



Proposed Mixed Use Development 1763 Bellevue Avenue West Vancouver

Updated to April 22, 2016

DATE REVISION

- 1. Client Review and Approval
- 2. Issue for Engineering
- 3. Issue for Planning
- 4. Issue for Construction
- 5. Issue for Construction
- 6. Issue for Construction
- 7. Issue for Construction
- 8. Issue for Construction
- 9. Issue for Construction
- 10. Issue for Construction
- 11. Update and resubmit to DAV
- 12. Update and resubmit to DAV

KARL GUSTAVSON - ARCHITECT INC

3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
phone (604) 926-1649 fax (604) 926-1059

Proposed Development
1763 Bellevue Avenue
West Vancouver
Cover

DATE	June 8, 2015
DRAWN	DP
CHECKED	KG
SCALE	as noted
JOB NO.	

Project Contacts

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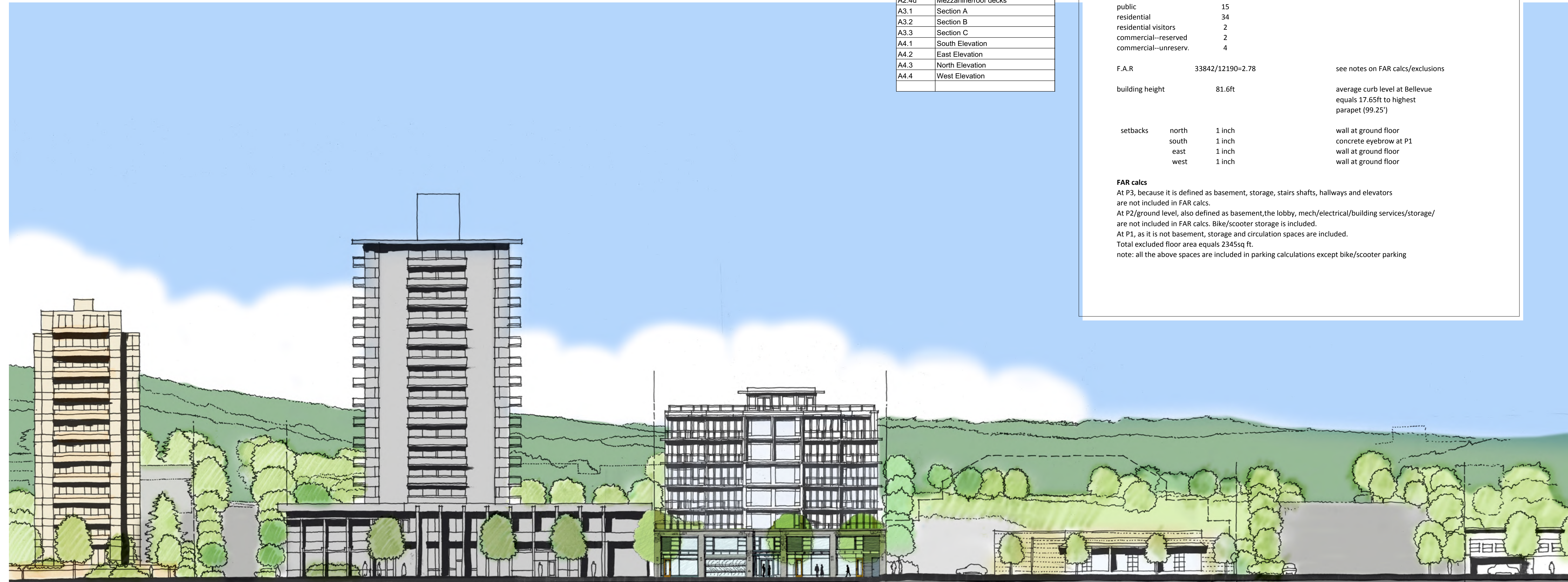
residential unit breakdown				
total units all floors	20			
floor level	2 bed	2 bed plus mezz	3 bed	3 bed plus mezz.
R1	1		3	
R2	2		2	
R3	2		2	
R4	2		2	
R5		2		2
totals	7	2	9	2

sheet #	sheet name
A0	streetscape, zoning notes
A1.0	rendered south elevation
A1.1a	context and massing
A1.1b	context and massing
A1.2a	context plan
A1.2b	context plan
A1.2c	survey
A1.3a	context photos
A1.3b	context photos
A1.3c	deleted
A1.4a	site sections
A1.4b	site sections
A1.4c	site sections
A1.4d	site sections
A1.4e	site sections
A1.4f	site sections
A1.4g	view analysis
A1.4h	view analysis
A1.4i	view analysis
A1.4j	view analysis
A1.4k(1)	view analysis
A1.4k(2)	view analysis
A1.4L(1)	view analysis
A1.4L(2)	view analysis
A1.4m(1)	view analysis
A1.4m(2)	view analysis
A2.0a	context plan
A2.0b	streetscape
A2.1	P3 parking
A2.2	P2 parking/ground floor plan
A2.3	P1 parking
A2.4a	R1 floor plan
A2.4b	R2-4 floor plans
A2.4c	R5 floor plan
A2.4d	Mezzanine/roof decks
A3.1	Section A
A3.2	Section B
A3.3	Section C
A4.1	South Elevation
A4.2	East Elevation
A4.3	North Elevation
A4.4	West Elevation

1763 Bellevue Floor area/parking calc summary April 22, 2016

	residential sq ft	commercial sq ft	notes
legal description	Lots 12/13, DL 775, Plan 4140		
lot size	approx 100ftx 122ft		
lot area	12190 sq ft		
existing zoning	CU-3		
proposed zoning	CD		
P1 parking	1440.0		
P2 parking/ground flr	1555.5	2904.0	
P3	789.5		
R1	5983.8		
R2-R4 flrs@5641.65	22566.6		
lofts	505.6		
residential total	32841.0		
required parking 1 per 900	36.49 equals 36		
residential total incl bike/scooter stor.	33283.0		bikes and scooters: 442 sq ft
commercial total		2904	mezz=894 sq ft=1.49@1/600 ground flr=2010sqft=5@1/400
required parking 1 per 400 at ground flr 1 per 600 at mezz		5 1	
total parking req'd	42		
total parking provided	57		
disabled stalls	3		
small cars	17		30% allowable
public	15		
residential	34		
residential visitors	2		
commercial-reserved	2		
commercial-unreserv.	4		
F.A.R	33842/12190=2.78		see notes on FAR calcs/exclusions
building height	81.6ft		average curb level at Bellevue equals 17.65ft to highest parapet (99.25')
setbacks	north 1 inch south 1 inch east 1 inch west 1 inch		wall at ground floor concrete eyebrow at P1 wall at ground floor wall at ground floor

FAR calcs
 At P3, because it is defined as basement, storage, stairs shafts, hallways and elevators are not included in FAR calcs.
 At P2/ground level, also defined as basement, the lobby, mech/electrical/building services/storage/ are not included in FAR calcs. Bike/scooter storage is included.
 At P1, as it is not basement, storage and circulation spaces are included.
 Total excluded floor area equals 2345sq ft.
 note: all the above spaces are included in parking calculations except bike/scooter parking



18th Street

subject site

17th Street

Bellevue Streetscape

DATE REVISION

DATE	REVISION
June 26, 2015	1. Client Review
July 2, 2015	2. Issues for Consultant Review
July 4, 2015	3. Issues for Consultant Review
Aug 15, 2015	4. Issues for Consultant Review
Sept 3, 2015	5. Submit for rezoning/DCP amendment/DP
Sept 15, 2015	6. Submit for rezoning/DCP amendment/DP
Nov 18, 2015	7. After rezoning, re-submit for rezoning/DCP amendment/DP
Feb 12, 2016	8. Minor revisions, re-submit for Advisory Design Panel
Mar 18, 2016	9. Additional CDU and P1 parking, re-submit for Advisory Design Panel
Apr 22, 2016	10. Updated and re-submitted to DUV

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Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 Streetscape and Zoning Notes

DATE	DRAWN	CHECKED	SCALE	JOB NO.
June 8, 2015	DP	KG		

A0



1 South Elevation

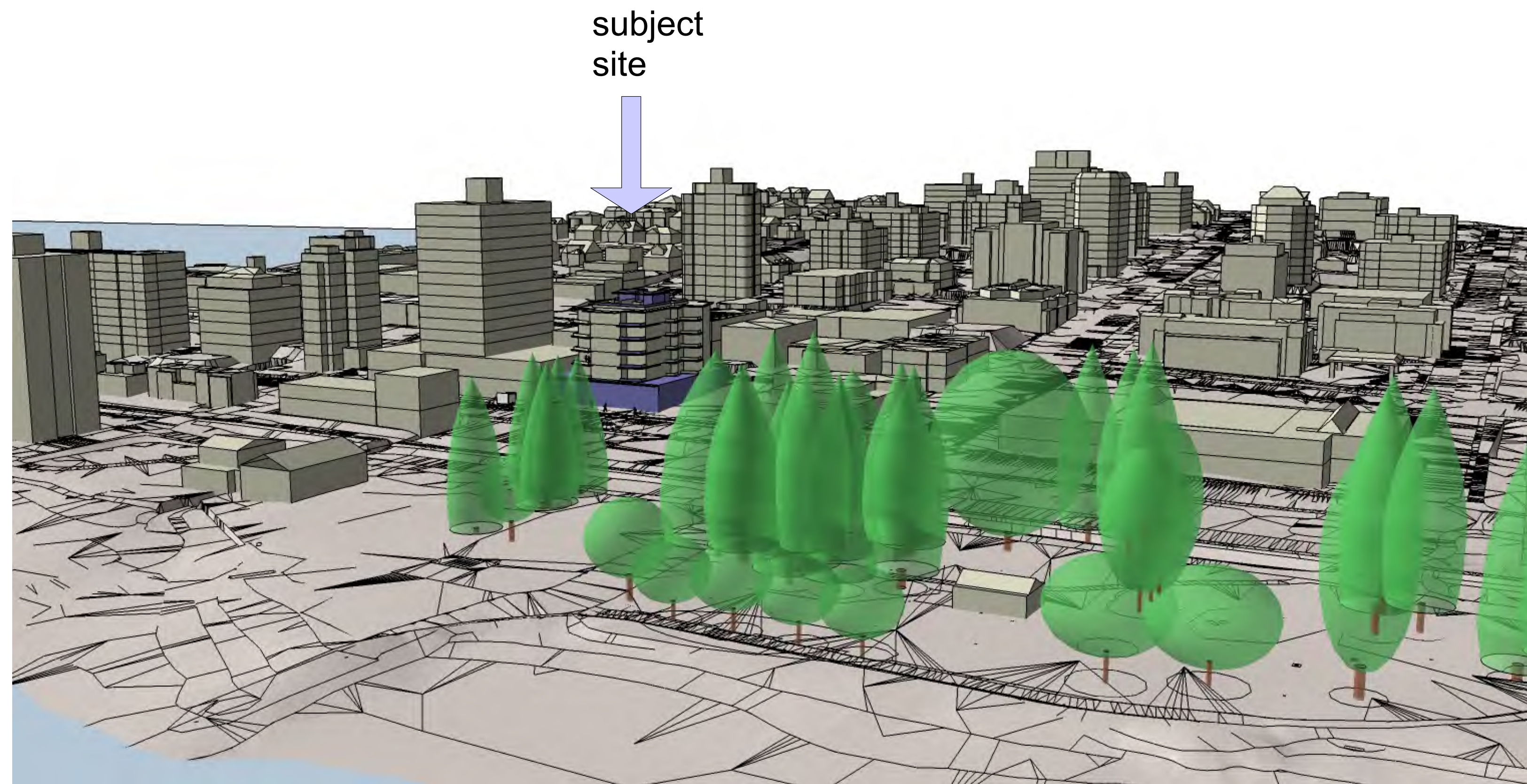
DATE	REVISION
June 9, 2015	1. Client Review
July 4, 2014	2. Issued for Consultant Review
July 15, 2014	3. Issued for Consultant Review
Aug 15, 2014	4. Issued for Consultant Review
Sept 5, 2014	5. Submit for rezoning/DCP amendment/DCP
Oct 15, 2014	6. Revised rezoning/DCP amendment/DCP
Nov 18, 2014	7. Final rezoning/DCP amendment/DCP
Nov 25, 2014	8. Revised rezoning/DCP amendment/DCP
Dec 15, 2014	9. Revised rezoning/DCP amendment/DCP
Mar 18, 2015	10. Additional CDP and P2 parking re-submitted for Advisory Design Panel
June 9, 2015	11. Updated and resubmitted to DMV

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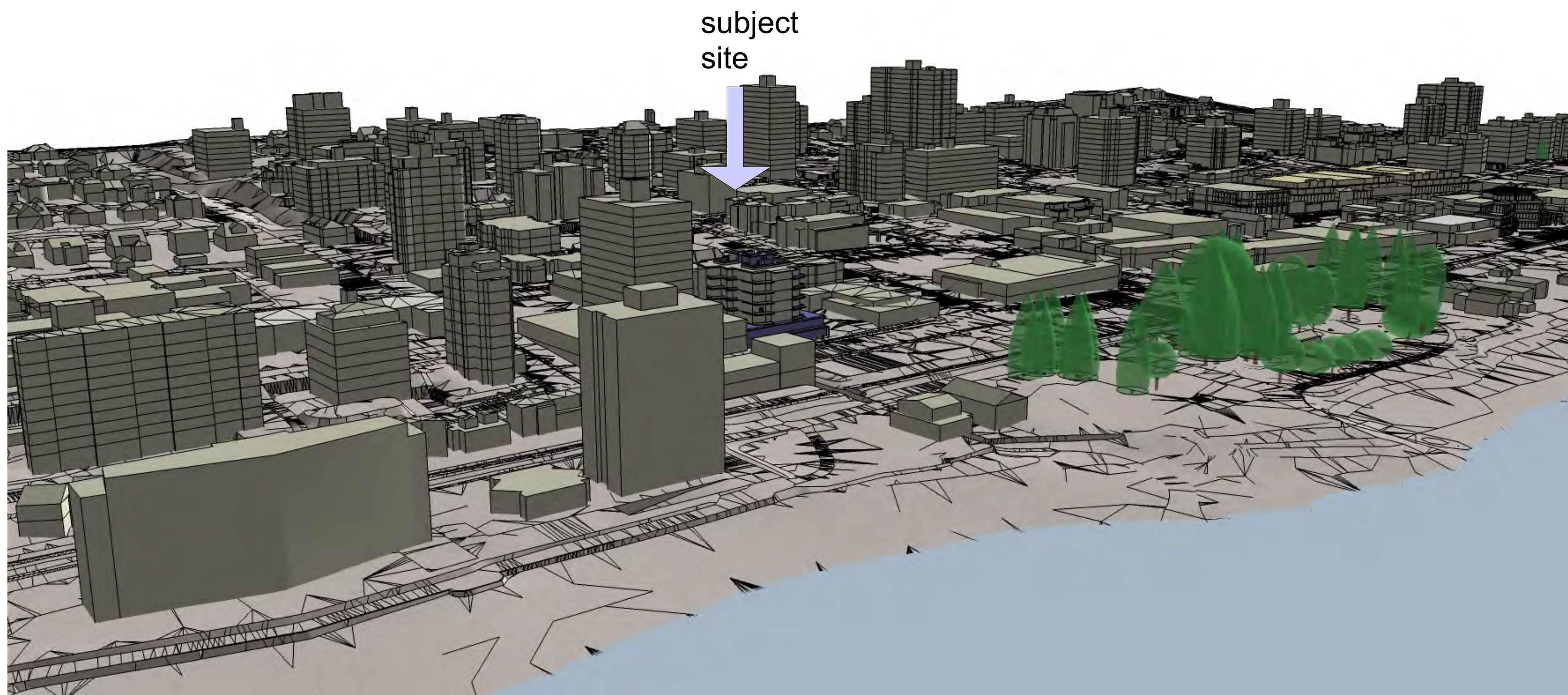
DATE	June 8, 2015
DRAWN	DP
CHECKED	SG
SCALE	as shown
JOB NO.	

PROJECT: Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 SHEET TITLE: Rendered South Elevation

A1.0



1 view looking northwest towards site



2 view looking northeast towards site

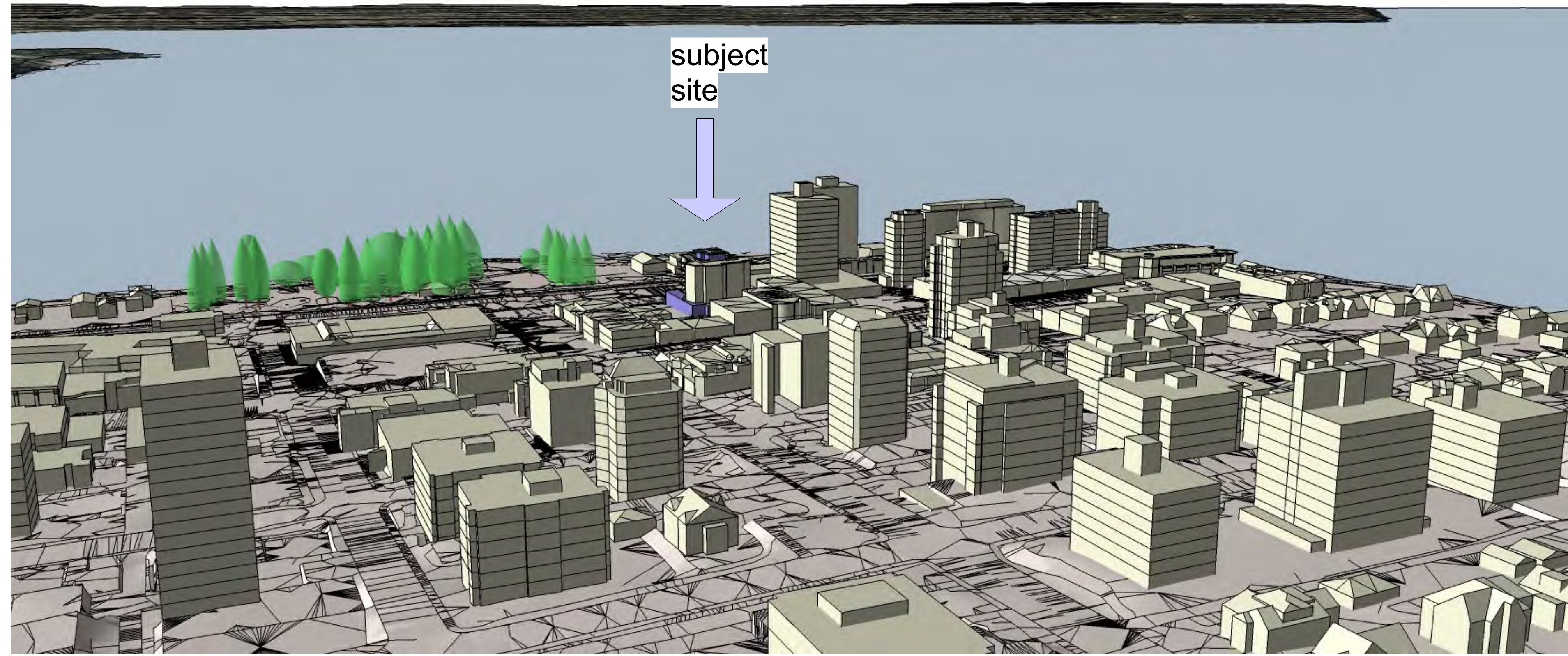
DATE	REVISION
June 20, 2014	1. Client Review
July 4, 2014	2. Issued for Consultant Review
July 15, 2014	3. Issued for Environmental Review
July 15, 2014	4. Issued for Environmental Review
Sept 5, 2014	5. Submit for rezoning/DCP amendment/DP
Sept 15, 2014	6. Submit for rezoning/DCP amendment/DP
Nov 18, 2014	7. Misc. revisions, re-issued for rezoning, OCP amendment, DP
Nov 25, 2014	8. Revised site sections, re-issued for rezoning/DCP amendment/DP
Mar 18, 2015	9. Additional CSU and P+S parking, re-issued for Advisory Design Panel
June 9, 2015	11. Updated and re-submitted to DWV

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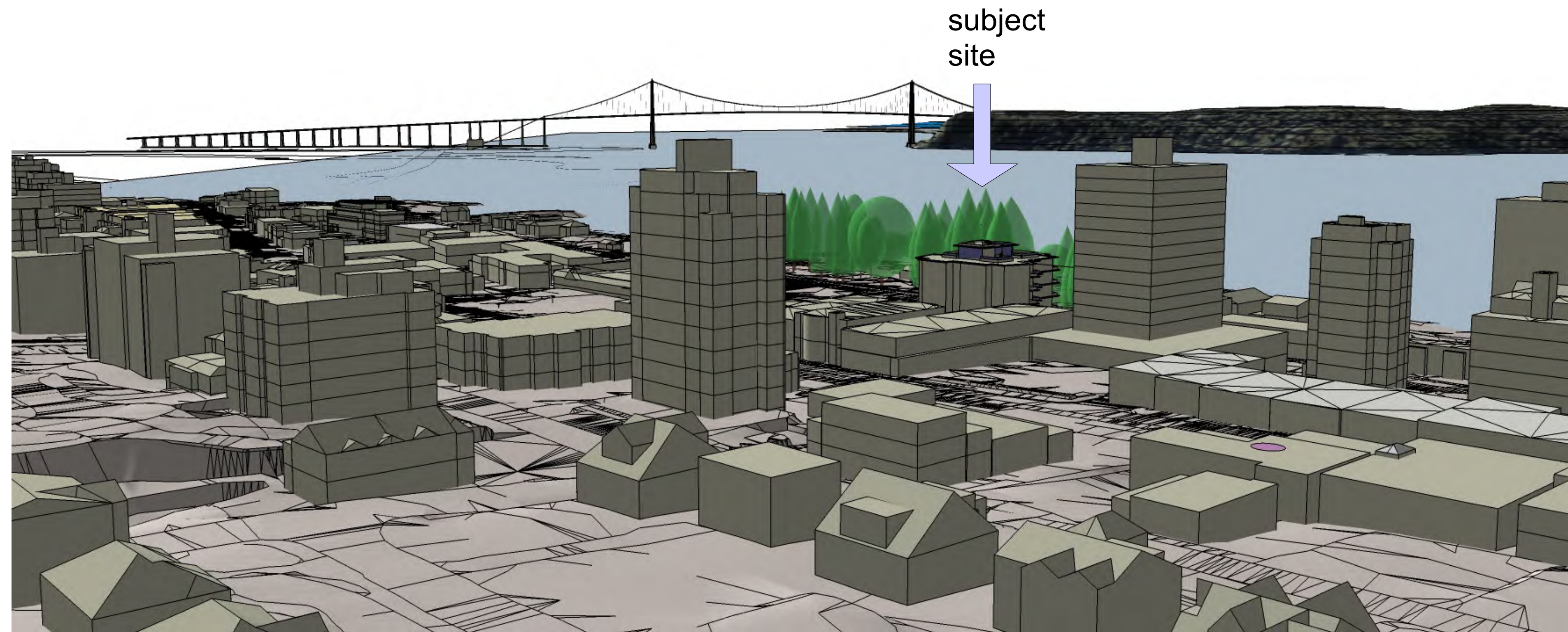
PROJECT
 Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 SHEET TITLE
 Context/Massing

DATE	JAN 26 2014
DRAWN	DP
CHECKED	KG
SCALE	as noted
JOB NO.	

A1.1a



1 View looking southwest towards site



1 View looking southeast towards site

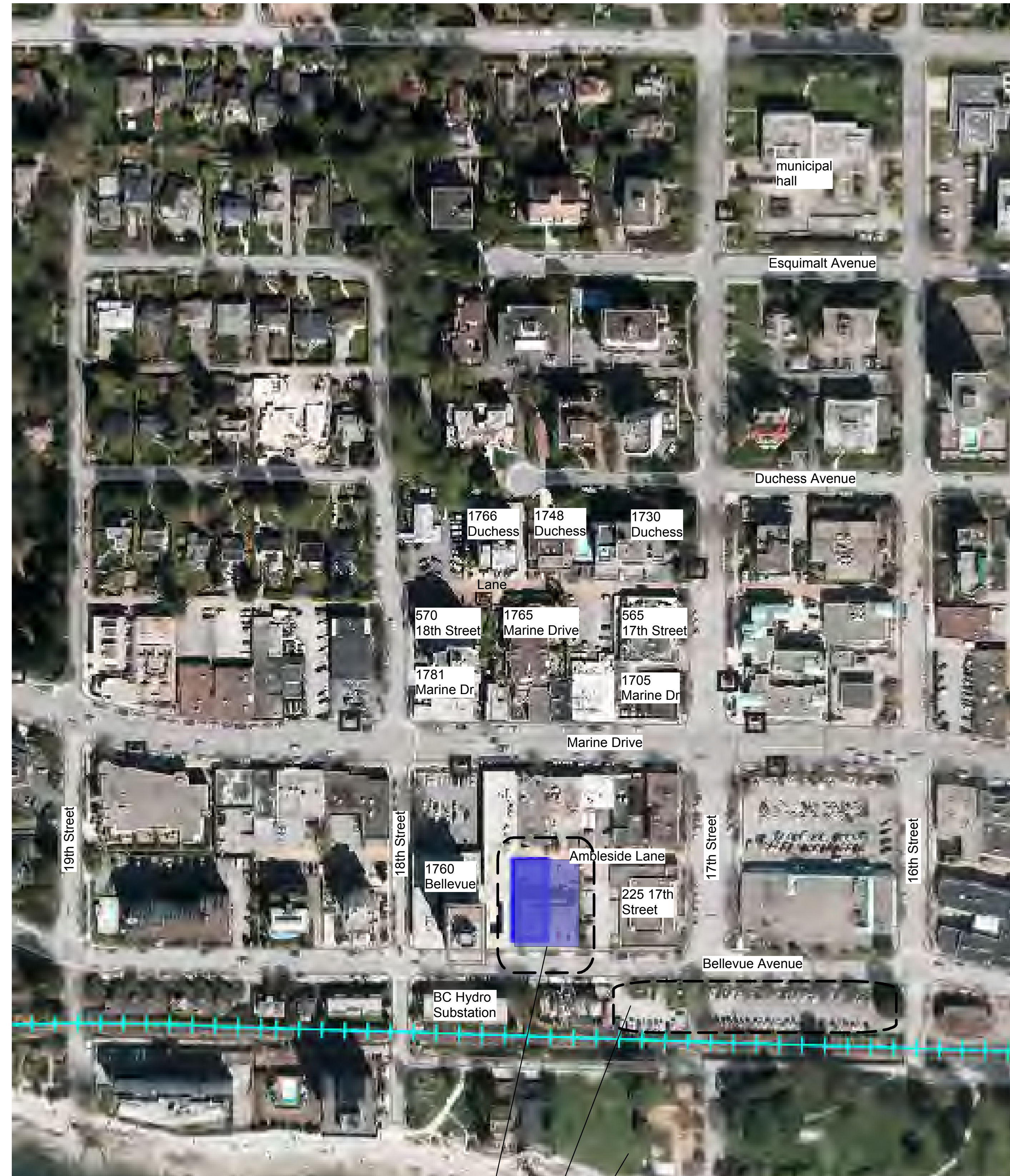
DATE	REVISION
June 23, 2014	1. Client Review
July 1, 2014	2. Issued for Energy Modeling
July 11, 2014	3. Issued for rezoning/CDP amendment/DP
Sept 5, 2014	4. Submit for rezoning/CDP amendment/DP
Nov 13, 2014	5. Issued for rezoning/CDP amendment/DP
Nov 13, 2014	6. Issued for rezoning/CDP amendment/DP
Nov 25, 2014	7. Revised site sections, re-issued for rezoning/CDP amendment/DP
Feb 12, 2015	8. Revised site sections, re-issued for rezoning/CDP amendment/DP
June 12, 2015	9. Minor revisions, re-issued for rezoning/CDP amendment/DP
June 12, 2015	10. Updated and re-submitted to DVA
June 12, 2015	11. Updated and re-submitted to DVA

