



THIS BROCHURE IS INTENDED TO GIVE GENERAL GUIDELINES FOR THE PRELIMINARY PREPARATION OF PLANS FOR SINGLE FAMILY AND DUPLEX DWELLINGS IN ACCORDANCE WITH THE WEST VANCOUVER ZONING BYLAW 4662, 2010, AS AMENDED. REGULATIONS CAN VARY WITH LOT CONDITIONS AND CONSTRAINTS. THE ZONING BYLAW MUST BE REFERRED TO FOR EXACT REGULATIONS PRIOR TO PREPARATION OF DETAILED PLANS FOR BUILDING PERMIT APPLICATION.

The following lot regulations and setback requirements apply to all single family (RS) and duplex (RD) zoned properties in West Vancouver.

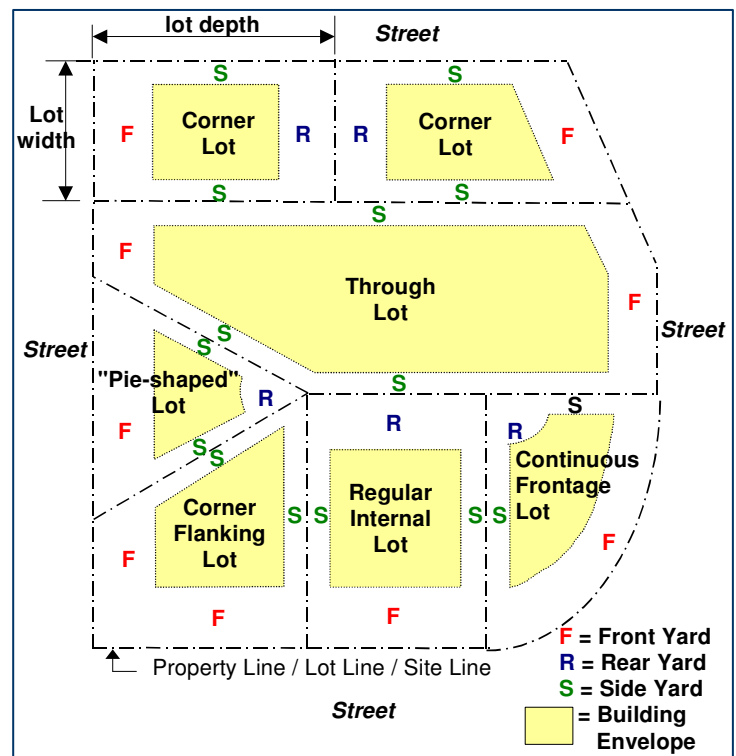
A **SETBACK** is the required distance between the property line and the outermost face of the building. The principal dwelling, including all decks, porches, bay windows and attached garages must be within the building envelope (i.e. can not be within any of the required setback areas). Refer to the chart below for setback requirements for each zone. Accessory buildings and structures may have different setback requirements - refer to the GUIDELINE TO ACCESSORY BUILDING AND STRUCTURE REGULATIONS brochure.

If there is a restrictive covenant, easement or right-of-way on the property (a waterline easement or a greenbelt, for example), then the required setback is the minimum as per the Zoning Bylaw OR the restriction, **whichever is greater**.

A **THROUGH PROPERTY** fronts onto two approximately *parallel* streets. It must maintain the required front yard setback along both streets and has no rear yard.

A **CORNER FLANKING LOT** faces two intersecting streets, with the adjacent properties each facing one of these streets. A corner flanking lot must maintain the required front yard setback along both streets. A rear yard setback is not required, but side yard setbacks regulations apply to the remaining yards.

A **CORNER LOT, NOT FLANKING** is also on the intersection of two streets, but the adjacent properties face *parallel* (non-intersecting) streets. Therefore, although a corner lot faces two streets, one (the



narrower frontage) has a front yard setback while the other is considered a side yard. However, if access to the property is from the side street, a larger side yard setback is required, as noted in the chart on page 4.

