

**6330 ARGYLE AVENUE, WEST VANCOUVER, B.C. , SIX NEW
GROUND ORIENTED RESIDENTIAL UNIT PROJECT**



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Email: BENNETTSURVEYS.COM

No.	Description	Date
3	Revision 3	07March 2025
4	Revision 4	27March 2025

DRAWN BY: F.Y.	SCALE:	TITLE: COVER SHEET
CHECKED BY: F.Y.	DATE: April 2023	PROJECT: 6330 ARGYLE WEST VANCOUVER



DRAWING NO. A-0.1



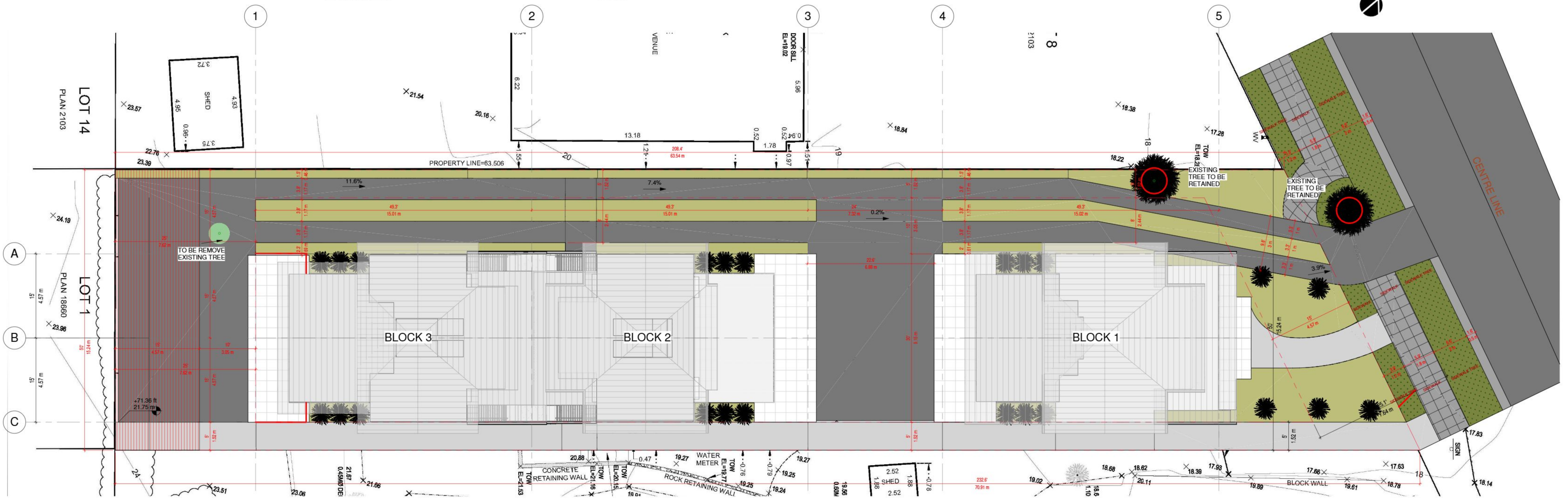
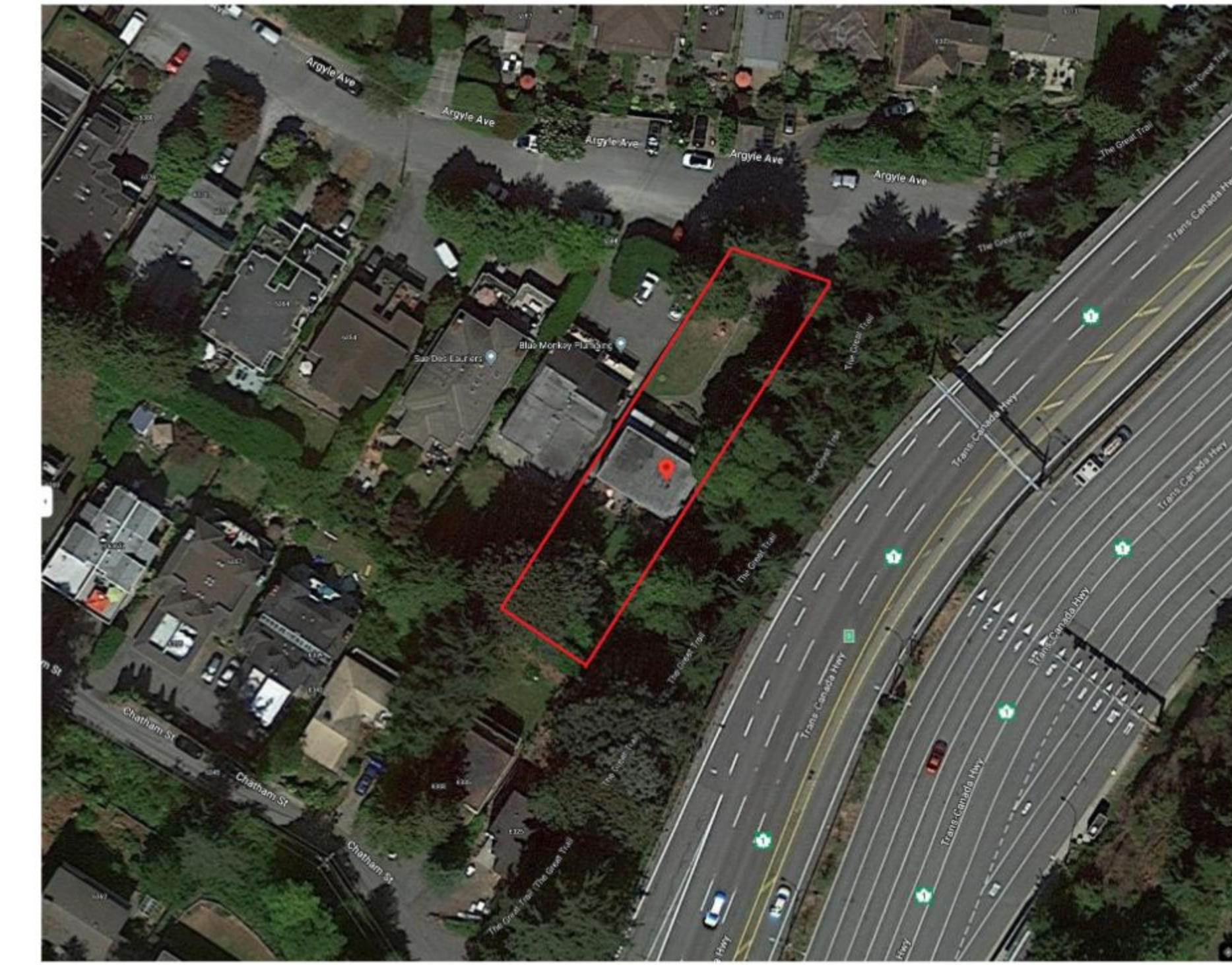
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**6330 ARGYLE AVE,
WEST VANCOUVER, B.C.**

LOT 9, BLOCK 43, DISTRICT LOT 430, GROUP 1, NWD, PLAN 2103,
PID:012-890-481

DESCRIPTION	IMPERIAL	METRIC
ZONE	RG-2	
LOT WIDTH	50.00	15.24
LOT AREA	11019.015	1023.7
GRAND TOTAL FLOOR AREA	9321.55	866
GARAGE & GARBAGE AREA	1614.6	150
PART OF GARAGE INCLUDED IN FAR OVER 10%	161.46	15
ALLOWED FSR 80%	8815.21	818.4
PROVIDED FSR AREA	7868.42	731
PROVIDED FSR %	71.40%	
MAX. ALLOWED LOT COVERAGE AREA (55%)	6060.53	563.04
PROVIDED LOT COVERAGE AREA	4360	405
PROVIDED LOT COVERAGE %	39.56%	
TOTAL UNIT: 6	9321.55	866
FONT YARD	15	4.57
REAR YARD	10'+15'	3.05+4.57
SIDE YARD	5	1.52
PARKING ACCESS	15	4.57
ALLOWED MAX. HEIGHT	25	7.62
PROVIDED MAX. HEIGHT BLOCK 1	25	7.62
PROVIDED MAX. HEIGHT BLOCK 2	25	7.62
PROVIDED MAX. HEIGHT BLOCK 3	23.9	7.27

6330 ARGYLE		
UNIT	LEVEL	AREA
GARAGE	BASEMENT BLOCK 1	25 m ²
GARAGE	BASEMENT BLOCK 1	25 m ²
GARAGE	BASEMENT BLOCK 2	25 m ²
GARAGE	BASEMENT BLOCK 2	25 m ²
GARAGE	BASEMENT BLOCK 3	25 m ²
GARAGE	BASEMENT BLOCK 3	25 m ²
UNIT 1	BASEMENT BLOCK 1	40.5 m ²
UNIT 1	L-MAIN FLOOR BLOCK 1	53.5 m ²
UNIT 1	UPPER FLOOR BLOCK 1	28 m ²
UNIT 2	BASEMENT BLOCK 1	40.5 m ²
UNIT 2	L-MAIN FLOOR BLOCK 1	53.5 m ²
UNIT 2	UPPER FLOOR BLOCK 1	27.5 m ²
UNIT 3	BASEMENT BLOCK 2	37.5 m ²
UNIT 3	MAIN FLOOR BLOCK 2	52.5 m ²
UNIT 3	UPPER FLOOR BLOCK 2	29 m ²
UNIT 4	BASEMENT BLOCK 2	37.5 m ²
UNIT 4	MAIN FLOOR BLOCK 2	52.5 m ²
UNIT 4	UPPER FLOOR BLOCK 2	29 m ²
UNIT 5	BASEMENT BLOCK 3	37 m ²
UNIT 5	L-MAIN FLOOR BLOCK 3	53 m ²
UNIT 5	UPPER FLOOR BLOCK 3	27.5 m ²
UNIT 6	BASEMENT BLOCK 3	37 m ²
UNIT 6	L-MAIN FLOOR BLOCK 3	53 m ²
UNIT 6	UPPER FLOOR BLOCK 3	27.5 m ²
Grand total: 24		866 m ²



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5	Revision 5	16 APRIL 2025

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F.Y.

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F.Y.

SCALE:
1 : 96

DATE:
April 2023

TITLE:
BUILDING DATA & FLOOR AREA, SITE PLAN

PROJECT:
6330 ARGYLE WEST VANCOUVER

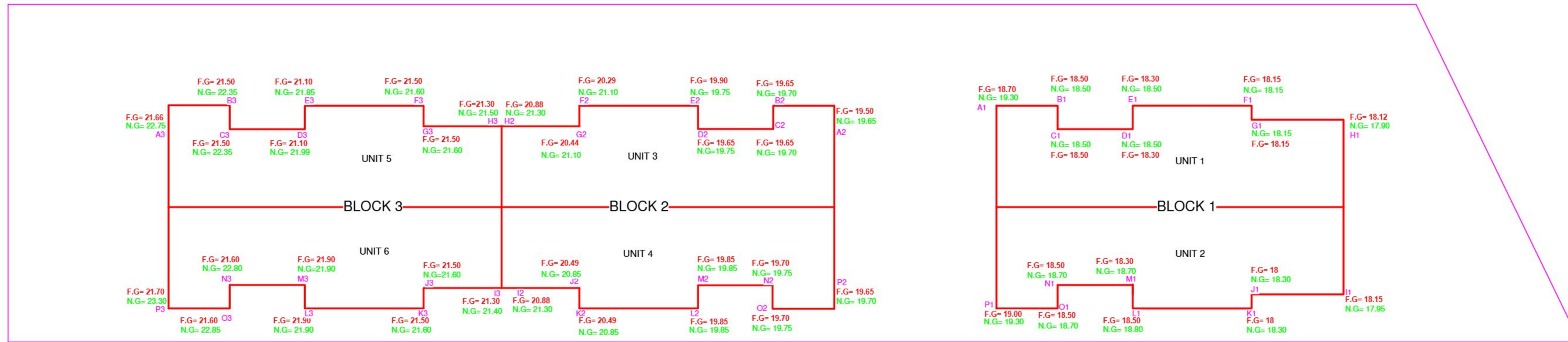


DRAWING NO.
A-1.1



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AVERAGE GRADE CALCULATION OF BUILDING 1			
AVERAGE LOWER GRADE ELEVATION			18.34
		53.87	987.73
A1-B1	$(18.70 + 18.50) / 2 = 18.60$	$2.76 \times$	51.34
B1-C1	$(18.50 + 18.50) / 2 = 18.50$	$1.06 \times$	19.61
C1-D1	$(18.50 + 18.30) / 2 = 18.40$	$3.39 \times$	62.38
D1-E1	$(18.30 + 18.30) / 2 = 18.30$	$1.06 \times$	19.40
E1-F1	$(18.30 + 18.15) / 2 = 18.23$	$5.36 \times$	97.69
F1-G1	$(18.15 + 18.15) / 2 = 18.15$	$0.64 \times$	11.62
G1-H1	$(18.15 + 17.90) / 2 = 18.03$	$4.15 \times$	74.80
H1-I1	$(17.90 + 17.95) / 2 = 17.93$	$7.88 \times$	141.25
I1-J1	$(17.95 + 18.00) / 2 = 17.98$	$4.15 \times$	74.60
J1-K1	$(18.00 + 18.00) / 2 = 18.00$	$0.64 \times$	11.52
K1-L1	$(18.00 + 18.50) / 2 = 18.25$	$5.36 \times$	97.82
L1-M1	$(18.50 + 18.30) / 2 = 18.40$	$1.06 \times$	19.50
M1-N1	$(18.30 + 18.50) / 2 = 18.40$	$3.39 \times$	62.38
N1-O1	$(18.50 + 18.50) / 2 = 18.50$	$1.06 \times$	19.61
O1-P1	$(18.50 + 19.00) / 2 = 18.75$	$2.76 \times$	51.75
P1-A1	$(19.00 + 18.70) / 2 = 18.85$	$9.15 \times$	172.48