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PROJECT
 Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 Context/Massing

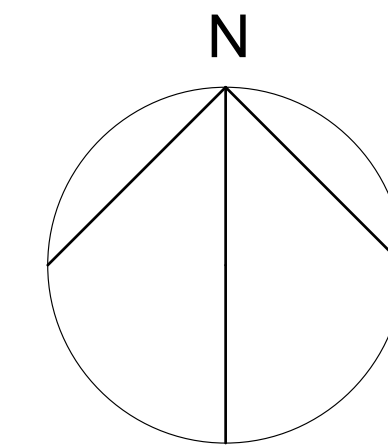
DATE	Jan 28, 2014
DRAWN	DP
CHECKED	KG
SCALE	as noted
JOINED	

A1.1b



subject site
 proposed art/design
 center site
 John Lawson Park

1 Aerial Photo--Context

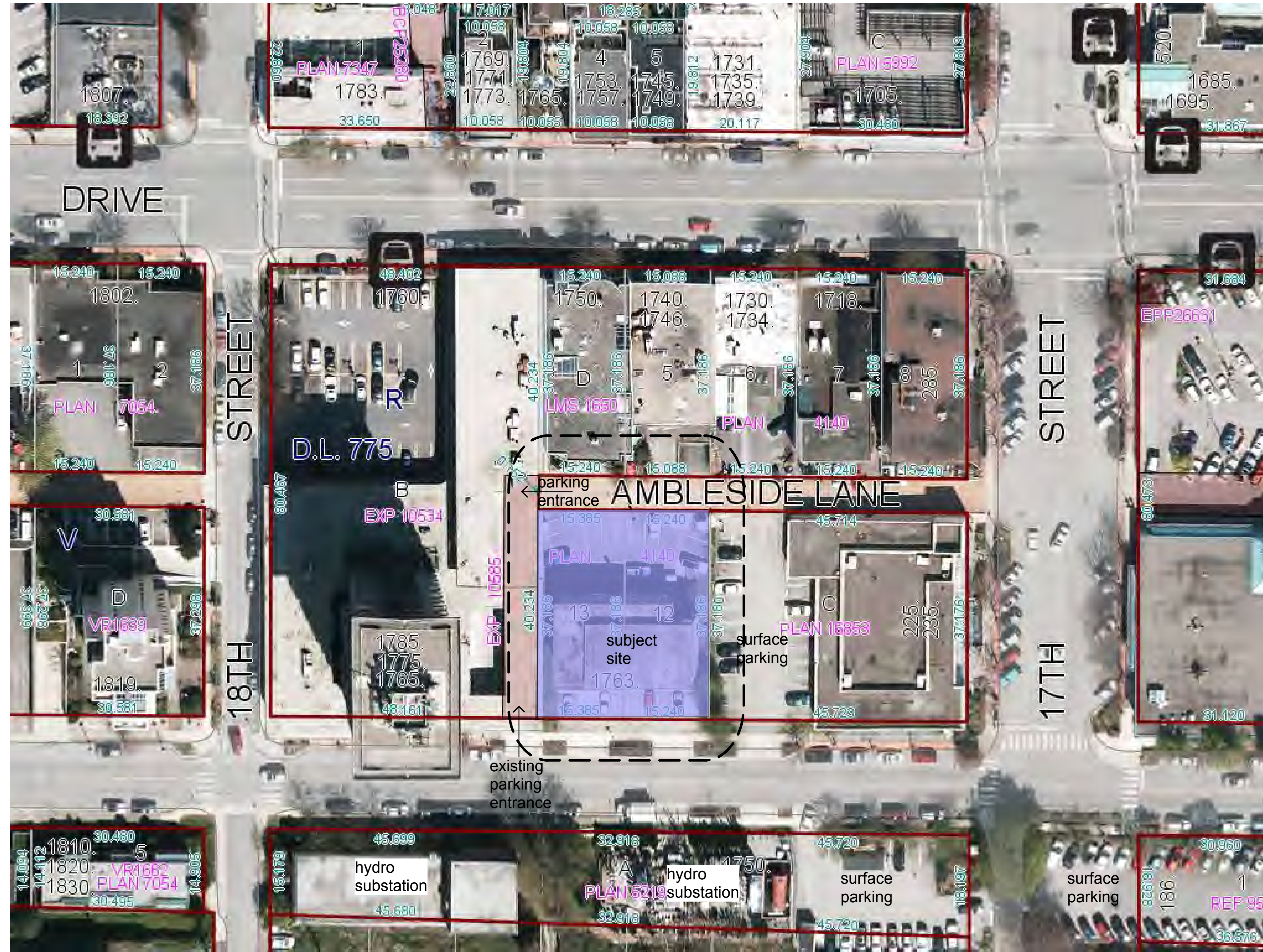


REVISION

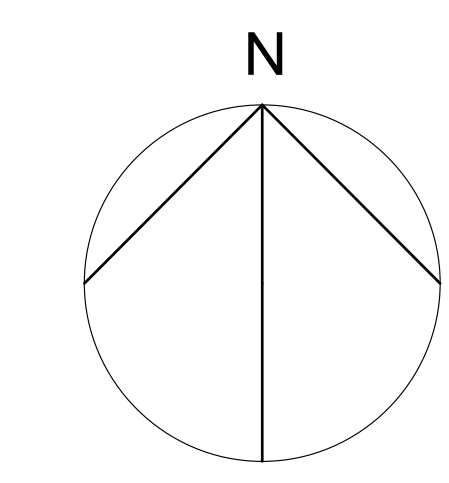
June 20, 2014	1. Client Review
July 11, 2014	2. Client Review
July 11, 2014	3. Issued for Energy Modeling
July 11, 2014	4. Issued for Consultant Review
Aug 15, 2014	5. Issued for Consultant Review
Nov 13, 2014	6. Issued for Consultant Review
Nov 25, 2014	7. Issued for Consultant Review
Nov 25, 2014	8. Revised site sections, re-based for rezoning GCP and subject GCP
Feb 12, 2015	9. Minor revisions, re-based for Advisory Design Panel
Apr 15, 2015	10. Minor revisions, re-based for Advisory Design Panel
June 9, 2015	11. Updated and re-submitted to DUV

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PROJECT	
Proposed Development 1763 Bellevue Avenue West Vancouver	
SHEET TITLE	
Aerial Photo	
DATE	JUN 28, 2014
DRAWN	DP
CHECKED	AG
SCALE	#/XXX
JOB NO.	



1 Aerial Photo--Context



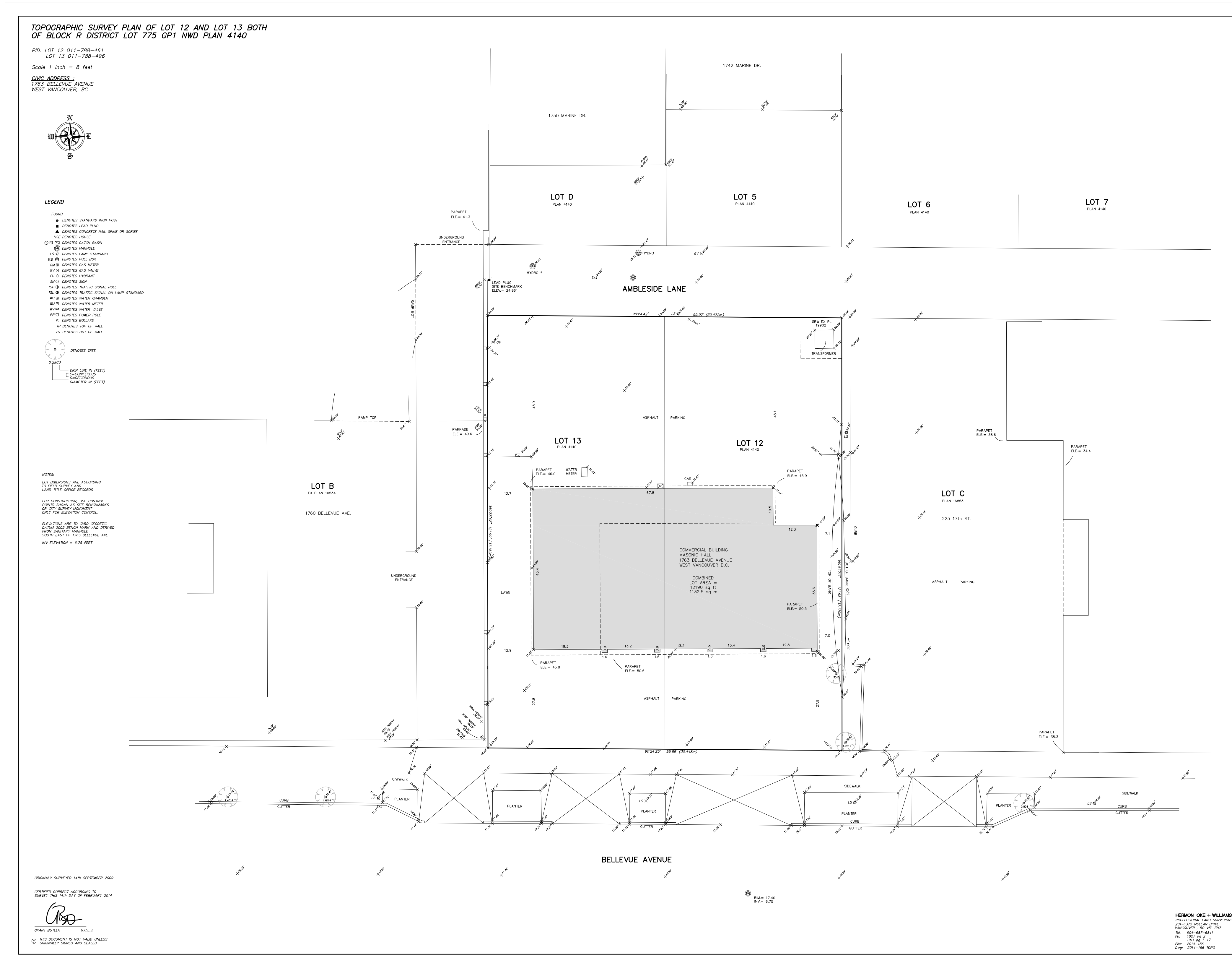
date	revision
June 20, 2014	1. Client Review
July 4, 2014	2. Issued for Consultant Review
Aug 15, 2014	3. Issued for Consultant Review
Aug 15, 2014	4. Issued for Consultant Review
Sept 5, 2014	5. Submit for recording OCP amendment DP
Oct 15, 2014	6. Submit for recording OCP amendment DP
Nov 18, 2014	7. Misc. revisions, re-issued for recording OCP amendment, DP
Dec 12, 2014	8. Minor revisions, re-issued for recording OCP amendment DP
Mar 18, 2015	9. Additional CRU and PC parking, re-issued for Advisory Design Panel
June 9, 2015	11. Updated and re-submitted to DMV

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Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 Aerial Photo

DATE	JUN 26, 2014
DRAWN	DP
CHECKED	KG
SCALE	AS SHOWN
JOB NO.	

A1.2b



note:
survey file is for reference only and
is not to scale.
refer to original survey file

1 Survey

REVISION

1	Client Review
2	Issued for Engineering Review
3	Issued for Energy Modeling
4	Issued for Consultant Review
5	Issued for Consultant Review
6	Issued for Consultant Review
7	Issued for Consultant Review
8	Issued for Consultant Review
9	Issued for Consultant Review
10	Minor revisions - re-issued for Advisory Design Panel
11	Issued for Client Review

KARL GUSTAVSON - ARCHITECT INC

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Proposed Development
1763 Bellevue Avenue
West Vancouver
Survey

PROJECT

DATE: Jun 28, 2014
DRAWN: DP
CHECKED: KG
SCALE: as shown
JOB NO.

A1.2c



1 View looking Northwest from Bellevue

1 View looking Northeast from Bellevue



1 View looking Southeast from Bellevue

DATE	REVISION
June 20, 2014	1. Client Review
July 4, 2014	2. Issued for Consultant Review
July 15, 2014	3. Issued for Consultant Review
Aug 12, 2014	4. Issued for Consultant Review
Aug 13, 2014	5. Issued for Consultant Review
Nov 13, 2014	6. Issued for Consultant Review
Nov 18, 2014	7. Minor revisions, re-issued for rezoning, DCP amendment, DP
Nov 18, 2014	8. Minor revisions, re-issued for rezoning, DCP amendment, DP
Feb 12, 2015	9. Minor revisions, re-issued for Advisory Design Panel
Mar 18, 2015	10. Additional CTRU and PS parking, re-issued for Advisory Design Panel
June 12, 2015	11. Updated and resubmitted to DNV

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PROJECT: Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 SHEET TITLE: Context Photos

DATE	JAN 28, 2014
DRAWN	DP
CHECKED	KG
SCALE	AS SHOWN
JOB NO.	



1 Views looking west on Bellevue



subject site



1 View looking west towards subject site



1 View looking north from subject site

subject site



1 View looking west towards subject site

subject site



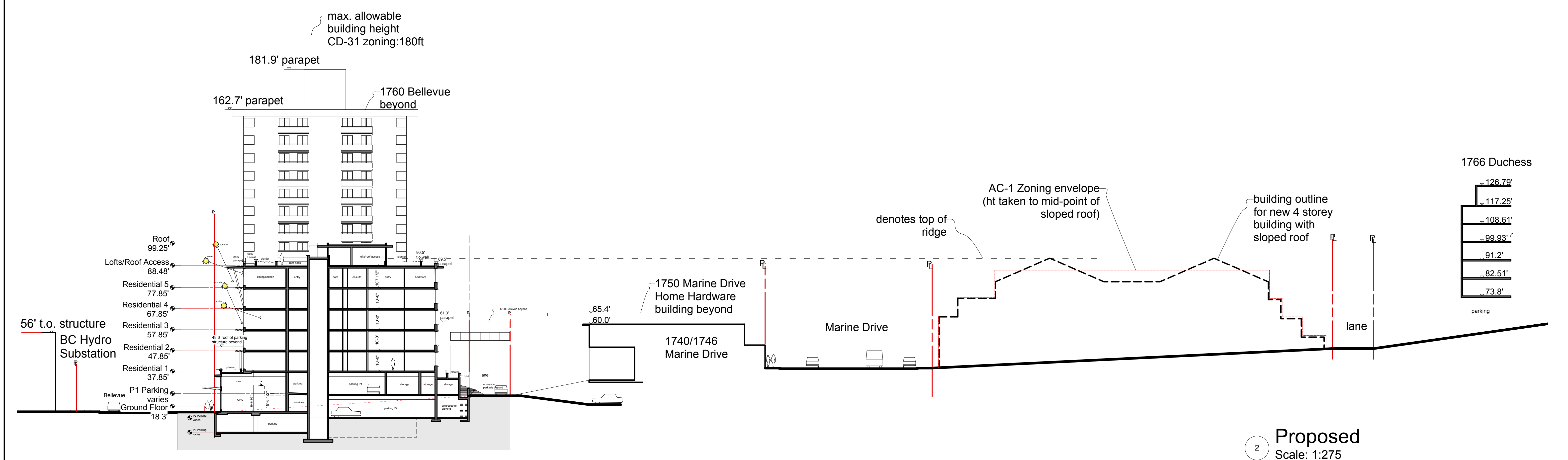
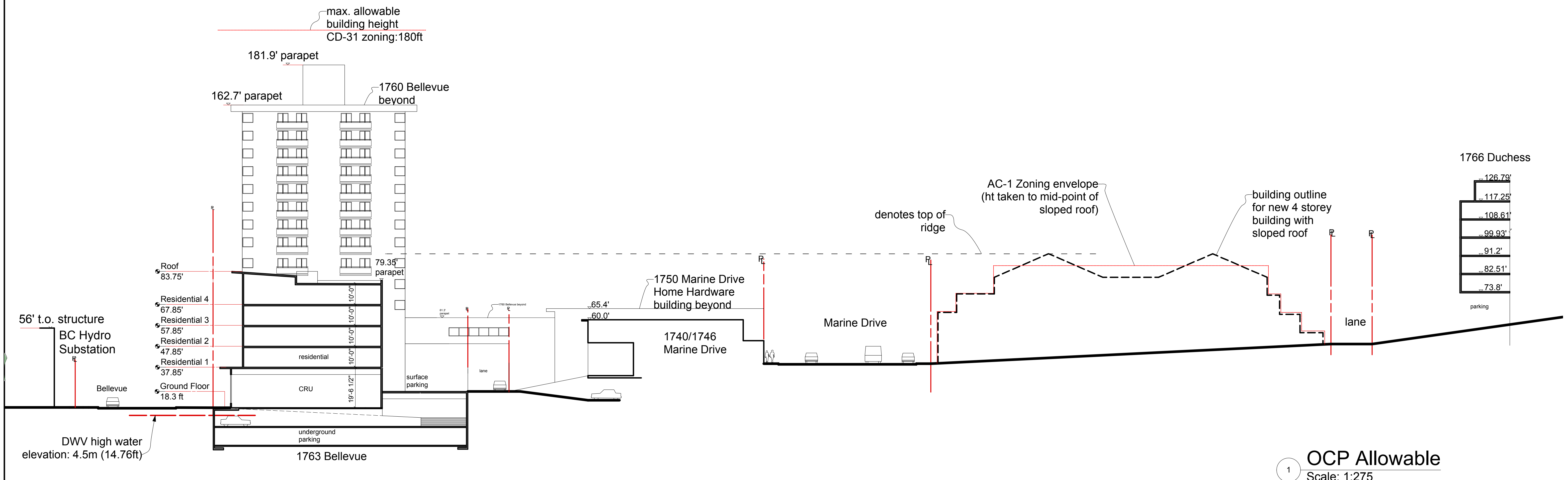
1 View looking south towards subject site

DATE	REVISION
June 26, 2014	1. Client Review
July 11, 2014	2. Issued for Pre-Construction
July 11, 2014	3. Issued for Energy Modelling
Aug 15, 2014	4. Issued for Consultant Review
Oct 15, 2014	5. Issued for City Review
Nov 13, 2014	6. Issued for Consultant Coordination
Nov 25, 2014	7. Issued for City Review
Nov 25, 2014	8. Minor revisions, re-issued for Advisory Design Panel
Feb 12, 2015	9. Minor revisions, re-issued for Advisory Design Panel
Mar 16, 2015	10. Additional CHU and FDS parameters
June 16, 2015	11. Updated CHU and FDS parameters

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Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 Context Photos

DATE	APPROVED	DATE	APPROVED
JUN 26, 2014	KG		
DRAWING	DP	CHECKED	RD
SCALE	AS SHOWN		
JOB NO.			



Site Sections

taken at 1766 Duchess Avenue

DATE: June 8, 2015

PROJECT: Proposed Development 1763 Bellevue Avenue West Vancouver Site Sections

SHEET TITLE: A1.4a

DATE	June 8, 2015
DRAWN	DP
CHECKED	MG
SCALE	as noted
JOB NO.	

REVISIONS:

1. Client Review
2. Issued for Consultant Review
3. Issued for Consultant Review
4. Issued for Consultant Review
5. Issued for Consultant Review
6. Submit for rezoning OCP amendment
7. Allow rezoning, released for rezoning OCP amendment
8. Review the section, re-released for rezoning OCP amendment
9. Review the section, re-released for rezoning OCP amendment
10. Additional OCP and P1 parking, re-released for rezoning OCP amendment
11. Update and re-submitted to DPV

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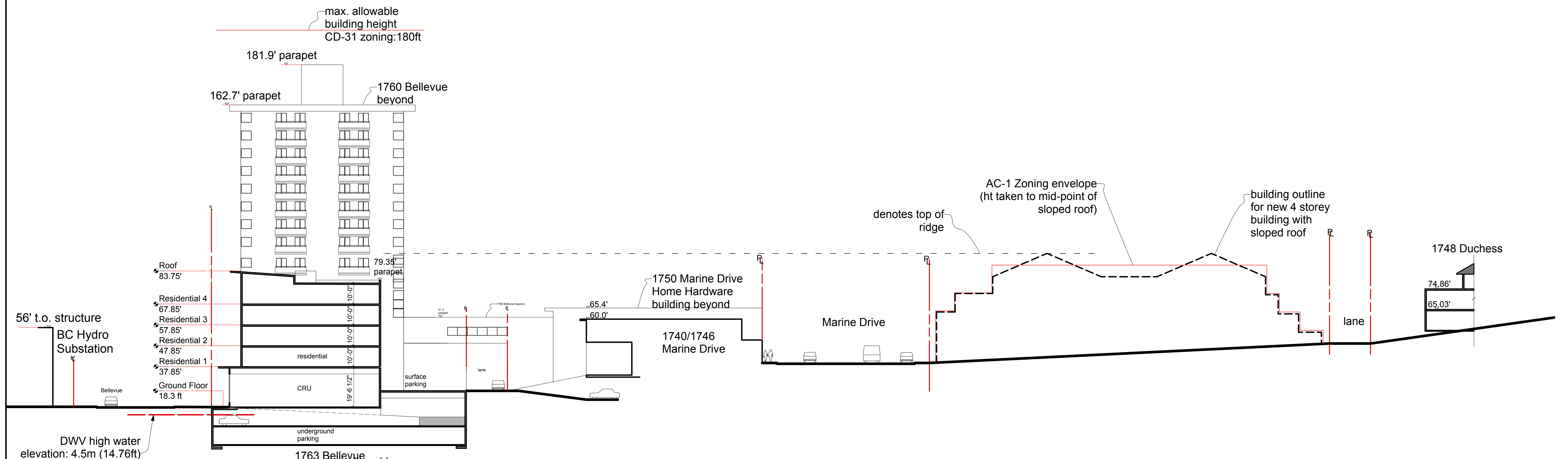
3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
 phone (604) 926-1649 fax (604) 926-1059

DATE: June 8, 2015

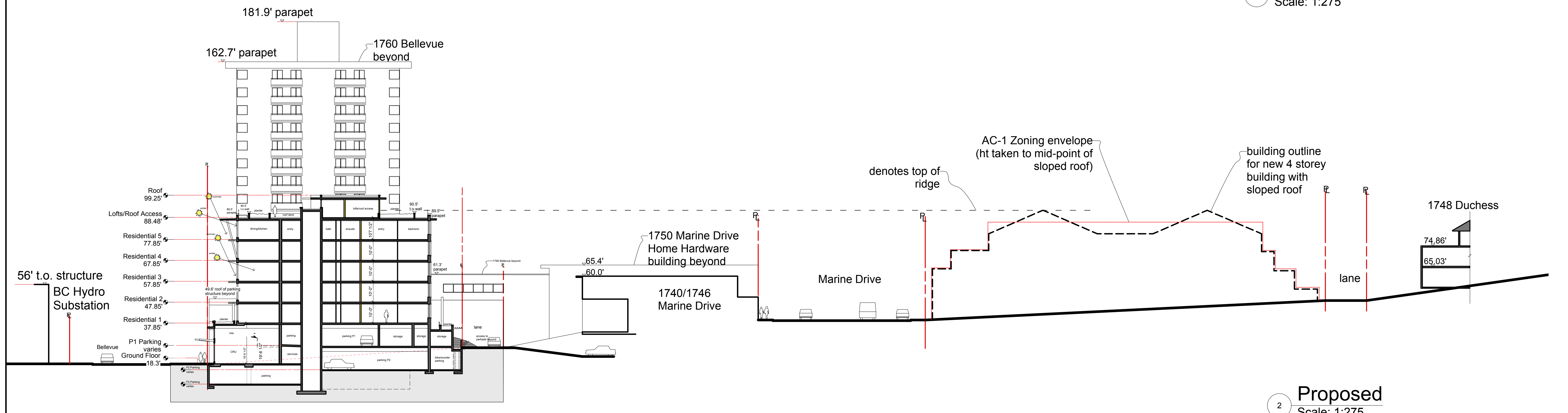
PROJECT: Proposed Development 1763 Bellevue Avenue West Vancouver Site Sections

SHEET TITLE: A1.4a

DATE	June 8, 2015
DRAWN	DP
CHECKED	MG
SCALE	as noted
JOB NO.	



