4 3/4''Average natural grade (parking)Average finished grade (parking)34'2 1/4''27'1 7/8'' 27'1 7/8''As per Section 130.08 (e) the percentage floor area exemption for principal buildingbasement is:100 =avg. grade elevation - basement floor elevationmain floor elevation - basement floor elevation30'4 7/8'' - 21'3 5/8'' = \frac{8'1 1/8''}{9'1 3/8''} X100 =$	D1-A1	27'3 3/4"	+	27'1 1/4"	÷	2	Total			040.00 391
$2449.79 \text{ sq ft} \div 90'2 5/8" = 27'1 7/8"$ Summary Average natural grade Average finished grade Average finished grade Average natural grade (parking) Average finished grade (park	Avorad	a finishad a	rade	(narking)			TOtal.	90'2 5/8		2449.79 SQ I
Summary Average finished grade $28'9 1/2"$ $29'4 3/4"Lower of natural & finished29'4 3/4"Average finished grade (parking)Average finished grade (parking)34'2 1/4"27'1 7/8"Lower of natural & finished27'1 7/8"Average finished grade (parking)Average finished grade (parking)34'2 1/4"27'1 7/8"Lower of natural & finished27'1 7/8"As per Section 130.08 (e) the percentage floor area exemption for principal buildingbasement is:avg. grade elevation - basement floor elevationmain floor elevation - basement floor elevationX100 =\frac{29'4 3/4" - 21'3 5/8"}{30'4 7/8" - 21'3 5/8"} = \frac{8'1 1/8"}{9'1 3/8"} X100 =88.83\%$	-	-			=	27'1 7/	8"			
Average natural grade Average finished grade $28'9 1/2"$ $29'4 3/4"Lower of natural & finished29'4 3/4"Average natural grade (parking)Average finished grade (parking)34'2 1/4"27'1 7/8"Lower of natural & finished27'1 7/8"As per Section 130.08 (e) the percentage floor area exemption for principal buildingbasement is:avg. grade elevation - basement floor elevationmain floor elevation - basement floor elevationX100\frac{29'4 3/4"}{30'4 7/8"} - \frac{21'3 5/8"}{21'3 5/8"} = \frac{8'1 1/8"}{9'1 3/8"} X100=$	C									
Average finished grade $29'4 3/4"$ $29'4 3/4"$ Average natural grade (parking) $34'2 1/4"$ Lower of natural & finishedAverage finished grade (parking) $27'1 7/8"$ $27'1 7/8"$ As per Section 130.08 (e) the percentage floor area exemption for principal building basement is: $avg. grade elevation - basement floor elevationmain floor elevation - basement floor elevationX100 =\frac{29'4 3/4" - 21'3 5/8"}{30'4 7/8" - 21'3 5/8"} = \frac{8'1 1/8"}{9'1 3/8"} X100 =88.83\%$	Summ		ae n	atural grade		28'9	1/2"	Lower of n	atura	al & finished:
Average finished grade (parking) $27'17/8"$ $27'17/8"$ As per Section 130.08 (e) the percentage floor area exemption for principal building basement is:avg. grade elevation - basement floor elevation main floor elevation - basement floor elevationX100 $=$ <td></td>										
As per Section 130.08 (e) the percentage floor area exemption for principal building basement is: avg. grade elevation - basement floor elevation main floor elevation - basement floor elevation $\frac{29'4 3/4" - 21'3 5/8"}{30'4 7/8" - 21'3 5/8"} = \frac{8'1 1/8"}{9'1 3/8"} X 100 = 88.83\%$						34'2	1/4"			
basement is: <u>avg. grade elevation - basement floor elevation</u> X 100 = <u>$29'4 3/4" - 21'3 5/8"$</u> = $\frac{8'1 1/8"}{9'1 3/8"}$ X 100 = 88.83%	Ave	rage finished	l gra	de (parking)		27'1	7/8"	2	7'17	/8"
main floor elevation - basement floor elevation X 100 = $\frac{29'4 3/4"}{30'4 7/8"}$ $\frac{21'3 5/8"}{21'3 5/8"}$ = $\frac{8'1 1/8"}{9'1 3/8"}$ X 100 = 88.83%	As p	er Section 13	30.0	8 (e) the perc	entag bas	e floor are ement is:	ea exe	mption for pri	incip	al building
	avg ma	. grade eleva in floor eleva	atior ation	n - basement 1 - basement f	floor e	elevation levation	x	100	=	
		29'4 3/4"	-	21'3 5/8"	_	8'1 1/8	3" v	100	_	88 83%
Basement storey area exempt from F.A.R. calculations= 1508.84 sq 1		30'4 7/8"	-	21'3 5/8"	-	9'1 3/8	3"-~~	100	_	00.00 /0
	Ва	asement st	tore	y area exer	npt fi	rom F.A.	R. ca	culations=	15	08.84 sq ft