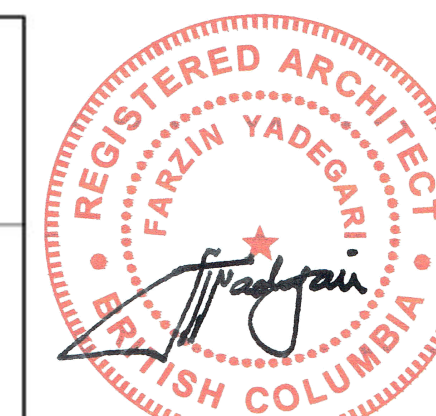
AVERAGE GRADE CALCULATION OF BUILDING 2			
AVERAGE LOWER GRADE ELEVATION			20.09
		52.52	1055.15
A2-B2	$(19.50 + 19.65) / 2 = 19.58$	$2.76 \times$	54.03
B2-C2	$(19.65 + 19.65) / 2 = 19.65$	$1.05 \times$	20.63
C2-D2	$(19.65 + 19.65) / 2 = 19.65$	$3.39 \times$	66.61
D2-E2	$(19.65 + 19.90) / 2 = 19.78$	$1.05 \times$	20.76
E2-F2	$(19.90 + 20.29) / 2 = 20.10$	$5.36 \times$	107.71
F2-G2	$(20.29 + 20.44) / 2 = 20.37$	$0.92 \times$	18.74
G2-H2	$(20.44 + 20.88) / 2 = 20.66$	$3.50 \times$	72.31
H2-I2	$(20.88 + 20.88) / 2 = 20.88$	$7.30 \times$	152.42
I2-J2	$(20.88 + 20.49) / 2 = 20.69$	$3.50 \times$	72.40
J2-K2	$(20.49 + 20.49) / 2 = 20.49$	$0.92 \times$	18.85
K2-L2	$(20.49 + 19.85) / 2 = 20.17$	$5.36 \times$	108.11
L2-M2	$(20.10 + 19.85) / 2 = 19.98$	$1.05 \times$	20.97
M2-N2	$(20.07 + 19.70) / 2 = 19.89$	$3.39 \times$	67.41
N2-O2	$(19.50 + 19.70) / 2 = 19.60$	$1.05 \times$	20.58
O2-P2	$(19.70 + 19.65) / 2 = 19.68$	$2.76 \times$	54.30
P2-A2	$(19.65 + 19.50) / 2 = 19.58$	$9.16 \times$	179.31

AVERAGE GRADE CALCULATION OF BUILDING 3			
AVERAGE LOWER GRADE ELEVATION			21.50
		50.69	1089.89
A3-B3	$(21.66 + 21.50) / 2 = 21.58$	$2.75 \times$	59.35
B3-C3	$(21.50 + 21.50) / 2 = 21.50$	$1.08 \times$	23.22
C3-D3	$(21.50 + 21.10) / 2 = 21.30$	$3.39 \times$	72.21
D3-E3	$(21.10 + 21.10) / 2 = 21.10$	$1.06 \times$	22.37
E3-F3	$(21.10 + 21.50) / 2 = 21.30$	$5.36 \times$	114.17
F3-G3	$(21.50 + 21.50) / 2 = 21.50$	$0.90 \times$	19.35
G3-H3	$(21.50 + 21.30) / 2 = 21.40$	$3.52 \times$	75.33
H3-I3	$(21.30 + 21.30) / 2 = 21.30$	$7.30 \times$	155.49
I3-J3	$(21.30 + 21.50) / 2 = 21.40$	$3.52 \times$	75.33
J3-K3	$(21.50 + 21.50) / 2 = 21.50$	$0.90 \times$	19.35
K3-L3	$(21.50 + 21.90) / 2 = 21.70$	$5.36 \times$	116.31
L3-M3	$(21.90 + 21.90) / 2 = 21.90$	$1.06 \times$	23.21
M3-N3	$(21.90 + 21.60) / 2 = 21.75$	$3.39 \times$	73.73
N3-O3	$(21.60 + 21.60) / 2 = 21.60$	$1.06 \times$	22.90
O3-P3	$(21.60 + 21.70) / 2 = 21.65$	$2.75 \times$	59.54
P3-A3	$(21.70 + 21.66) / 2 = 21.68$	$7.29 \times$	158.05

	BUILDING 1	BUILDING 2	BUILDING 3
AVG.	18.34	20.09	21.50
P	18.59	18.8	21.66
B	17.8	19.59	20.87
MAIN 1	21.29	21.5	24.36
MAIN2	20.5	22.29	23.57
UPPER	23.2	24.99	26.27
U.F.C	25.6	27.39	28.67
AVG. ROOF	26.51	28.31	29.58
BUILDING HIGHT	7.62	7.62	7.27

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DRAWING NO.
A-1.3



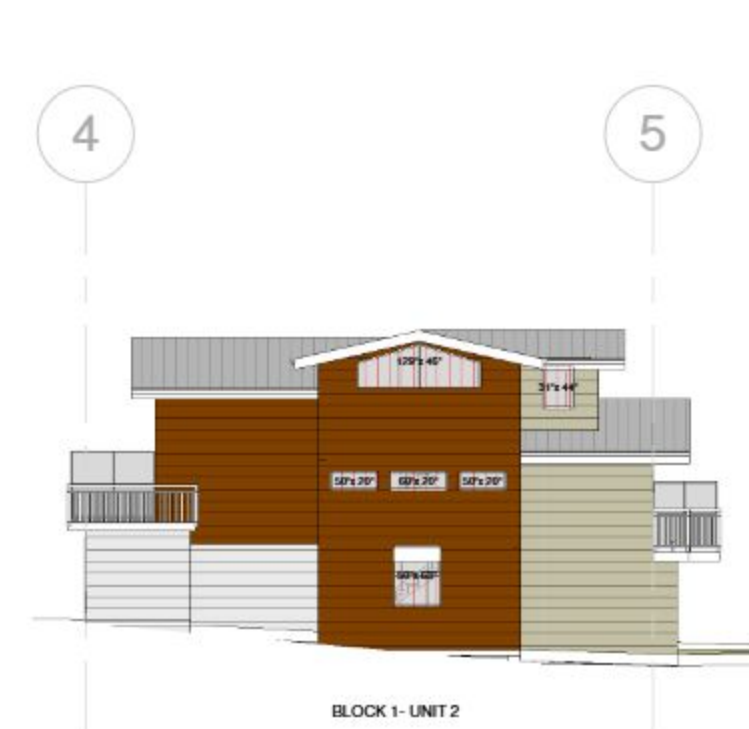
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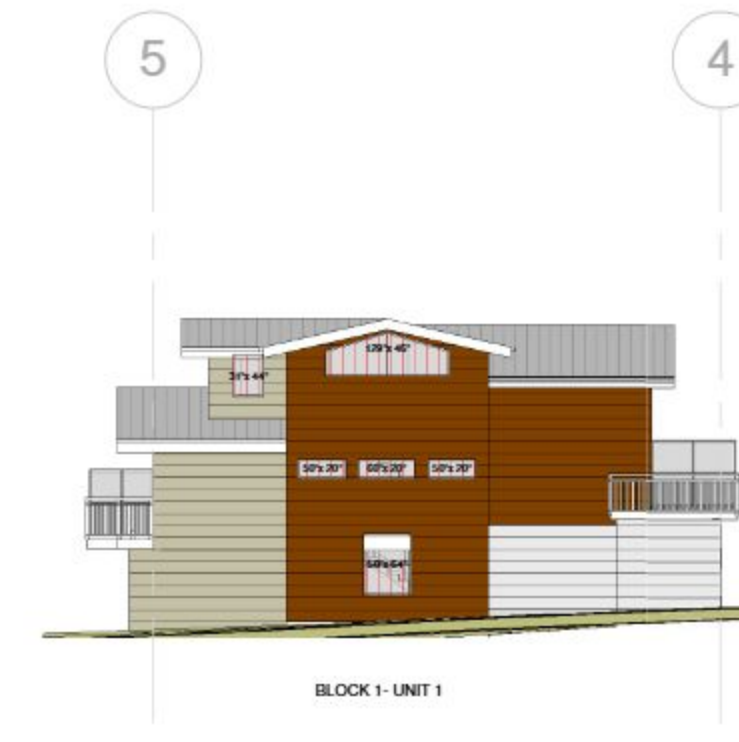
1 East Elevation Block 1- Spatial Separation
1 : 200



2 West Elevation Block 1- Spatial Separation
1 : 200



3 South Elevation Block 1- Spatial Separation
1 : 200



4 North Elevation Block 1-Spatial separation
1 : 200

SPATIAL SEPARATION TABLE- BLOCK 1					
ELEVATION	EXPOSING BUILDING FACE	LIMITING DISTANCE	PERCENTAGE ALLOWABLE OPENING	ALLOWABLE OPENING AREA	OPENING FACE
NORTH	98.60 m2	3.05 m	27%	26.89 m2	7.15m2
EAST	89.54 m2	8.50 m	100%	59.54 m2	21.04 m2
SOUTH	98.65 m2	1.52 m	100%	98.65m2	7.15 m2
WEST	59.77 m2	3.66 m	41%	24.50 m2	7.96 m2



5 East Elevation Block 2-Spatial Separation
1 : 200



7 South Elevation Block 2- Spatial Separation
1 : 200

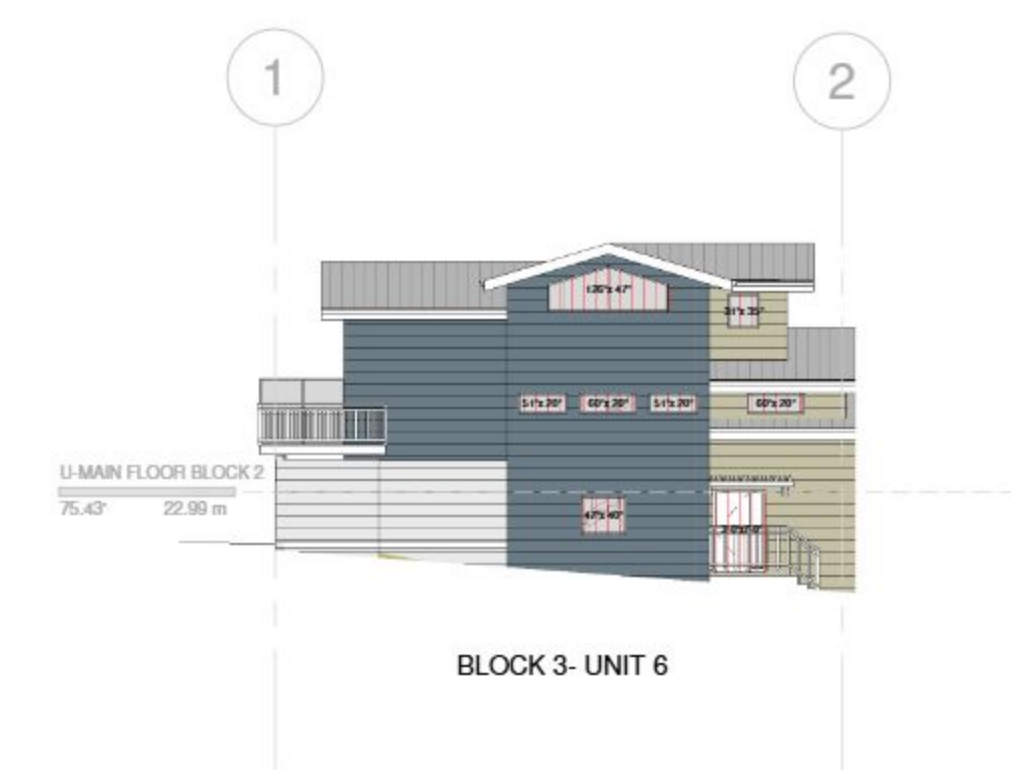


6 North Elevation Block 2- Spatial Separation
1 : 200

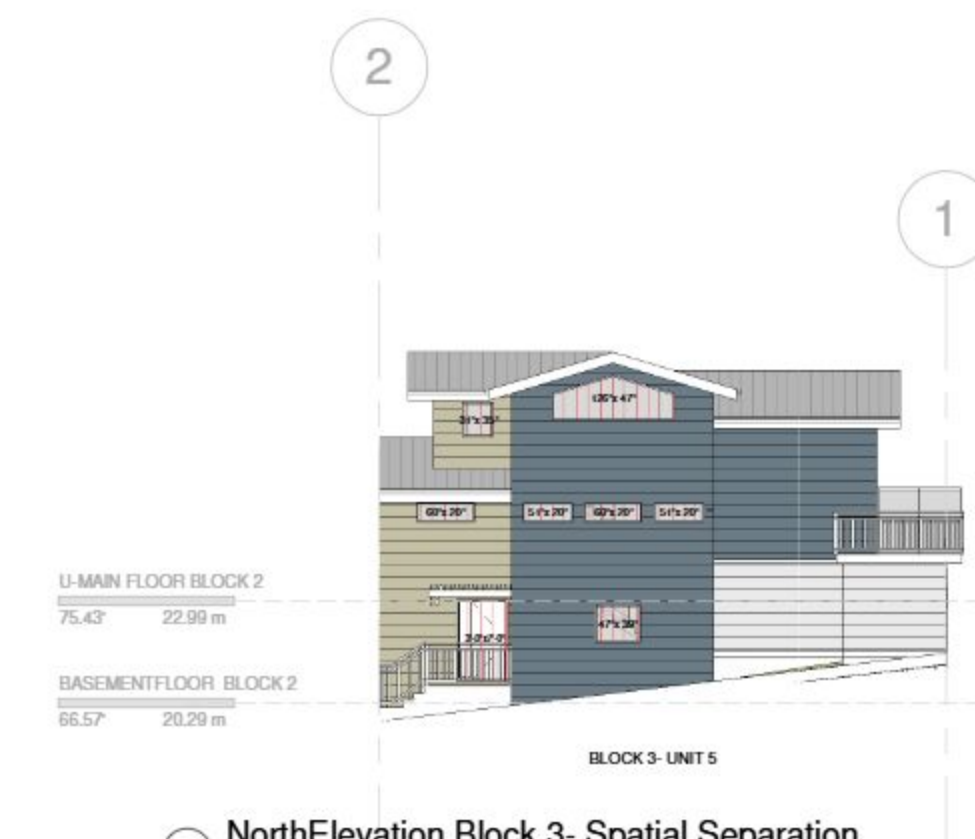
SPATIAL SEPARATION TABLE- BLOK 2					
ELEVATION	EXPOSING BUILDING FACE	LIMITING DISTANCE	PERCENTAGE ALLOWABLE OPENING	ALLOWABLE OPENING AREA	OPENING FACE
NORTH	95.56 m2	3.05m	27%	25.66 m2	8.25m2
EAST	80.13 m2	3.66 m	37.2%	27.84 m2	16.08 m2
SOUTH	95.50m2	1.52 m	100%	95.50 m2	8.25 m2
WEST	-	-	-	-	-



