



District of West Vancouver

**Official Community Plan
Bylaw No. 4360, 2004,
Amendment Bylaw No. 4567, 2008**

Effective Date –

District of West Vancouver

Official Community Plan Bylaw No. 4360, 2004, Amendment Bylaw No. 4567, 2008

A bylaw to amend the Official Community Plan to incorporate provisions specific to the Rodgers Creek Area of the Upper Lands.

WHEREAS the Local Government Act provides that the Council may amend an Official Community Plan,

AND WHEREAS an Area Development Plan has been proposed for the Rodgers Creek Area of the Upper Lands after extension community consultation,

NOW THEREFORE, the Council of the Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as “Official Community Plan Bylaw No. 4360, 2004, Amendment Bylaw No. 4567, 2008”.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase).

Part 3 Amends Policy Section 7 [Upper Lands] and Section 12 [Transportation and Mobility]

- 3.1 Schedule A to Official Community Plan Bylaw No. 4360, 2004 is amended as follows:
 - 3.1.1 In Policy Section 7, Upper Lands Planning Strategy and the Community Plan, paragraph 5, by replacing the first sentence with the following:

“Residential development may be permitted up to an overall density of 2.5 dwellings per gross acre, except in the Rodgers Creek Area the permitted density of residential development

shall be limited to a maximum 1,875,600 million square feet of building area and a maximum 736 dwelling units.”

- 3.1.2 In Policy Section 7, Development Strategies, by replacing the first bullet under the heading “Density” with the following:
“Allow for a gross density of 2.5 dwelling units per gross acre in the Future Neighbourhoods Area, except in the Rodgers Creek Area the permitted density of residential development shall be limited to a maximum 1,875,600 million square feet of building area and a maximum 736 dwelling units.”
- 3.1.3 In Policy Section 7 Policy UL8 by revised Map UL8 to show the Rodgers Creek Area of the Upper Lands Development Permit Area Designation.
- 3.1.4 In Policy Section 7 after Policy UL8, by adding, as a new subsection, policies for the development of the Rodgers Creek Area as set out in Schedule 1 to this bylaw.
- 3.1.5 In Policy Section 7 by replacing the map titled Land Acquisition for Public Facilities in Future Neighbourhoods [on page 98] with the map set out in Schedule 2 to this bylaw, so as to show the new alignment of the Chippendale Road extension.
- 3.1.6 In Policy Section 7 by replacing the map titled Areas of Potential Public Acquisition [on page 100] with the map set out in Schedule 3 to this bylaw, so as to show the new alignment of the Chippendale Road extension.
- 3.1.7 In Policy Section 7 by replacing the map titled Anticipated Development of Future Neighbourhoods [on page 106] with the map set out in Schedule 4 to this bylaw, so as to show the new alignment of the Chippendale Road extension, the updated boundary of the Rodgers Creek Area and current undeveloped areas in the Upper Lands.
- 3.1.8 In Policy Section 12 by replacing the map titled Transportation and Mobility [on page 136] with the map set out in Schedule 5 to this bylaw, so as to show the new alignment of the Chippendale Road extension.

Part 4 Adds Development Permit Guidelines for the Rodgers Creek Area

- 4.1 Schedule A to Official Community Plan Bylaw No. 4360, 2004 is further amended as follows:

- 4.1.1 In Guidelines UL8 by replacing the first paragraph with the following:
“The following guidelines shall apply to all lands in the Future Neighbourhoods, except the Rodgers Creek Area of the Upper Lands as defined on the Rodgers Creek Development Permit Area Designation Map UL8.1.”
- 4.1.2 In Guidelines UL8 after the heading “Upper Lands Watercourse Protection Guidelines” and before the words “a. With respect to” [on Page 184.1]” add the following:
“The following guidelines shall apply to all lands in the Future Neighbourhoods, including the Rodgers Creek Area.”
- 4.1.3 In Guidelines UL8 at the end of the guidelines [on Page 184.1] add the development permit guidelines specific to the Rodgers Creek Area as set out in Schedule 6 to this bylaw.