Average Grades for F.A.R. exclusion as per Section 120.17

Average Grades for max. building height as per Section 252.10 Finished Grades Along Front Wall of Principal Building

	rade	Length							
A-B	30'2 3/8"	+	30'2 3/8"	÷	2	*	6'3 1/4"	=	189.35 sq ft
B-C	30'2 3/8"	+	30'7 1/4"	÷	2	*	8'0 1/2"	=	244.42 sq ft
C-D	30'7 1/4"	+	30'7 1/4"	÷	2	*	24'11 1/4"	=	763.22 sq ft
D-E	30'7 1/4"	+	30'2 3/8"	÷	2	*	8'0 1/2"	=	244.43 sq ft
E-F	30'2 3/8"	+	30'2 3/8"	÷	2	*	6'3 1/4"	=	189.35 sq ft
					Tc	otal:	107'1 1/2'		3261.55 sq ft

Average finished grade at front of building: 3261.55 sq ft ÷ 107'1 1/2" = **30'5 3/8"**

Finished Grades Along Rear Wall of Principal Building

	Wall section average grade						Wall Section Length					
G-H	28'6 1/8"	+	28'6 1/8"	÷	2	*	6'9 1/4"	=	193.01 sq ft			
H-I	28'6 1/8"	+	28'6 1/8"	÷	2	*	12'1 3/8"	=	345.26 sq ft			
I-J	28'6 1/8"	+	28'6 1/8"	÷	2	*	23'10"	=	679.39 sq ft			
J-K	28'6 1/8"	+	28'6 1/8"	÷	2	*	12'1 3/8"	=	345.26 sq ft			
K-L	28'6 1/8"	+	28'6 1/8"	÷	2	*	6'9 1/4"	=	193.01 sq ft			
					То	tal:	61'7 1/8'		1755.93 sq ft			

Average finished grade at rear of building:

1755.93 sq ft ÷ 61'7 1/8" = **28'6 1/8**"

Summary

Average finished grade at front of building: 30'5 3/8"

Average finished grade at rear of building: 28'6 1/8"

Datum elevation from which principal building height is measured 28'6 1/8"