8 West Elevation Block 3- Spatial Separation
1 : 200



9 South Elevation Block 3- Spatial Separation
1 : 200

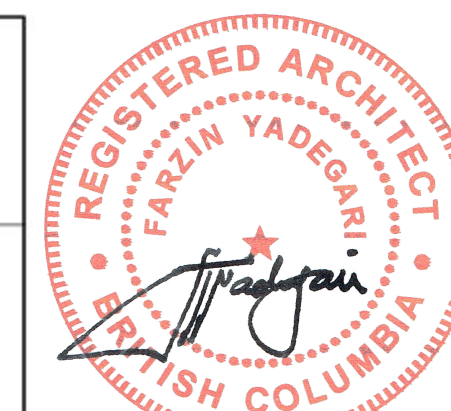


10 North Elevation Block 3- Spatial Separation
1 : 200

SPATIAL SEPARATION TABLE- BLOK 3					
ELEVATION	EXPOSING BUILDING FACE	LIMITING DISTANCE	PERCENTAGE ALLOWABLE OPENING	ALLOWABLE OPENING AREA	PROPOSED OPENING FACE
NORTH	99.98 m2	3.05 m	28%	28 m2	10.70 m2
EAST	-	-	-	-	-
SOUTH	99.97m2	1.52 m	100%	99.97 m2	10.70 m2
WEST	63.58 m2	7.62m	100%	63.58 m2	8.30 m2

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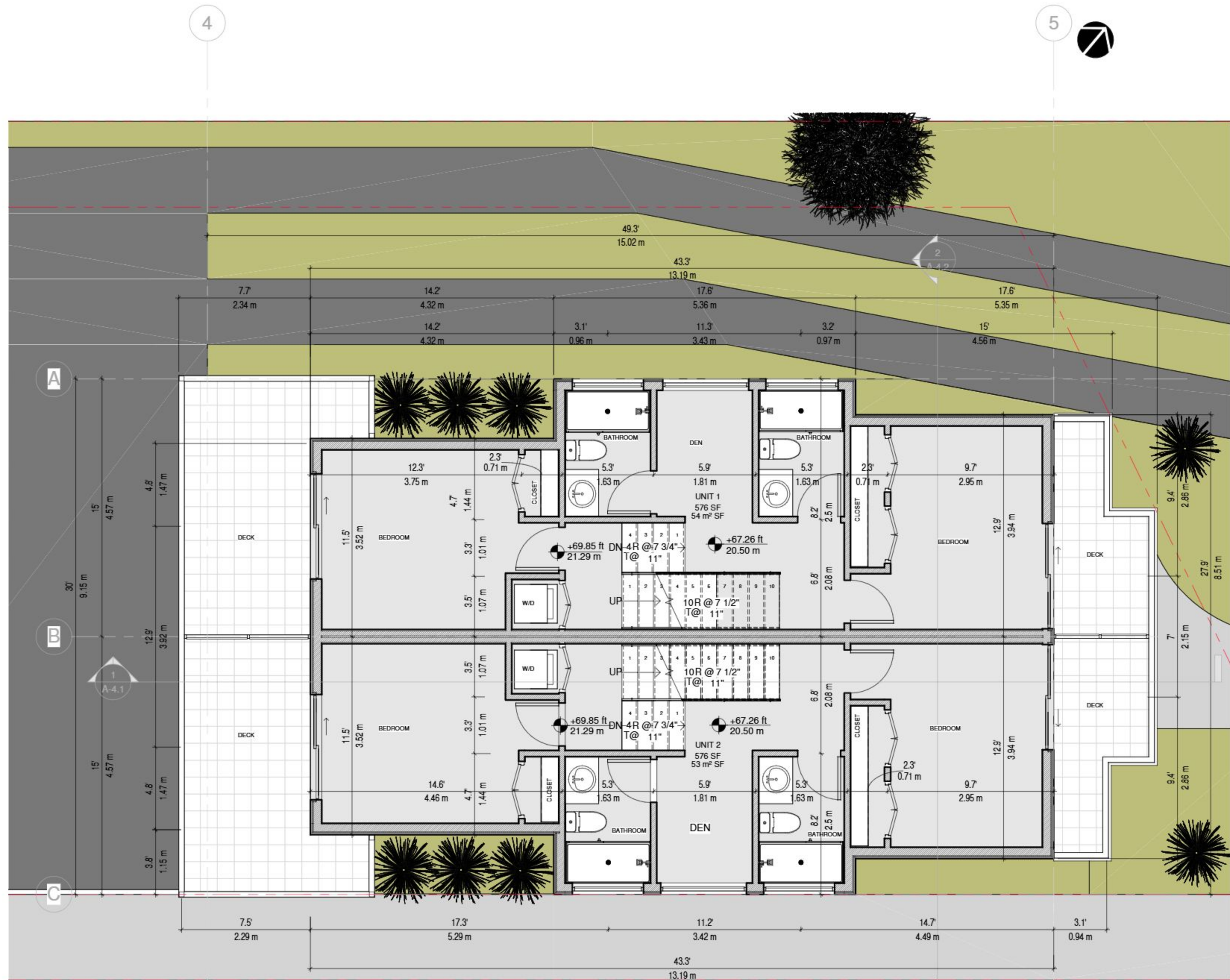
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CHECKED BY: F.Y.	DATE: April 2023	PROJECT: 6330 ARGYLE WEST VANCOUVER



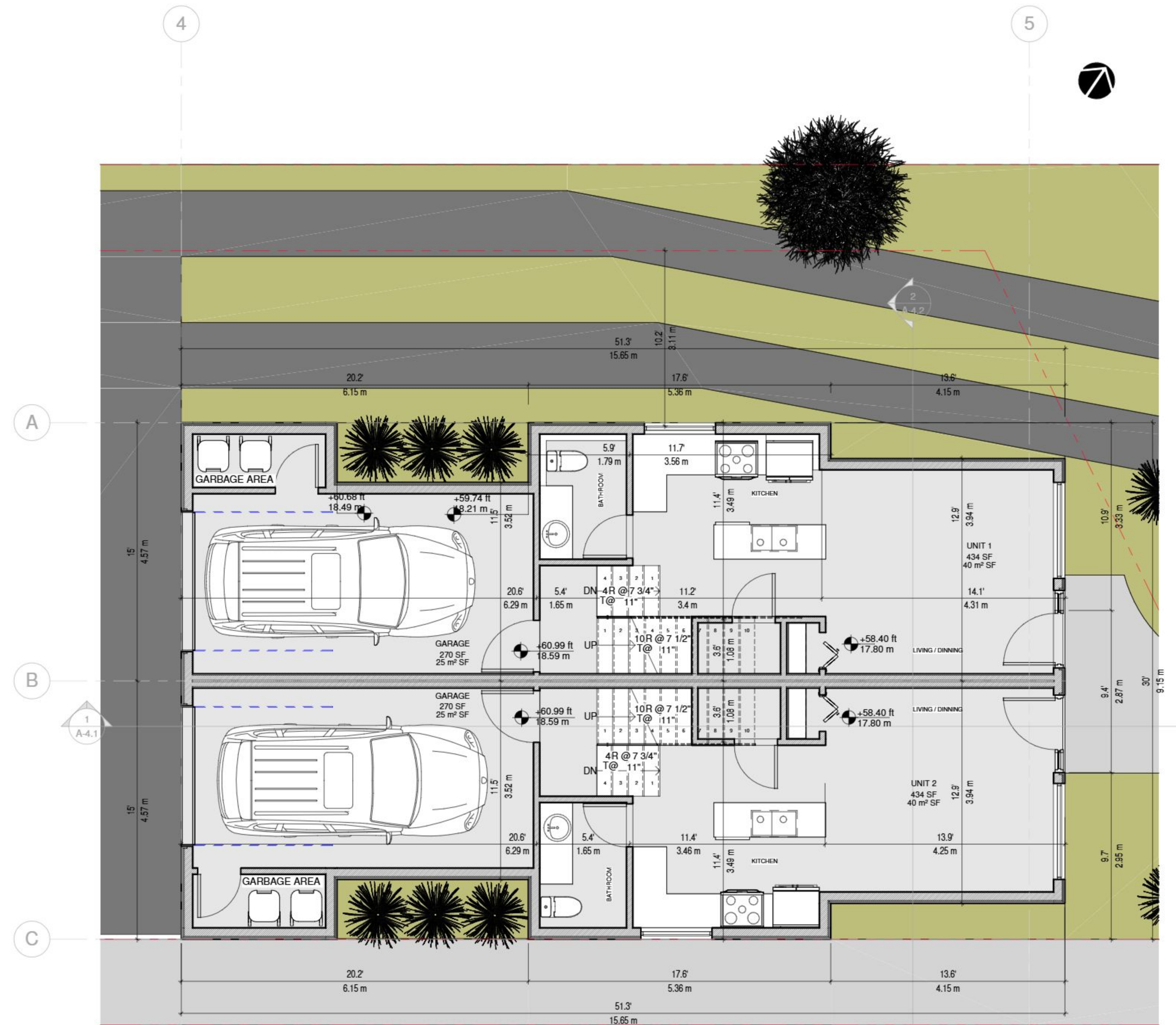
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④ MAIN FLOOR BLOCK 1
1 : 50



② BASEMENT BLOCK 1
1 : 50

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CHECKED BY: F.Y.	DATE: April 2023

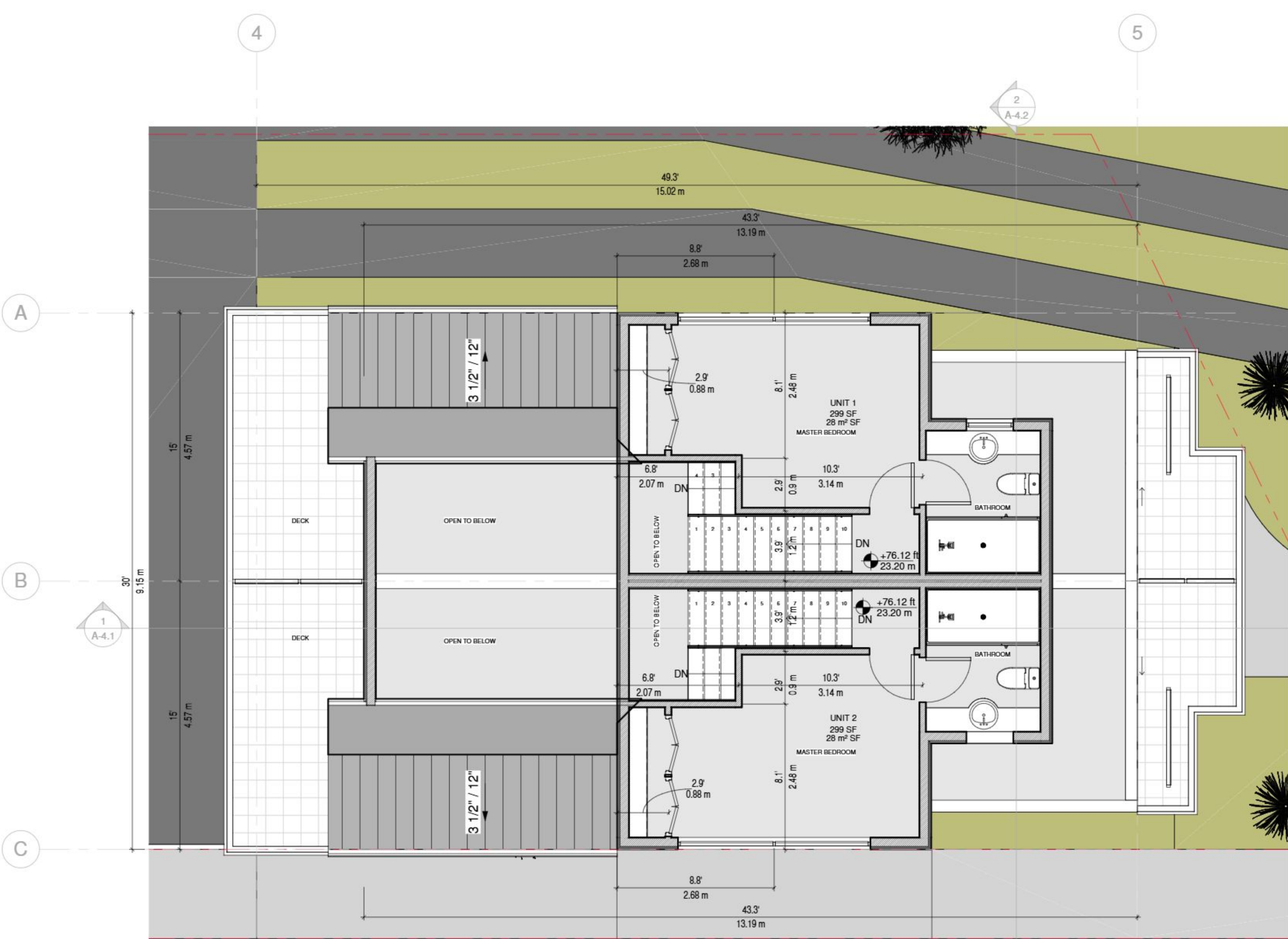
TITLE: BASEMENT & MAIN FLOOR-BLOCK 1
PROJECT: 6330 ARGYLE WEST VANCOUVER