The **BUILDING ENVELOPE** is the area of the lot available for construction of a house, after all of the required setbacks are taken into account.

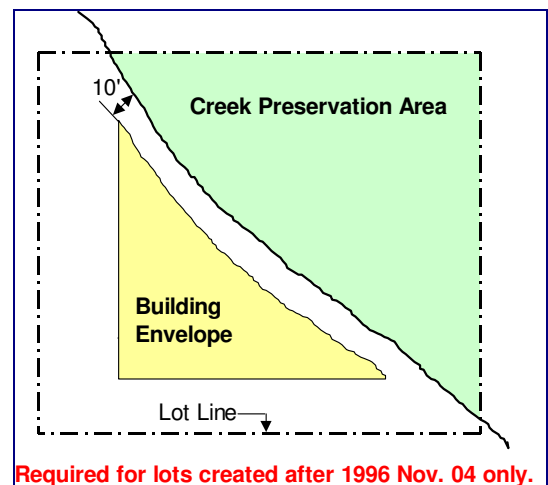
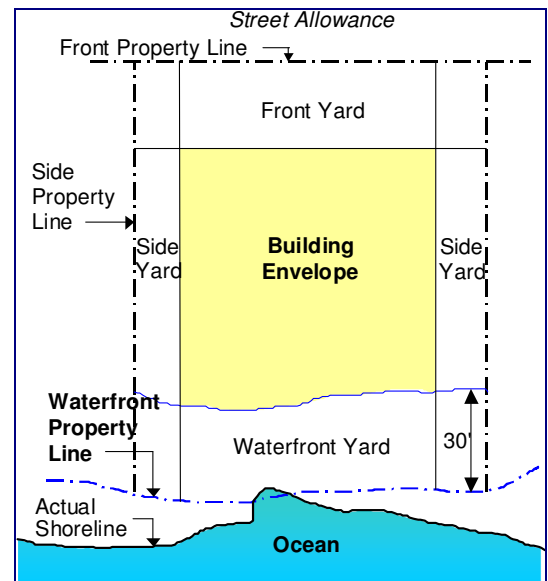
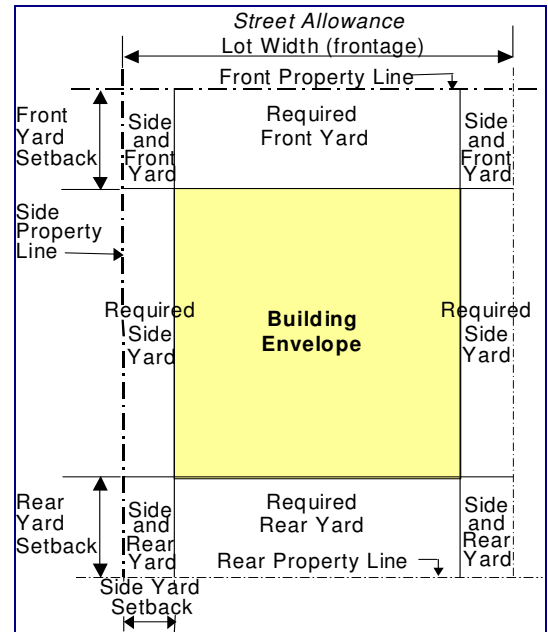
The **FRONT YARD SETBACK** is the minimum distance from the front property line to the outermost projection of the front face of the building, across the full width of the property. On corner or through lots, the front property line is defined as the narrower of the two street lot lines. This might not be the address of the property or the street from which access to the lot is gained. Excluding a sidewalk of up to 1.5m in width, no more than 50% of the required front yard area can be covered with paved (impervious) materials.

The **REAR YARD SETBACK** is the minimum distance from the rear property line to the outermost projection of the back face of the building. The rear property line is approximately parallel or opposite to the front property line. This setback is measured to the centre-line of a lane if there is one.