Schedules

- Schedule 1 – Rodgers Creek Area Development Policies
- Schedule 2 – Land Acquisition for Public Facilities in Future Neighbourhoods
- Schedule 3 – Areas of Potential Public Acquisition
- Schedule 4 – Anticipated Development of Future Neighbourhoods
- Schedule 5 – Transportation and Mobility
- Schedule 6 – Rodgers Creek Guidelines

READ A FIRST TIME on July 7, 2008

PUBLIC HEARING HELD on July 28, 2008

AMENDED AND READ A SECOND TIME, AS AMENDED, on July 28, 2008

READ A THIRD TIME on July 28, 2008

ADOPTED by the Council on

Mayor

Municipal Clerk

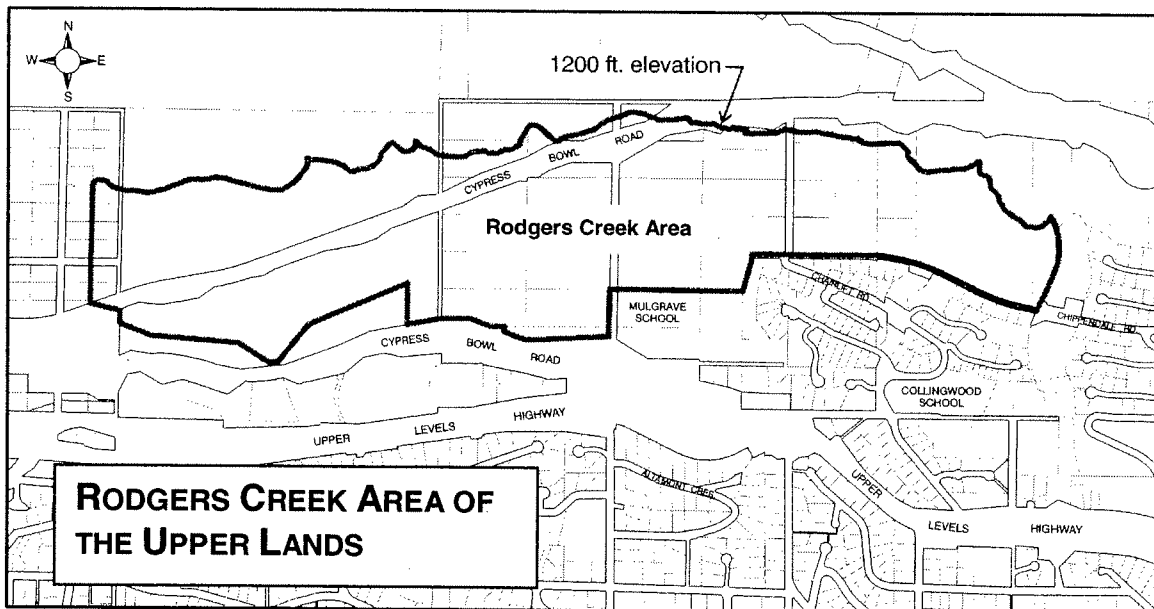
SCHEDULE 1

Rodgers Creek Area Development Policies

The Rodgers Creek Area encompasses approximately 215 acres of land between Marr Creek and Cave Creek West, above the Upper Levels Highway and below the 1200 foot contour. It is accessed by Cypress Bowl Road and Chippendale Road. The planning area is part of the forested mountain slopes of the North Shore and part of a natural heritage of both the community and the region. It is undeveloped land of second growth forest, with:

- thirty watercourses of varying description and quality,
- difficult terrain,
- sensitive environmental resources and habitat,
- a logging past, and
- a long history of recreation use for hiking, skiing and more recently, mountain biking.

There are 41 lots in the Rodgers Creek Area, along with several unopened road allowances. All the lots are privately owned, with British Pacific Properties (BPP) owning all but 20 acres. These non-BPP 20 acres consist of four 5-acre parcels, each under different ownership.