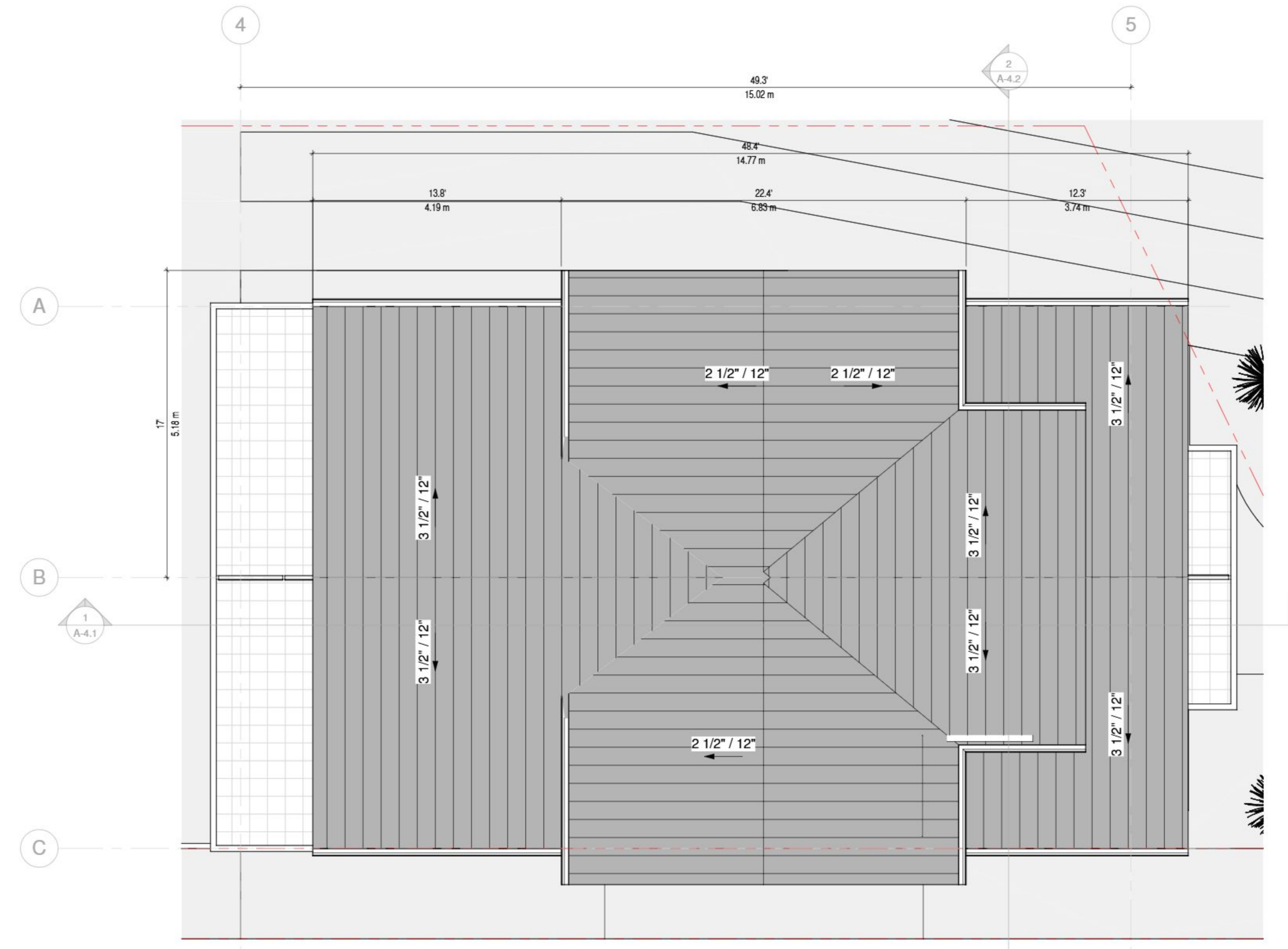
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① UPPER FLOOR BLOCK 1
1 : 50



③ ROOF FLOOR BLOCK 1
1 : 50

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SCALE:
1 : 50

DATE:
April 2023

TITLE:
UPPER FLOOR & ROOF PLAN BLOCK 1

PROJECT:
6330 ARGYLE WEST VANCOUVER

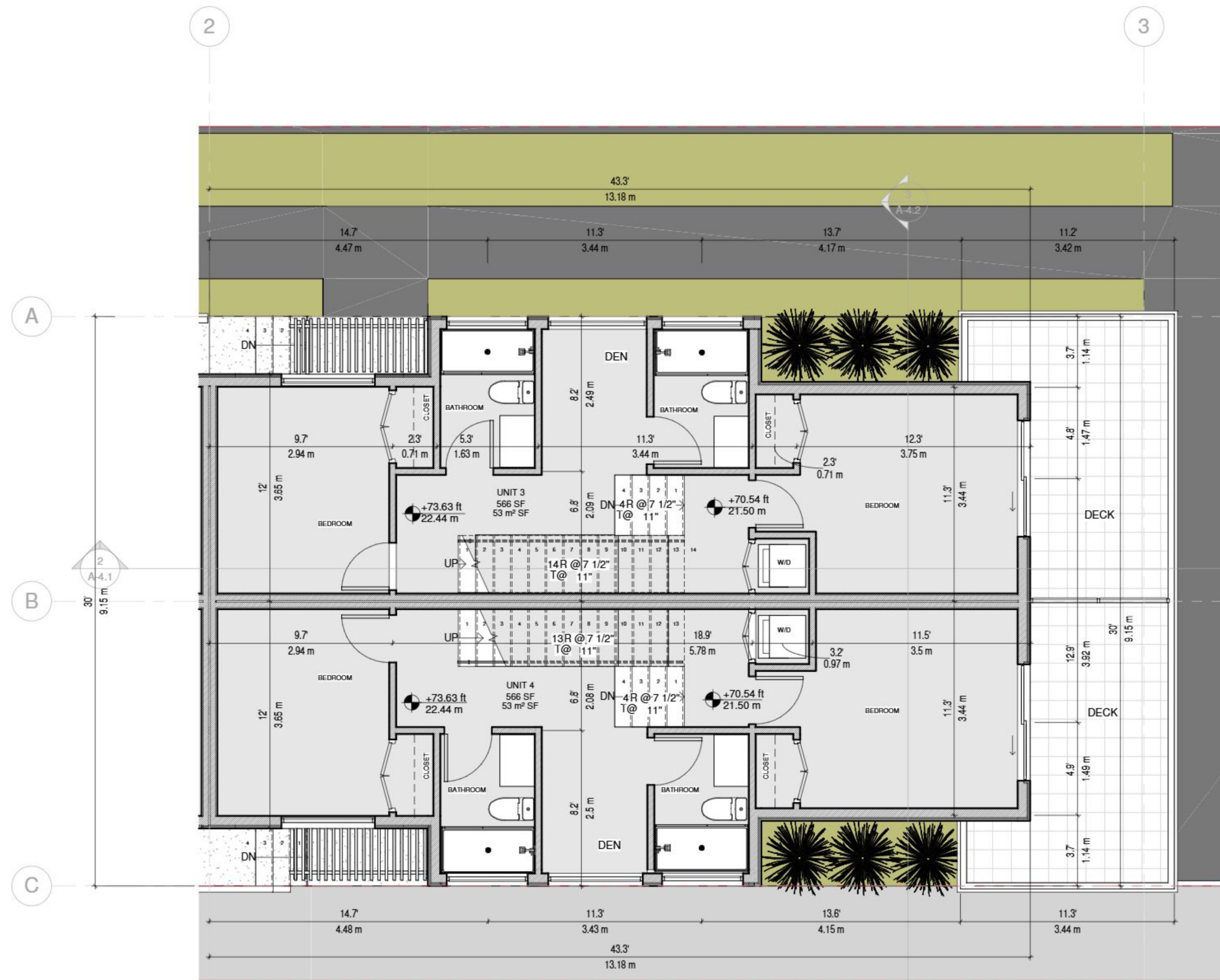


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A-2.3

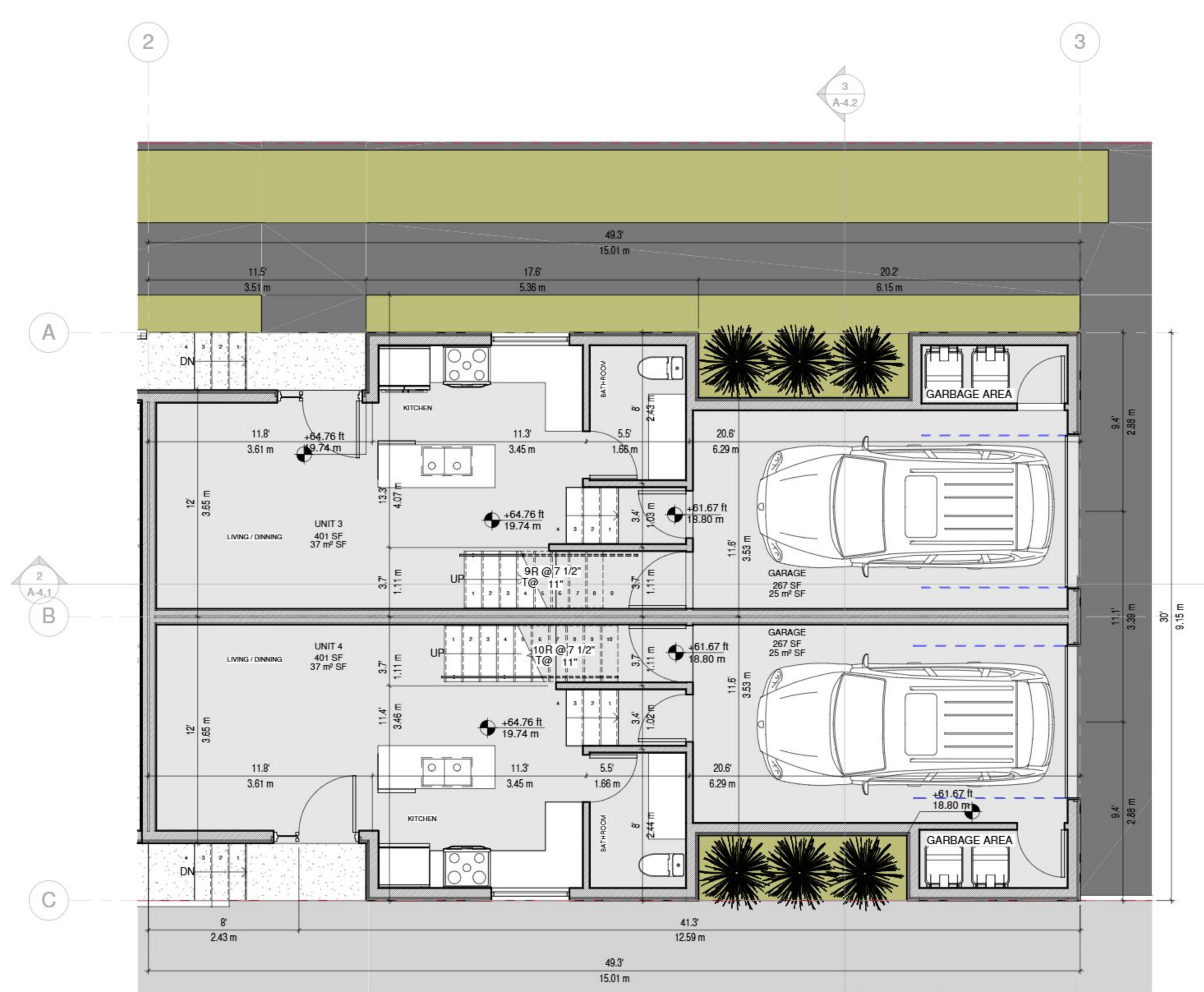


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③ MAIN FLOOR BLOCK 2
1 : 50



① BASEMENT BLOCK 2
1 : 50

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3	Revision 3	07March 2025
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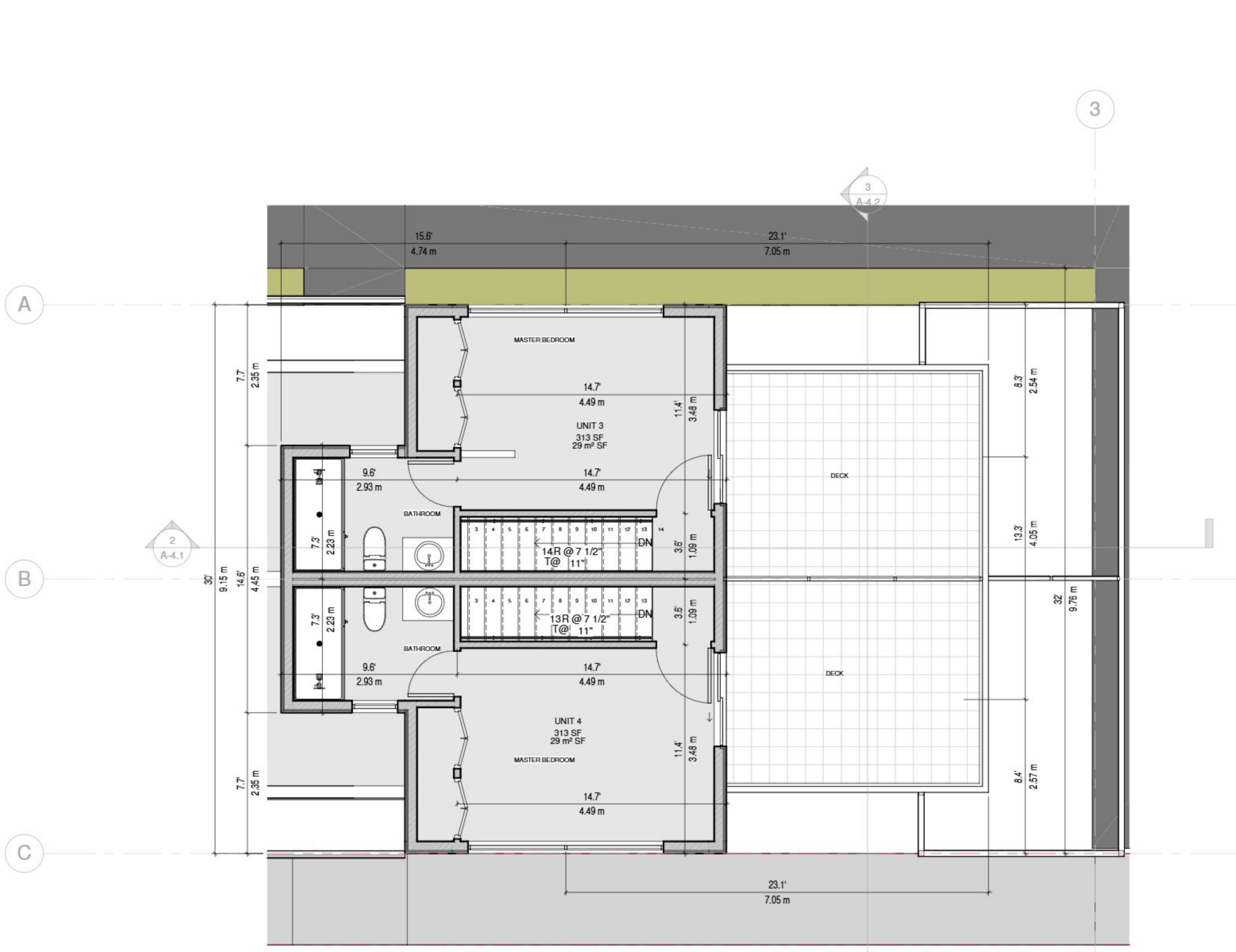