A **WATERFRONT YARD SETBACK** is the minimum distance from the waterfront site line to the exterior face of the building. Waterfront setback requirements replace rear, side or front yard setback requirements as applicable.

The **WATERFRONT SITE LINE** is the established Waterfront Property Line as indicated on the plans listed in Part 10, Division 2, Subdivision 1 of the Zoning Bylaw, entitled Legal Plans Defining Waterfront Boundaries. The Waterfront Property Line may be **neither** the present actual shoreline nor the current high water mark. A land surveyor may be required to determine its exact location.

A minimum **CREEK SETBACK** of 3m from a Creek Preservation Area is required on all lots created after November 4, 1996. This setback is intended to ensure that creek areas remain undisturbed throughout the construction process. For lots created before this date, the creek setback is not required by the Zoning Bylaw but is often required



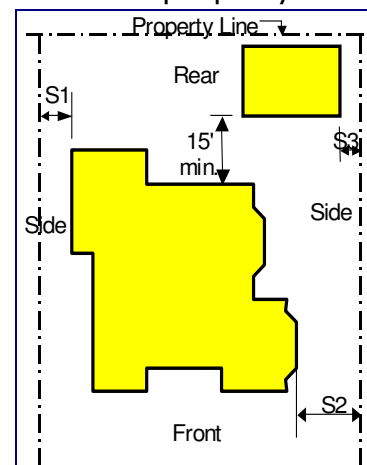
Required for lots created after 1996 Nov. 04 only.

by registered restriction, placed on title when the subdivision was approved.

The **SIDE YARD SETBACK (SYS)** is the minimum distance from the side property line to the face of the building (S1 in the example). The minimum SYS is 1.52m for all duplexes; houses of one storey (one basement level does not count as a storey); and for two storey houses in which the width of the upper storey is less than 2/3 the width of the street facade of the main floor.

For two storey houses in which the upper storey is greater than 2/3 the width of the main floor street facade, the minimum side yard setback is the lesser of 3m or 10% of site width, but shall not be less than 1.52m. See the chart below for some examples.

On a **corner lot** where access to a garage is from a side street and the door faces the street, a SYS of either 3.8m or 4.5m (depending on the zone), is required. If a door faces the street, the door must provide the increased SYS.



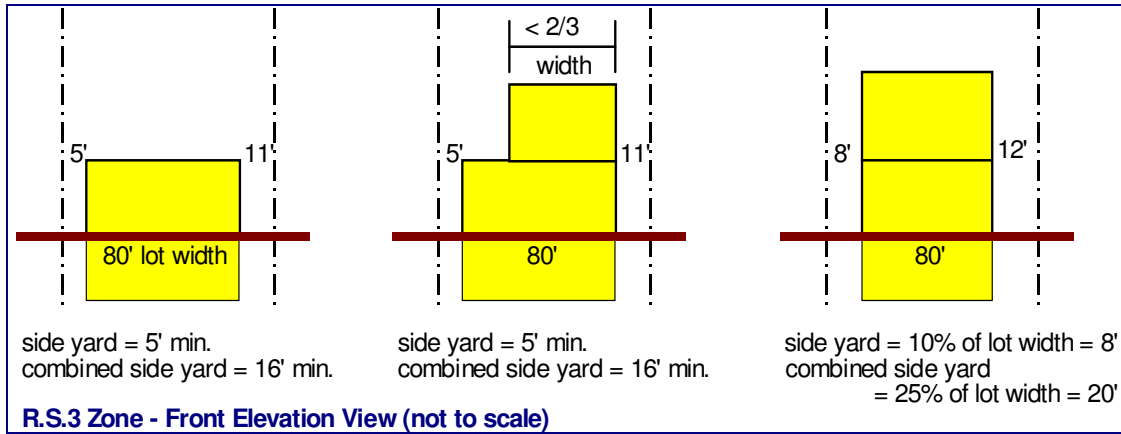
The **COMBINED SIDE YARD SETBACK (CSYS)** is the sum of the minimum two side yards (S1+S2 in the example above). Where a dwelling and an accessory building are more than 15' apart, CSYS measurements can be taken for individual buildings. In the example above, if the separating distance was less than 4.5m, then CSYS would be S1+S3.