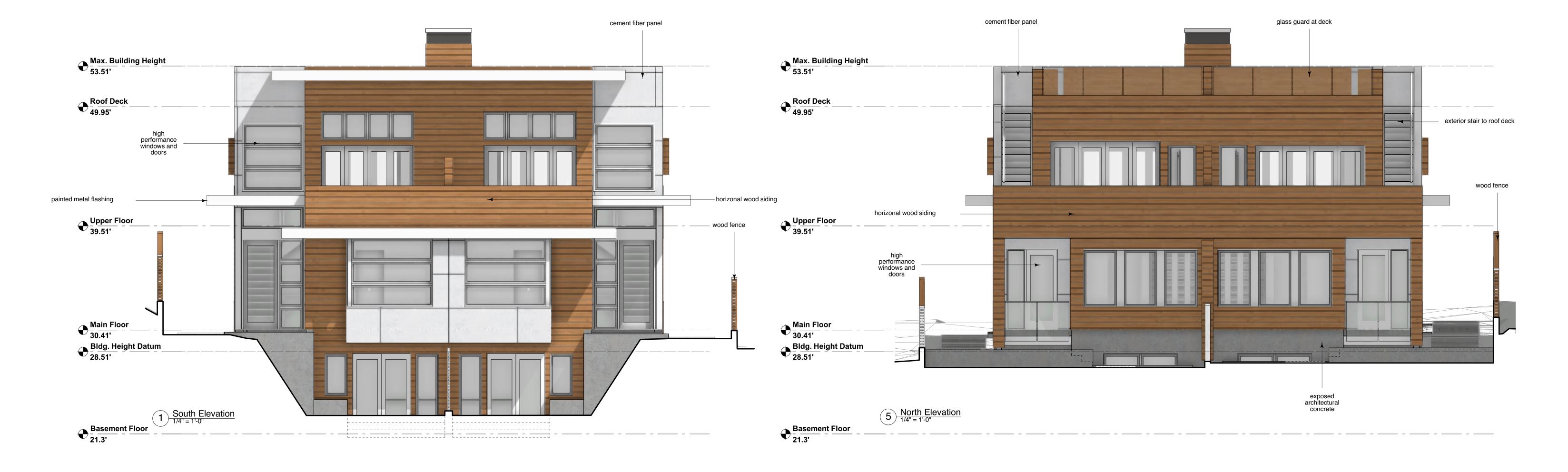


Halex Architecture

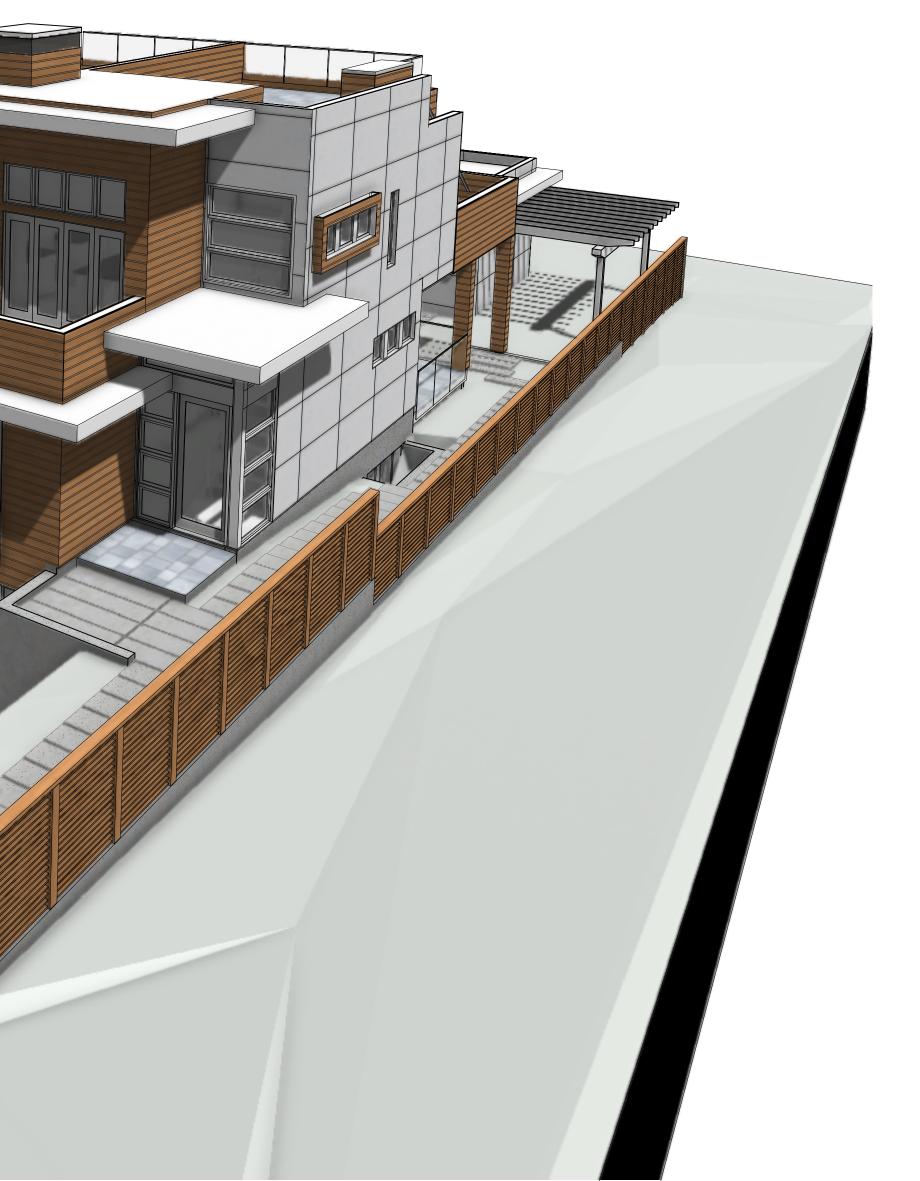
Duplex6457 Bruce StResidenceWest Vancouver I BC Site Plan

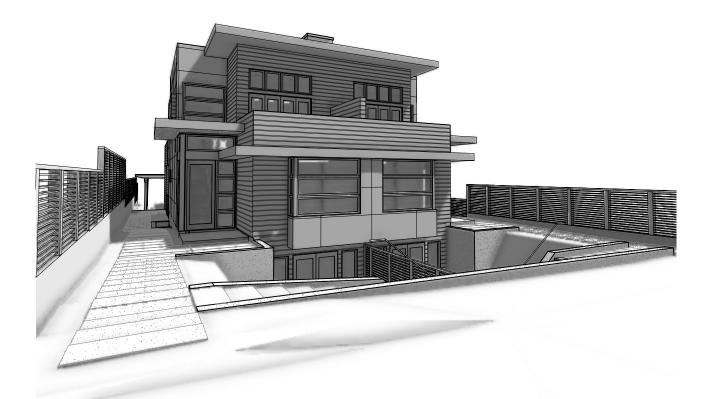


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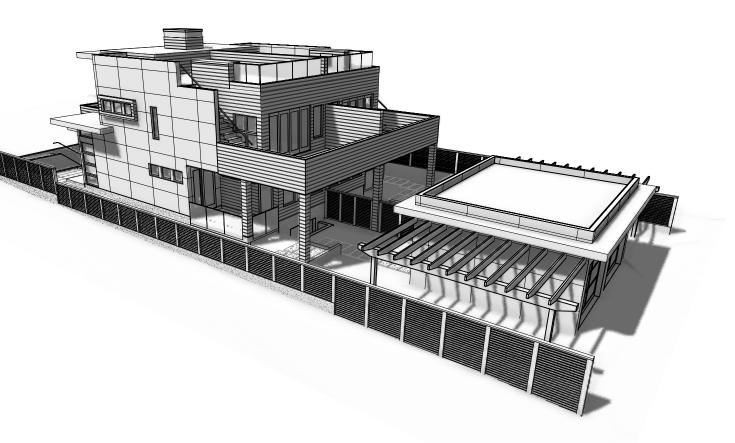
3 Southeast Aerial Perspective







4 Southwest Perspective



5 Northeast Perspective



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