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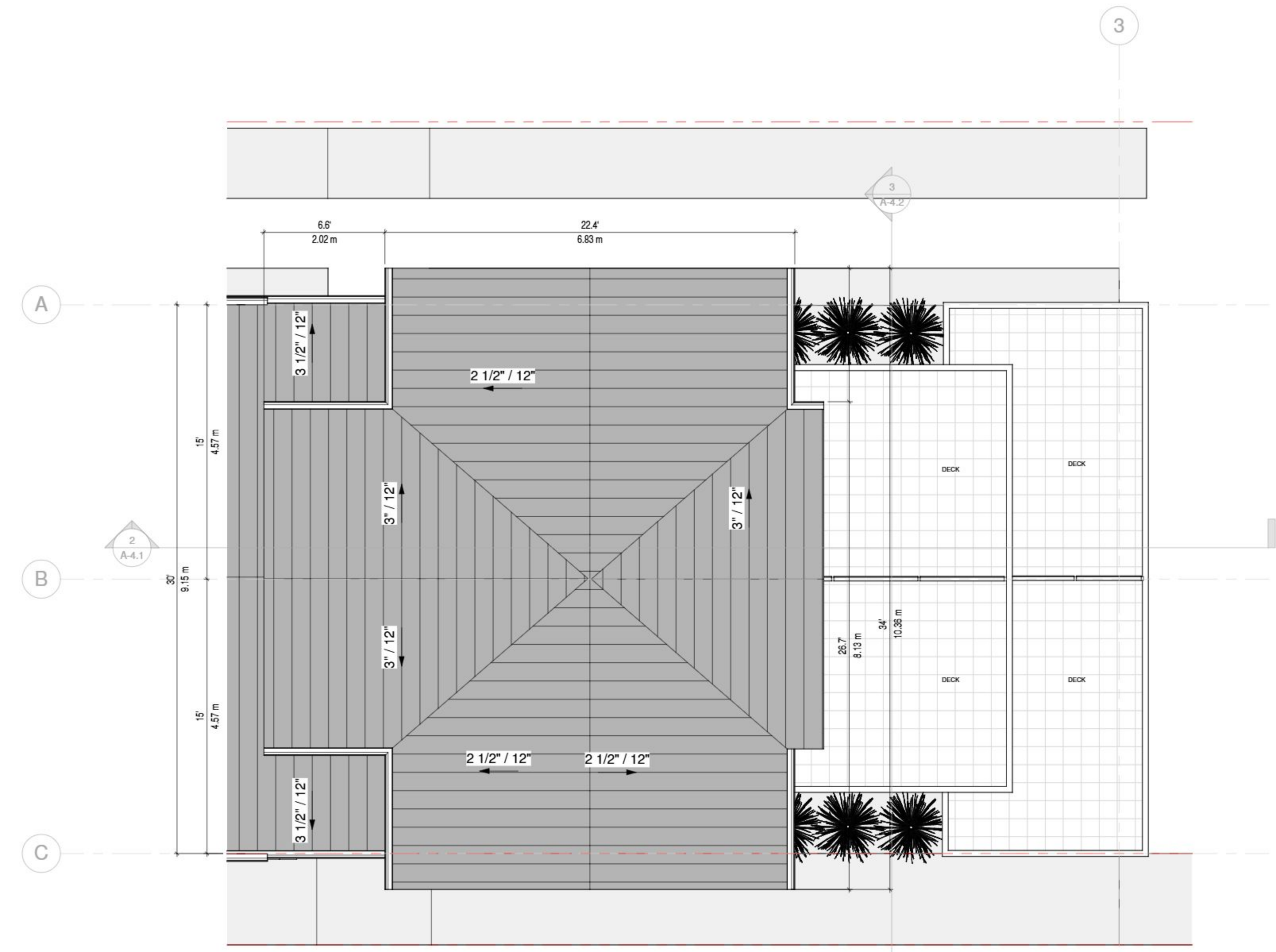


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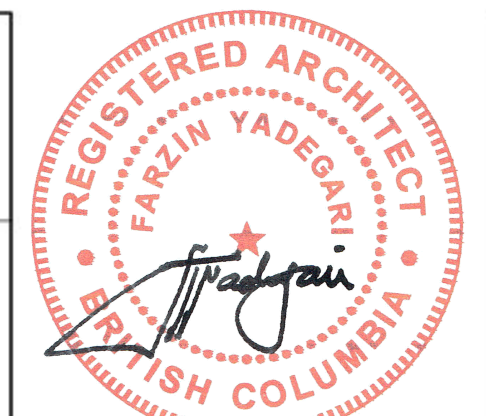
① UPPER FLOOR BLOCK 2
1 : 50



③ ROOF FLOOR BLOCK2
1 : 50

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3	Revision 3	07March 2025
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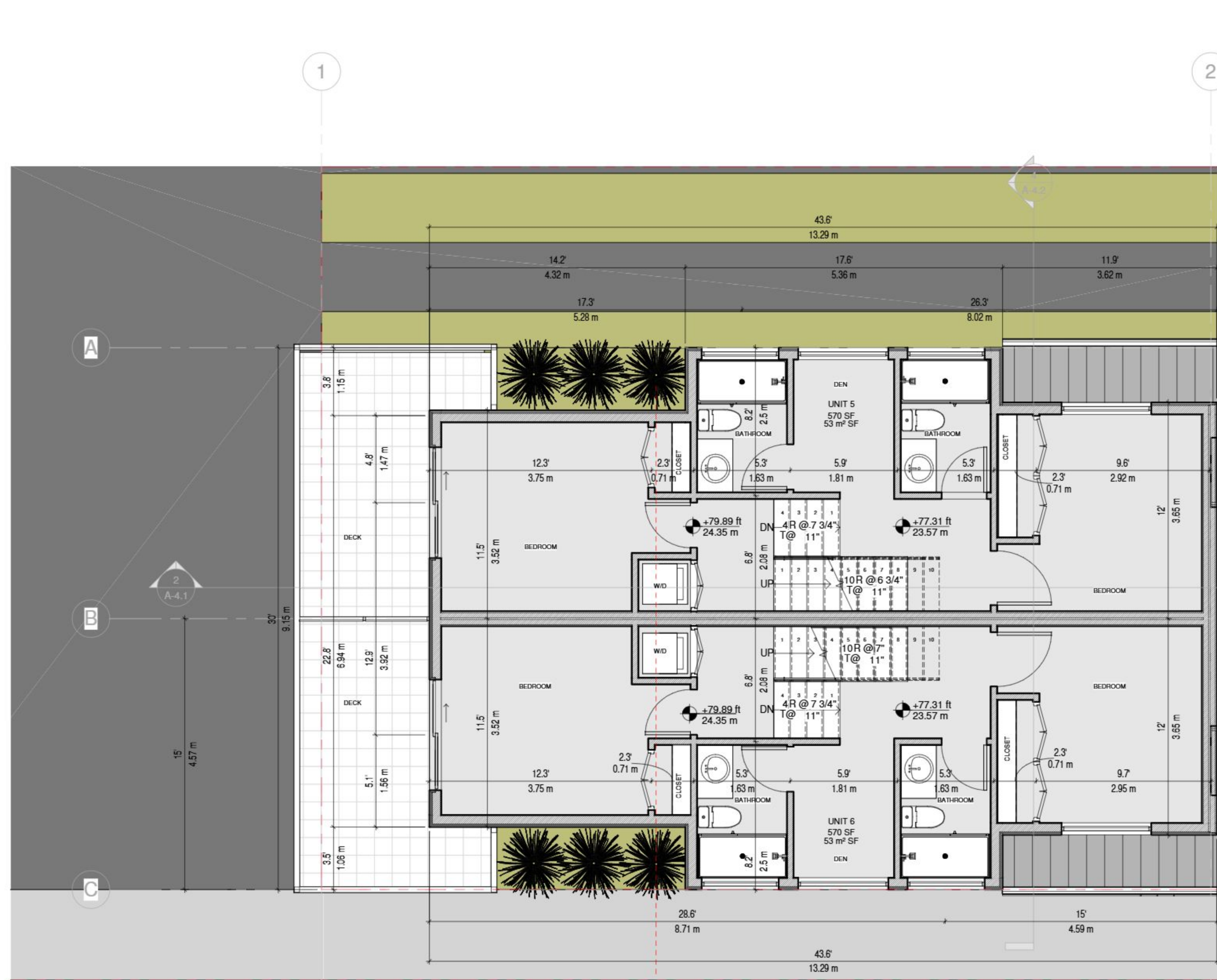


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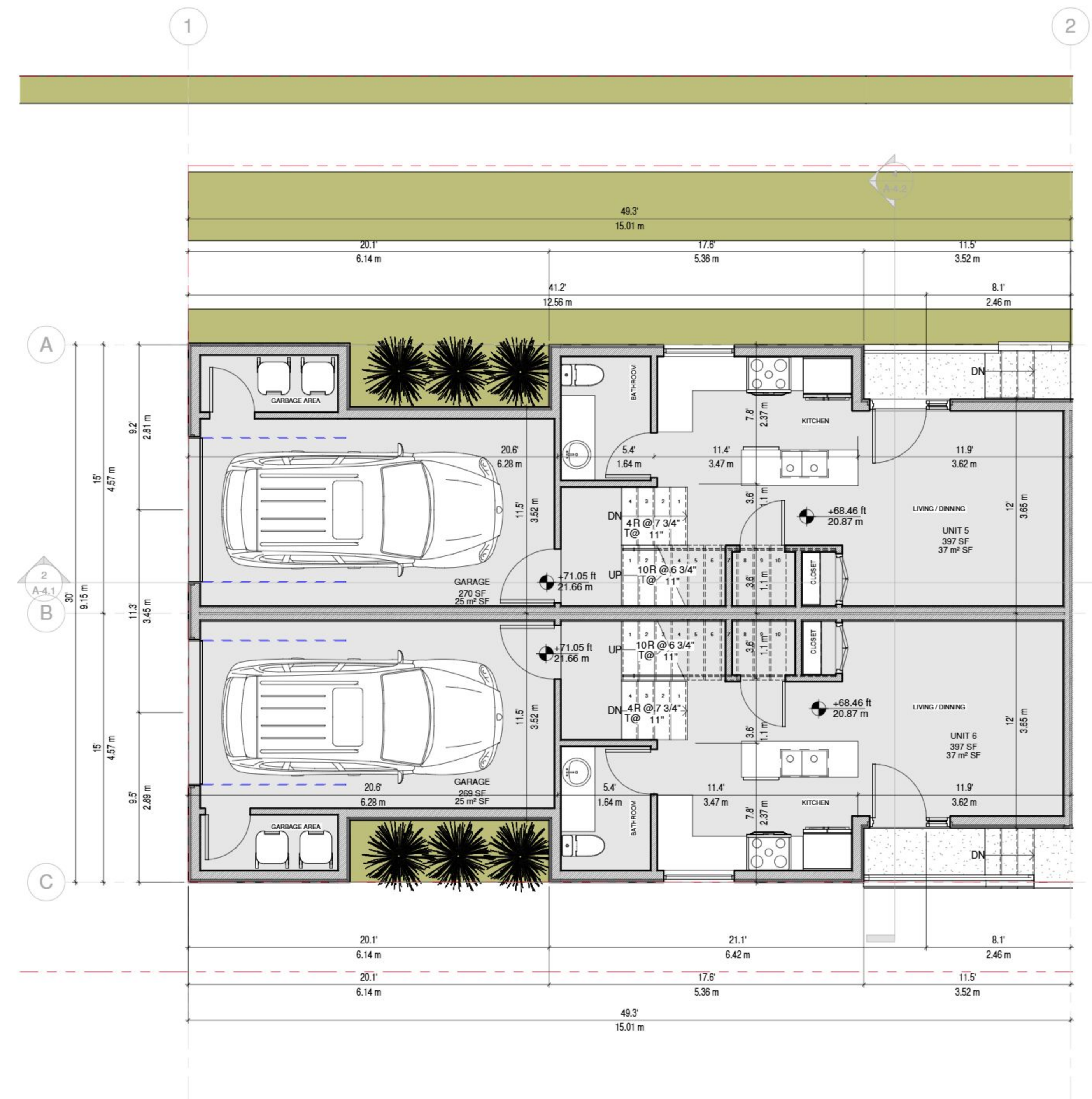


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④ MAIN FLOOR BLOCK 3
1 : 50

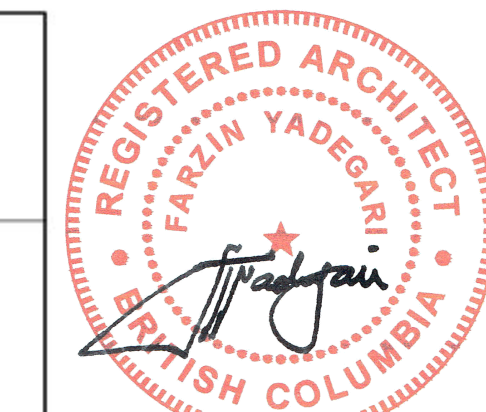


② BASEMENT BLOCK 3
1 : 50

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TITLE: BASEMENT & MAIN FLOOR-BLOCK 3
PROJECT: 6330 ARGYLE WEST VANCOUVER