Policy UL8.1

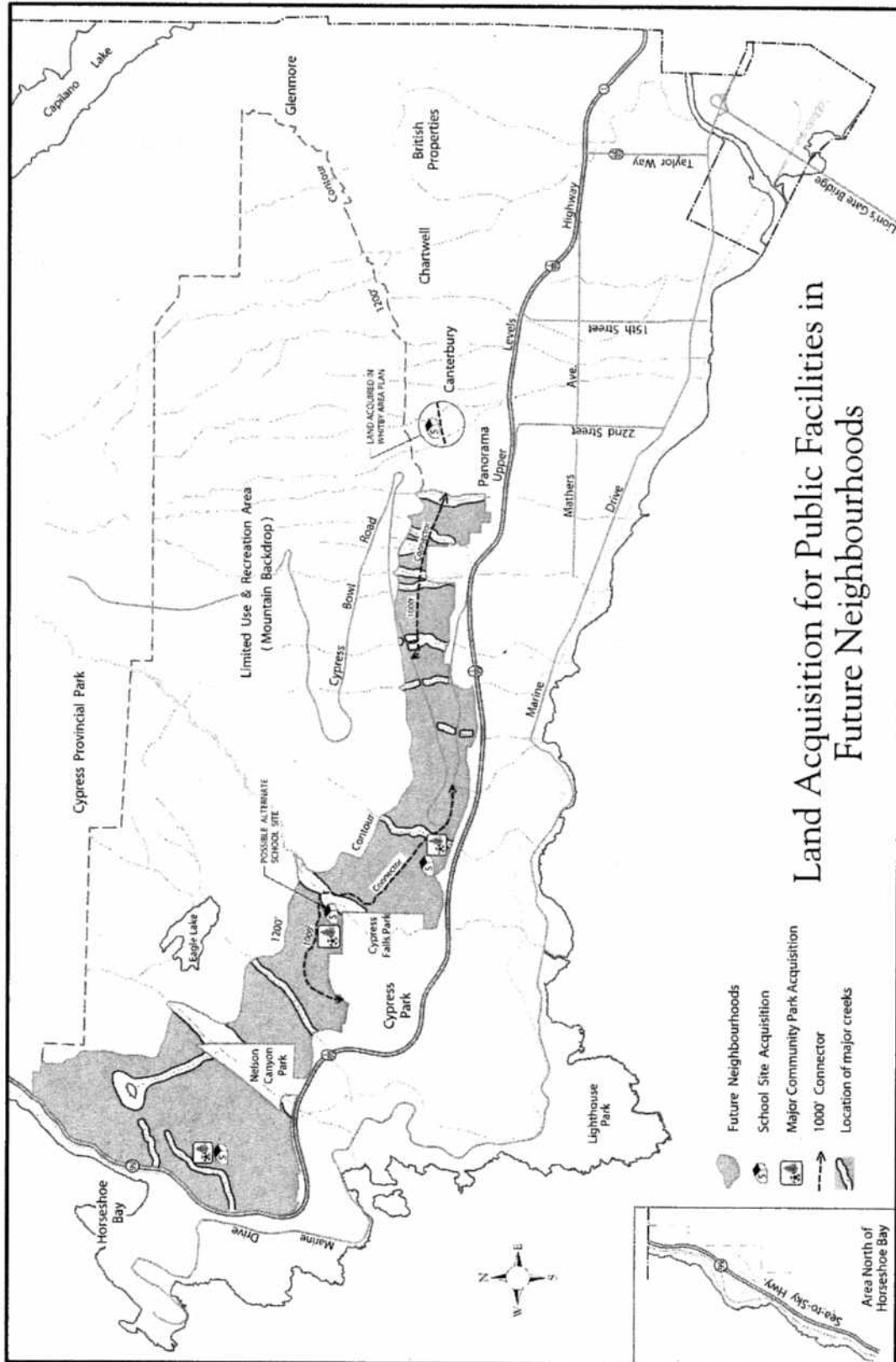
Provide for the development of the Rodgers Creek Area consistent with the following:

- (a) Protect approximately 55% of the land area as environmentally protected green space including creeks and their riparian corridors, endangered species habitat, rock bluffs, steep slopes and large stands of forest.
- (b) Avoid fragmentation of environmentally sensitive lands by creating large, continuous forested/natural areas.