Required CSYS is the greater of the Bylaw minimum or 20% of site width for all duplexes; houses of one storey; and two storey houses in which the width of the upper storey is less than 2/3 the width of the street facade of the main floor.

For two storey houses in which the width of the upper storey is greater than 2/3 the width of the street facade of the main floor, the required CSYS is the greater of the Bylaw minimum (as noted on the chart on Page 4) or 25% of site width.

In the examples below, the lots are zoned RS3 - regulations vary for other zones.

R.S.3 Zone	One Storey		1 2/3 (or less) Storey Houses		Two Storey Houses (upper storey more than 2/3 main storey width)	
	Min'm SYS m.	Min'm CSYS Metres	Min' m. SYS	Min'm CSYS = greater of 4.9m or 20% of lot width	Min'm SYS m.	Minimum CSYS = greater of 4.9m or 25% of lot width
12.2m	1.5m	4.9m	1.5m	4.9m	1.5m	4.9m
15.2m	1.5m	4.9m	1.5m	4.9m	1.5m	4.9m
24.4m	1.5m	4.9m	1.5m	4.9m	2.4m	6.1m
36.6m	1.5m	7.3m	1.5m	7.3m	3m	9.1m
54.9m	1.5m	10.9m	1.5m	10.9m	3m	12.m

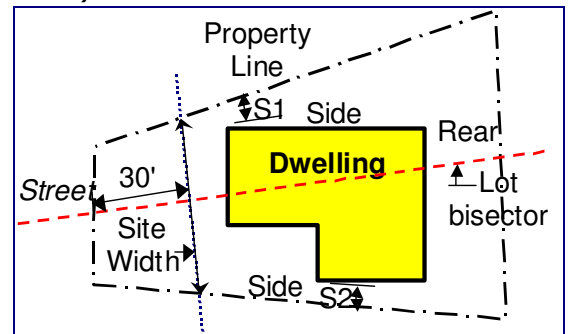


SITE WIDTH (to determine required side yard setback):

Site width is measured at the front yard setback line. For corner or through lots, the narrower of the street lot lines is considered to be the front yard lot line.

For "pie" shaped lots, such as the one on the right, width is measured at the front yard setback line perpendicular to a bisector of the lot.

For a highly irregularly shaped lot, consult a land surveyor or the Building Department.



EXEMPTIONS: The following can project into or be located within a required setback area:

- **accessory buildings** (such as a detached garage) can be located in the **rear yard area only**. It must provide a minimum setback of 1.2m from the rear property line, and the required side yard setback (except if located in the rear 40' of RS5, RS9, RD1 and RD2 zones). Refer to the GUIDELINE TO ACCESSORY BUILDING AND STRUCTURE REGULATIONS Brochure for more information.
- **sills, belt courses, cornices and eaves** may project into a setback area by 0.6m, or up to 1.2m where the distance from the projection to the property line is greater than 1.2m.
- **uncovered front steps** can project into the front yard by up to 1.2m. Landings and decks that are part of the building and over 0.6m above ground cannot project into required yard areas.
- **trellises** (pervious wood or metal structures open on all sides and less than 3.7m in height), children's play equipment and one flagpole may be constructed anywhere on a property.
- **underground parking structures** may be sited to within 3m of a front or flanking side lot line, provided they are no more than 0.9m in height above the lower of natural or finished grade and have no more than one single garage door generally facing the street.

Features such as decks (more than 0.6m above grade), porches, and bay windows **MUST** conform to setback regulations.