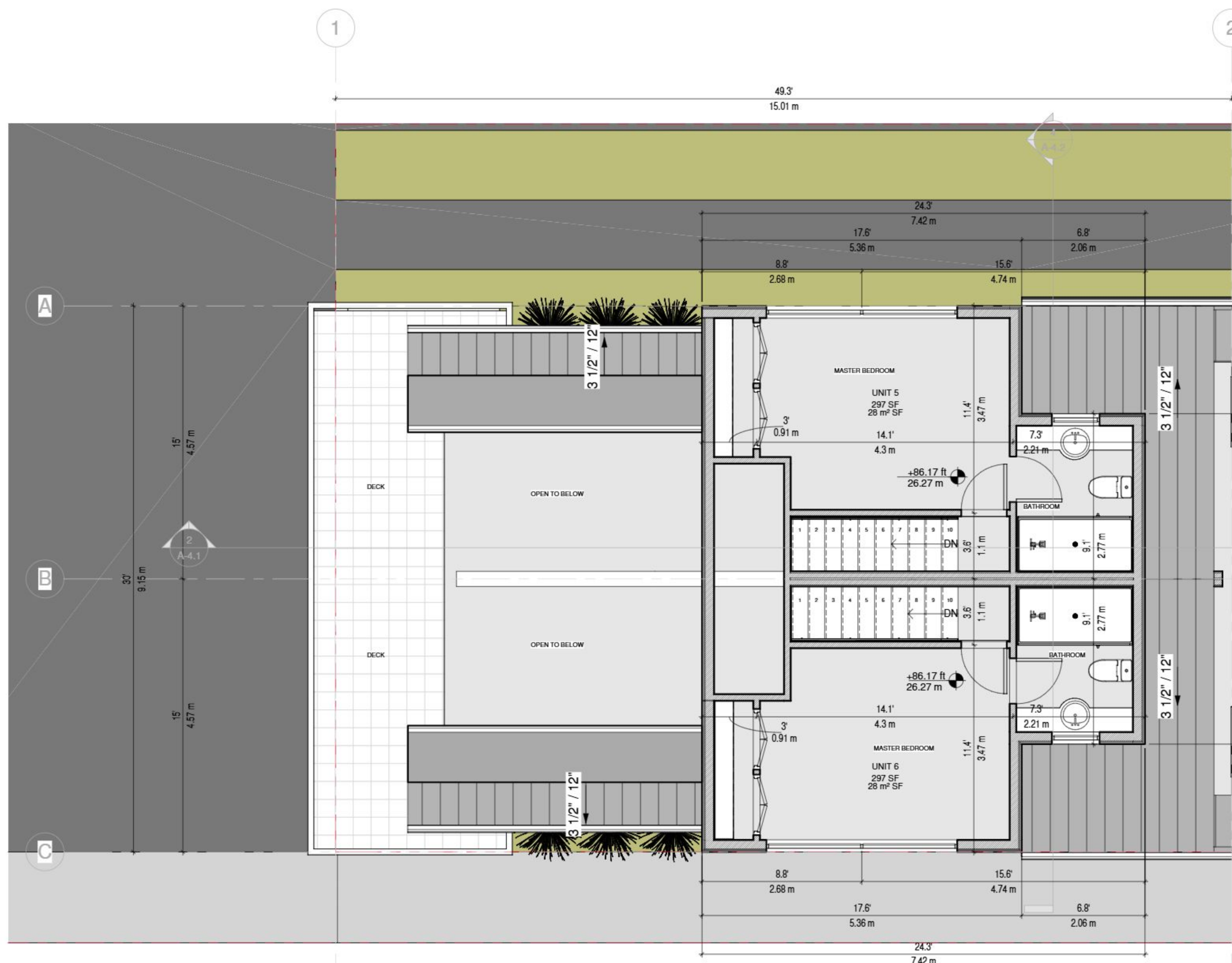


DRAWING NO. A-2.6

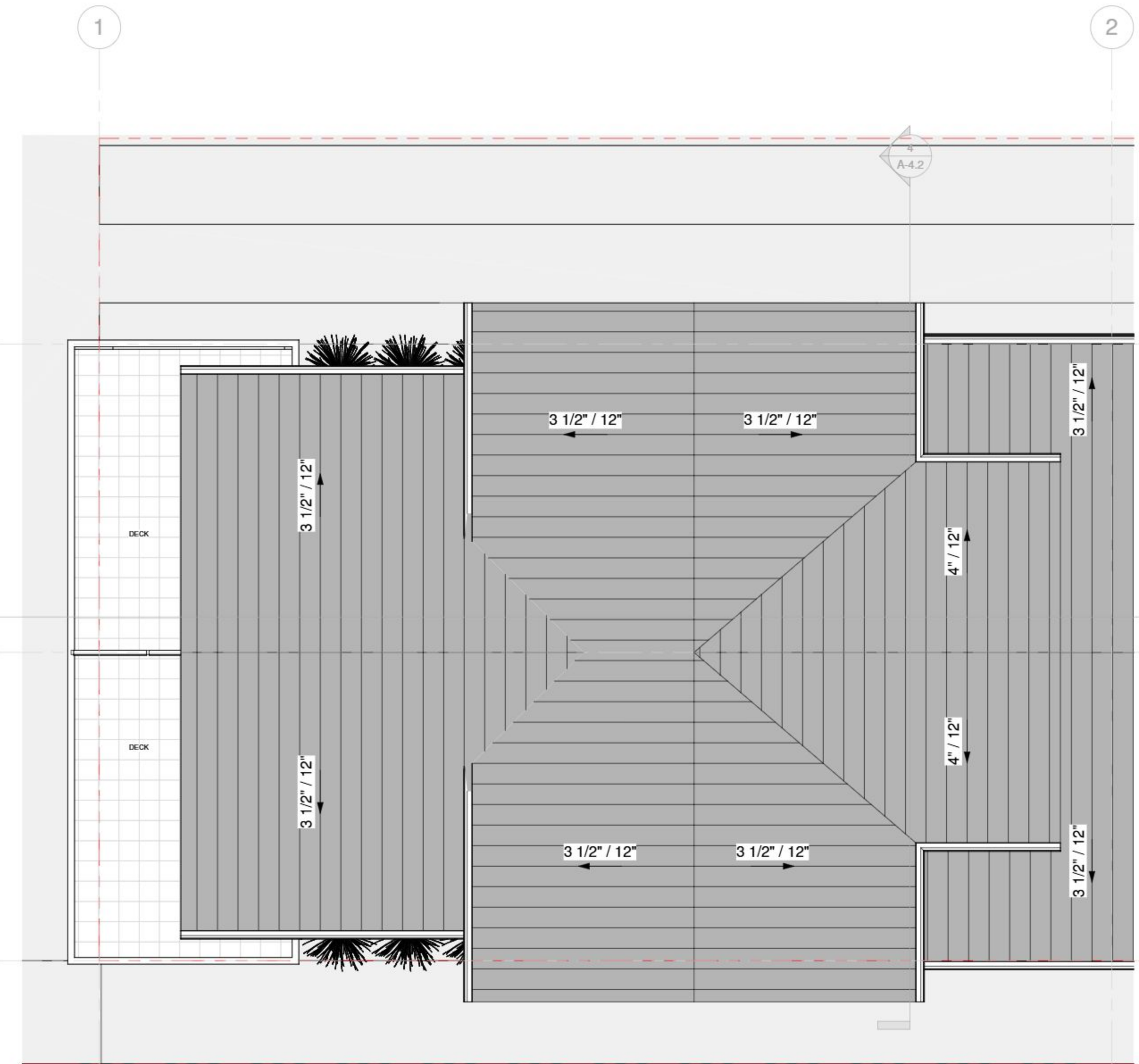


300 2240 CHIPPENDALE
ROAD WEST VANCOUVER, B.C.
V7S 3J5 T 778 340 4142
WWW.FYARCH.CA

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① UPPER FLOOR BLOCK 3
1 : 50

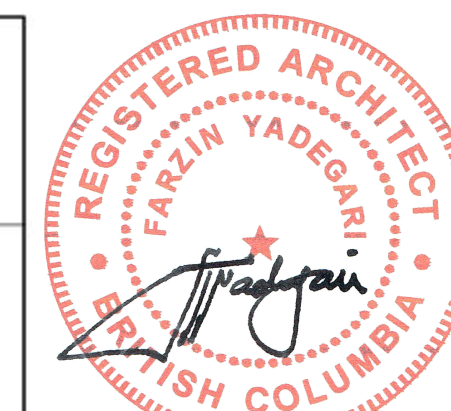


③ ROOF FLOOR BLOCK3
1 : 50

No.	Description	Date
3	Revision 3	07March 2025
4	Revision 4	27March 2025
5	Revision 5	16 APRIL 2025

DRAWN BY: F.Y.	SCALE: 1 : 50
CHECKED BY: F.Y.	DATE: April 2023

TITLE: UPPER FLOOR& ROOF PLAN BLOCK 3
PROJECT: 6330 ARGYLE WEST VANCOUVER



DRAWING NO. A-2.7



300 2240 CHIPPENDALE
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BLOCK 1- UNIT 1
 ② North Elevation Block 1
 1 : 50



BLOCK 1- UNIT 2
 ④ South Elevation Block 1
 1 : 50

- 01: METAL ROOF GRAY
- 02: HARDIE PLANK ARCTIC WHITE
- 03: HARDIE PLANK KHAKI BROWN
- 04: HARDIE PLANK COUNTRYLANE RED
- 05: HARDIE PLANK EVENING BLUE
- 06: HARDIE LIGHT MIST
- 07: HARDIE PLANK MONTAGE SAGE
- 08: WHITE T.P WOOD HANDRAIL
- 09: EXTERIOR DOOR SOLID CORE WOOD
- 10: WHITE VINYL WINDOW
- 11: GARAGE DOOR FLUSH PANEL WHITE
- 12: WHITE T.P WOOD GARBAGE GATE
- 13: WHITE VINYL & GLASS SINGLE DOOR



BLOCK 1- UNIT 1&2
 ① West Elevation Block 1
 1 : 50



BLOCK 1- UNIT 1&2
 ③ East Elevation Block 1
 1 : 50

No.	Description	Date
3	Revision 3	07March 2025
4	Revision 4	27March 2025
5	Revision 5	16 APRIL 2025

DRAWN BY:	SCALE:	TITLE:
F.Y.	1 : 50	ELEVATIONS BLOCK 1
CHECKED BY:	DATE:	PROJECT:
F.Y.	April 2023	6330 ARGYLE WEST VANCOUVER



DRAWING NO.
A-3.1



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BLOCK 2- UNIT 3

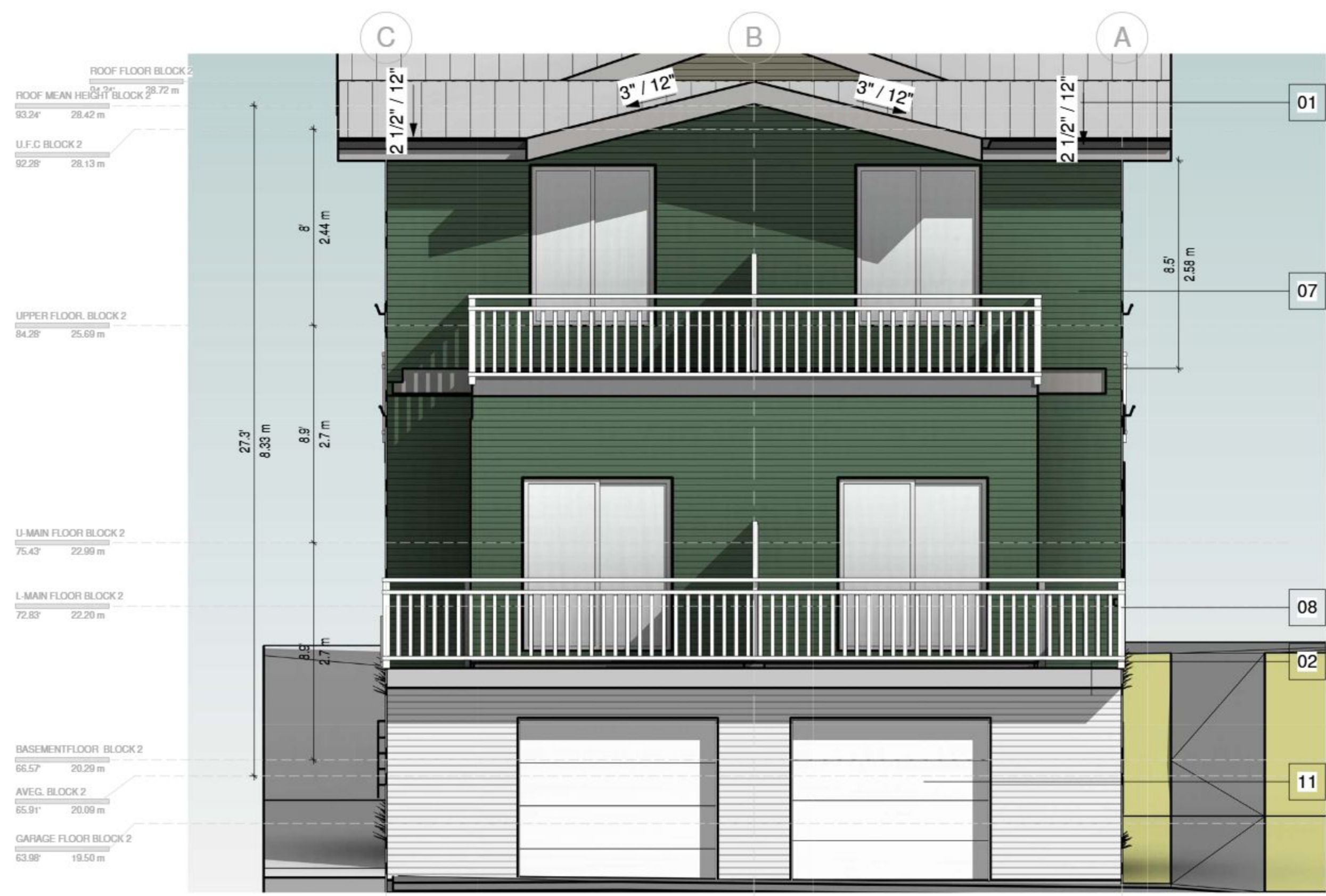
① North Elevation Block 2
1 : 50



BLOCK 2- UNIT 3

③ South Elevation Block 2
1 : 50

- 01: METAL ROOF GRAY
- 02: HARDIE PLANK ARCTIC WHITE
- 03: HARDIE PLANK KHAKI BROWN
- 04: HARDIE PLANK COUNTRYLANE RED
- 05: HARDIE PLANK EVENING BLUE
- 06: HARDIE LIGHT MIST
- 07: HARDIE PLANK MONTAGE SAGE
- 08: WHITE T.P WOOD HANDRAIL
- 09: EXTERIOR DOOR SOLID CORE WOOD
- 10: WHITE VINYL WINDOW
- 11: GARAGE DOOR FLUSH PANEL WHITE
- 12: WHITE T.P WOOD GARBAGE GATE
- 13: WHITE VINYL & GLASS SINGLE DOOR