- (c) Allow for a maximum 1,875,600 sq. ft. of floor area comprised of a maximum 736 housing units.
- (d) Provide a diversity of housing in the planning area consisting of: no more than 120 single family and two family dwelling units; at least 100 cluster or townhouse dwelling units; and 30% of apartment units of 1000 square feet or less in size.
- (e) Ensure that housing diversity includes apartment units with adaptable design elements.
- (f) Provide a variety of housing types in each of the six neighbourhoods.
- (g) Concentrate density and provide higher density built forms like apartments at the west end of the Rodgers Creek Area so as to be in proximity to the proposed future Cypress Village to the west, which is to include commercial, residential and civic land uses
- (h) Permit all or part of the development area between the future Chippendale extension and the north boundary of the existing Mulgrave School (located adjacent to but outside the Rodgers Creek Area) to be used by the school for school facilities, other than a full-sized sports field. A rezoning and development permit are necessary to implement this policy; and, in considering a school expansion proposal the District shall consider the following factors:
 - (i) the extent to which the proposal reflects a sensitivity to the natural environment;
 - (ii) the impact of traffic on the adjacent residential neighbourhoods; and
 - (iii) the loss of small lot housing.
- (i) Extend the 1000 foot connector northwest from Chippendale Road to connect to upper Cypress Bowl Road.
- (j) Ensure that roads are functional, have a minimum footprint, are sympathetic to the terrain, minimize site disruption, and engender an ambiance that makes for charming and intimate neighbourhoods.
- (k) Provide a mountain pathway and trail network that connects the six development areas to one another, to a proposed future Cypress Village to the west of the Rodgers Creek Area, and to existing neighbourhoods.
- (l) Provide numerous and varied public places along the mountain pathway that support multiple activities by a variety of age groups and capabilities.
- (m) Incorporate cultural heritage (such as logging and skilift history) and natural features (such as viewpoints, boulders and waterfalls) in activity nodes.
- (n) Strive for innovative, green buildings and infrastructure; that is, buildings and infrastructure with lower energy and water consumption, lower greenhouse gas emissions, and that enhance sustainability and create a healthy living environment.