2 OCP Allowable
Scale: 1:275



2 Proposed
Scale: 1:275

Site Sections

taken at 1748 Duchess Avenue

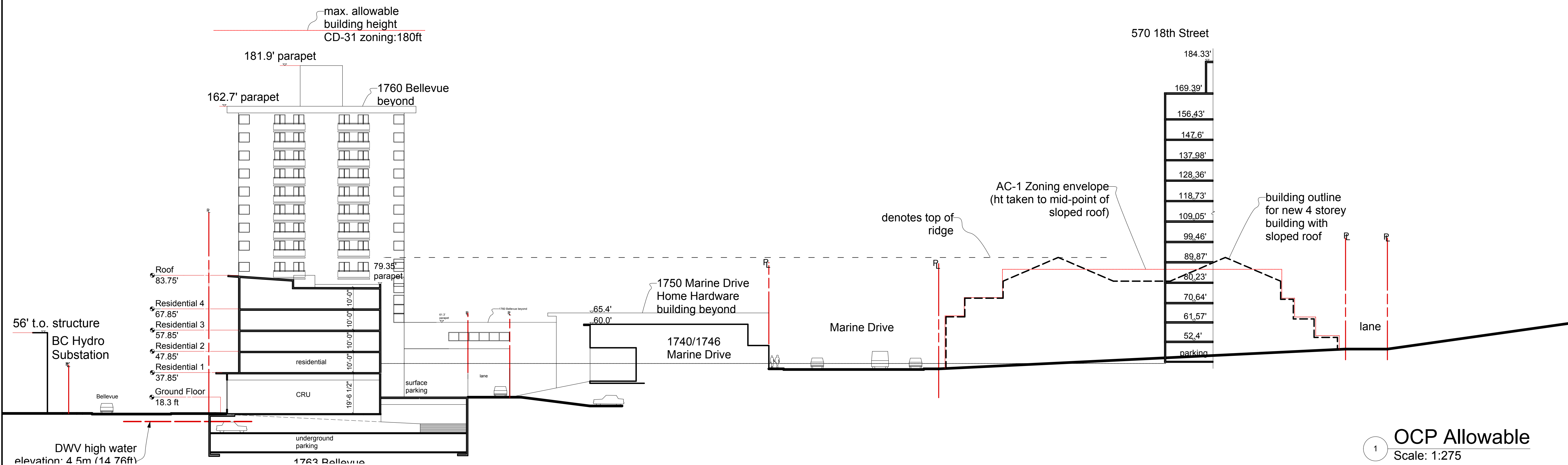
DATE	REVISION
June 8, 2015	1. Create Section
July 4, 2014	2. Amend for Consultant Review
July 11, 2014	3. Amend for Energy Modelling
Aug 1, 2014	4. Amend for AC-1 Zoning
Sept 5, 2014	5. Submit for rezoning/OCP amendment
Nov 13, 2014	6. Amend for consultant coordination
Nov 25, 2014	7. Amend for AC-1 Zoning
Nov 25, 2014	8. Revised air sections, re-issued for rezoning/OCP amendment
Nov 25, 2014	9. Minor revisions, re-issued for rezoning/OCP amendment
Nov 25, 2014	10. Minor revisions, re-issued for rezoning/OCP amendment
June 9, 2015	11. Update air re-submitted to DWV

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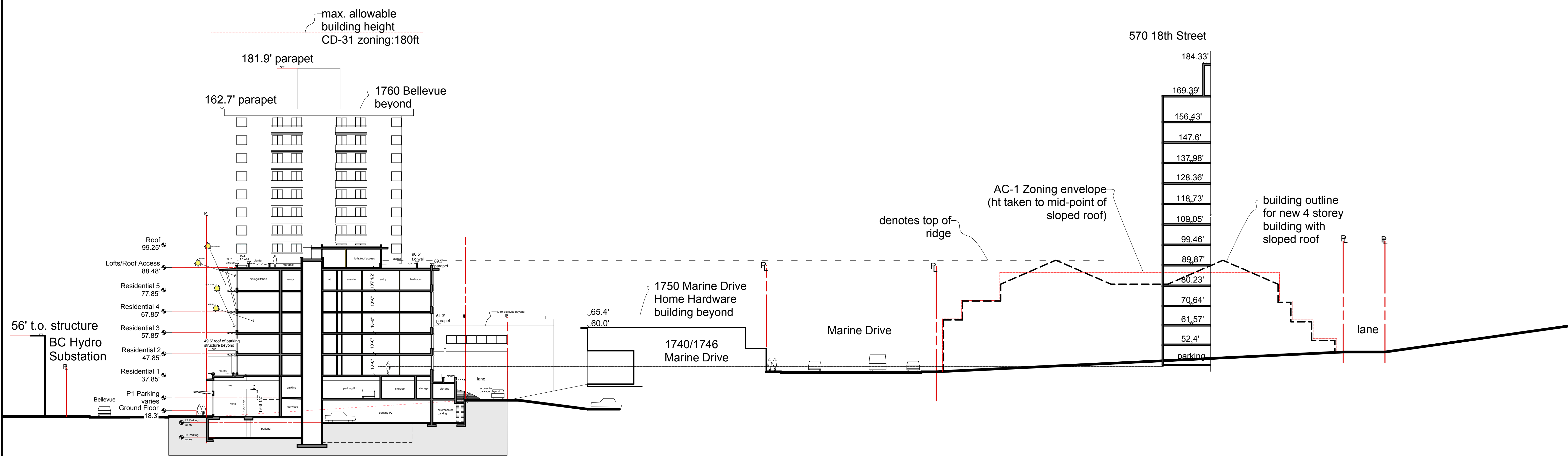
Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 Site Sections

DATE	DRAWN	DP	CHECKED	SCALE	JOB NO.
June 8, 2015					

A1.4b



1 OCP Allowable
Scale: 1:275



2 Proposed
Scale: 1:275

Site Sections taken at 570 18th Street

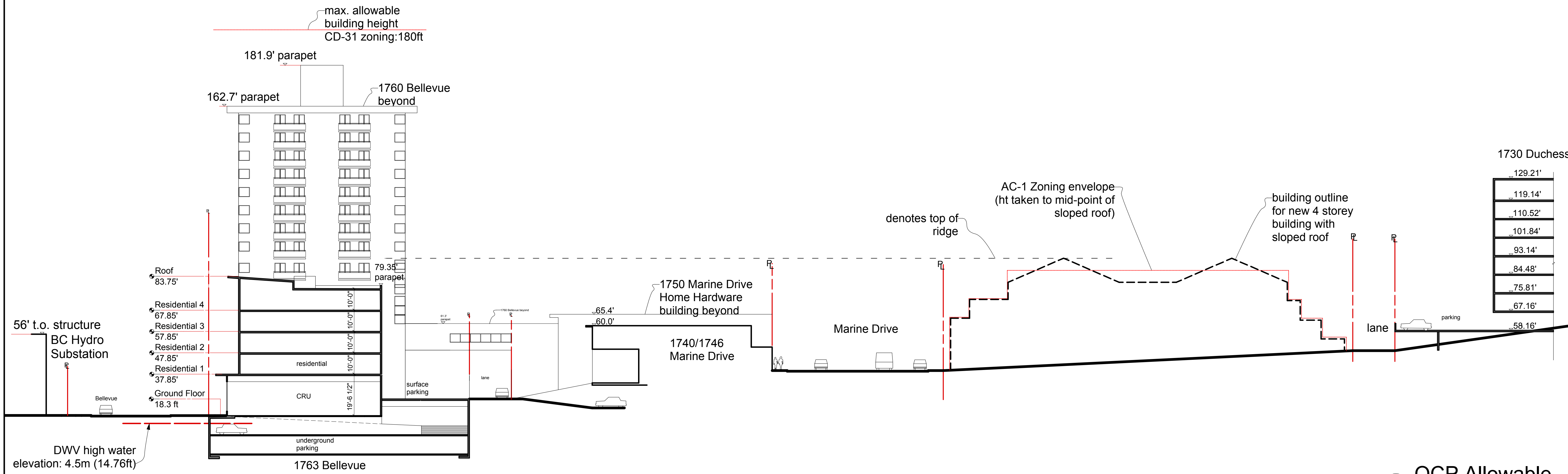
DATE	REVISION
June 20, 2014	1. Client Review
July 1, 2014	2. Issued for Consultant Review
July 14, 2014	3. Issued for Consultant Review
Aug 15, 2014	4. Issued for Consultant Review
Oct 1, 2014	5. Issued for consultant coordination
Nov 13, 2014	6. Issued for consultant coordination
Nov 18, 2014	7. Minor revisions, re-submitted for rezoning/DCP amendment/DCP
Nov 18, 2014	8. Minor revisions, re-submitted for rezoning/DCP amendment/DCP
Dec 12, 2014	9. Minor revisions, re-submitted for rezoning/DCP amendment/DCP
Mar 18, 2015	10. Additional CRU and P1 parking, re-submitted for rezoning/DCP amendment/DCP
June 9, 2015	11. Update and re-submitted to UVV

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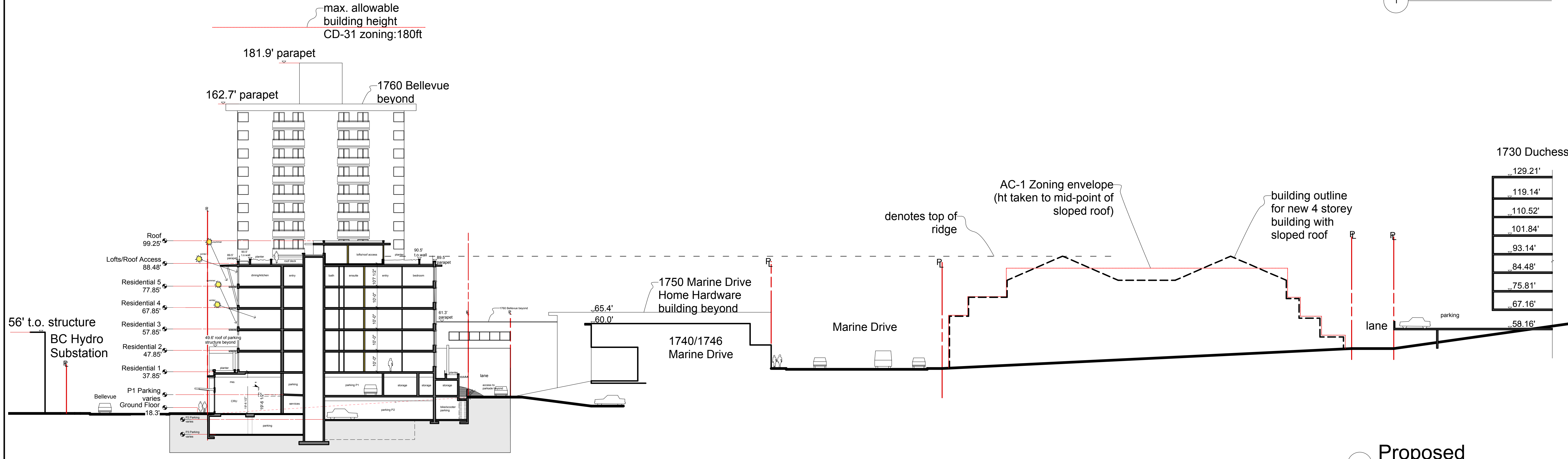
Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 Site Sections

DATE	DRAWN	DP	CHECKED	MG	SCALE	AS NOTED	JOB NO.
June 8, 2015							

A1.4c



1 OCP Allowable



2 Proposed

Site Sections

taken at 1730 Duchess Avenue

DATE	June 8, 2015
DOWN	DP
CHECKED	KG
SCALE	As noted
JOB NO.	

PROJECT
Proposed Development
1763 Bellevue Avenue
West Vancouver
Site Sections

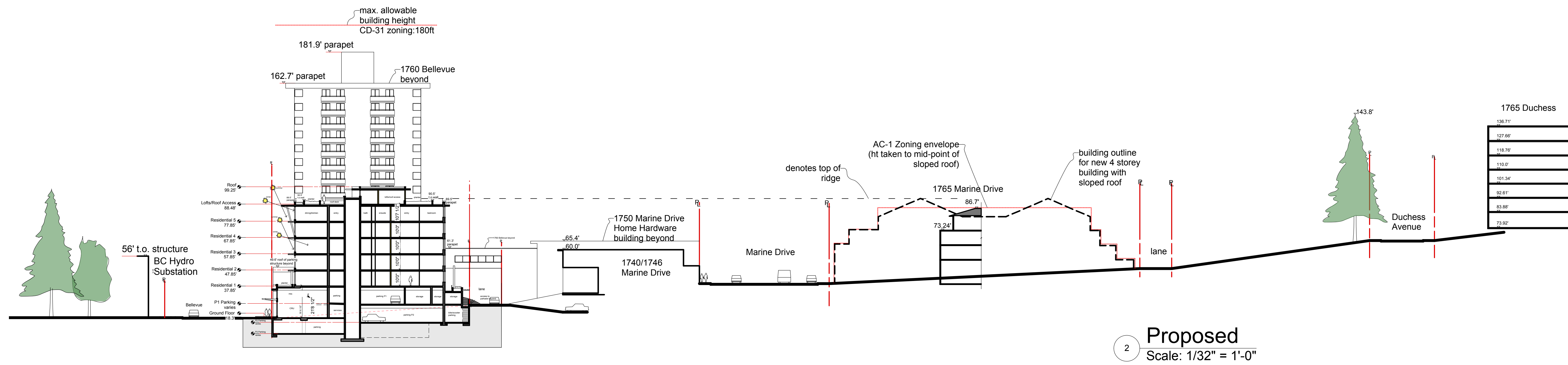
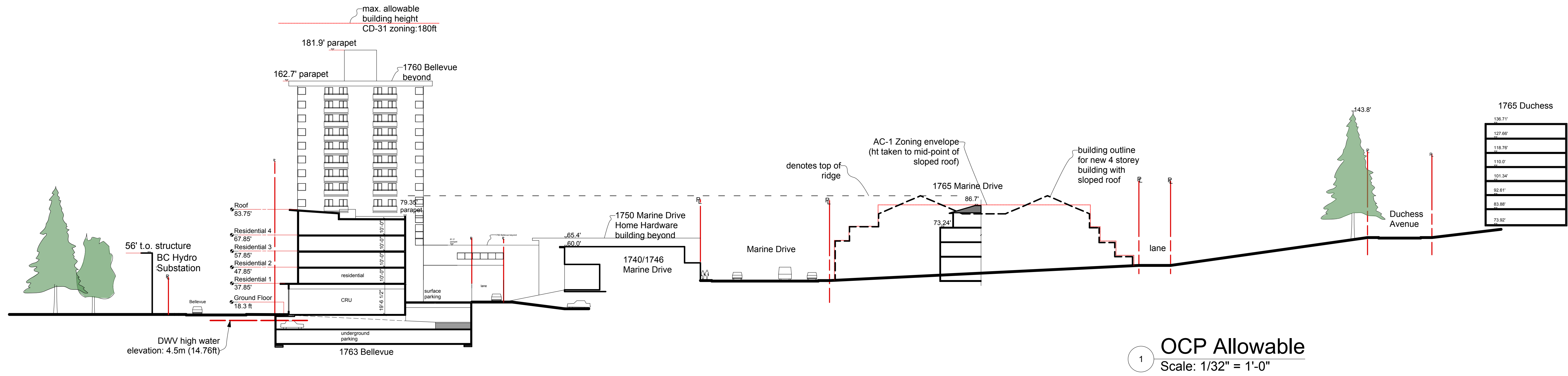
SHEET TITLE

ARCHITECT
KARL GUSTAVSON - ARCHITECT INC
3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
phone (604) 926-1649 fax (604) 926-1059

REVISIONS

DATE	REVISION
July 28, 2014	1. OCP Review
July 28, 2014	2. Issued for Consultant Review
July 11, 2014	3. Issued for Energy Modeling
Sept 5, 2014	4. Issued for OCP Amendment
Sept 5, 2014	5. Submit for rezoning/OCP amendment
Nov 10, 2014	6. Issued for consultant comment
Nov 10, 2014	7. Issued for consultant comment
Nov 20, 2014	8. Revised site section, re-issued for rezoning/OCP amendment
Nov 11, 2015	9. Revised site section, re-issued for rezoning/OCP amendment
June 12, 2015	10. Approved OCP, and submitted for rezoning/OCP amendment
June 8, 2015	11. Updated and re-submitted to OCP

A1.4d



Site Sections

taken at 1765 Duchess/1765 Marine Drive

DATE: June 8, 2015
DRAWN: DP
CHECKED: MG
SCALE: as noted
JOB NO.

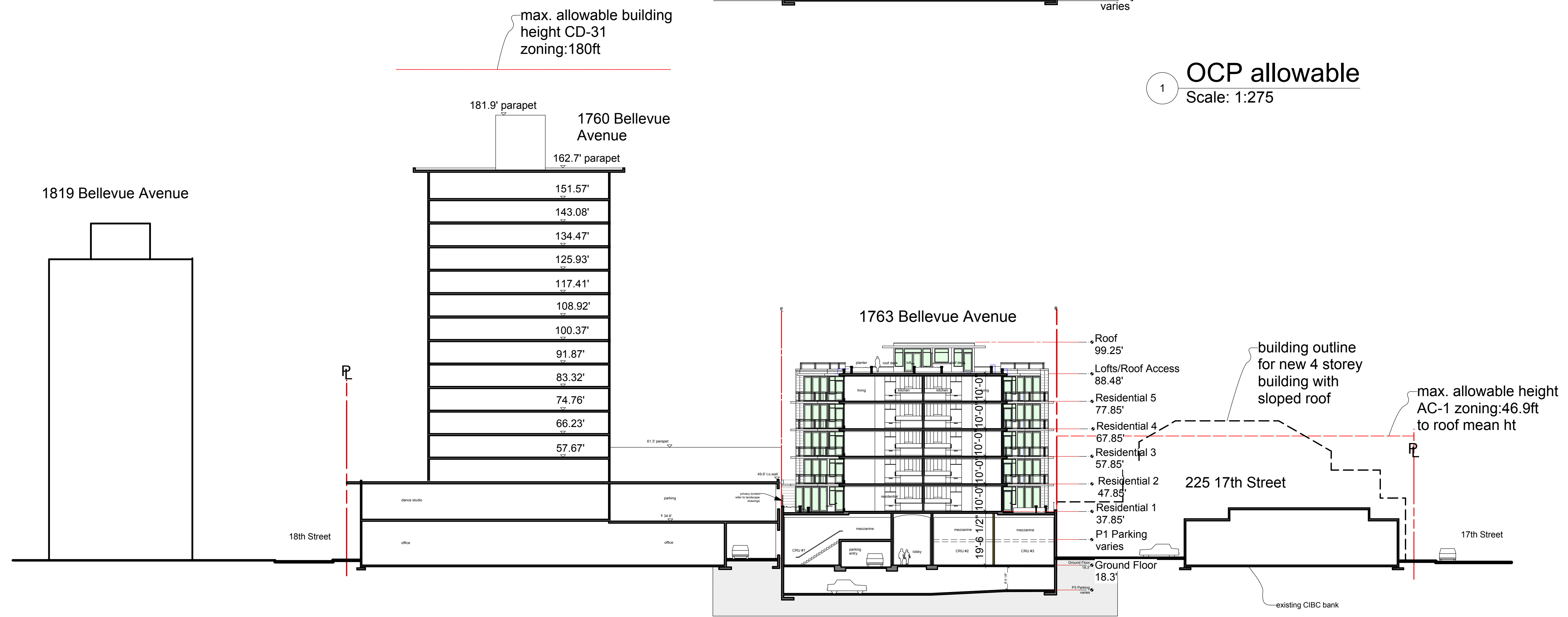
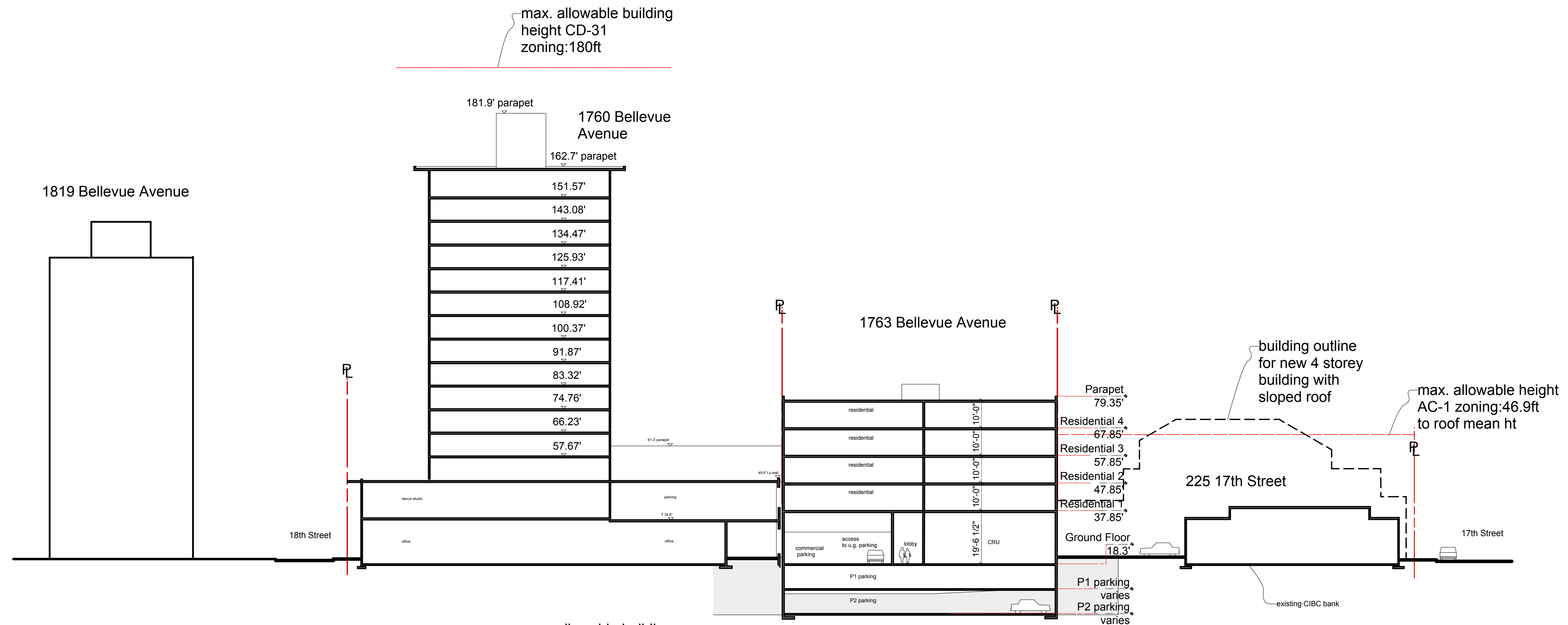
REVISION

- Client Review
- Based for Consultant Review
- July 1, 2014
- Based for Consultant Review
- August 15, 2014
- Based for Consultant Review
- November 13, 2014
- Based for consultant coordination
- November 18, 2014
- New revisions, re-issued for recording/DCP amendment/DCP
- February 12, 2015
- Minor revisions, re-issued for Advisory Design Panel
- March 16, 2015
- Additional CRU and P1 parking, re-issued for Advisory Design Panel
- June 9, 2015
- Final plan and submitted to DAV

KARL GUSTAVSON ARCHITECT INC
3885 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
phone (604) 926-1649 fax (604) 926-1059

Proposed Development
1763 Bellevue Avenue
West Vancouver
Site Sections

A1.4e



Cross Section taken at 1763 Bellevue Avenue

REVISION

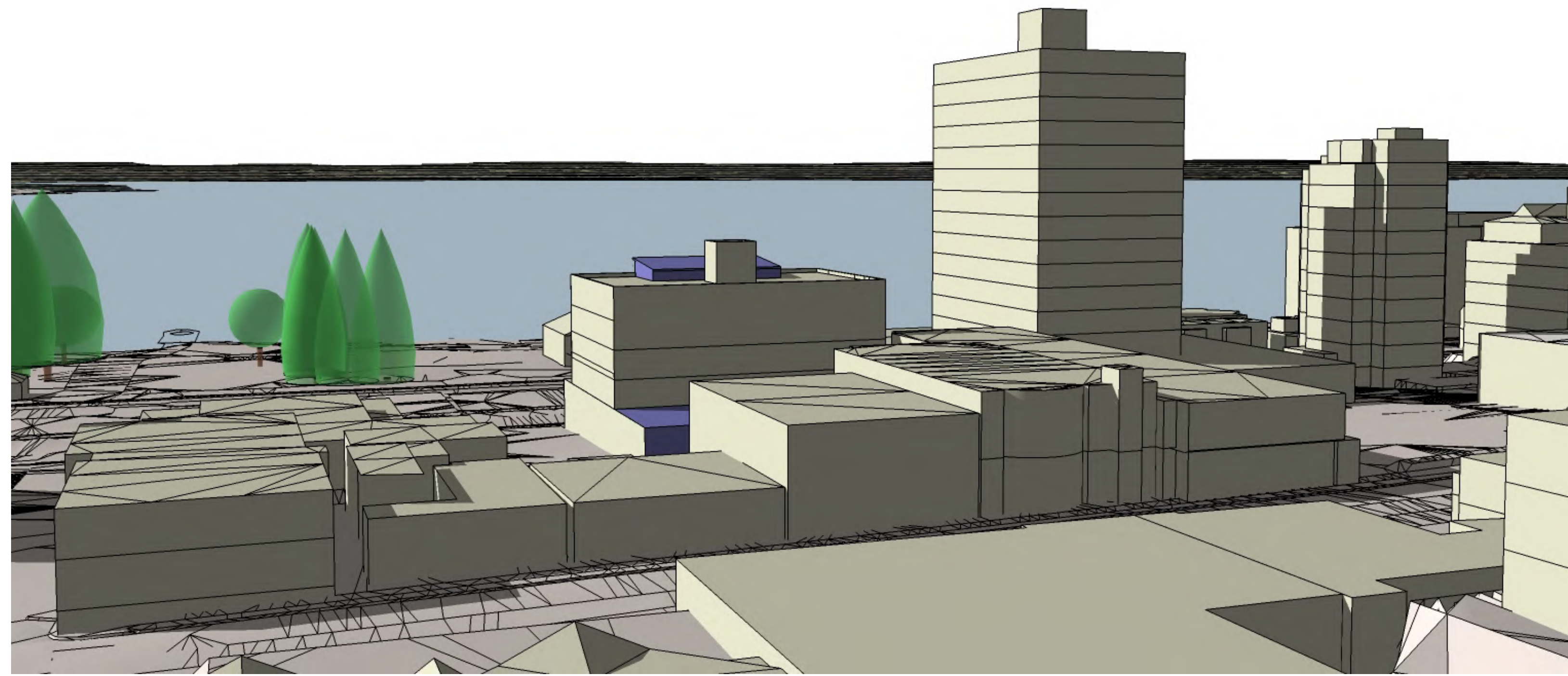
1. Create Section
2. Issue for Consultant Review
3. Issue for Client Review
4. Issue for Council Review
5. Issue for zoning/DCP amendment/DCP
6. Issue for zoning/DCP amendment/DCP
7. Issue for zoning/DCP amendment/DCP
8. Issue for zoning/DCP amendment/DCP
9. Issue for zoning/DCP amendment/DCP
10. Issue for zoning/DCP amendment/DCP
11. Update and re-submit to DVP

KARL GUSTAVSON - ARCHITECT INC
 3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
 phone (604) 926-1949 fax (604) 926-1059

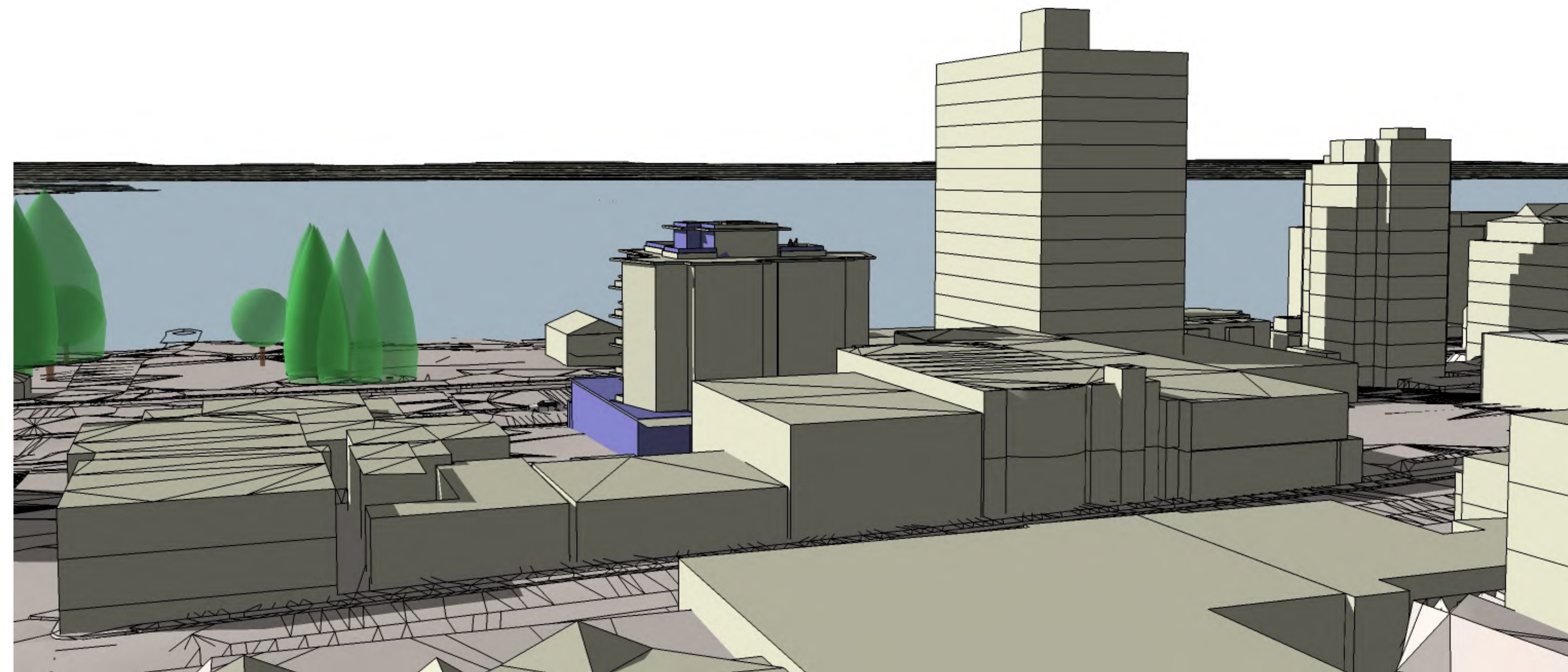
Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 Site Sections

DATE	June 8, 2015
DRAWN	DP
CHECKED	JG
SCALE	as noted
JOB NO.	