BLOCK 2- UNIT 3 & 4

② East Elevation Block 2
1 : 50

No.	Description	Date
3	Revision 3	07 March 2025
4	Revision 4	27 March 2025
5	Revision 5	16 APRIL 2025

DRAWN BY: F.Y.	SCALE: 1 : 50	TITLE: ELEVATIONS BLOCK 2
CHECKED BY: F.Y.	DATE: April 2023	PROJECT: 6330 ARGYLE WEST VANCOUVER

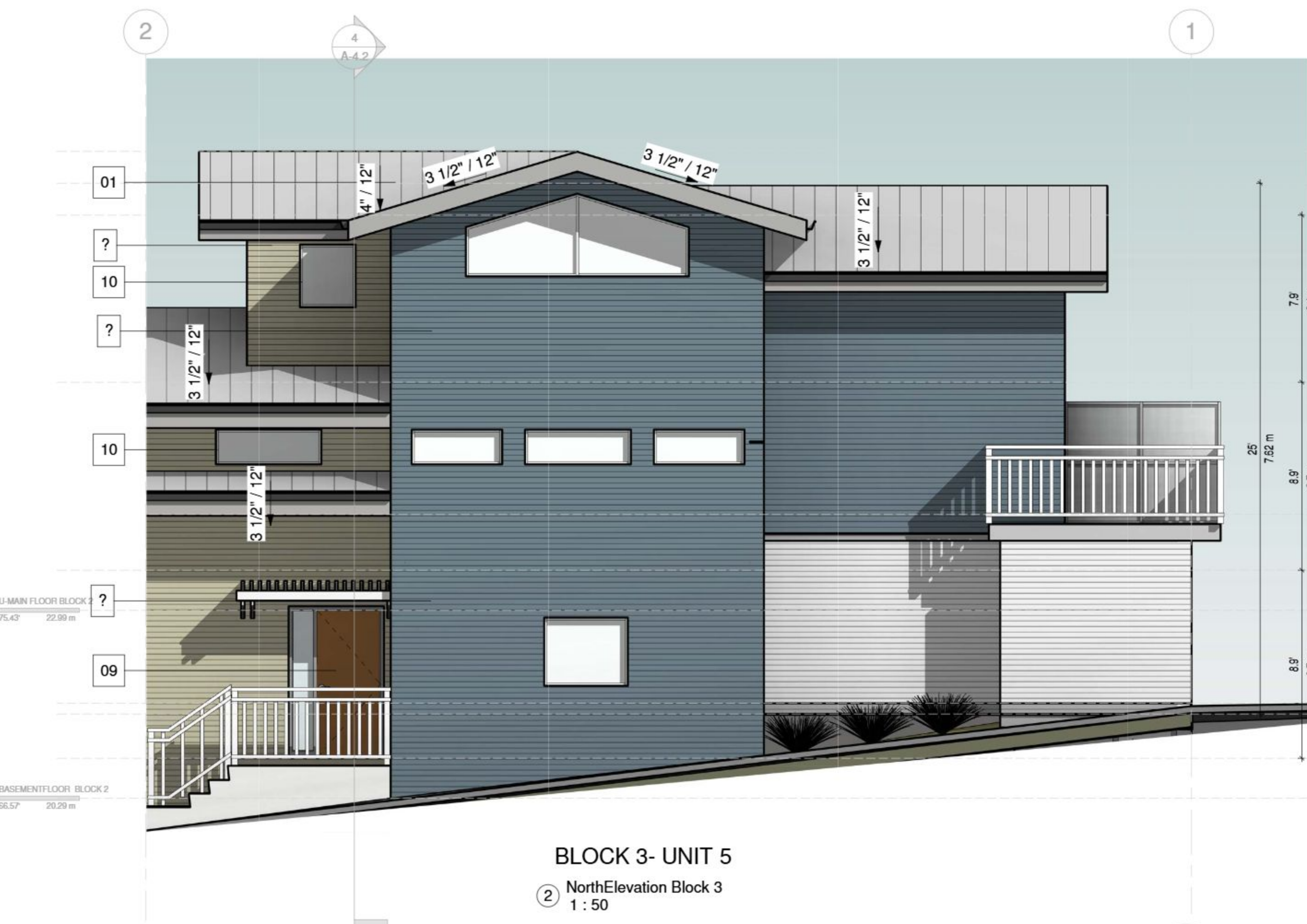


DRAWING NO.
A-3.2

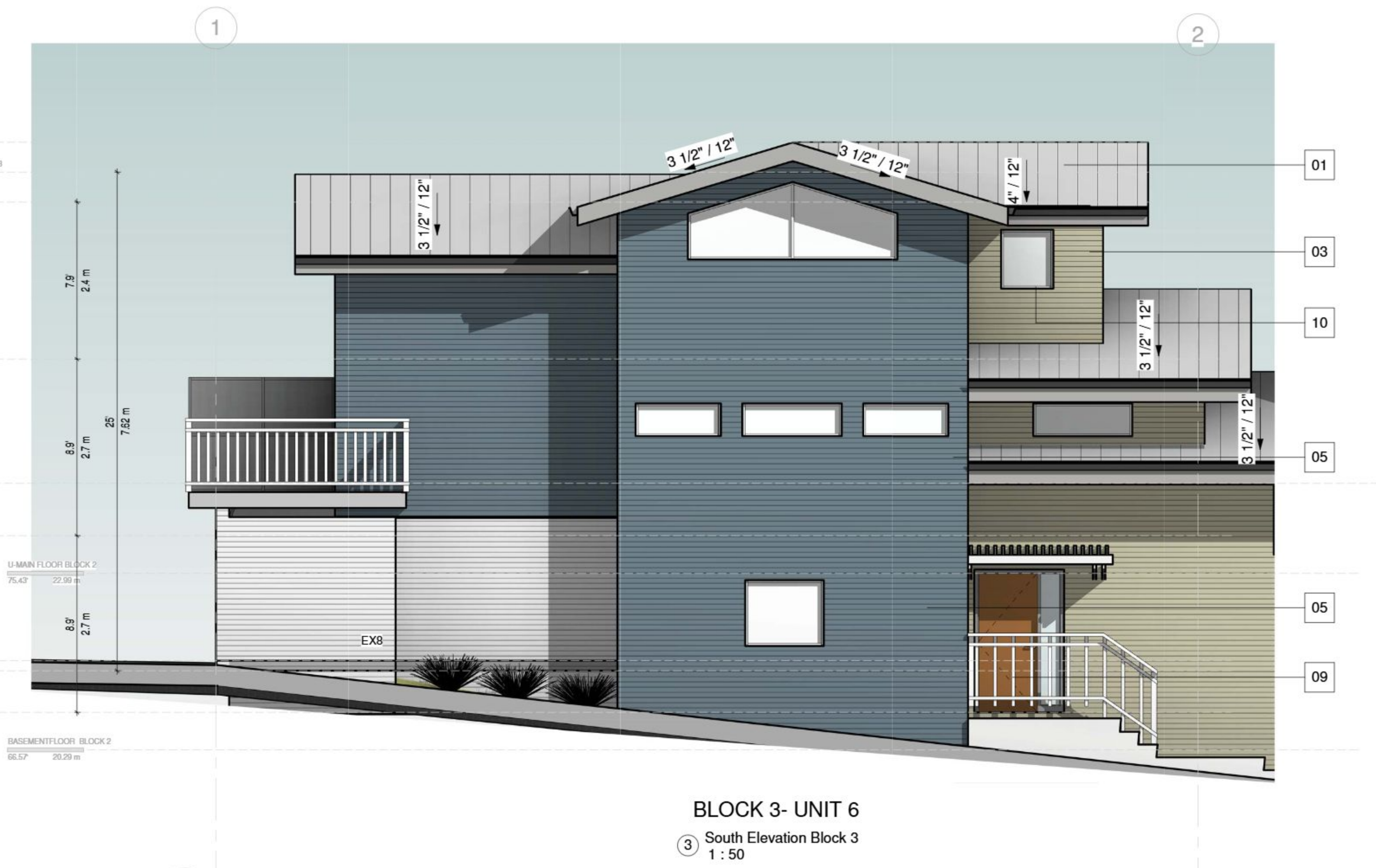


300 2240 CHIPPENDALE
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V7S 3J5 T 778 340 4142
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BLOCK 3- UNIT 5
 ② North Elevation Block 3
 1 : 50



BLOCK 3- UNIT 6
 ③ South Elevation Block 3
 1 : 50



BLOCK 3- UNIT 5 & 6
 ① West Elevation Block 3
 1 : 50

- 01: METAL ROOF GRAY
- 02: HARDIE PLANK ARCTIC WHITE
- 03: HARDIE PLANK KHAKI BROWN
- 04: HARDIE PLANK COUNTRYLANE RED
- 05: HARDIE PLANK EVENING BLUE
- 06: HARDIE LIGHT MIST
- 07: HARDIE PLANK MONTAGE SAGE
- 08: WHITE T.P WOOD HANDRAIL
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- 11: GARAGE DOOR FLUSH PANEL WHITE
- 12: WHITE T.P WOOD GARBAGE GATE
- 13: WHITE VINYL & GLASS SINGLE DOOR

No.	Description	Date
3	Revision 3	07 March 2025
4	Revision 4	27 March 2025
5	Revision 5	16 APRIL 2025

DRAWN BY: F.Y.	SCALE: 1 : 50	TITLE: ELEVATIONS BLOCK 3
CHECKED BY: F.Y.	DATE: April 2023	PROJECT: 6330 ARGYLE WEST VANCOUVER



DRAWING NO.
A-3.3



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BLOCK 1- UNIT 1&2

No.	Description	Date
3	Revision 3	07March 2025
4	Revision 4	27March 2025
5	Revision 5	16 APRIL 2025

DRAWN BY: F.Y.	SCALE: 1 : 50	TITLE: HIGHEST BUILDING FACE
CHECKED BY: F.Y.	DATE: April 2023	PROJECT: 6330 ARGYLE WEST VANCOUVER



DRAWING NO. A-3.4

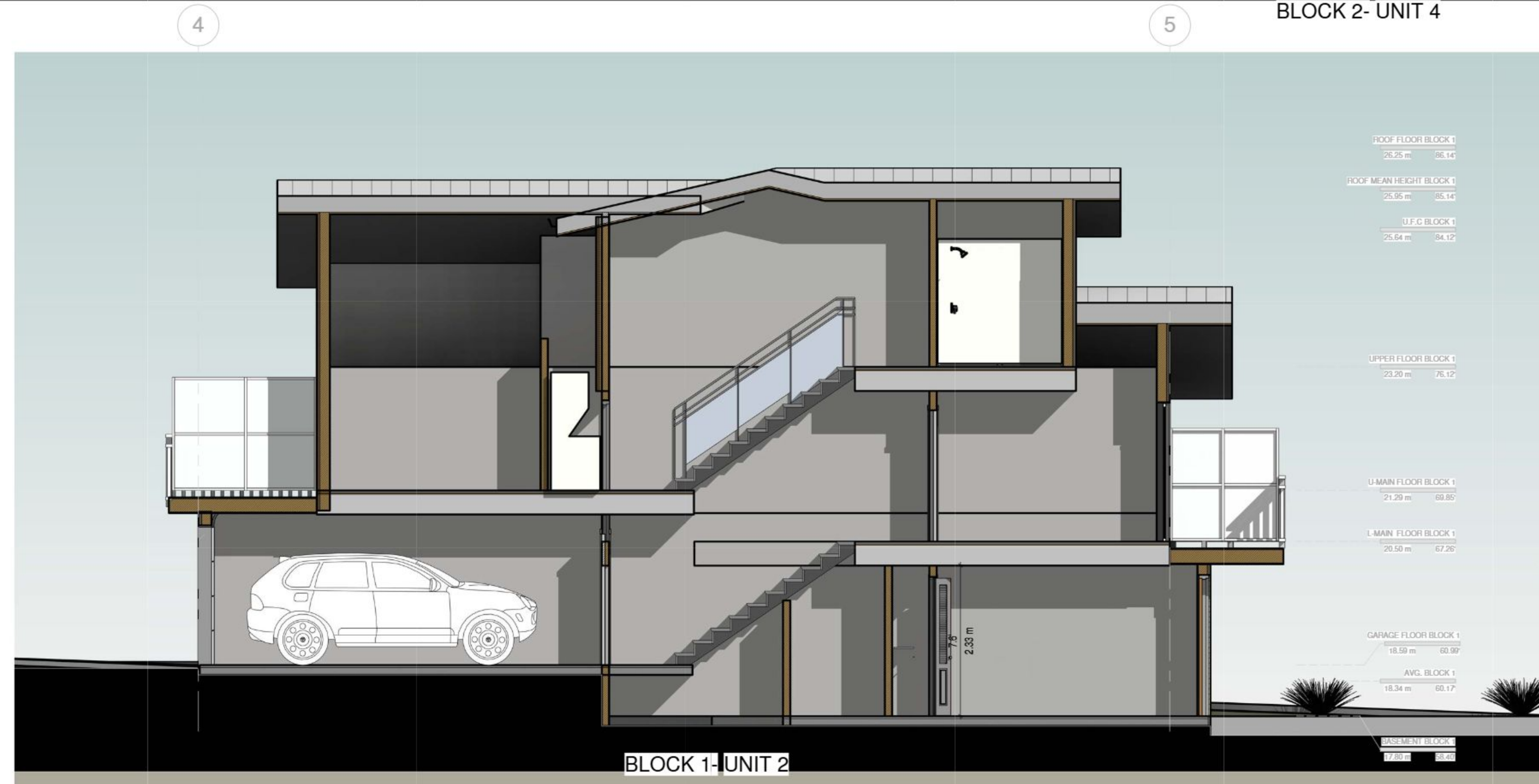


300 2240 CHIPPENDALE
ROAD WEST VANCOUVER, B.C.
V7S 3J5 T 778 340 4142
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② Section 1- BLOCK 2,3
1 : 50



① Section 1-BLOCK 1
1 : 50

No.	Description	Date
3	Revision 3	07March 2025
4	Revision 4	27March 2025
5	Revision 5	16 APRIL 2025