SCHEDULE 2

Land Acquisition for Public Facilities in Future Neighbourhoods



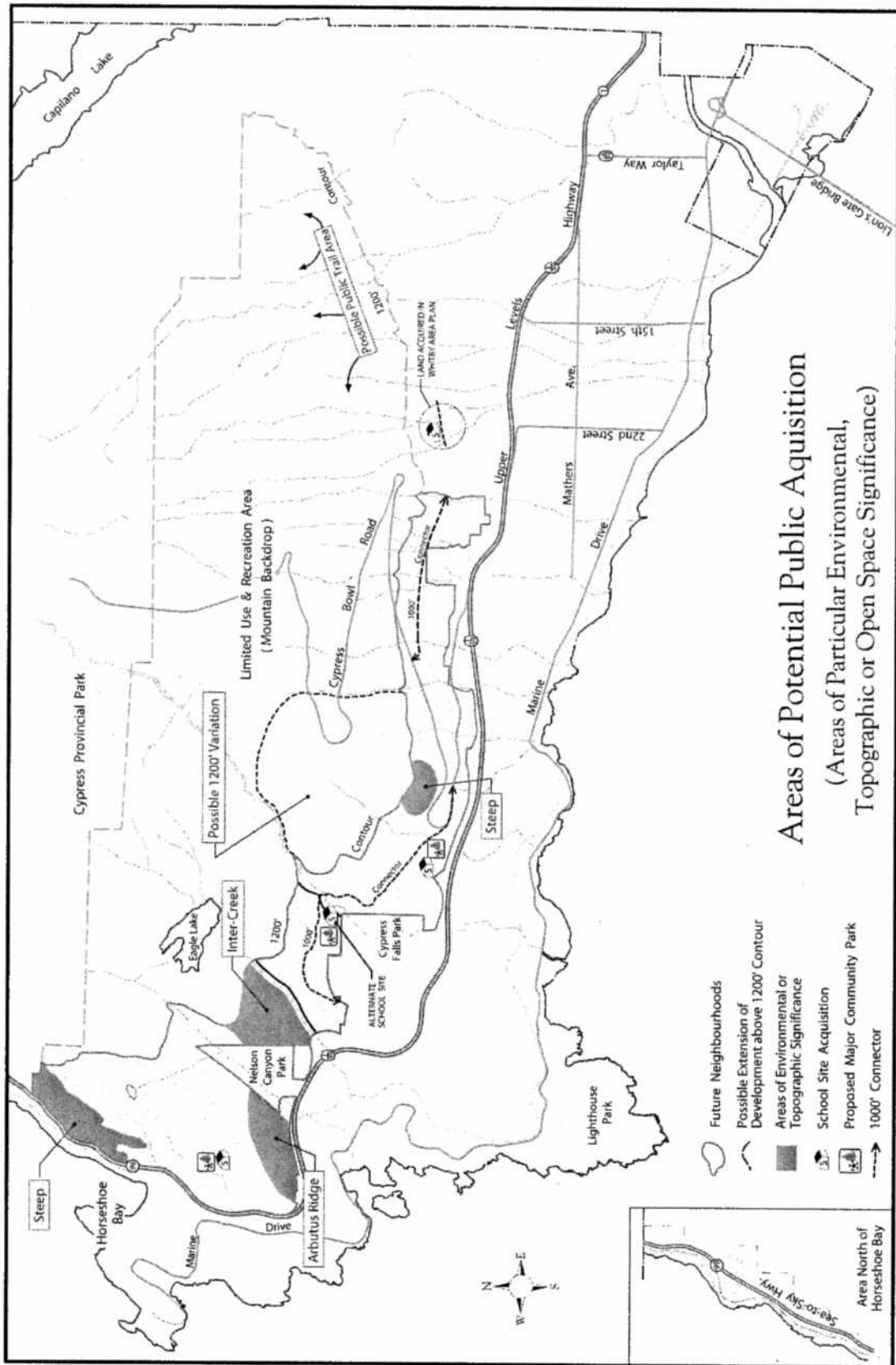
Land Acquisition for Public Facilities in Future Neighbourhoods