A1.4f



1 OCP allowable



2 Proposed

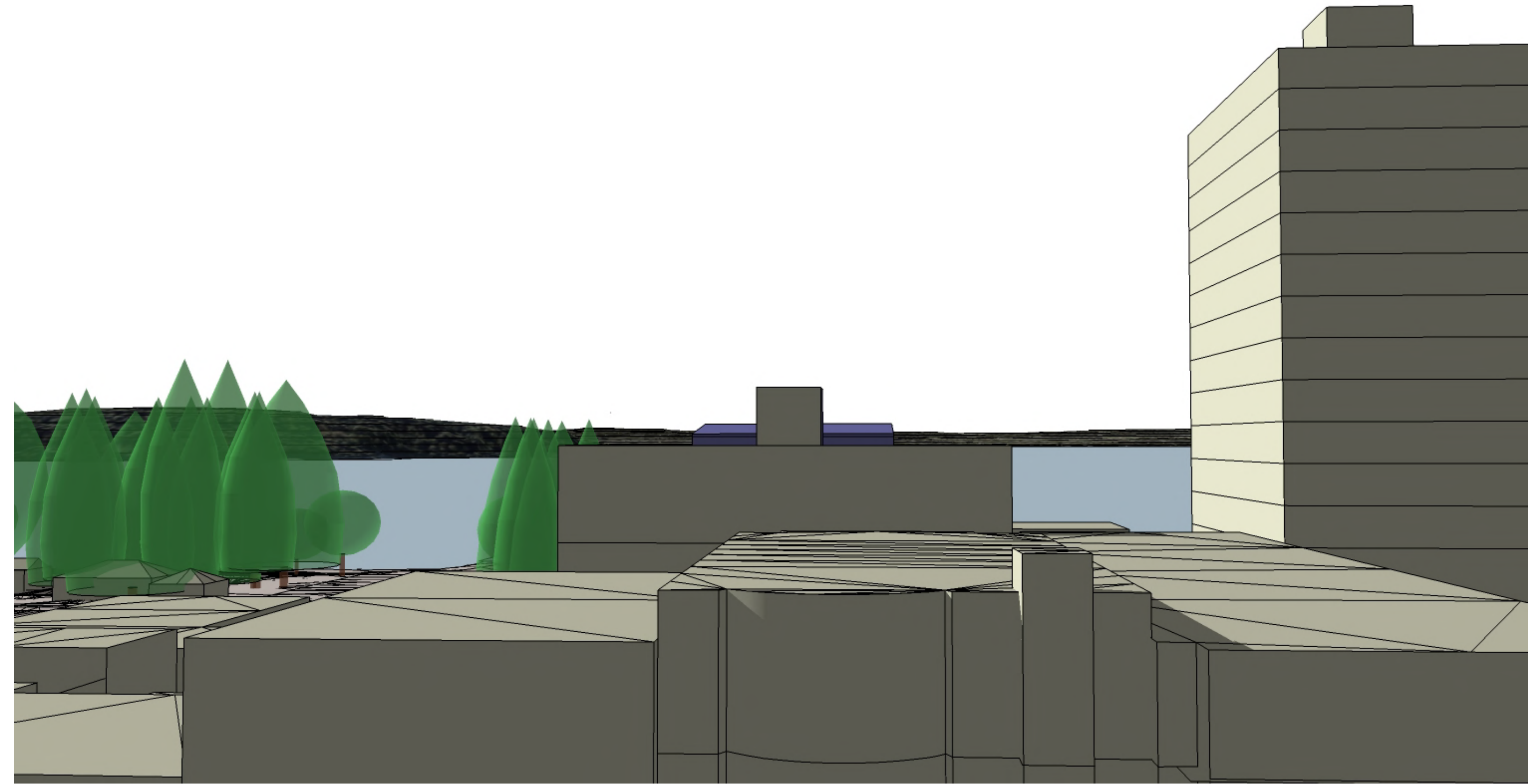
View Analysis
taken from 1730 Duchess
4th floor

<p>KARL GUSTAVSON ARCHITECT INC. 3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2N7 phone (604) 926-1649 fax (604) 926-1089</p>	
<p>DATE: June 8, 2015 DRAWN: DP CHECKED: MG SCALE: as noted JOB NO.</p>	<p>PROJECT: Proposed Development 1763 Bellevue Avenue West Vancouver View Analysis</p>
<p>A1.4g</p>	

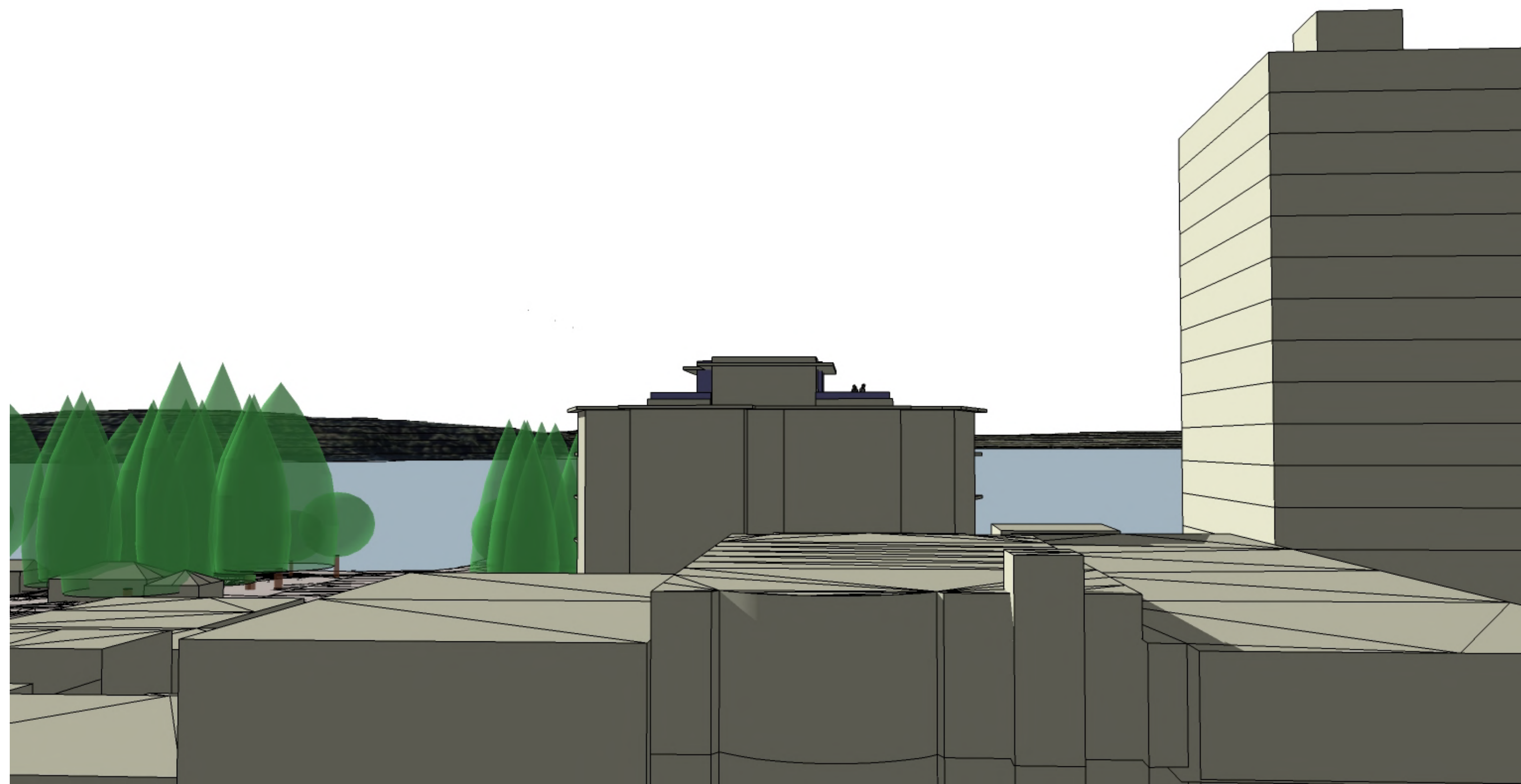
DATE	REVISION
June 23, 2014	1. Client Review
July 1, 2014	2. Issued for Permit Application
July 15, 2014	3. Issued for Energy Modeling
Aug 14, 2014	4. Issued for Consultant Review
Aug 27, 2014	5. Issued for City Review
Nov 13, 2014	6. Issued for consultant coordination
Nov 18, 2014	7. Make revisions, re-submitted for rezoning/OCP amendment/OCP
Nov 20, 2014	8. Make revisions, re-submitted for rezoning/OCP amendment/OCP
Feb 12, 2015	9. Minor revisions, re-submitted for Advisory Design Panel
Mar 19, 2015	10. Additional CHS and P3 parking, re-submitted for Advisory Design Panel
June 8, 2015	11. Updated and re-submitted to DAV

View Analysis

taken from 1765 Marine Drive,
top floor



1 OCP Allowable



2 Proposed

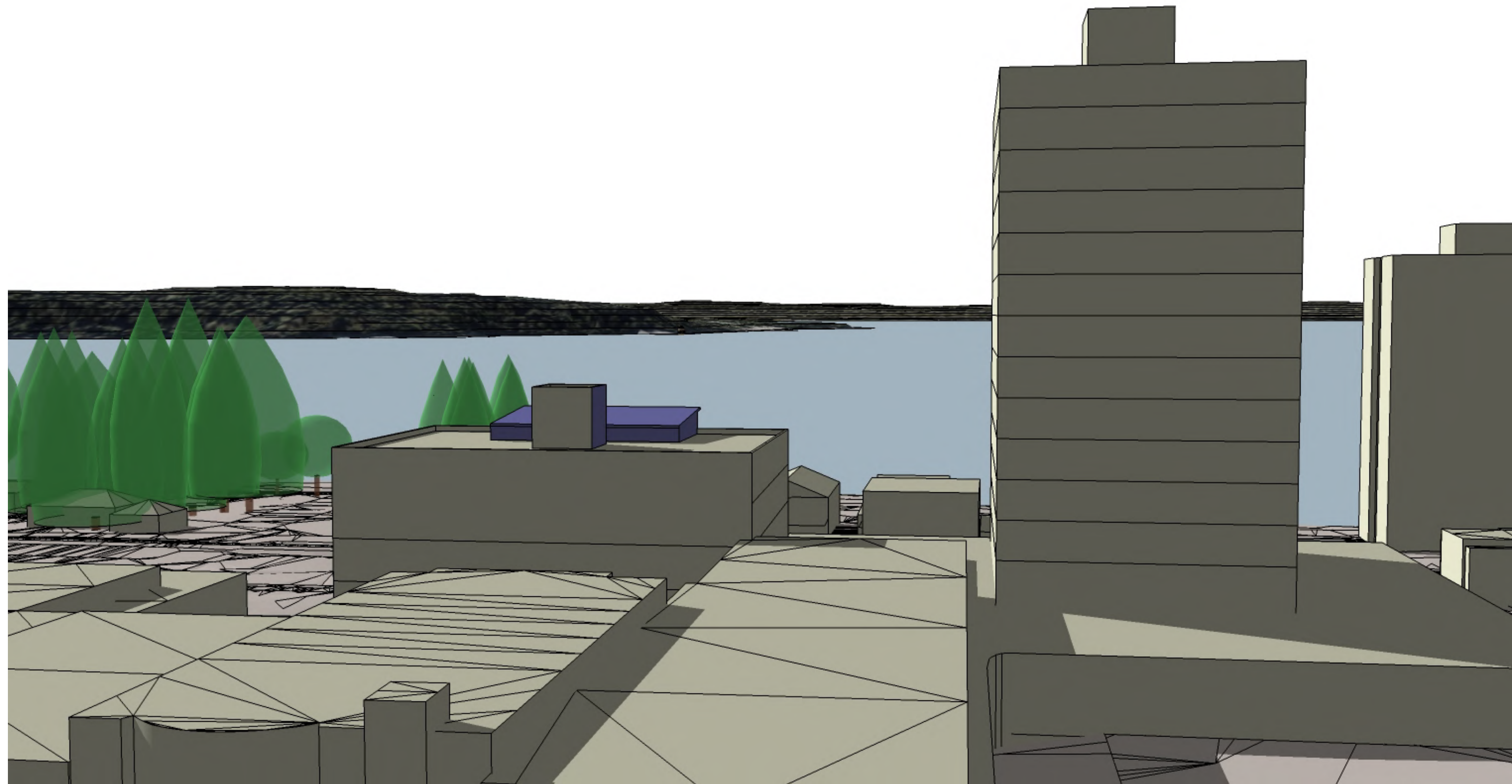
DATE	REVISION
June 8, 2015	1. Issue for Consultant Review
July 11, 2014	2. Issue for Energy Modeling
Sept 15, 2014	3. Issue for OCP Amendment
Sept 15, 2014	4. Submit for rezoning/OCP amendment
Nov 13, 2014	5. Issue for rezoning/OCP amendment
Nov 25, 2014	6. Revise this section, re-issued for rezoning/OCP amendment
Feb 12, 2015	7. Minor revisions, re-issued for Advisory Design Panel
June 9, 2015	8. Update and re-submitted to ADP

KARL GUSTAVSON ARCHITECT INC
3885 MIKCHEJNE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
phone (604) 926-1649 fax (604) 926-1059

Proposed Development
1763 Bellevue Avenue
West Vancouver
View Analysis

DATE	DATE	DATE
June 8, 2015	June 8, 2015	June 8, 2015
DRAWN DP	CHECKED KG	SCALE as noted
JOB NO.		

A1.4h



View Analysis

taken from 570 18th Street,
6th floor

2 Proposed

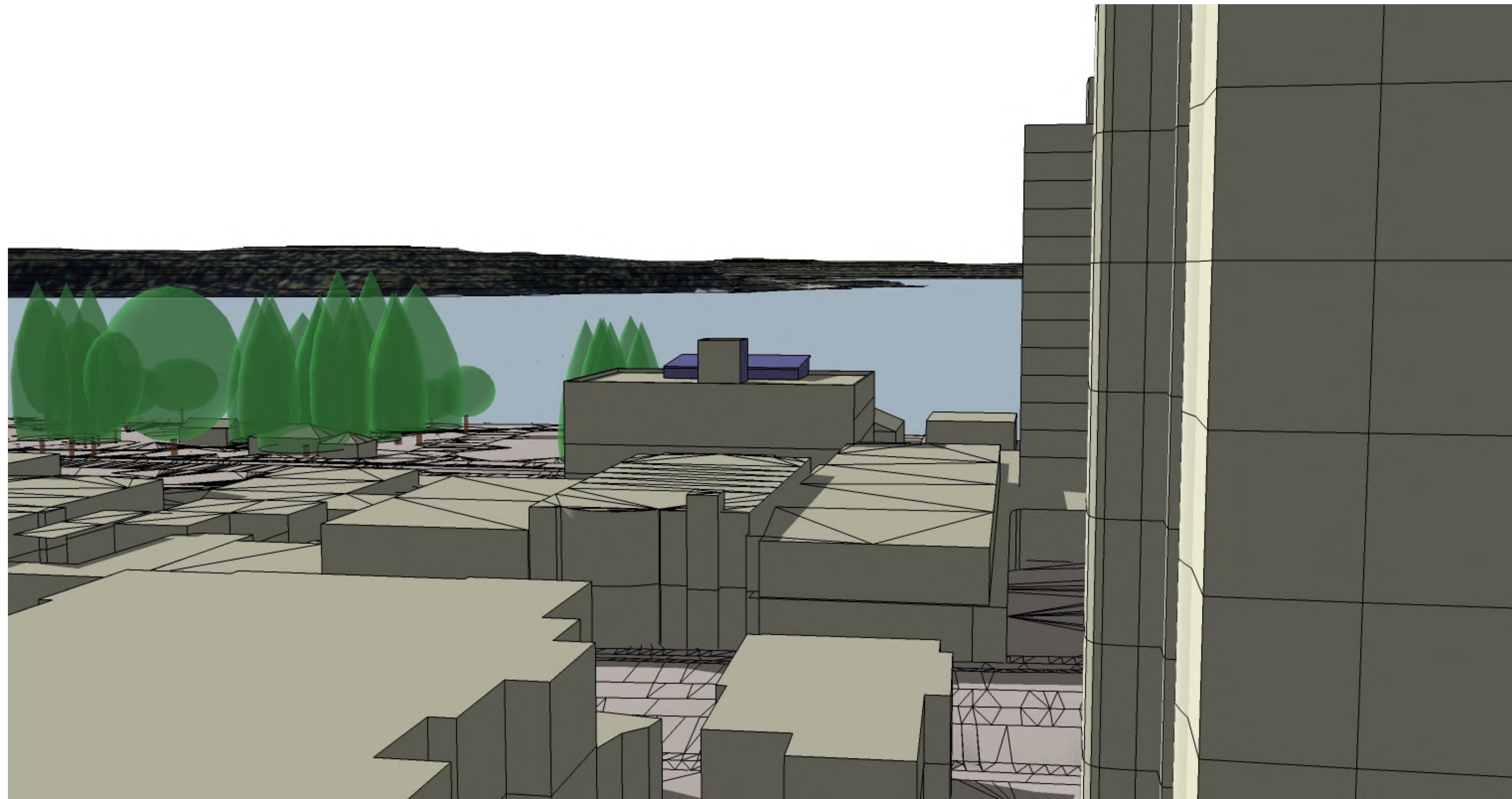
DATE **REVISION**

- July 25, 2014 1. Client Review
- July 4, 2014 2. Handled for Consultant Review
- July 15, 2014 3. Handled for Consultant Review
- Aug 15, 2014 4. Handled for Consultant Review
- Sept 5, 2014 5. Submitted for rezoning/DCP amendment/DCP
- Sept 15, 2014 6. Submitted for rezoning/DCP amendment/DCP
- Nov 15, 2014 7. Minor revisions, re-submitted for rezoning/DCP amendment/DCP
- Nov 25, 2014 8. Revised the sections, re-handled for rezoning/DCP amendment/DCP
- Mar 18, 2015 9. Updated the sections, re-handled for rezoning/DCP amendment/DCP
- Mar 18, 2015 10. Additional DCP, and 15' parking, re-handled for rezoning/DCP amendment/DCP
- June 9, 2015 11. Updated and re-submitted to DAV

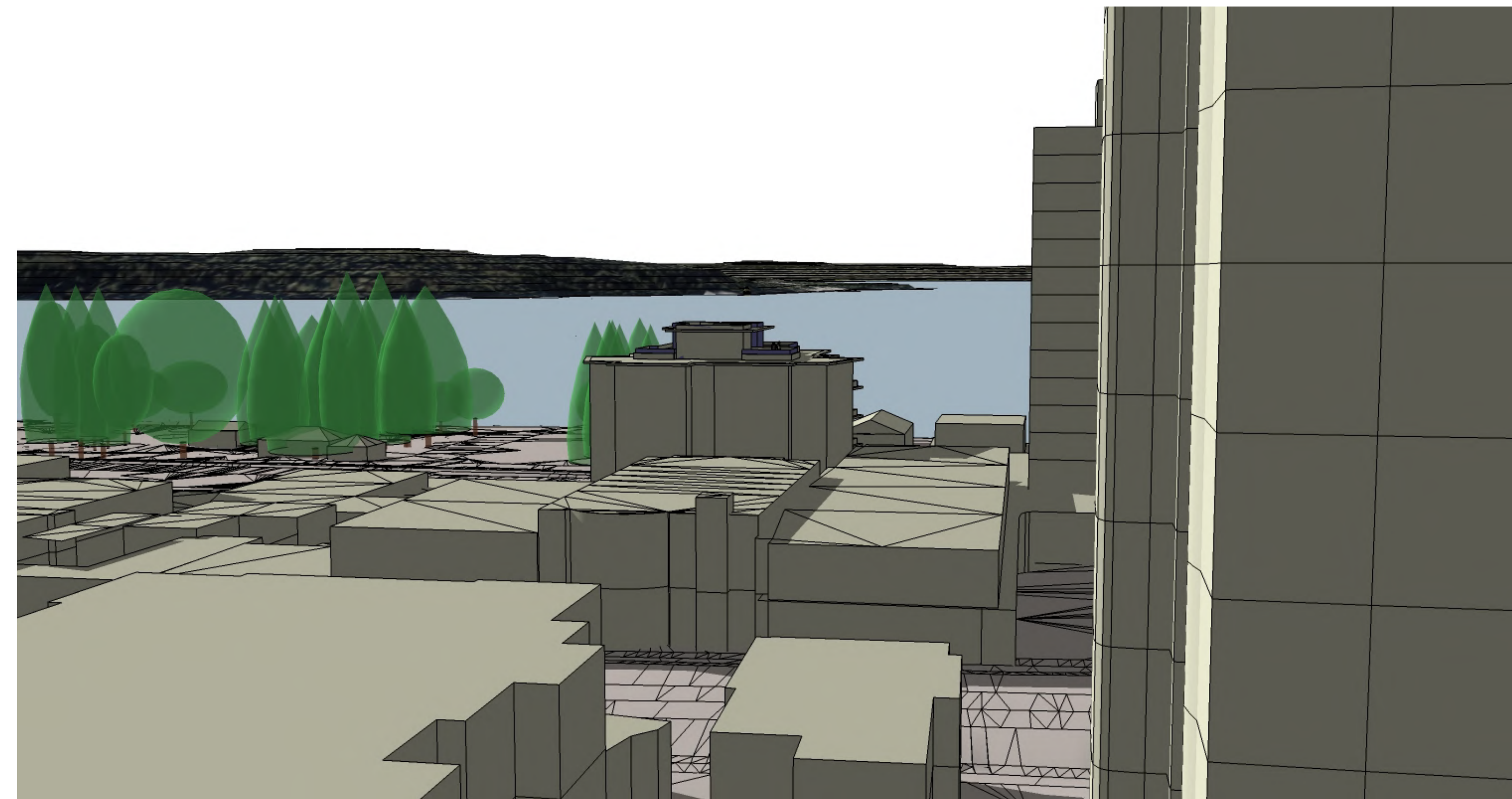
KARL GUSTAVSON ■ ARCHITECT INC
 3885 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
 phone (604) 926-1449 fax (604) 926-1059

DATE	June 8, 2015	PROJECT	Proposed Development 1763 Bellevue Avenue West Vancouver
DRAWN	DP	SHEET TITLE	View Analysis
CHECKED	KG	DATE	
SCALE	as noted		
JOINT			

A1.4i



1 OCP allowable



2 Proposed

View Analysis
 taken from 1766 Duchess,
 6th floor

DATE	REVISION
June 22, 2014	1. Client Review
July 11, 2014	2. Issued for Energy Modeling
Aug 15, 2014	3. Issued for OCP Assessment
Aug 15, 2014	4. Issued for OCP Assessment
Nov 13, 2014	5. Issued for consultant coordination
Nov 25, 2014	6. Revised site sections, reissued for OCP assessment
Nov 25, 2014	7. Revised site sections, reissued for OCP assessment
Feb 12, 2015	8. Minor revisions, reissued for Advisory Design Panel
June 9, 2015	9. Minor revisions, reissued for Advisory Design Panel
June 9, 2015	10. Minor revisions, reissued for Advisory Design Panel
June 9, 2015	11. Updated and reissued to OCP

KARL GUSTAVSON - ARCHITECT INC
 3885 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
 phone (604) 926-1049 fax (604) 926-1059

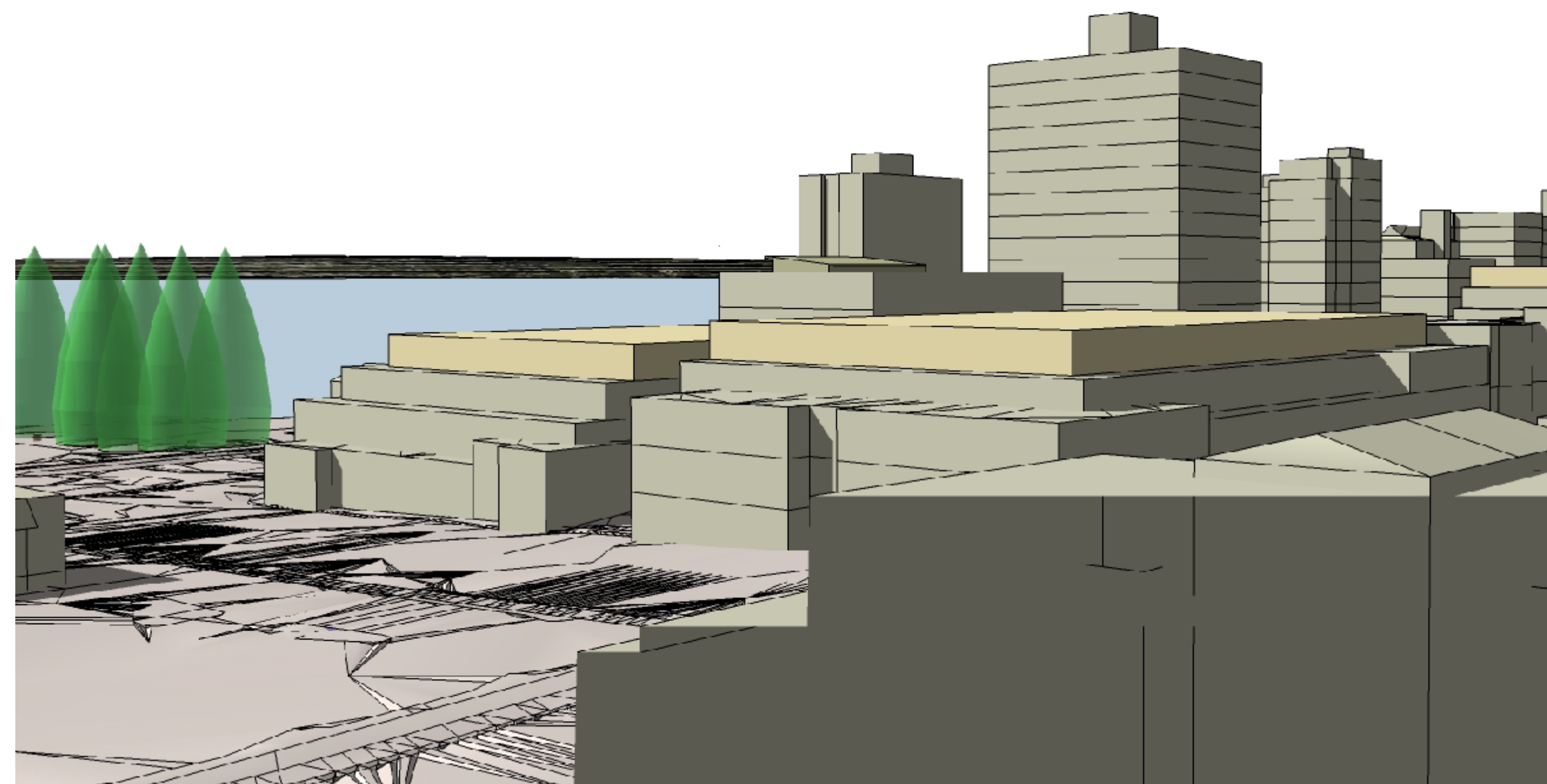
PROJECT Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 SHEET TITLE View Analysis

DATE	June 8, 2015
DRAWN	DP
CHECKED	KG
SCALE	as noted
JOB NO.	

A1.4j



1 Existing Condition



building in front
(in section)

2 OCP allowable w Full Buildout
(subject to council approval)

208--550 17th Street

note:
view analysis is based on
model provided by DWV
and approximates actual
conditions

DATE	REVISION
June 2, 2014	1. Initial site plan
June 2, 2014	2. Client for Consultant Review
July 11, 2014	3. Issued for Energy Modeling
July 11, 2014	4. Client for Energy Modeling
Sept 5, 2014	5. Submit for recording OCP amendment
Sept 5, 2014	6. Submit for recording OCP amendment
Nov 11, 2014	7. After review, we need for recording OCP amendment
Nov 11, 2014	8. Revised site plan for recording OCP amendment
Mar 12, 2015	9. Revised site plan for recording OCP amendment
Mar 12, 2015	10. Additional OCP and PG plans, prepared for Advisory Design Panel
April 22, 2016	11. Updated and re-submitted to DWV

KARL GUSTAVSON ARCHITECT INC
 3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
 phone (604) 926-1849 fax (604) 926-1059

Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 View Analysis

DATE	Aug 26, 2015
DRAWN	DP
CHECKED	KG
SCALE	as noted
JOB NO.	