DRAWN BY:	SCALE:	TITLE:
F.Y.	1 : 50	SECTION 1
CHECKED BY:	DATE:	PROJECT:
F.Y.	April 2023	6330 ARGYLE WEST VANCOUVER



DRAWING NO.
A-4.1



300 2240 CHIPPENDALE
ROAD WEST VANCOUVER, B.C.
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ROOF FLOOR BLOCK 1
86.14' 26.25 m

ROOF MEAN HEIGHT BLOCK 1
85.14' 25.95 m

U.F.C. BLOCK 1
84.12' 25.64 m

UPPER FLOOR BLOCK 1
76.12' 23.20 m

U-MAIN FLOOR BLOCK 1
69.85' 21.29 m

L-MAIN FLOOR BLOCK 1
67.26' 20.50 m

GARAGE FLOOR BLOCK 1
63.82' 19.50 m

AVG. BLOCK 1
60.17' 18.34 m

BASEMENT BLOCK 1
58.40' 17.80 m

BLOCK 1- UNIT 1 BLOCK 1- UNIT 2

2 Section 2
1 : 50



ROOF FLOOR BLOCK 3
87.85' 26.80 m

ROOF MEAN HEIGHT BLOCK 3
86.55' 26.32 m

U.F.C. BLOCK 3
84.85' 26.07 m

UPPER FLOOR BLOCK 3
86.17' 26.27 m

L-MAIN FLOOR BLOCK 3
77.31' 23.57 m

U-MAIN FLOOR BLOCK 2
75.42' 22.99 m

AVG. BLOCK 3
71.52' 21.85 m

GARAGE FLOOR BLOCK 3
69.02' 21.03 m

BASEMENT BLOCK 3
68.40' 20.87 m

GARAGE FLOOR BLOCK 2
63.92' 19.50 m

BLOCK 3- UNIT 6 BLOCK 3- UNIT 5

4 Section 4
1 : 50



ROOF FLOOR BLOCK 2
86.14' 26.25 m

ROOF MEAN HEIGHT BLOCK 2
85.14' 25.95 m

U.F.C. BLOCK 2
84.12' 25.64 m

UPPER FLOOR BLOCK 2
84.20' 25.60 m

U-MAIN FLOOR BLOCK 2
75.42' 22.99 m

L-MAIN FLOOR BLOCK 2
72.83' 22.20 m

BASEMENT FLOOR BLOCK 2
68.57' 20.99 m

AVG. BLOCK 2
65.91' 20.09 m

GARAGE FLOOR BLOCK 2
63.92' 19.50 m

BLOCK 2- UNIT 3 BLOCK 2- UNIT 4

3 Section 3
1 : 50

No.	Description	Date
3	Revision 3	07March 2025
4	Revision 4	27March 2025
5	Revision 5	16 APRIL 2025

DRAWN BY: F.Y.	SCALE: 1 : 50	TITLE: SECTION 2.3.4
CHECKED BY: F.Y.	DATE: April 2023	PROJECT: 6330 ARGYLE WEST VANCOUVER



DRAWING NO.
A-4.2



300 2240 CHIPPENDALE
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No.	Description	Date
3	Revision 3	07March 2025
4	Revision 4	27March 2025

DRAWN BY: F.Y.	SCALE:	TITLE: NORTH VIEW
CHECKED BY: F.Y.	DATE: April 2023	PROJECT: 6330 ARGYLE WEST VANCOUVER

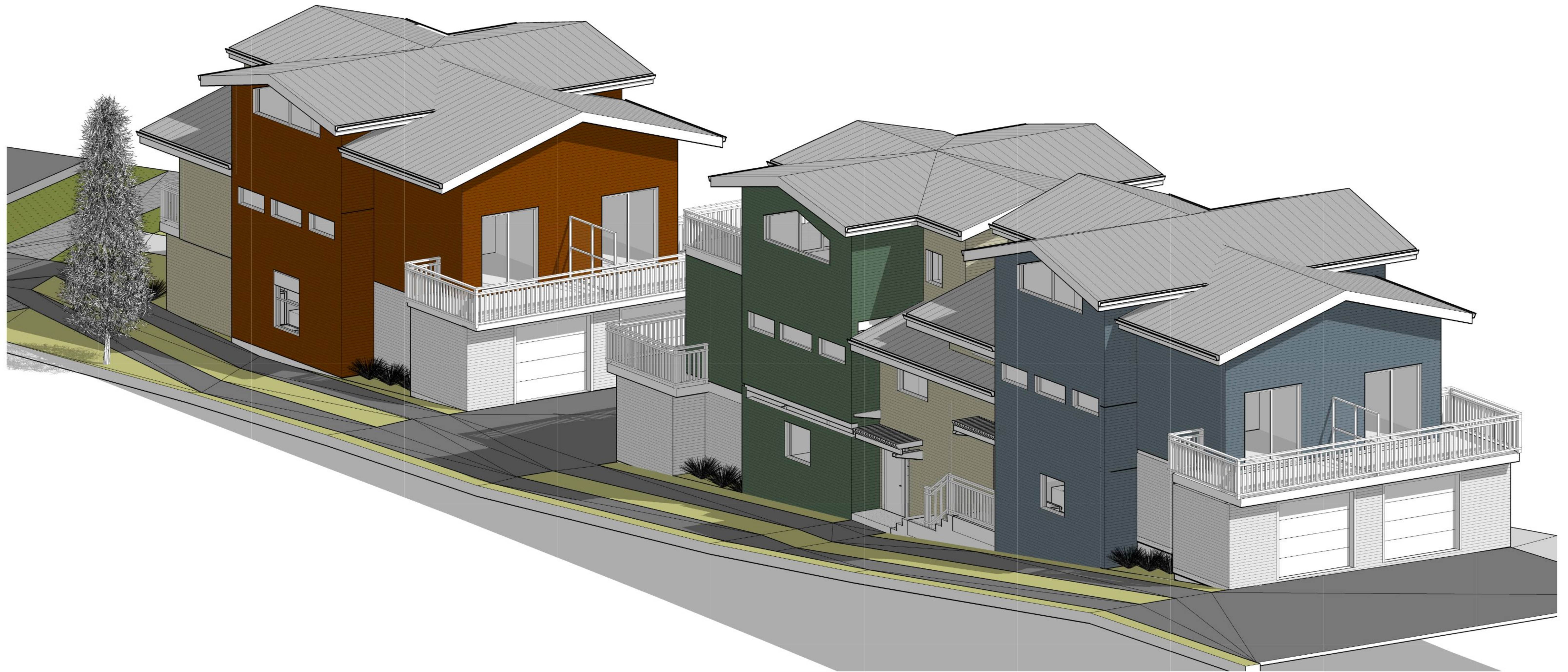


DRAWING NO. A-6.1



300 2240 CHIPPENDALE
ROAD WEST VANCOUVER, B.C.
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No.	Description	Date
3	Revision 3	07March 2025
4	Revision 4	27March 2025
5	Revision 5	16 APRIL 2025

DRAWN BY: F.Y.	SCALE:	TITLE: SOUTH VIEW
CHECKED BY: F.Y.	DATE: April 2023	PROJECT: 6330 ARGYLE WEST VANCOUVER

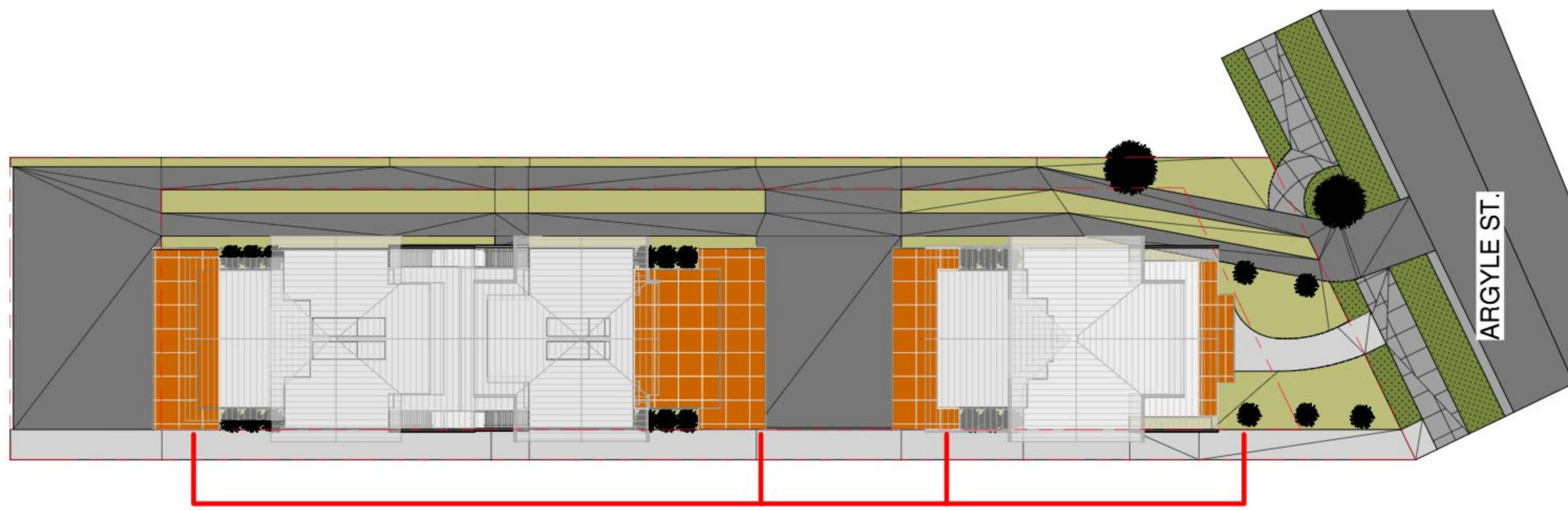


DRAWING NO. A-6.2



300 2240 CHIPPENDALE
ROAD WEST VANCOUVER, B.C.
V7S 3J5 T 778 340 4142
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"THE ARGYLE PROJECT PROVIDES EACH UNIT WITH PRIVATE BALCONIES, OFFERING RESIDENTS A SERENE RETREAT FOR RELAXATION AND A CONNECTION TO THE URBAN ENVIRONMENT."



"THE DESIGN USES THREE COLORS INSPIRED BY THE EARTH, FOREST, AND OCEAN, ALONG WITH SELECTED MATERIALS AND SETBACKS, TO ENHANCE UNIT IDENTITY AND SUPPORT A PEDESTRIAN-FRIENDLY STREET SCALE."



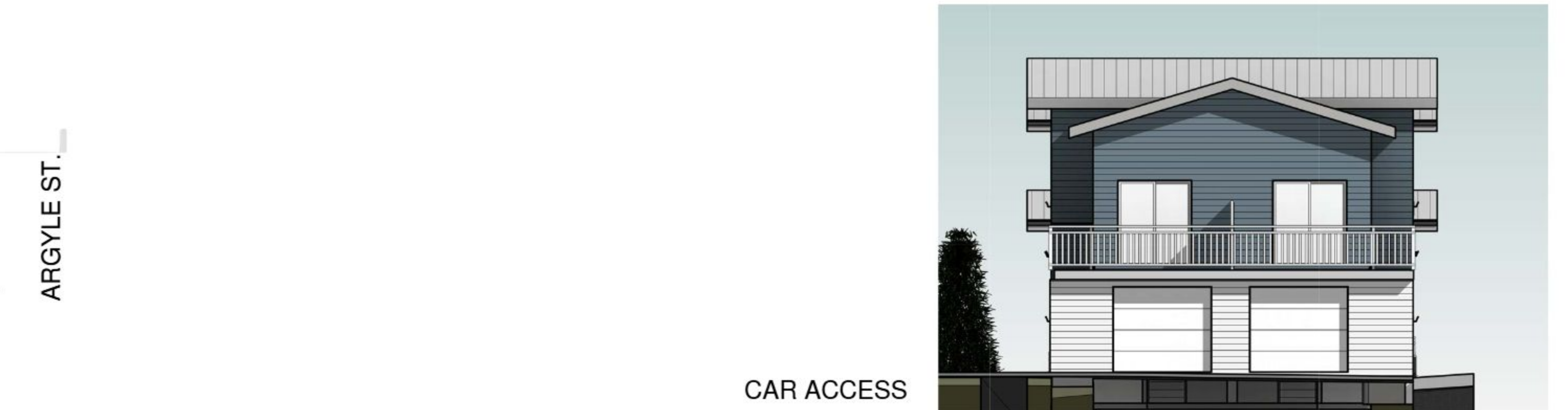
CAR ACCESS

"THROUGH METICULOUS PLANNING, THE PROJECT ENSURES SEAMLESS VEHICULAR ACCESS FROM BOTH THE STREET AND LANE. THIS DESIGN FACILITATES CONVENIENT ENTRY AND EXIT POINTS FOR RESIDENTS, THEREBY ENHANCING ACCESSIBILITY WITHOUT COMPROMISING PEDESTRIAN SAFETY."



PEDESTRIAN ACCESS

EACH UNIT IS STRATEGICALLY POSITIONED TO MAXIMIZE VISIBILITY AND PEDESTRIAN ACCESS TO THE PUBLIC STREET, PROMOTING COMMUNITY CONNECTIVITY. THE ARGYLE PROJECT IS DISCREETLY NESTLED ALONG A SEPARATE FACADE, SEAMLESSLY BLENDING ACCESSIBILITY WITH ARCHITECTURAL ELEGANCE.



CAR ACCESS



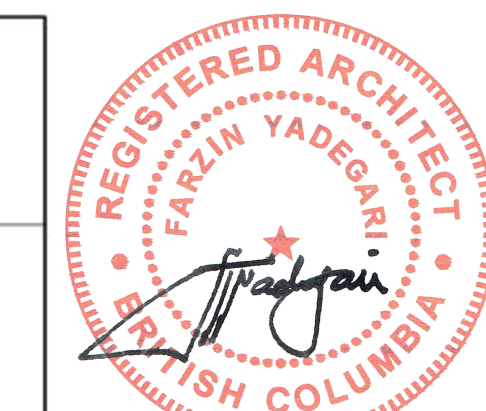
PEDESTRIAN ACCESS



PEDESTRIAN ACCESS

No.	Description	Date
3	Revision 3	07March 2025
4	Revision 4	27March 2025
5	Revision 5	16 APRIL 2025

DRAWN BY: F.Y.	SCALE: As indicated	TITLE: NEIGHBOURHOOD
CHECKED BY: Checker	DATE: April 2023	PROJECT: 6330 ARGYLE WEST VANCOUVER



DRAWING NO. A-6.5



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