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SCHEDULE 3

Areas of Potential Public Acquisition

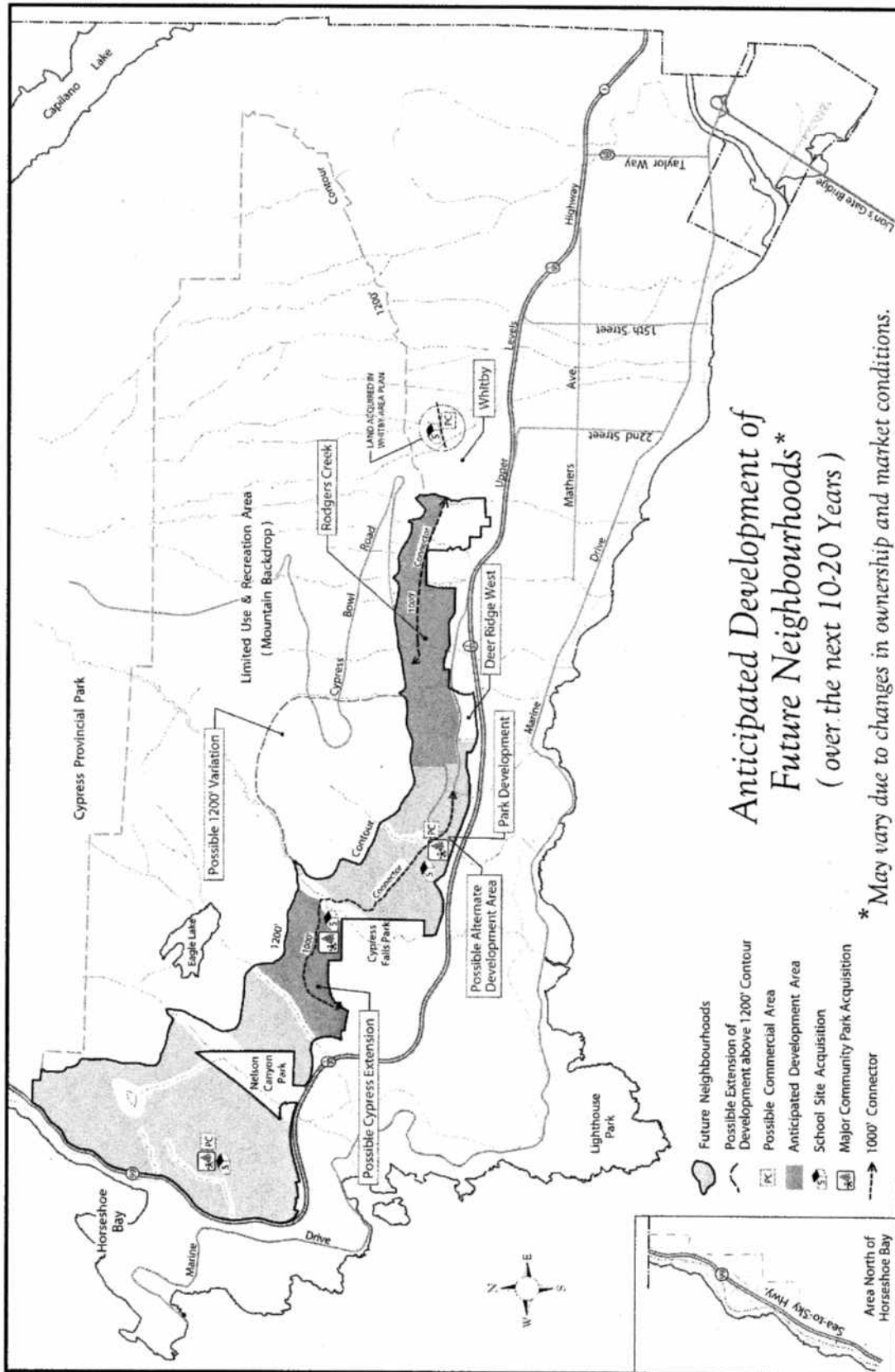


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SCHEDULE 4

Anticipated Development of Future Neighbourhoods

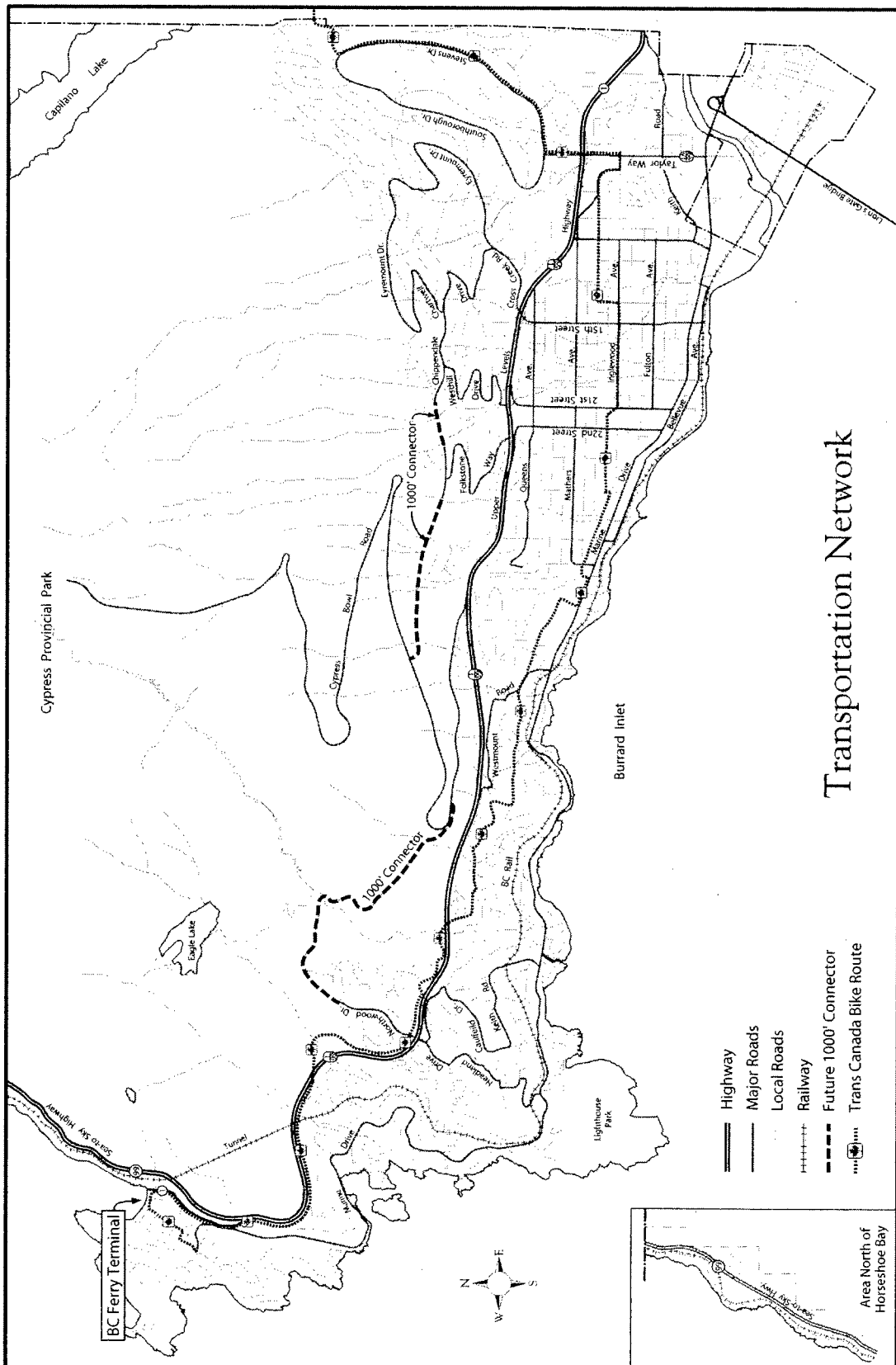


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SCHEDULE 5

Transportation and Mobility



Transportation Network

- Highway
- Major Roads
- Local Roads
- Railway
- Future 1000' Connector
- Trans Canada Bike Route

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SCHEDULE 6

Rodgers Creek Guidelines

The following guidelines shall apply to the Rodgers Creek Area of the Upper Lands, as defined on the Rodgers Creek Area Development Permit Area Designation Map UL8.1:

1. CONTEXT AND SITE DESIGN

- 1.01 Neighbourhoods in Rodgers Creek will be designed to fit with the topography and landscape of the Upper Lands and to demonstrate West Vancouver's commitment to sustainability and innovation. Each neighbourhood will express a distinct architectural and landscape character that is suited to the forested setting and the climate.
- 1.02 Built form should:
- complement the terrain and integrate with natural features,
 - minimize visual impacts, and
 - employ site sensitive built forms.
- 1.03 Development, including site and building design, should accommodate persons of varying abilities, including the physically challenged.
- 1.04 Building and site development shall incorporate wildland fire management best practices including an interface with the forest edge which creates defensive space against wildland fires and appropriate building material.
- 1.05 Building and site development should contribute to a resilient natural environment including healthy properly functioning watercourses.
- 1.06 The use of retaining walls should be minimized, particularly along streetscapes and where used along streets should include green screening on walls through the use of plantings and landscape treatment.
- 1.07 Development should integrate with area-wide stormwater management strategies and features including cisterns, retention or detention features, and absorbent topsoil specifications.
- 1.08 A tree management plan should be provided to maintain the mountain forest character of the area, ensure proper drainage and provide for views and access to sun and shade.

2. BUILDING DESIGN AND SERVICES

- 2.01 Buildings in the Rodgers Creek Area should be designed to:
- use natural materials including wood and local rock in combination with glass, concrete and metal, and colours that harmonize with the forest setting
 - be sensitive to the privacy and livability of residential interiors and private outdoor spaces

- provide sunlight penetration into public and semi-private open spaces and streetscapes
 - reduce energy consumption and feature green building strategies, technologies, fixtures, and appliances such as utilizing natural cross-ventilation, low reflective glass, geo-exchange heating and cooling and building materials that will achieve a healthy living environment
 - minimize the extent of impermeable surfaces
 - have building entrances with a distinct identity and be visible from the street
 - avoid blank and undifferentiated facades
 - have adequate interior storage areas, including convenient and secure bicycle storage
 - have areas for the storage of garbage and recycling that prevent access by bears and that are integrated into the overall design of the building and its landscape
 - avoid having parking within structures being visible from adjacent streetscapes
- 2.02 Buildings in Areas 1 and 2 and large buildings in Areas 3 and 4 should have a contemporary alpine character which includes low-pitched roofs, large overhangs and materials and finishes dominated by natural wood.
- 2.03 Detached and townhome buildings in Areas 3 and 4 should have a character derived from one of the following four styles rather than a hybrid: Arts and Craft, European Hillside, Coastal Mountain and Prairie Craftsman.
- 2.04 Buildings in Area 5 should have a west coast modern character featuring flat slab roofs, big cantilevers, and a more horizontal form and detail, together with large wrap-around windows.
- 2.05 Buildings in Area 6 should have a mountain resort character established by the scattering of buildings amongst the trees and featuring prominent steep roofs and rich craftsman derived detailing.
- 2.06 Single-family, duplex, and triplex housing should be designed to minimize the driveway and garage appearance from the adjacent streetscape and to limit requirements for extensive cut and fill and retaining walls
- 2.07 Multiple-family housing should be designed to:
- be sculpted and articulated both vertically and horizontally to reduce apparent mass and provide visual interest
 - minimize view impacts on residents of adjacent buildings and on people viewing the hillside from vantage points around the community including at Dundarave Pier and Ambleside Beach in West Vancouver, and at Jericho Beach and Siwash Rock in Vancouver
 - address climate and solar orientation appropriately on each facade
 - minimize overlook into the private and semi-private open spaces of adjacent buildings
 - provide weather protection at the primary common entry
 - minimize visual and acoustic impacts of rooftop mechanical equipment, garage entrances, hydro utility boxes, and garbage and recycling areas

- provide underground parking that is readily accessible to all residents, well lit, and designed for safety and security of use
- provide places to sit and socialize informally at main building entrances

3. LANDSCAPING

- 3.01 An informal landscape aesthetic that complements the forest context should be provided.
- 3.02 Landscaping should be in keeping with wildland fire and bear management best practices.
- 3.03 Glare and light spill of exterior or ground level lighting to surrounding properties should be minimized, as should spill upward to distract from enjoyment of the night sky.
- 3.04 Driveways, parking areas, patios and similar areas that are not located above underground structures should be finished with pervious material.
- 3.05 The use of locally quarried rock for constructing or facing retaining walls is encouraged.

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