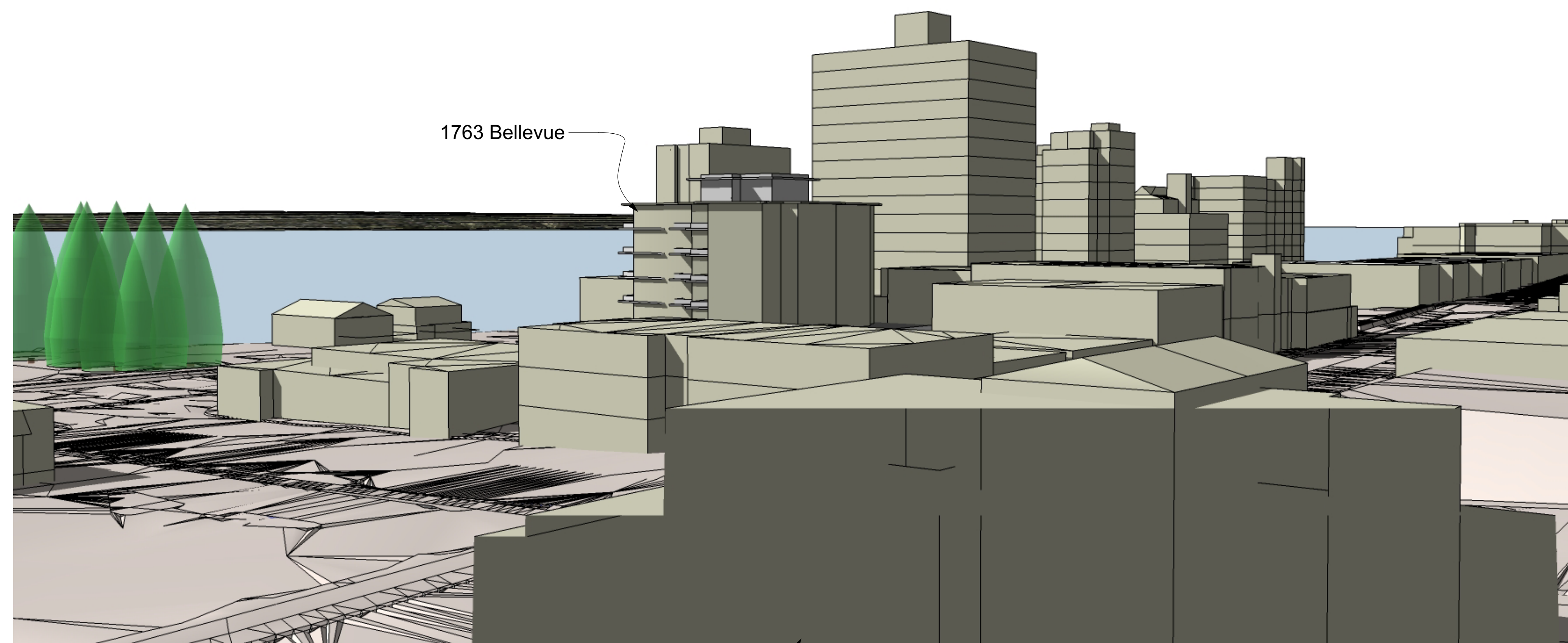
A1.4k(1)



1763 Bellevue

building in front
(in section)

1 OCP allowable
(subject to council approval)



1763 Bellevue

building in front
(in section)

2 Proposed

208--550 17th Street

note:
view analysis is based on
model provided by DWV
and approximates actual
conditions

date revision

June 20, 2014	1. Client Review
July 11, 2014	2. Issued for Energy Modeling
Sept 15, 2014	3. Issued for Planning/DCP Amendment/DP
Nov 13, 2014	4. Issued for Council Consideration
Nov 20, 2014	5. Revised the sections, to be used for Planning/DCP Amendment/DP
Nov 20, 2014	6. Revised the sections, to be used for Council Consideration
Mar 18, 2015	7. Updated and resubmitted to DWV
Apr 22, 2015	8. Updated and resubmitted to DWV

KARL GUSTAVSON - ARCHITECT INC

3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
phone (604) 926-1649 fax (604) 926-1059

Proposed Development
1763 Bellevue Avenue
West Vancouver
View Analysis

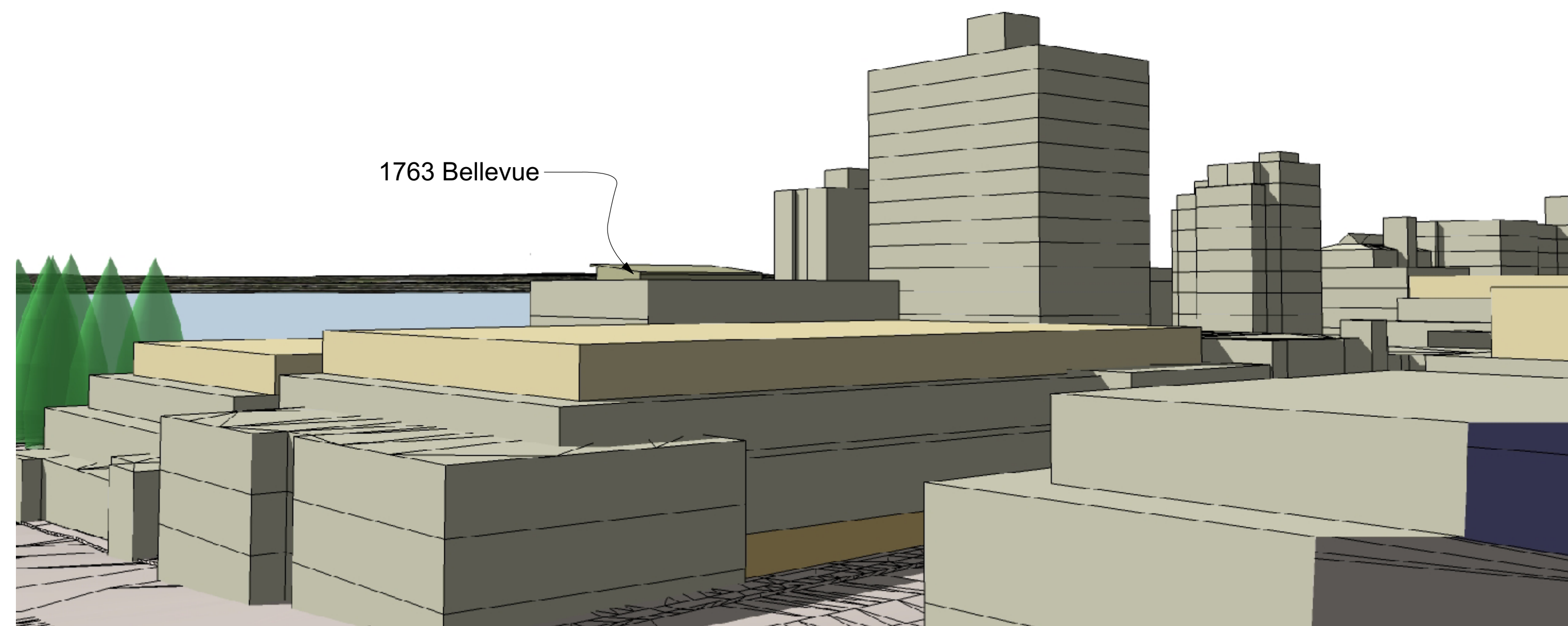
PROJECT

DATE	Aug 20, 2015
DRAWN	DP
CHECKED	KG
SCALE	1/8"=1'-0"
JOB NO.	

A1.4k(2)



1 Existing Condition

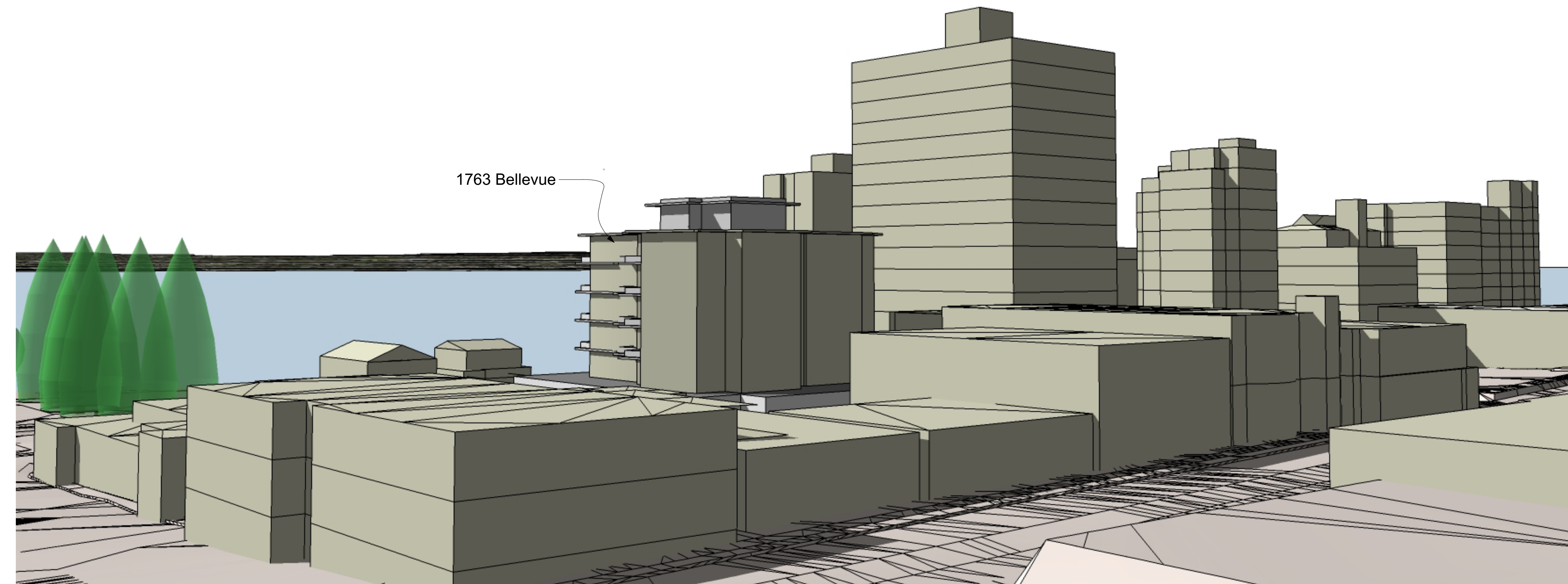
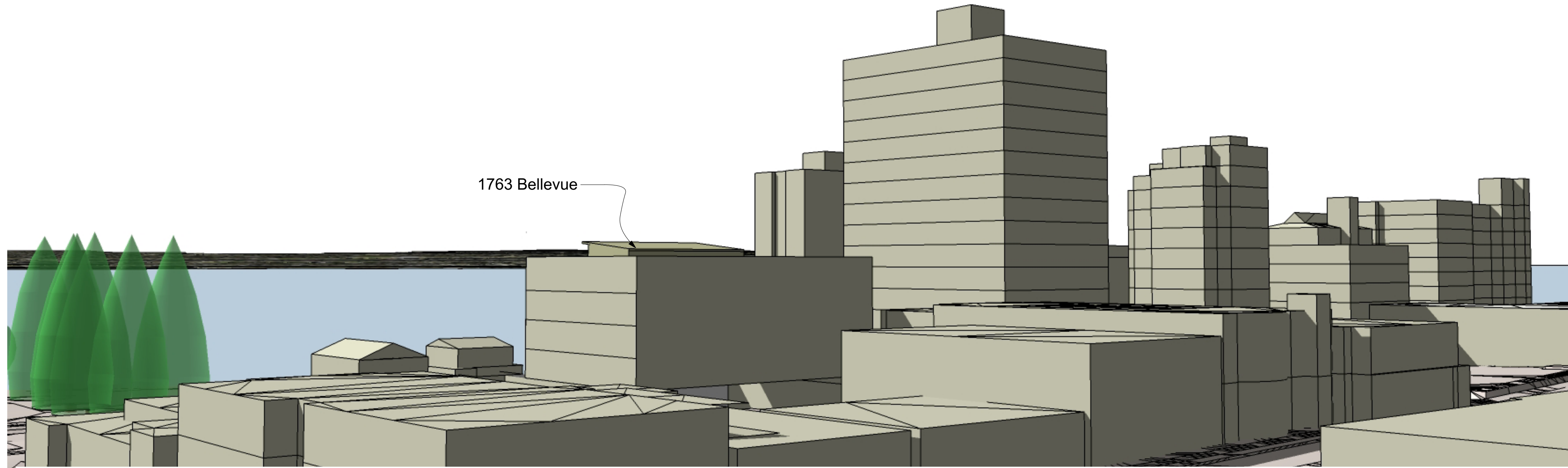


2 OCP allowable w Full Buildout
(subject to council approval)

301--550 17th Street

note:
view analysis is based on
model provided by DWV
and approximates actual
conditions

<p>PROJECT Proposed Development 1763 Bellevue Avenue West Vancouver View Analysis</p>																							
<p>DATE Aug 26, 2015</p>	<p>DRAWN DP</p>																						
<p>CHECKED RG</p>	<p>SCALE as noted</p>																						
<p>JOB NO.</p>	<p>SHEET TITLE</p>																						
<p>3665 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7 phone (604) 926-1649 fax (604) 926-1059</p>																							
<p>KARL GUSTAVSON - ARCHITECT INC</p>																							
<p>REVISION</p> <table border="1"> <tr> <td>1</td> <td>Client Review</td> </tr> <tr> <td>2</td> <td>Issued for Consultant Review</td> </tr> <tr> <td>3</td> <td>Issued for Consultant Review</td> </tr> <tr> <td>4</td> <td>Issued for Consultant Review</td> </tr> <tr> <td>5</td> <td>Issued for Consultant Review</td> </tr> <tr> <td>6</td> <td>Issued for consultant coordination</td> </tr> <tr> <td>7</td> <td>Revisions received by DWV</td> </tr> <tr> <td>8</td> <td>Revisions received by DWV</td> </tr> <tr> <td>9</td> <td>Minor revisions, re-issued for Advisory Design Panel</td> </tr> <tr> <td>10</td> <td>Minor revisions, re-issued for Advisory Design Panel</td> </tr> <tr> <td>11</td> <td>Updated and re-submitted to DWV</td> </tr> </table>		1	Client Review	2	Issued for Consultant Review	3	Issued for Consultant Review	4	Issued for Consultant Review	5	Issued for Consultant Review	6	Issued for consultant coordination	7	Revisions received by DWV	8	Revisions received by DWV	9	Minor revisions, re-issued for Advisory Design Panel	10	Minor revisions, re-issued for Advisory Design Panel	11	Updated and re-submitted to DWV
1	Client Review																						
2	Issued for Consultant Review																						
3	Issued for Consultant Review																						
4	Issued for Consultant Review																						
5	Issued for Consultant Review																						
6	Issued for consultant coordination																						
7	Revisions received by DWV																						
8	Revisions received by DWV																						
9	Minor revisions, re-issued for Advisory Design Panel																						
10	Minor revisions, re-issued for Advisory Design Panel																						
11	Updated and re-submitted to DWV																						



301--550 17th Street

1 OCP allowable
(subject to council approval)

2 Proposed

note:
view analysis is based on
model provided by DWV
and approximates actual
conditions

DATE	REVISION
July 20, 2014	1. Client Review
July 4, 2014	2. Issued for Council Review
July 15, 2014	3. Issued for Council Review
Aug 15, 2014	4. Issued for Council Review
Nov 13, 2014	5. Issued for Council Review
Nov 13, 2014	6. Issued for Council Review
Nov 13, 2014	7. Issued for Council Review
Nov 13, 2014	8. Issued for Council Review
Nov 13, 2014	9. Issued for Council Review
Nov 13, 2014	10. Issued for Council Review
Nov 13, 2014	11. Issued for Council Review

KARL GUSTAVSON ■ ARCHITECT INC
 3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
 phone (604) 926-1649 fax (604) 926-1059

Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 View Analysis

DATE	Aug 20, 2015
DRAWN	DP
CHECKED	KG
SCALE	as noted
TORNO	

A1.4L(2)



1748 Duchess Avenue

1763 Bellevue

1 OCP allowable w Full Buildout
(subject to council approval)

note:
view analysis is based on model
provided by DWV and
approximates actual
conditions

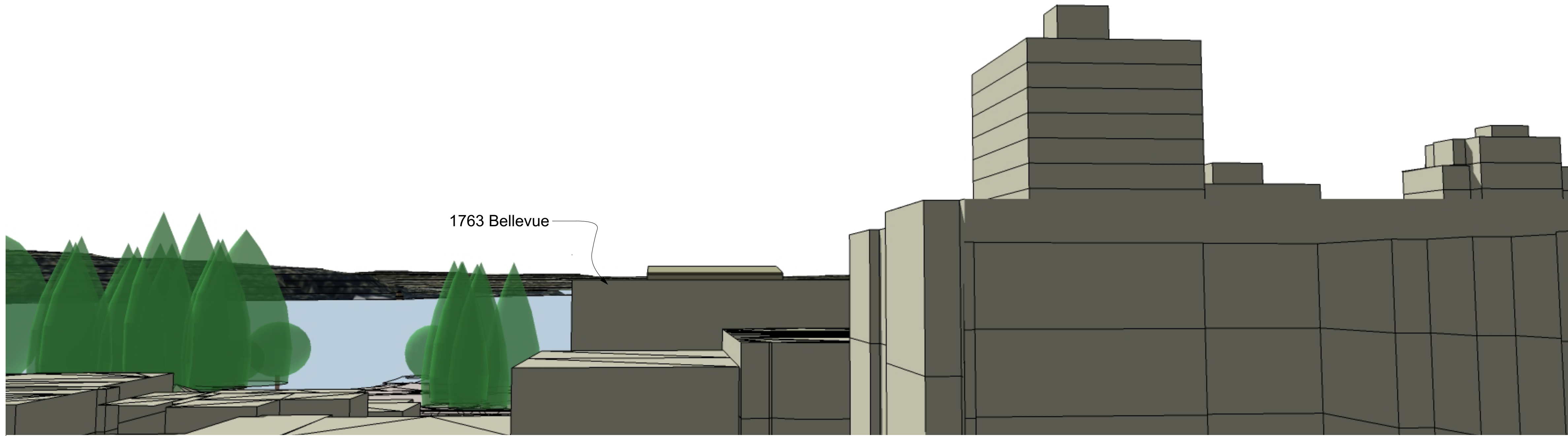
date	revision
June 20, 2014	1. Client Review
July 1, 2014	2. Issues for Consultation
Aug 13, 2014	3. Issues for Consultation
Aug 13, 2014	4. Issues for Consultation
Nov 13, 2014	5. Issues for Consultation
Nov 28, 2014	6. Issues for Consultation
Nov 28, 2014	7. Issues for Consultation
Nov 28, 2014	8. Issues for Consultation
Nov 28, 2014	9. Minor revisions, reviewed for Advisory Design Panel
June 8, 2015	10. Updated and re-submitted to DWV
April 22, 2016	11. Updated and re-submitted to DWV

KARL GUSTAVSON • ARCHITECT INC
 3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
 phone (604) 926-1649 fax (604) 926-1069

PROJECT Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 SHEET TITLE View Analysis

DATE	Aug 20, 2015
DRAWN	DP
CHECKED	KG
SCALE	AS SHOWN
JOB NO.	

A1.4m(1)



1 OCP allowable
(subject to council approval)



1748 Duchess Avenue

2 Proposed

note:
view analysis is based on model
provided by DWV and
approximates actual
conditions

date	revision
June 25, 2014	1. Client Review
July 11, 2014	2. Issued for Energy Modeling
Sept 15, 2014	3. Issued for recording OCP amendment DP
Nov 13, 2014	4. Issued for consultant coordination
Nov 25, 2014	5. Revised site section, re-submitted for recording OCP amendment DP
Mar 18, 2015	6. Revised site section, re-submitted for recording OCP amendment DP
Apr 18, 2015	7. Updated and resubmitted to DWV
Apr 22, 2015	8. Updated and resubmitted to DWV
Apr 22, 2015	9. Updated and resubmitted to DWV
Apr 22, 2015	10. Updated and resubmitted to DWV
Apr 22, 2015	11. Updated and resubmitted to DWV

KARL GUSTAVSON ■ ARCHITECT INC
3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
phone (604) 926-1649 fax (604) 926-1059

PROJECT
Proposed Development
1763 Bellevue Avenue
West Vancouver
SHEET TITLE
View Analysis

DATE	Aug 20, 2015
DRAWN	DP
CHECKED	KGG
SCALE	as noted
JOB NO.	

A1.4m(2)

AC-2 zoning
retail
←

AC-1 zoning
(north side Marine Drive
4 storeys allowable
max FAR 1.75)

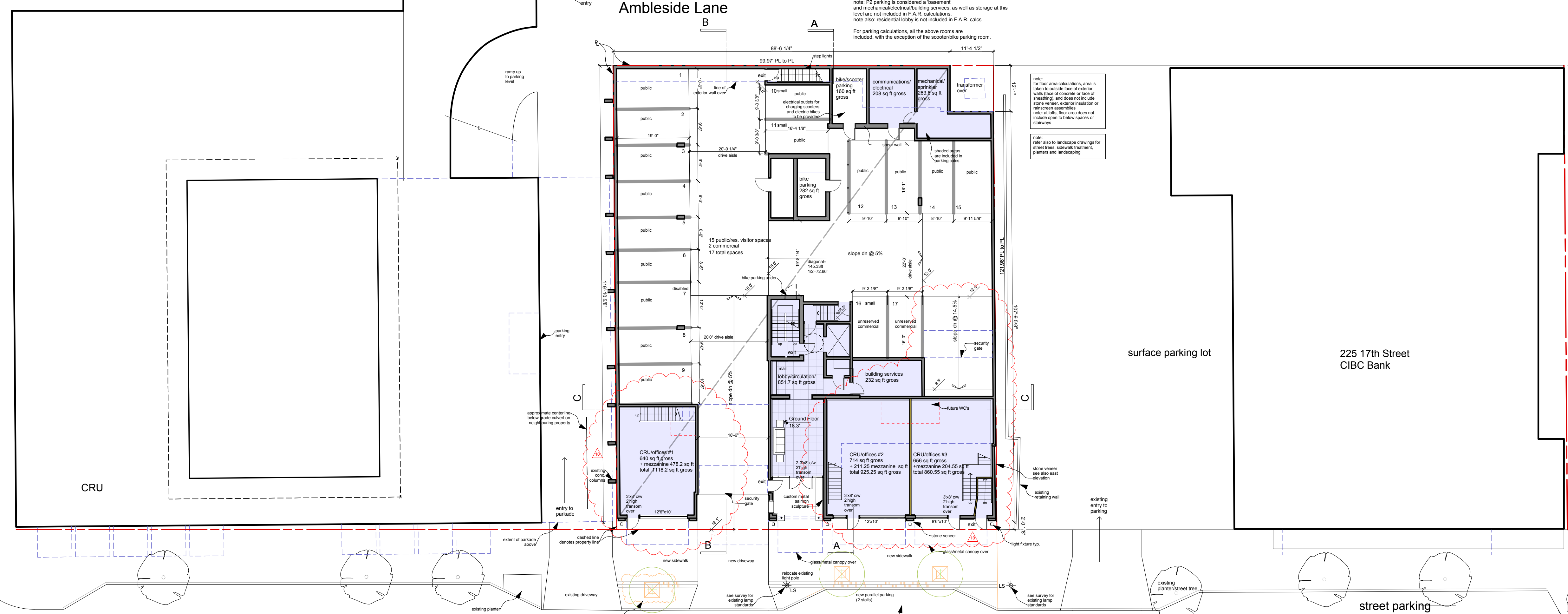
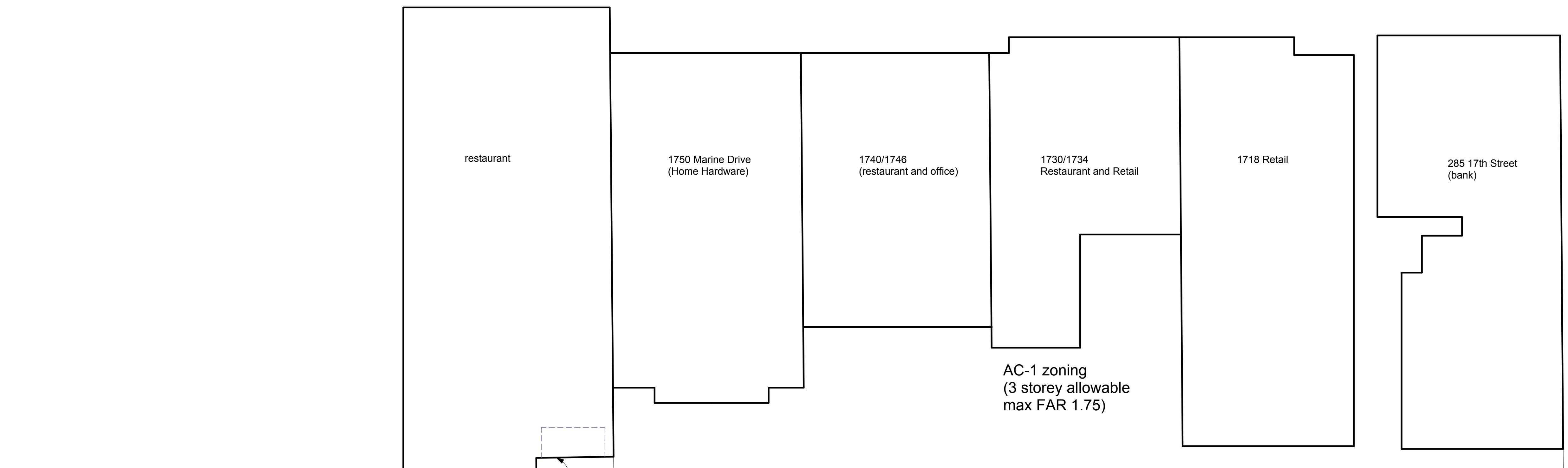
C-2 zoning
(Fresh Street Market)
→

18th Street

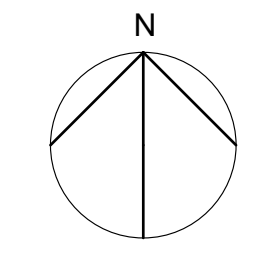
17th Street

Bellevue Avenue

John Lawson Park



1 Context Plan
Scale: 1/16" = 1'-0"



- DATE REVISION
- 1. 2014.06.08 Initial Design
 - 2. 2014.07.04 Initial Design
 - 3. 2014.07.11 Initial Design
 - 4. 2014.07.11 Initial Design
 - 5. 2014.08.05 Initial Design
 - 6. 2014.08.05 Initial Design
 - 7. 2014.08.05 Initial Design
 - 8. 2014.08.05 Initial Design
 - 9. 2014.08.05 Initial Design
 - 10. 2014.08.05 Initial Design
 - 11. 2014.08.05 Initial Design

KARL GUSTAVSON - ARCHITECT INC
3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
phone (604) 926-1049 fax (604) 926-1059

Proposed Development
1763 Bellevue Avenue
West Vancouver
Context Plan

DATE	June 8, 2015
DRAWN	DP
CHECKED	AG
SCALE	as noted
JOB NO.	

A2.0a



1 Streetscape
scale: 1:250

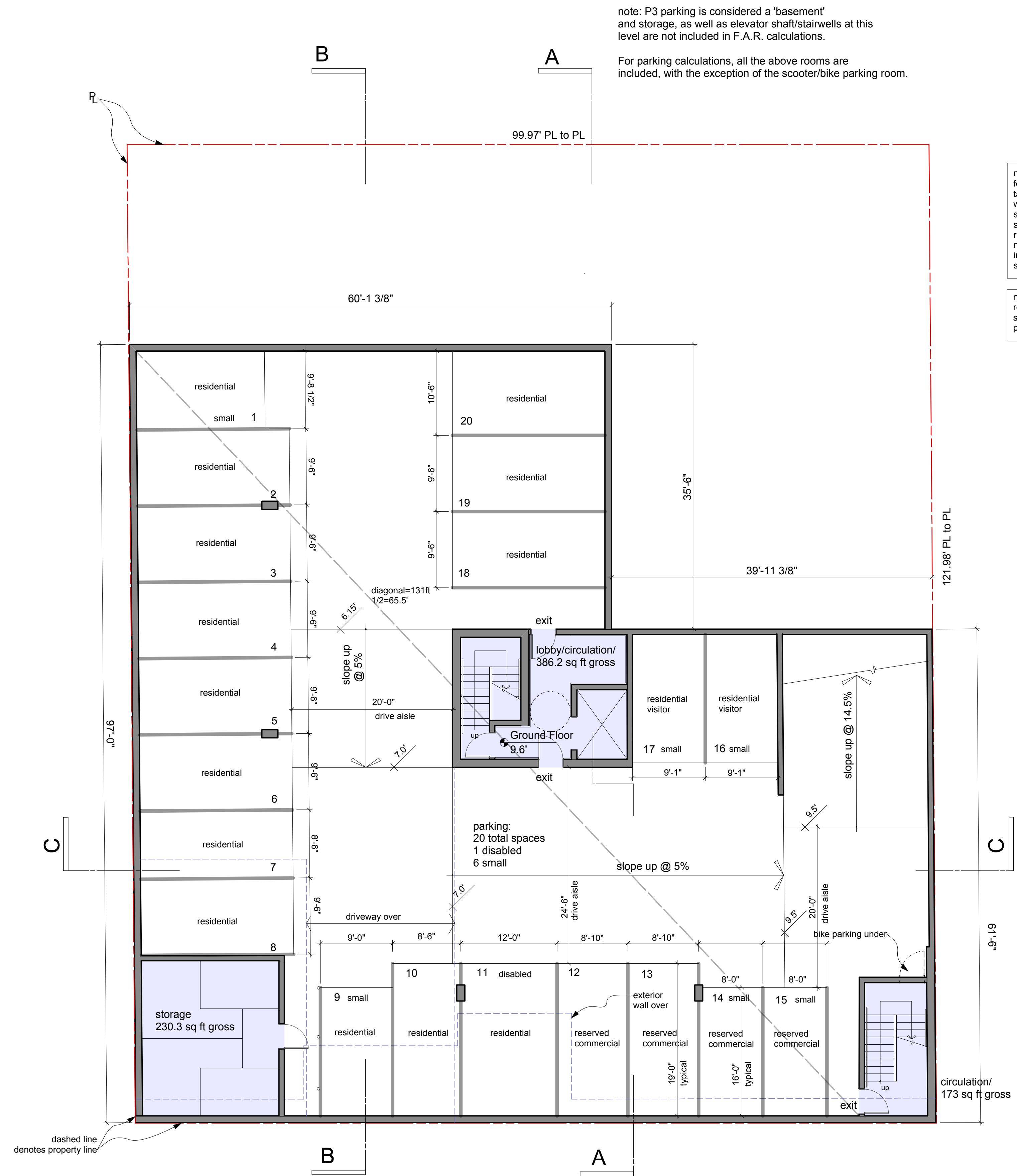
date	revision
June 20, 2014	1. Client Review
July 11, 2014	2. Issued for Energy Modeling
Aug 12, 2014	3. Issued for Construction
Nov 13, 2014	4. Issued for Construction
Nov 13, 2014	5. Issued for Construction
Nov 13, 2014	6. Issued for construction coordination
Nov 28, 2014	7. Revised site section, re-issued for Advisory Design Panel
Feb 12, 2015	8. Revised site section, re-issued for Advisory Design Panel
June 19, 2015	9. Minor revisions, re-issued for Advisory Design Panel
June 19, 2015	10. Updated and re-issued for ADP
June 19, 2015	11. Updated and re-issued for ADP

KARL GUSTAVSON ARCHITECT INC
 3885 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
 Phone (604) 926-1649 Fax (604) 926-1089

PROJECT: Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 SHEET TITLE: Streetscape

DATE	June 8, 2015
DRAWN	DP
CHECKED	KG
SCALE	as noted
JOB NO.	

A2.0b



note: P3 parking is considered a 'basement' and storage, as well as elevator shaft/stairwells at this level are not included in F.A.R. calculations.
 For parking calculations, all the above rooms are included, with the exception of the scooter/bike parking room.

note:
 for floor area calculations, area is taken to outside face of exterior walls (face of concrete or face of sheathing), and does not include rainscreen assemblies
 note: at lofts, floor area does not include open to below spaces or stairways

note:
 refer also to landscape drawings for street trees, sidewalk treatment, planters and landscaping

REVISION

1	Client Review
2	Handed for Consultant Review
3	Handed for Consultant Review
4	Handed for Consultant Review
5	Submitted for rezoning/DCP amendment/DP
6	Submitted for rezoning/DCP amendment/DP
7	Minor revisions, re-submitted for rezoning/DCP amendment/DP
8	Revised this section, re-submitted for rezoning/DCP amendment/DP
9	Revised this section, re-submitted for rezoning/DCP amendment/DP
10	Additional CDR and P3 parking, re-submitted for rezoning/DCP amendment/DP
11	Updated and resubmitted to DAV

KARL GUSTAVSON ARCHITECT INC
 3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
 phone (604) 926-1649 fax (604) 926-1059

Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 Parking P3

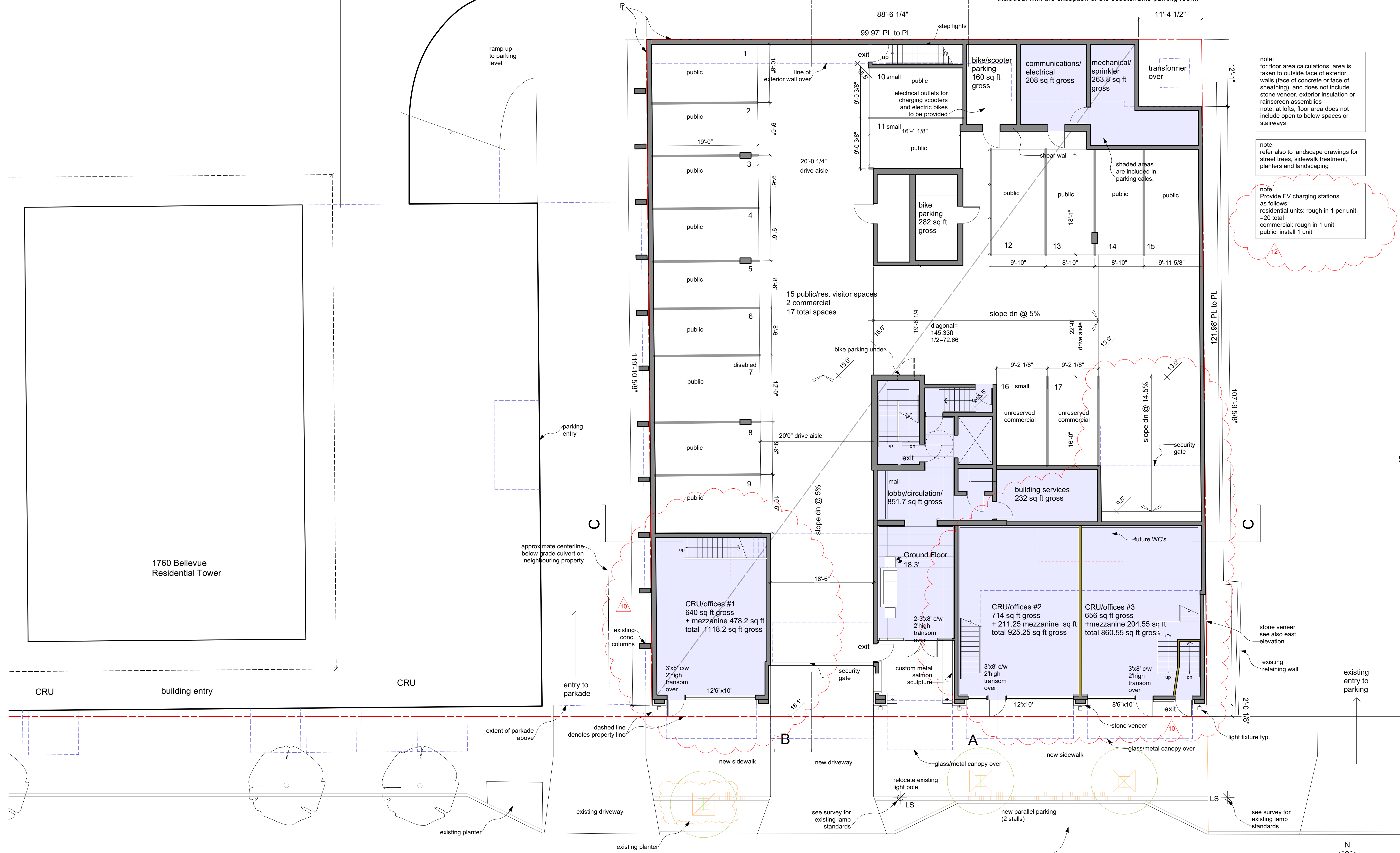
DATE	June 6, 2015
DRAWN	DP
CHECKED	IG
SCALE	as noted
JOB NO.	

P3 Parking
 Scale: 1/8" = 1'-0"
 total floor area: 789.5 sq ft
 (for parking calcs)

Ambleside Lane

note: P2 parking is considered a 'basement' and mechanical/electrical/building services, as well as storage at this level are not included in F.A.R. calculations.
note also: residential lobby is not included in F.A.R. calcs

For parking calculations, all the above rooms are included, with the exception of the scooter/bike parking room.



note: for floor area calculations, area is taken to outside face of exterior walls (face of concrete or face of sheathing), and does not include stone veneer, exterior insulation or rainscreen assemblies
note: at lofts, floor area does not include open to below spaces or stairways

note: refer also to landscape drawings for street trees, sidewalk treatment, planters and landscaping

note: Provide EV charging stations as follows:
residential units: rough in 1 per unit =20 total
commercial: rough in 1 unit public; install 1 unit

date	revision
June 20, 2014	1. Client Review
July 11, 2014	2. Issued for Engineering
Aug 15, 2014	3. Issued for Consultant Review
Nov 13, 2014	4. Issued for Consultant Coordination
Nov 13, 2014	5. Issued for Consultant Coordination
Nov 25, 2014	6. Issued for Consultant Coordination
Nov 25, 2014	7. Issued for Consultant Coordination
Feb 12, 2015	8. After revisions, re-issued for Advisory Design Panel
June 9, 2015	9. After revisions, re-issued for Advisory Design Panel
June 9, 2015	10. After revisions, re-issued for Advisory Design Panel
April 22, 2015	11. Issued and re-submitted to DPV
April 22, 2015	12. Issued and re-submitted to DPV

KARL GUSTAVSON ARCHITECT INC
3685 McRECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
phone (604) 926-1649 fax (604) 926-1059

Proposed Development
1763 Bellevue Avenue
West Vancouver
Ground Floor/Parking P2

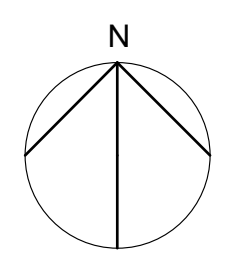
DATE	DATE	DATE	DATE
June 5, 2015	June 5, 2015	June 5, 2015	June 5, 2015
DRAWN	DP	CHECKED	AG
SCALE	AS NOTED	SCALE	AS NOTED
JOB NO.		JOB NO.	

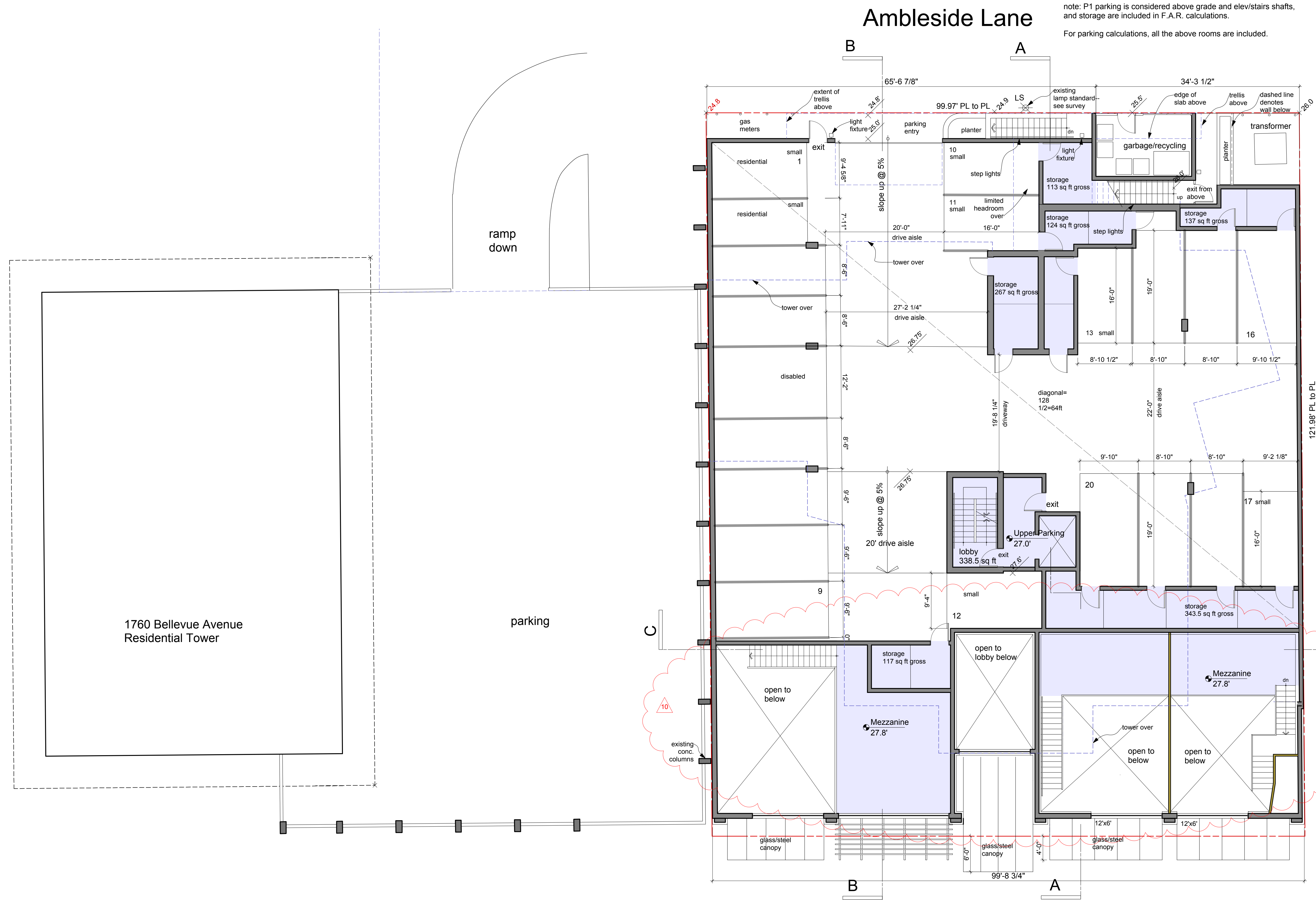
A2.2

Ground Floor/P2 Parking
Scale: 1/8" = 1'-0"
total floor area: 4459.5 sq ft
residential: 1555.5(not incl bike/scooter storage)
commercial: 2904 sq ft

1760 Bellevue Residential Tower

Bellevue Avenue





note: P1 parking is considered above grade and elev/stairs shafts, and storage are included in F.A.R. calculations.
 For parking calculations, all the above rooms are included.

note:
 for floor area calculations, area is taken to outside face of exterior walls (face of concrete or face of sheathing), and does not include stone veneer, exterior insulation or rainscreen assemblies
 note: at lofts, floor area does not include open to below spaces or stairways

note:
 refer also to landscape drawings for street trees, sidewalk treatment, planters and landscaping

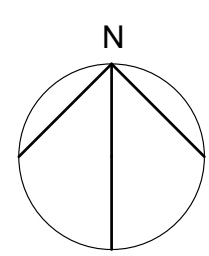
DATE	REVISION
June 20, 2014	1. Client Review
July 11, 2014	2. Based for Energy Modeling
Aug 18, 2014	3. Based for Construction Documents
Aug 18, 2014	4. Based for Construction Documents
Nov 13, 2014	5. Based for consultant coordination
Nov 25, 2014	6. Minor revisions, as issued for Advisory Design Panel
Jan 12, 2015	7. Minor revisions, as issued for Advisory Design Panel
Jan 12, 2015	8. Minor revisions, as issued for Advisory Design Panel
Jan 12, 2015	9. Minor revisions, as issued for Advisory Design Panel
Jan 12, 2015	10. Minor revisions, as issued for Advisory Design Panel
Jan 12, 2015	11. Updated and re-submitted DDP

KARL GUSTAVSON - ARCHITECT INC
 3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
 phone (604) 920-1649 fax (604) 920-1059

1760 Bellevue Avenue Residential Tower

Bellevue Avenue

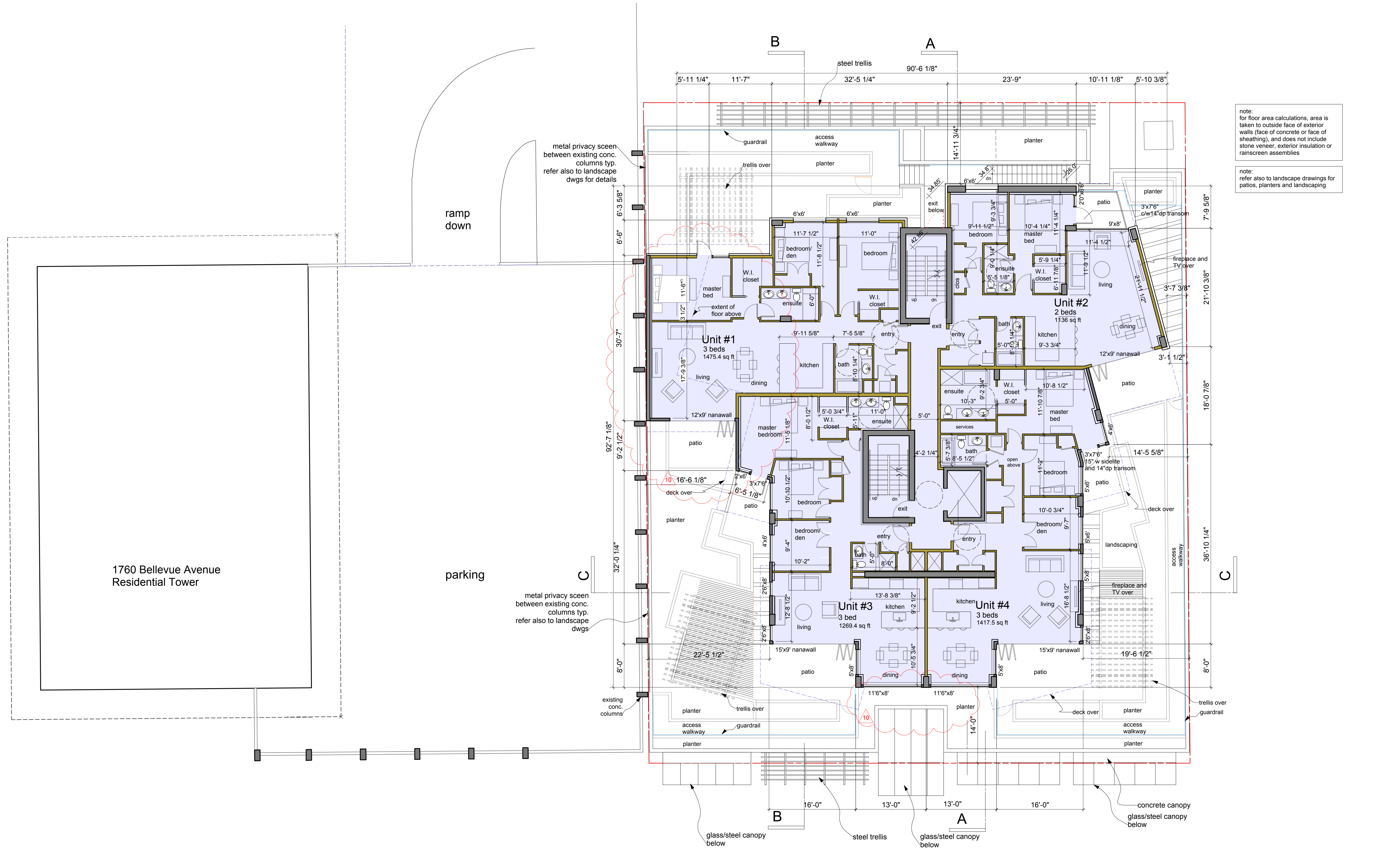
P1 Parking (upper)
 Scale: 1/8" = 1'-0"
 total floor area: 1440 sq ft



Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 P1 Parking (upper)

DATE	DATE	DATE	DATE
DATE	DP	KG	KG
SCALE	#	#	#
JOB NO.			

A2.3



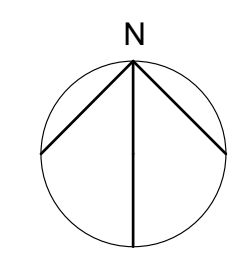
note:
for floor area calculations, area is taken to outside face of exterior walls (face of concrete or face of sheathing), and does not include stone veneer, exterior insulation or rainscreen assemblies

note:
refer also to landscape drawings for patios, planters and landscaping

1760 Bellevue Avenue Residential Tower

parking

R1 plan
Scale: 1/8" = 1'-0"
total floor area: 5938.8 sq ft



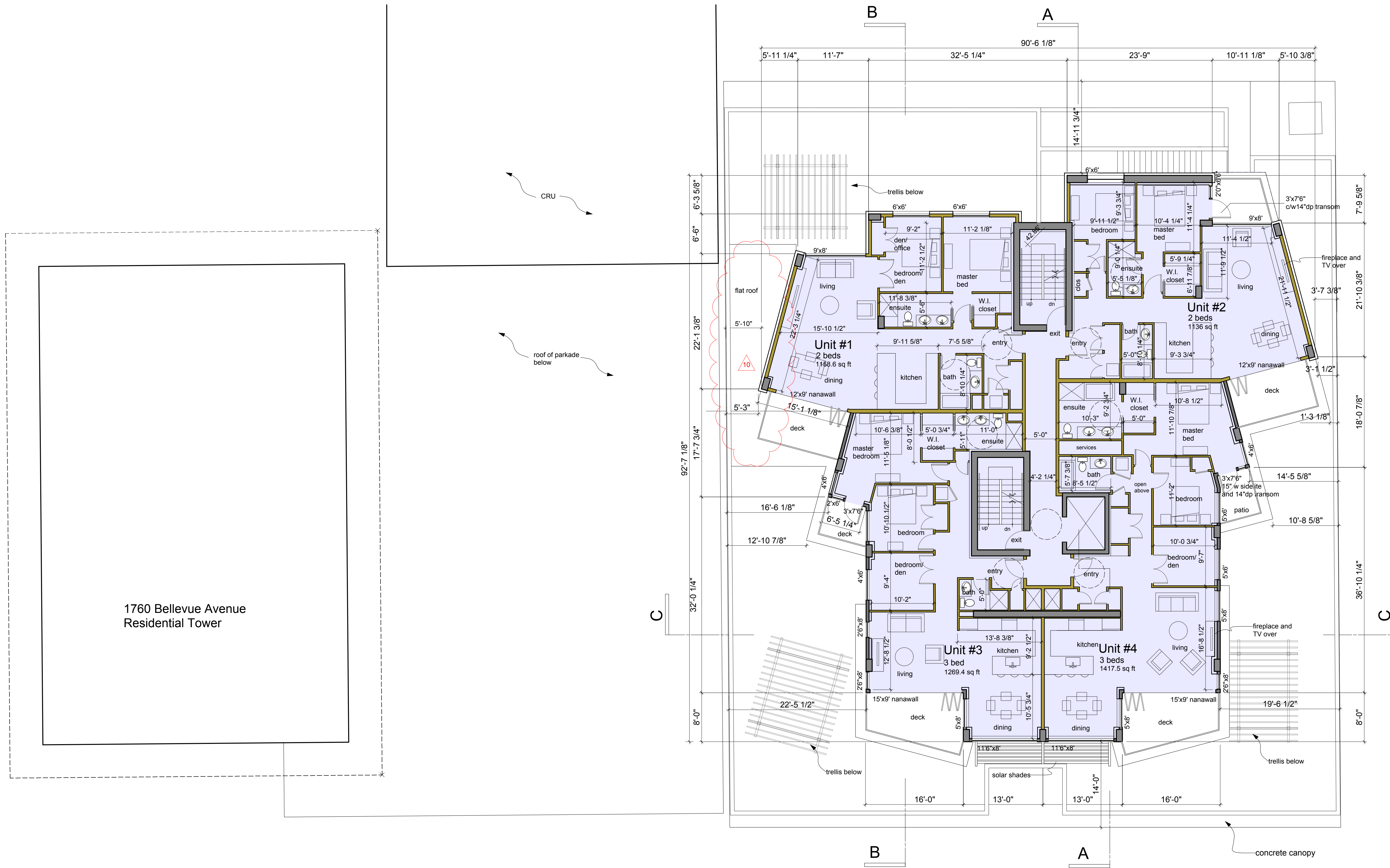
DATE	DESCRIPTION
June 20, 2014	1. Client Review
July 1, 2014	2. Issued for Engineering Approval
July 1, 2014	3. Issued for Consultant Review
Aug 10, 2014	4. Issued for Construction Review
Aug 10, 2014	5. Issued for Construction Review
Nov 10, 2014	6. Issued for construction coordination
Nov 10, 2014	7. Minor revisions re-issued for rooming/202P amendments/202P
Nov 10, 2014	8. Minor revisions re-issued for rooming/202P amendments/202P
Feb 10, 2015	9. Minor revisions re-issued for rooming/202P amendments/202P
Mar 10, 2015	10. Additional CHU and P3 parking, re-issued for rooming/202P amendments/202P
June 10, 2015	11. Updated and re-submitted to D204

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Proposed Development
1763 Bellevue Avenue
West Vancouver
Residential R1 Floor Plan

DATE	DATE	DATE	DATE
JUNE 8, 2015	JUNE 8, 2015	JUNE 8, 2015	JUNE 8, 2015
DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE

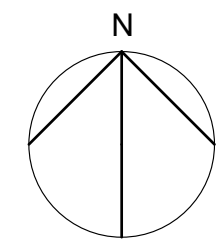
A2.4a



note:
for floor area calculations, area is taken to outside face of exterior walls (face of concrete or face of sheathing), and does not include stone veneer, exterior insulation or rainscreen assemblies

1760 Bellevue Avenue
Residential Tower

Residential Floor Plans R2-R4
Scale: 1/8" = 1'-0"
total floor area: 5641.65 sq ft



REVISION

1	June 8, 2015	Initial Design
2	July 2, 2015	Revised for Consultant Review
3	July 11, 2015	Revised for Energy Modeling
4	July 15, 2015	Revised for MEP Coordination
5	July 15, 2015	Revised for exterior finish
6	July 15, 2015	Revised for exterior finish
7	July 15, 2015	Revised for exterior finish
8	July 15, 2015	Revised for exterior finish
9	July 15, 2015	Revised for exterior finish
10	July 15, 2015	Revised for exterior finish
11	July 15, 2015	Revised for exterior finish

KARL GUSTAVSON ARCHITECT INC
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Proposed Development
1763 Bellevue Avenue
West Vancouver
Residential Floor Plan R2-R4

DATE	June 8, 2015
DRAWN	DP
CHECKED	AG
SCALE	as shown
JOB NO.	

A2.4b

1760 Bellevue Avenue
Residential Tower



note:
for floor area calculations, area is taken to outside face of exterior walls (face of concrete or face of sheathing), and does not include stone veneer, exterior insulation or rainscreen assemblies

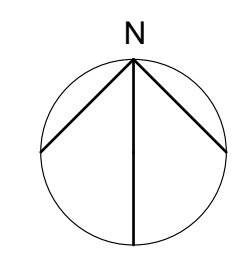
DATE	REVISION
June 8, 2015	1. Initial design
July 4, 2015	2. Based on Consultant Review
July 11, 2015	3. Based on Energy Modeling
July 15, 2015	4. Based on Energy Modeling
Sept 15, 2015	5. Submit for rezoning/CDP amendment/CDP
Nov 13, 2015	6. Based on consultant's comment
Nov 25, 2015	7. Based on rezoning/CDP amendment/CDP
Nov 25, 2015	8. Revised the sections, re based for rezoning/CDP amendment/CDP
Feb 12, 2015	9. Floor revisions, re based by Architect Design Panel
June 8, 2015	10. Final revisions, re based by Architect Design Panel
June 8, 2015	11. Unlabeled and re-submitted to DMV

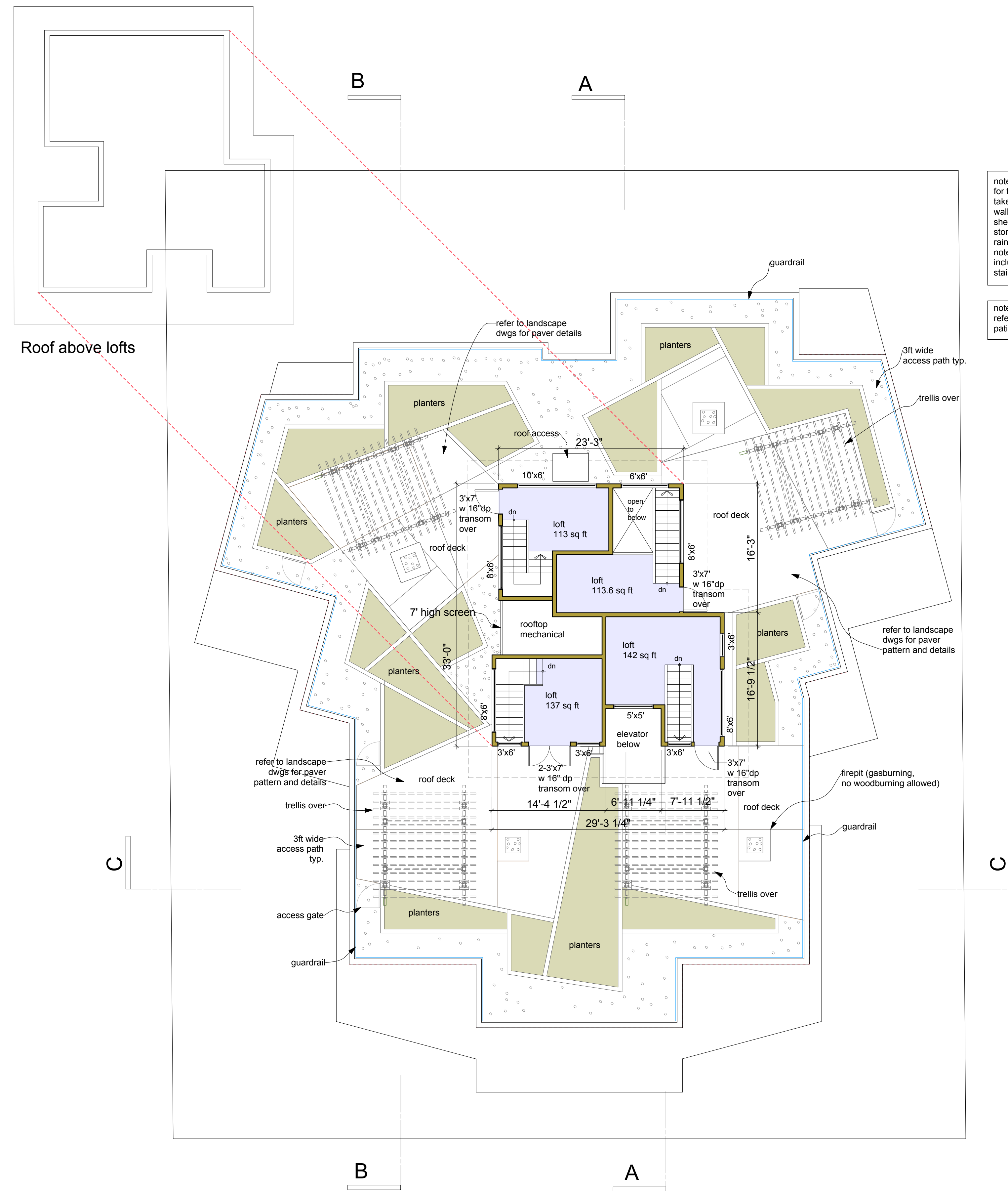
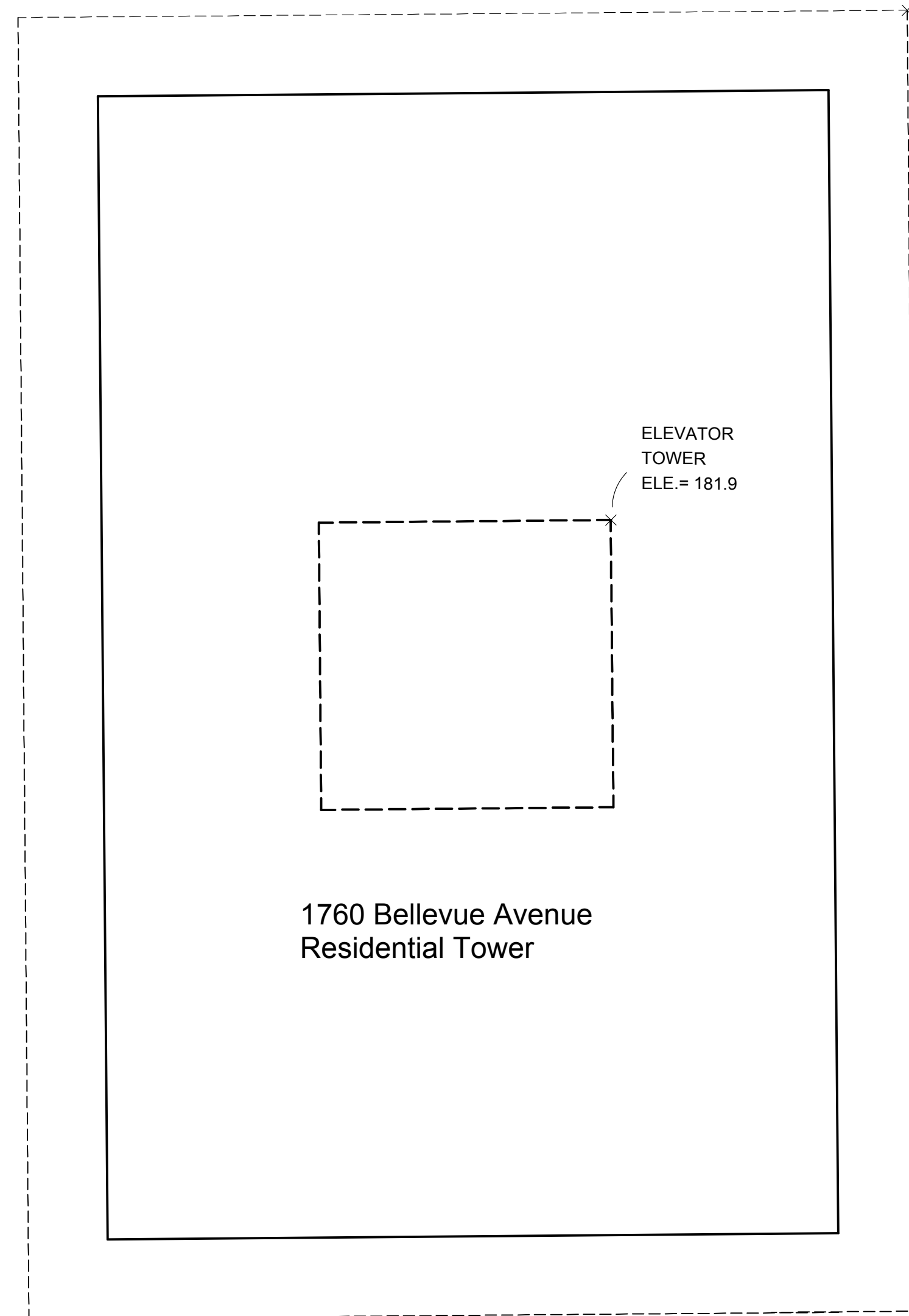
KARL GUSTAVSON - ARCHITECT INC
 3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
 phone (604) 926-1649 fax (604) 926-1059

Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 Residential R5--Proposed

DATE	DESCRIPTION
June 8, 2015	DATE
June 8, 2015	DESCRIPTION
June 8, 2015	DESCRIPTION
June 8, 2015	DESCRIPTION
June 8, 2015	DESCRIPTION

R5 Floor Plan
 Scale: 1/8" = 1'-0"
 total floor area: 5641.65 sq ft





note:
for floor area calculations, area is taken to outside face of exterior walls (face of concrete or face of sheathing), and does not include stone veneer, exterior insulation or rainscreen assemblies

note: at lofts, floor area does not include open to below spaces or stairways

note:
refer also to landscape drawings for patios, planters and landscaping

date	revision
June 8, 2015	1. Create drawing
July 4, 2014	2. Revis for Consultant Review
July 11, 2014	3. Revis for EIR/MSR/MSR
Sept 5, 2014	4. Revis for EIR/MSR/MSR
Sept 5, 2014	5. Submit for rezoning/DCP amendment/DP
Nov 13, 2014	6. Revis for consultant coordination
Nov 25, 2014	7. Revis for rezoning/DCP amendment/DP
Nov 25, 2014	8. Revis for rezoning/DCP amendment/DP
Mar 12, 2015	9. Revis for rezoning/DCP amendment/DP
Mar 12, 2015	10. Update drawing for rezoning/DCP amendment/DP
June 8, 2015	11. Update and re-submitted to D/V

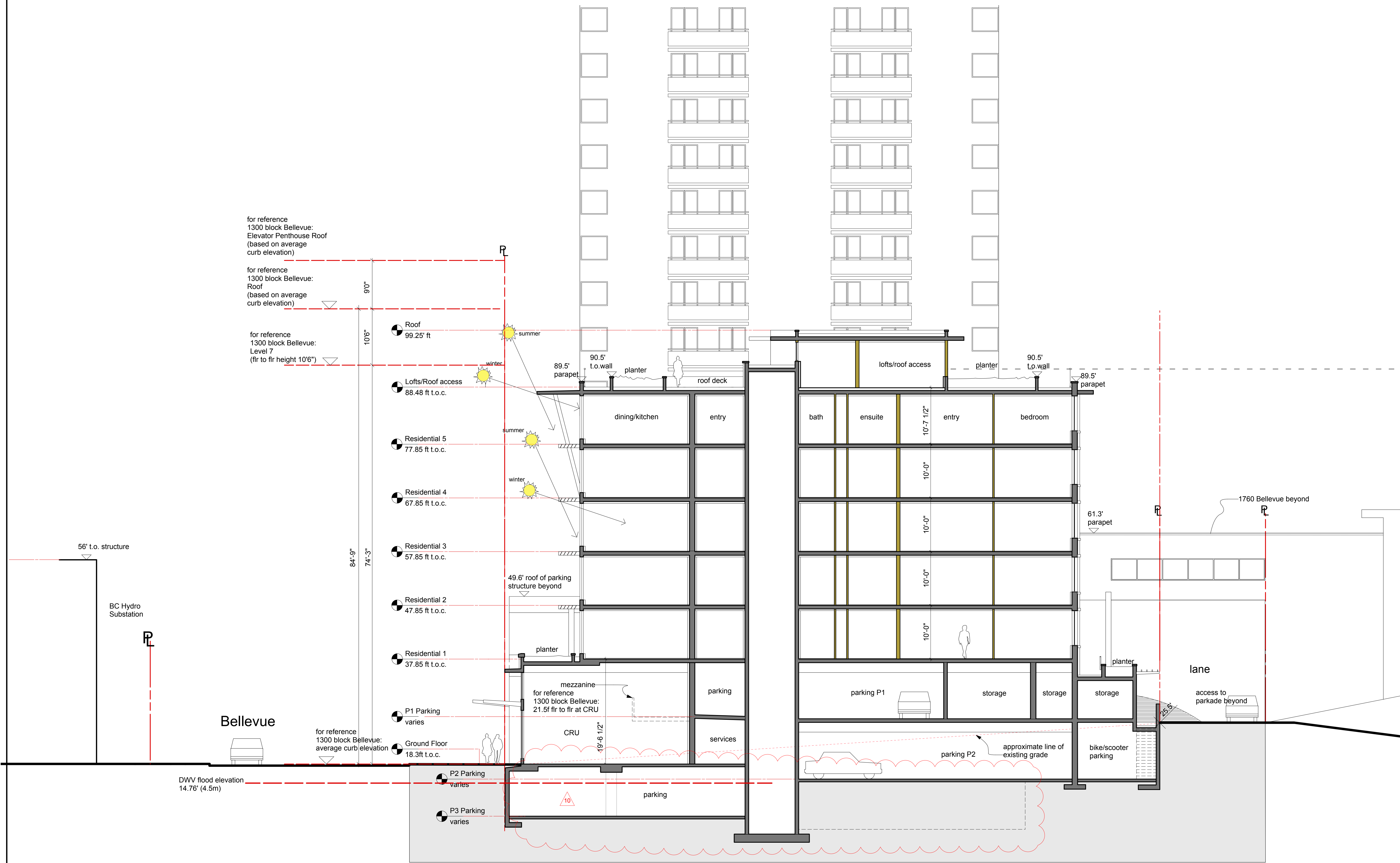
KARL GUSTAVSON ARCHITECT INC

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Proposed Development
1763 Bellevue Avenue
West Vancouver
Loft/Roof Deck Plan

DATE	DATE	DATE	DATE
June 8, 2015	June 8, 2015	June 8, 2015	June 8, 2015
DRAWN	DP	CHECKED	KG
		SCALE	AS SHOWN
		JOB NO.	

1 **Loft/Roof decks**
Scale: 1/8" = 1'-0"
total floor area: 505.6 sq ft



1 Building Section A
Scale: 1/8" = 1'-0"

date revision

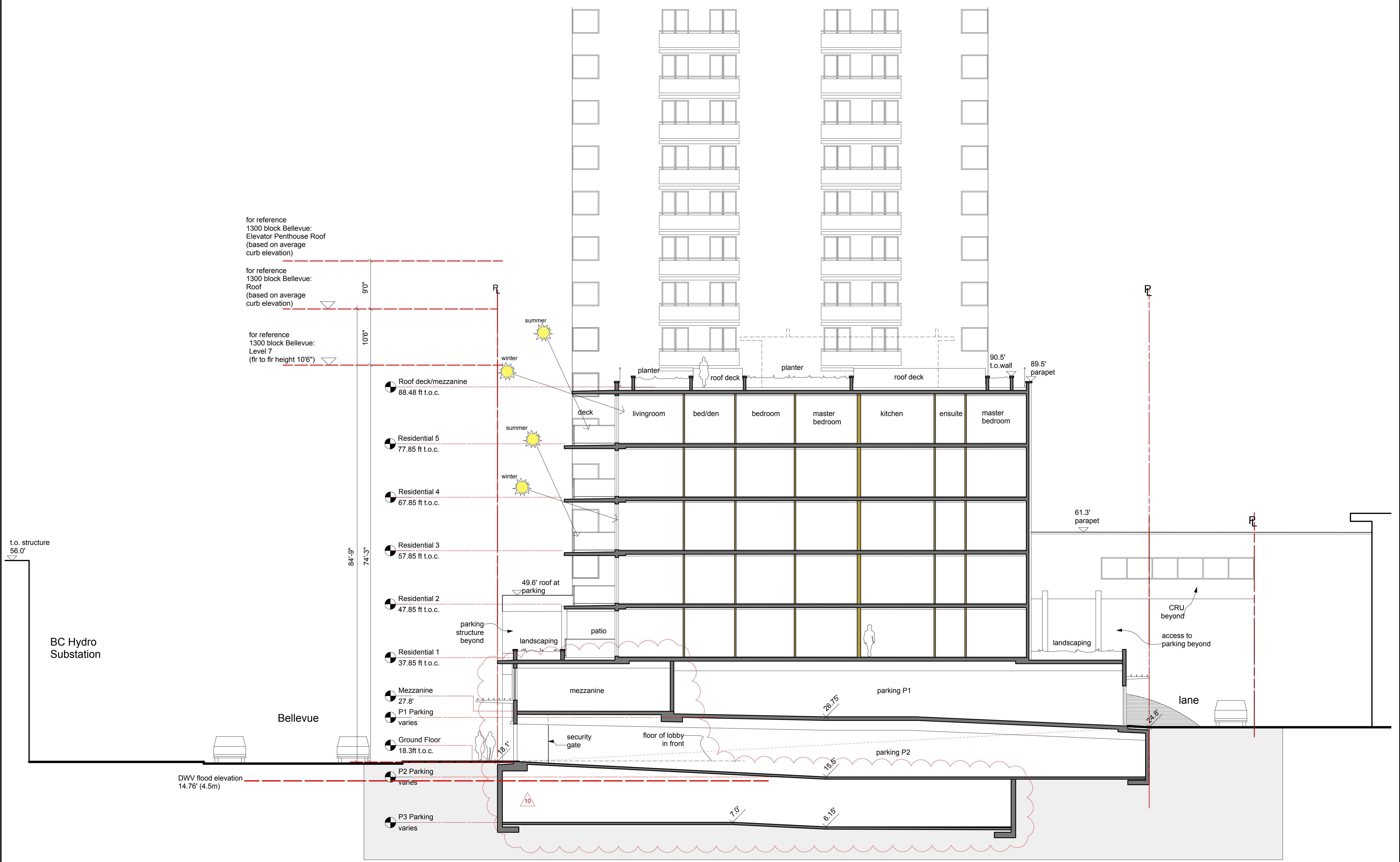
- 1. Issued for Review
- 2. Issued for Consultant Review
- 3. Issued for Energy Modeling
- 4. Issued for Permit Application
- 5. Submitted for recording/DCP amendment/DP
- 6. Issued for consultant coordination
- 7. Issued for recording/DCP amendment/DP
- 8. Revised site schedule, resubmitted for recording/DCP amendment/DP
- 9. Minor revisions, resubmitted for Advisory Design Panel
- 10. Revised site schedule, resubmitted for recording/DCP amendment/DP
- 11. Updated and resubmitted to DP

KARL GUSTAVSON - ARCHITECT INC
3885 MARKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
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Proposed Development
1763 Bellevue Avenue
West Vancouver
Section A

DATE	June 8, 2015
DRAWN	DP
CHECKED	KG
SCALE	as shown
JOB NO.	

A3.1



for reference
1300 block Bellevue:
Elevator Penthouse Roof
(based on average
curb elevation)

for reference
1300 block Bellevue:
Roof
(based on average
curb elevation)

for reference
1300 block Bellevue:
Level 7
(fir to fir height 10'6")

t.o. structure
56.0'

BC Hydro
Substation

Bellevue

DWV flood elevation
14.76' (4.5m)

1 section B
Scale: 1/8" = 1'-0"

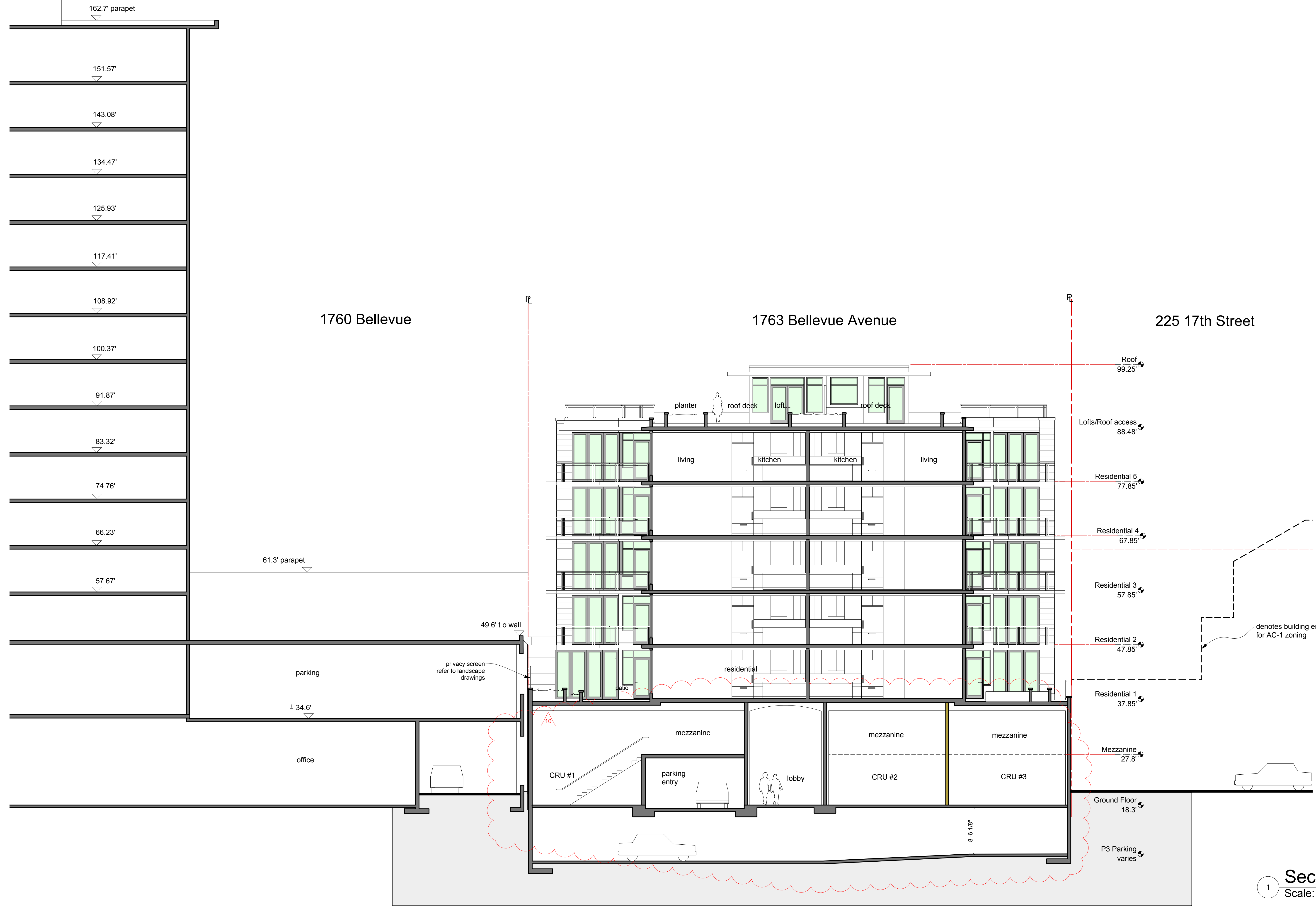
date	revision
June 20, 2014	1. Client Review
July 1, 2014	2. Issued for Permit
July 11, 2014	3. Issued for Energy Modeling
Aug 15, 2014	4. Issued for Consultant Review
Oct 1, 2014	5. Issued for Consultant Review
Nov 13, 2014	6. Issued for Consultant Review
Nov 18, 2014	7. Misc. revisions, released for recording/CDP approval/CDP
Dec 1, 2014	8. Misc. revisions, released for recording/CDP approval/CDP
Feb 12, 2015	9. Minor revisions, released for Advisory Design Panel
Mar 18, 2015	10. Additional CDA and P&ID, released for Advisory Design Panel
June 15, 2015	11. Updated with the information CD 1077

KARL GUSTAVSON - ARCHITECT INC
3685 MECHECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
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Proposed Development
1763 Bellevue Avenue
West Vancouver
Section B

DATE	DATE	DATE	DATE
JUNE 8, 2015	JUNE 8, 2015	JUNE 8, 2015	JUNE 8, 2015
DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE

A3.2



1 Section C
Scale: 1/8" = 1'-0"

date	revision
June 26, 2014	1. Client Review
July 1, 2014	2. Client Review
July 11, 2014	3. Issues for Energy Modeling
Aug 15, 2014	4. Issues for Consultant Review
Nov 13, 2014	5. Issues for Consultant Review
Nov 13, 2014	6. Issues for consultant coordination
Nov 13, 2014	7. Minor revisions, released for marketing/CDP announcement
Nov 13, 2014	8. Minor revisions, released for marketing/CDP announcement
Feb 12, 2015	9. Minor revisions, released for Architect Design Phase
Mar 18, 2015	10. Additional CDM and P3 parking, released for Architect Design Phase
June 9, 2015	11. Updated for construction to CDM

KARL GUSTAVSON ARCHITECT INC
 3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7Y 2M7
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Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 Section C

DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE

A3.3



- Typical Finishes**
1. aluminum frame windows/doors
 2. glass/aluminum guardrails
 3. concrete-paint finish
 4. aluminum frame folding doors
 - 5a. stone facing-- random ashlar
 - 5b. stone facing--2" thick, masonry units
 6. glass/steel canopy, paint or powder coat finish
 7. steel trellis, paint or powdercoat finish
 8. deleted
 9. metal panel
 10. steel bracket-paint or powder coat finish
 11. custom metal fish sculpture
 12. concrete cap
 13. precast concrete lintel/sill
 14. deleted
 15. concrete eyebrow
 16. metal sunshades, paint or powdercoat finish

2 **South Elevation**
Scale: 1/8" = 1'-0"

REVISION

1	Client Review	July 22, 2014
2	Issued for Consultant Review	July 4, 2014
3	Issued for Consultant Review	July 15, 2014
4	Issued for Consultant Review	Aug 15, 2014
5	Submitted for recording/DCP amendment/DCP	Sept 15, 2014
6	Submitted for recording/DCP amendment/DCP	Oct 15, 2014
7	Minor revisions, re-submitted for recording/DCP amendment/DCP	Nov 18, 2014
8	Revised site sections, re-issued for recording/DCP amendment/DCP	Nov 21, 2014
9	Additional GFL and P1 parking, re-issued for recording/DCP amendment/DCP	Mar 16, 2015
10	Additional GFL and P1 parking, re-issued for recording/DCP amendment/DCP	Mar 16, 2015
11	Updated and re-submitted to DWP	June 8, 2015

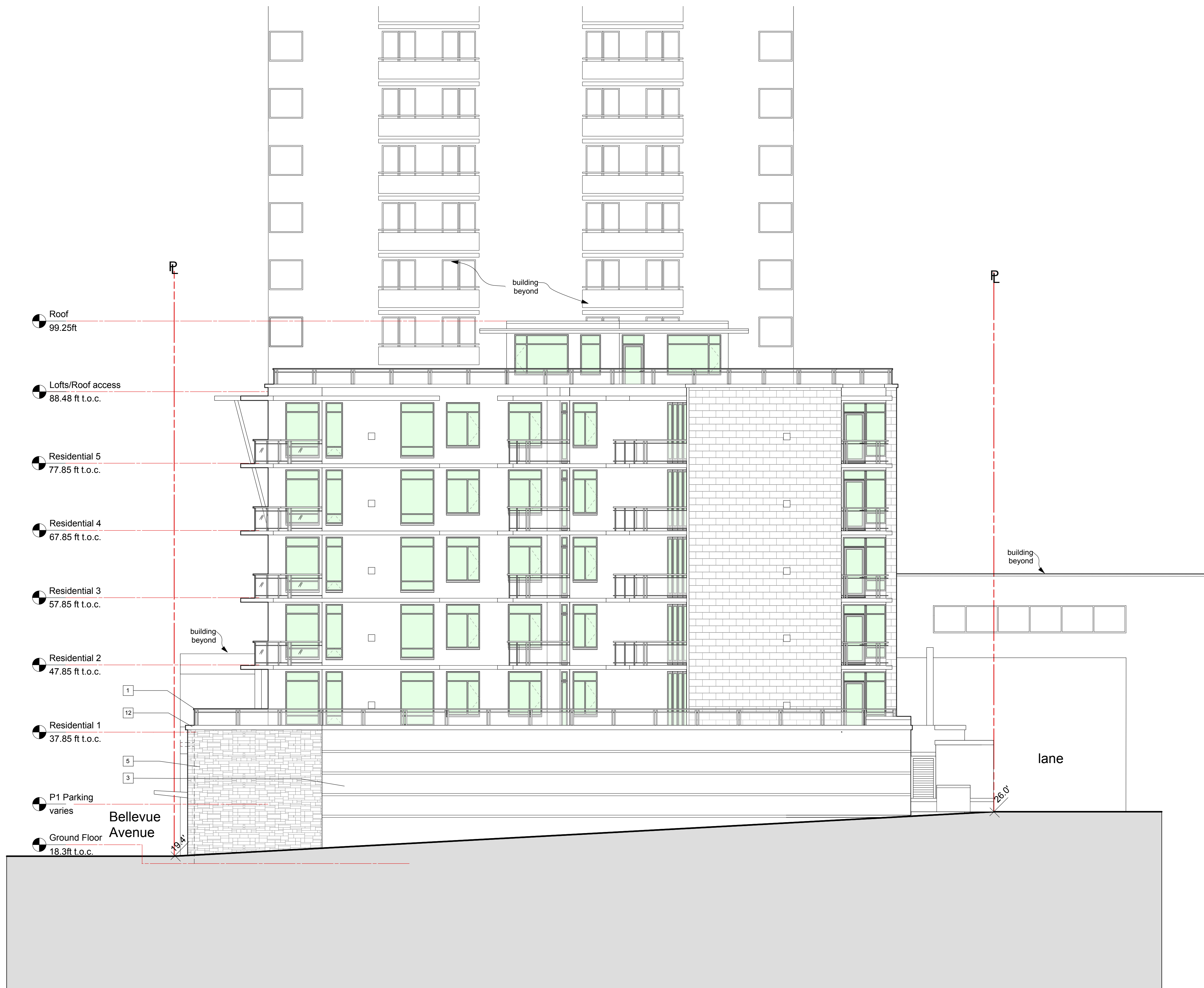
KARL GUSTAVSON - ARCHITECT INC
 3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
 phone (604) 926-1649 fax (604) 926-0559

DATE	June 8, 2015
DRAWN	DP
CHECKED	IG
SCALE	as noted
JOB NO.	

PROJECT
**Proposed Development
 1763 Bellevue Avenue
 West Vancouver**

SHEET TITLE
Elevations

A4.1



1 East Elevation
Scale: 1/8" = 1'-0"

DATE	REVISION
June 20, 2014	1. Client Review
July 1, 2014	2. Issued for Construction
July 1, 2014	3. Issued for Construction
Aug 13, 2014	4. Issued for Construction Review
Aug 13, 2014	5. Issued for Construction Review
Nov 13, 2014	6. Issued for construction coordination
Nov 13, 2014	7. More revisions, re-issued for rooming/GDP amendments/GP
Nov 13, 2014	8. More revisions, re-issued for rooming/GDP amendments/GP
Nov 13, 2014	9. More revisions, re-issued for Advisory Design Panel
Mar 10, 2015	10. Additional GFA and P3 panels, re-issued for Advisory Design Panel
June 8, 2015	11. Updated and re-submitted to DAV

KARL GUSTAVSON - ARCHITECT INC.
 3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
 phone (604) 926-1649 fax (604) 926-1069

PROJECT
 Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 Elevations

DATE	June 8, 2015
DRAWN	DP
CHECKED	FG
SCALE	as noted
JOB NO.	

A4.2



1 North Elevation
Scale: 1/8" = 1'-0"

date	revision
June 8, 2015	1. Initial design
July 4, 2014	2. Initial for Consultation Review
July 11, 2014	3. Issued for Energy Modeling
Aug 1, 2014	4. Issued for Permit Application
Sept 2, 2014	5. Submit for rezoning/DCP amendment/DSP
Nov 3, 2014	6. Issue for consultant coordination
Nov 20, 2014	7. Issue for rezoning/DCP amendment/DSP
Nov 20, 2014	8. Revised site section, re-submit for rezoning/DCP amendment/DSP
Feb 12, 2015	9. Minor revisions re-submit for rezoning/DCP amendment/DSP
Mar 16, 2015	10. Revised site section, re-submit for rezoning/DCP amendment/DSP
June 8, 2015	11. Update and re-submitted to DCO

KARL GUSTAVSON ARCHITECT INC
 3685 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
 phone (604) 926-1649 fax (604) 926-1059

PROJECT: Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 ELEVATIONS

DATE	DATE	DATE
JUNE 8, 2015	JUNE 8, 2015	JUNE 8, 2015
DRAWN	DP	DP
CHECKED	KG	KG
SCALE	as noted	as noted
JOB NO.		

A4.3



1 West Elevation
Scale: 1/8" = 1'-0"

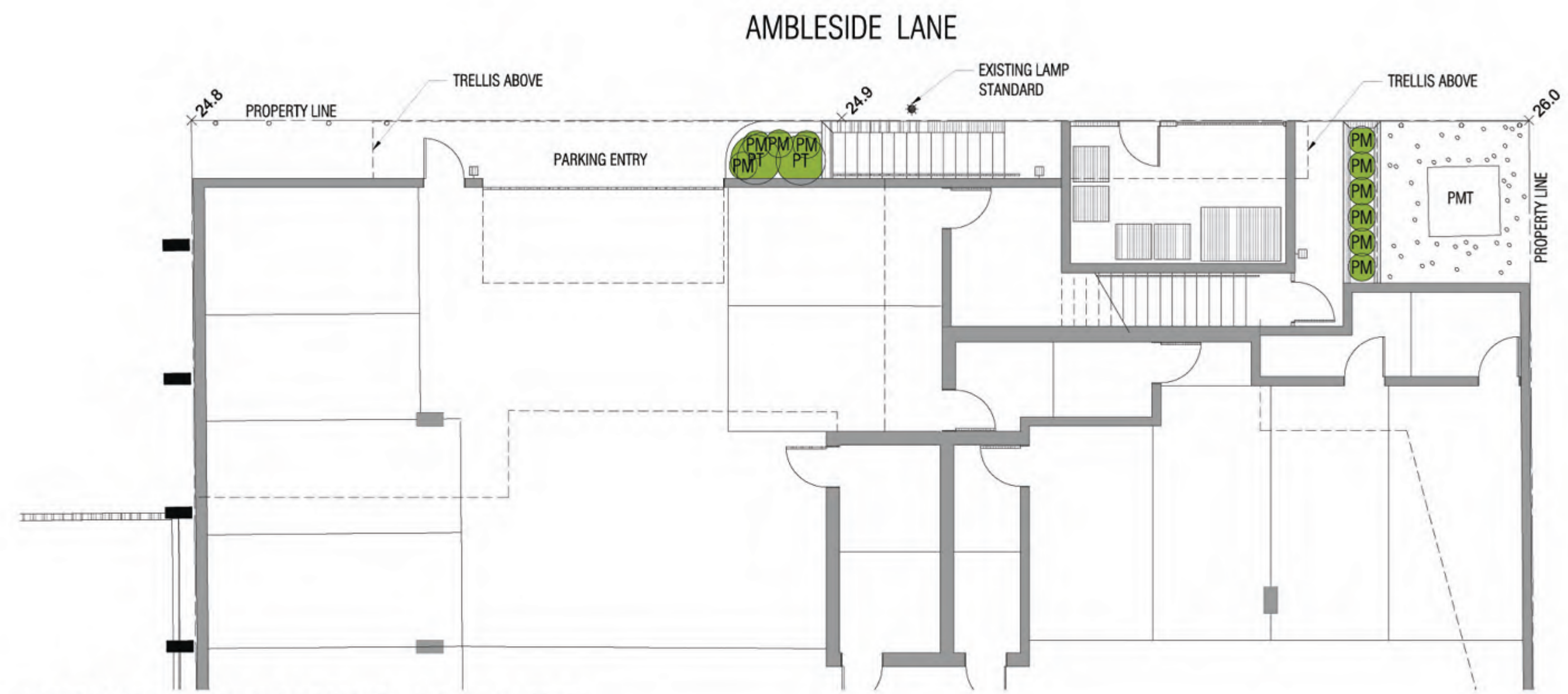
DATE	REVISION
June 23, 2014	1. Client Review
July 11, 2014	2. Review for Energy Modeling
July 11, 2014	3. Review for Energy Modeling
July 11, 2014	4. Review for Energy Modeling
July 11, 2014	5. Review for Energy Modeling
July 11, 2014	6. Review for Energy Modeling
July 11, 2014	7. Review for Energy Modeling
July 11, 2014	8. Review for Energy Modeling
July 11, 2014	9. Review for Energy Modeling
July 11, 2014	10. Review for Energy Modeling
July 11, 2014	11. Updated and resubmitted to City

KARL GUSTAVSON - ARCHITECT INC
 3665 McKECHNIE AVENUE, WEST VANCOUVER, B.C. V7V 2M7
 phone (604) 926-1649 fax (604) 926-059

Proposed Development
 1763 Bellevue Avenue
 West Vancouver
 Elevations

DATE	June 8, 2015
DRAWN	DP
CHECKED	KG
SCALE	as noted
JOB NO.	

A4.4



LANDSCAPE PLAN: PARKING - UPPER LEVEL
SCALE: 1/8"=1'-0"

GENERAL NOTES:

- REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR RESOLUTION OR CLARIFICATION.
- THE LANDSCAPE CONTRACTOR AND GENERAL CONTRACTOR OR SUBCONTRACTORS OF THE LANDSCAPE WORKS SHALL COMPLY WITH ALL RELATED FEDERAL, PROVINCIAL AND LOCAL MUNICIPAL LAWS, BY-LAWS, GUIDELINES, REGULATIONS PERTAINING TO THE EXECUTION AND INSTALLATION OF THE WORK OR LANDSCAPE WORK.
- THE GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR SHALL BE FULLY KNOWLEDGABLE OF ABOVE AND UNDERGROUND UTILITIES ON THE DEVELOPMENT SITE BOTH ON AND OFF SITE. VERIFY AND CONFIRM THAT NO CONFLICTS EXIST WITH SUCH UTILITIES AND REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION WORK.
- SITE PREPARATORY WORK SHALL BE DONE TO ALLOW FULL COMMENCEMENT OF INSTALLATION OF NEW DESIGN - SEE ALL OTHER LANDSCAPE DRAWINGS FOR THIS PROJECT (THIS PACKAGE).
- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCNTA OR BCSLA GUIDELINES.
- TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
- AMMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
- TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - GRASSED AREAS: 6" (150MM)
 - GROUND COVERS: 14" (350MM)
 - SHRUBS: 18" (450MM)
 - TREE PITS: 36" (1000MM) WITH 12" (300MM) BELOW ROOT BALL
- LAWN AREAS SHALL BE SODDED WITH #1 PREMIUM RESIDENTIAL SOD.
- ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 14" O.C.
- 2" DEPTH OF 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
- IRRIGATION SYSTEM - HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM TO BE INSTALLED.
- ROCK AND BOULDER MATERIALS

ALL BOULDERS SHALL BE SMOOTH FINISH SOURCED FROM RIVER OR FIELD. DO NOT SUPPLY STRAIGHT OR SPLIT FACED STONE, THEY WILL BE REJECTED. PROVIDE JPEG PHOTO OF STONE TO LANDSCAPE ARCHITECT FOR APPROVAL. BOULDERS TO BE EMBEDDED INTO GRADE DO NOT REST ON SURFACE.

SIZES: A: 2'-6" TO 3'-0" DIAMETER
B: 2'-0" TO 3'-6" DIAMETER
C: 1'-0" TO 2'-0" DIAMETER

REFER TO THE KEYS SHOWN ON LANDSCAPE PLAN.

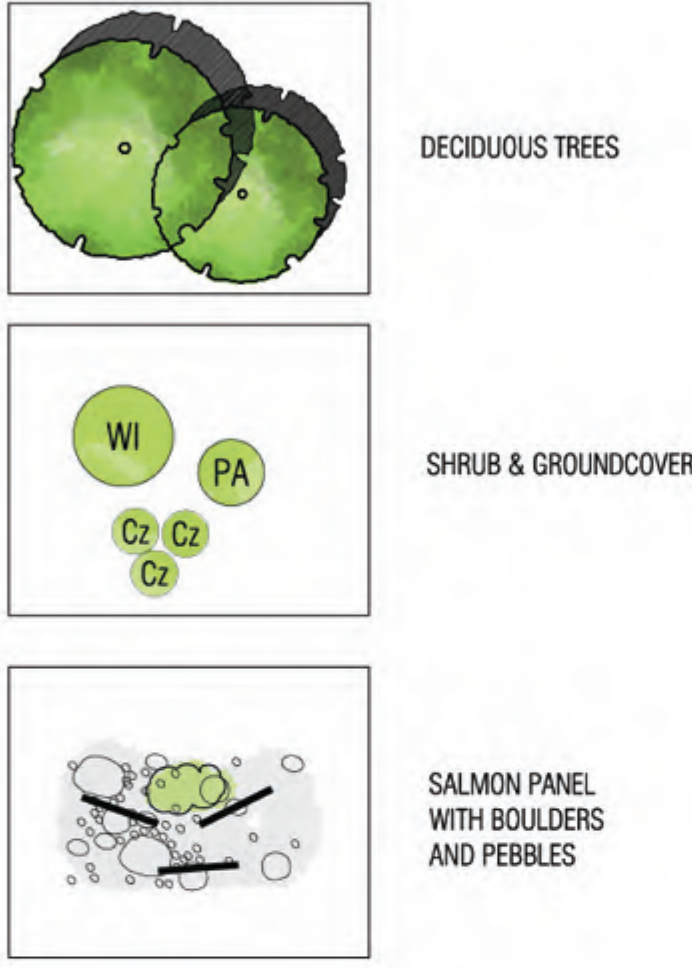
PLANT LIST - GROUND LEVEL:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
DECIDUOUS TREES					
ARD	3	ACER GRISEUM	PAPER MAPLE	6CM CAL.	B & B
GROUNDCOVERS					
Cz	69	COREOPSIS VERTICILLATA ZAGREB	ZAGREB TICKSEED	#1	CONTAINER
Pa	8	PENNISETUM ALOPECUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	#3	CONTAINER
PM	10	POLYSTICHUM MUNITEM	WESTERN SWORD FERN	#2	CONTAINER
PT	4	PARTHENOISSUS TRICUSPIDATA	BOSTON IVY	#3	STAKE TO SCREEN

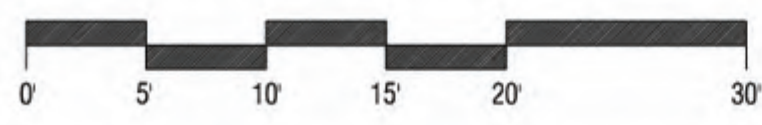
SCHEDULE OF LANDSCAPE ITEMS:

- ① SALMON PANEL ARTWORK
- ② PLANTING BED
- ③ TREE GRATE AS PER STREETScape STANDARD

LEGEND:



LANDSCAPE PLAN: PARKING - GROUND LEVEL
SCALE: 1/8"=1'-0"



REVISIONS/ISSUED
1. SEP. 05, 2014 ISSUED FOR D.P.
2. NOV. 18, 2014 RE-USED FOR REZONING CDP/DP.
3. MAR. 18, 2015 RE-USED FOR REZONING CDP/DP.
4. MAR. 18, 2015 RE-USED FOR REZONING CDP/DP.

PROJECT
PROPOSED DEVELOPMENT
1763 BELLEVUE AVENUE
CITY OF WEST VANCOUVER, B.C.
CLIENT: NEWPORT DEVELOPMENT
ARCHITECTS: KARL GUSTAVSON ARCHITECT INC.



DATE: AUG. 20, 2014
DESIGN: RMM, JZ
DRAWN: JZ
CHECKED: RMM
SCALE: 1/8"=1'-0"
JOB NO.: M1409

SHEET TITLE
LANDSCAPE PLAN
GROUND LEVEL
SHEET NO.
L-1

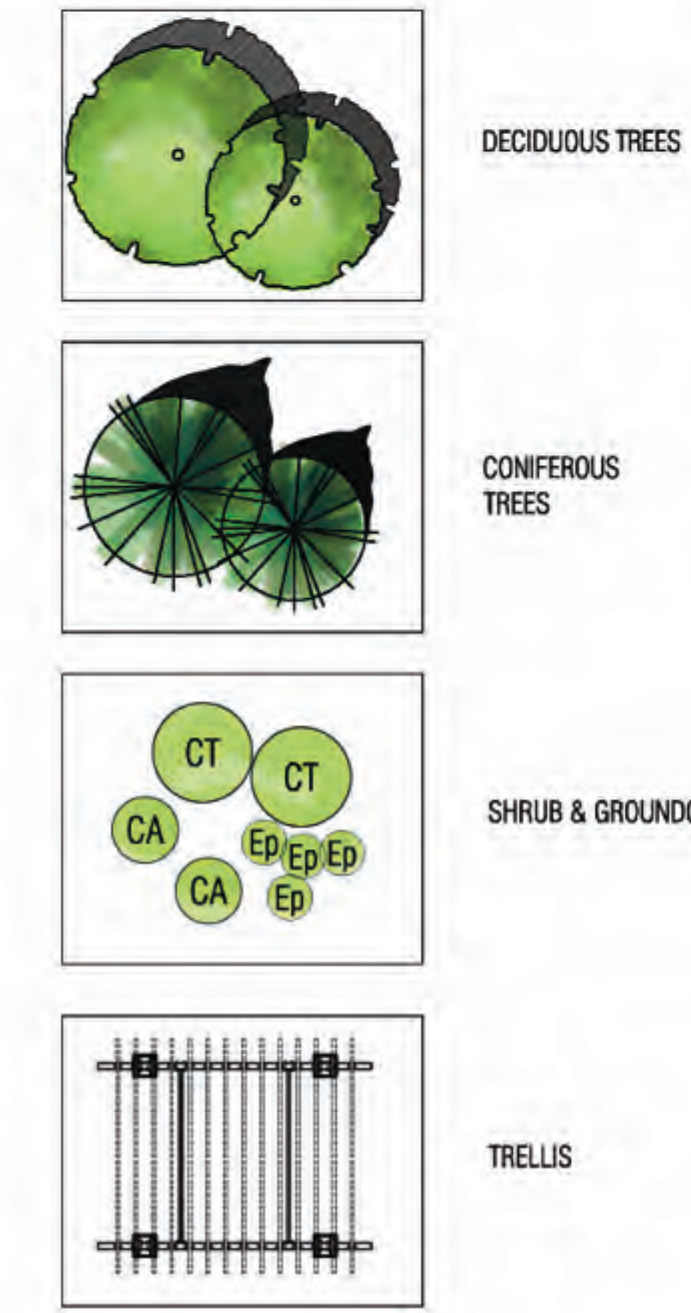


LANDSCAPE PLAN: RESIDENTIAL LEVEL 1
SCALE: 1/8"=1'-0"

SCHEDULE OF LANDSCAPE ITEMS:

- 1 TRELLIS
- 2 RAISED WOOD DECK W/ SEATING
- 3 DECORATIVE PRIVACY SCREEN
- 4 TYP 28" HT. CONC. PLANTER
- 5 TYP 14" HT. CONC. PLANTER
- 6 UNIT PAVERS
- 7 MODULAR CONCRETE PAVING WITH PEBBLE BAND
- 8 GLASS GUARDRAIL

LEGEND:

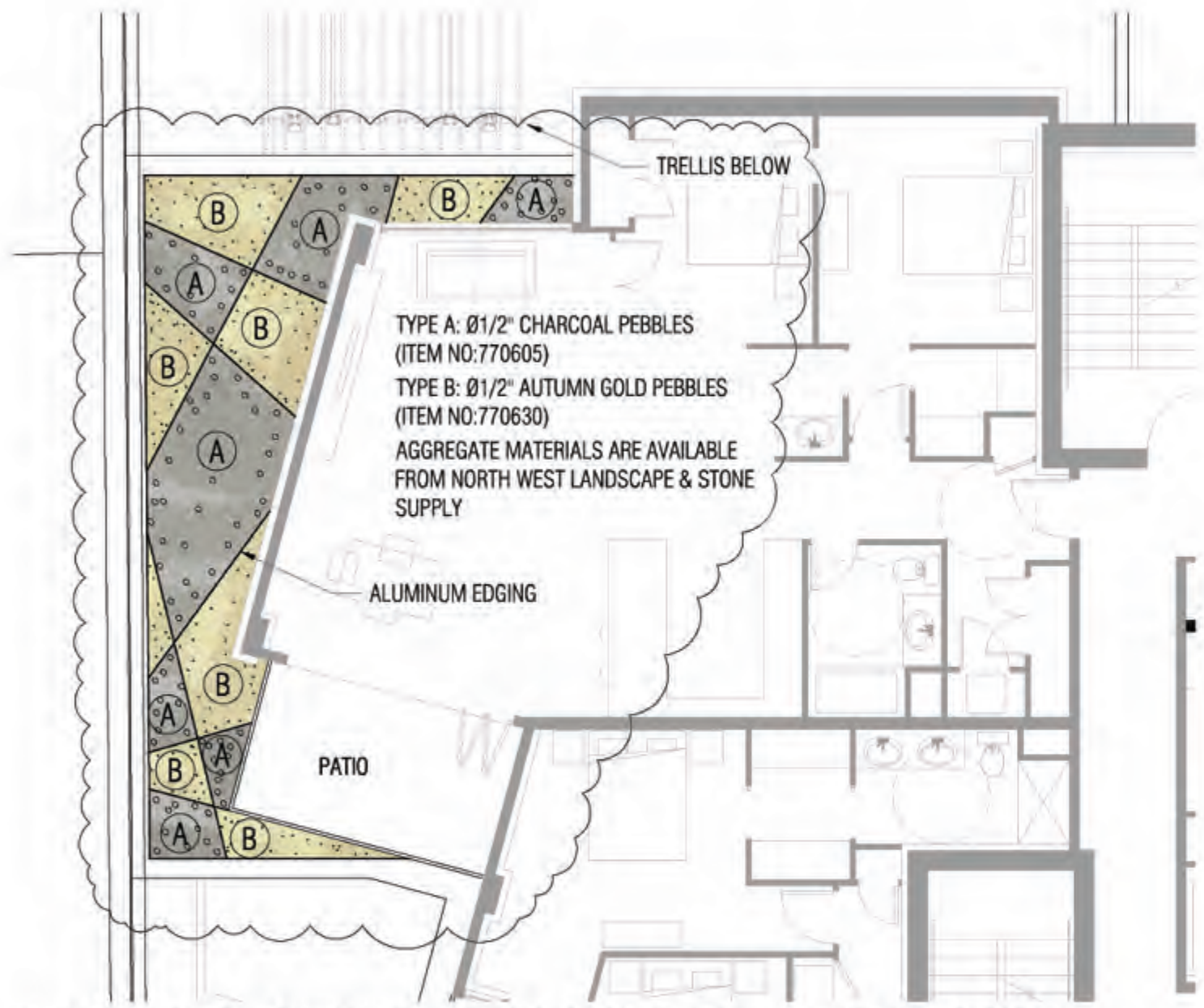


GENERAL NOTES:

1. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR RESOLUTION OR CLARIFICATION.
 2. THE LANDSCAPE CONTRACTOR AND GENERAL CONTRACTOR OR SUBCONTRACTORS OF THE LANDSCAPE WORKS SHALL COMPLY WITH ALL RELATED FEDERAL, PROVINCIAL AND LOCAL MUNICIPAL LAWS, BY-LAWS, GUIDELINES, REGULATIONS PERTAINING TO THE EXECUTION AND INSTALLATION OF THE WORK OR LANDSCAPE WORK.
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 4. SITE PREPARATORY WORK SHALL BE DONE TO ALLOW FULL COMMENCEMENT OF INSTALLATION OF NEW DESIGN - SEE ALL OTHER LANDSCAPE DRAWINGS FOR THIS PACKAGE.
 5. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCNTA OR BCSLA GUIDELINES.
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 - B. GROUND COVERS: 14" (350MM)
 - C. SHRUBS: 18" (450MM)
 - D. TREE PITS: 36" (900MM) WITH 12" (300MM) BELOW ROOT BALL
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 - SIZES: A: 2'-6" TO 3'-0" DIAMETER
 - B: 2'-0" TO 3'-6" DIAMETER
 - C: 1'-0" TO 2'-0" DIAMETER
- REFER TO THE KEYS SHOWN ON LANDSCAPE PLAN.

PLANT LIST - RESIDENTIAL LEVEL 1:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
DECIDUOUS TREES					
APD	10	ACER PALMATUM	JAPANESE MAPLE	5CM CAL.	B&B
SHRUBS					
HCD	6	HIBISCUS SYRIACUS 'BLUEBIRD'	BLUEBIRD ROSE OF SHARON	6' HT.	CONTAINER, STD.
HPD	6	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	6' HT.	CONTAINER, STD.
AZ	8	AZALEA JAPONICA GUMPO PINK	PINK AZALEA	#3	CONTAINER
CA	8	CALAMAGROSTIS ACUTIFLORA OVERDAM	VARIEGATED FEATHER REED GRASS	#3	CONTAINER
CT	34	CHOISYA TERNATA	MEXICAN MOCK ORANGE	#3	CONTAINER
PA	27	PENNISETUM ALOPECUROIDES 'HAEMEL'	DWARF FOUNTAIN GRASS	#3	CONTAINER
PT	5	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	#3	STAKE TO SCREEN
RU	50	RHODOEDRON UNIQUE	'UNIQUE' RHODOEDRON	#3	CONTAINER
SH	11	SARCOCCOA HOOKERANA HUMILIS	HIMALAYAN SWEET BOX	#2	CONTAINER
WI	3	WISTERIA FLORIBUNDA	JAPANESE WISTERIA VINE	#3	STAKE TO SCREEN
GROUNDCOVERS					
Ac	41	ASTILBE CHINENSIS 'VISIONS'	ASTILBE	#1	CONTAINER
Cz	36	COREOPSIS VERTICILLATA ZAGREB	ZAGREB TICKSEED	#1	CONTAINER
Ec	32	EUPHORBIA CHARACIAS 'WULFENI'	WOOD SPURGE	#1	CONTAINER
Ep	9	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#1	CONTAINER
Is	82	IBERIS SEMPERVIRENS	EVERGREEN CANDYTUFT	#1	CONTAINER
La	45	LAVANDULA ANGSTIFOLIA	ENGLISH LAVENDER	#1	CONTAINER
Ri	24	RUDBECKIA FULGIDA var 'GOLDSTRUM'	BLACK-EYED SUSAN	#1	CONTAINER



LANDSCAPE PLAN: RESIDENTIAL LEVEL 2 - FLAT ROOF
SCALE: 1/8"=1'-0"

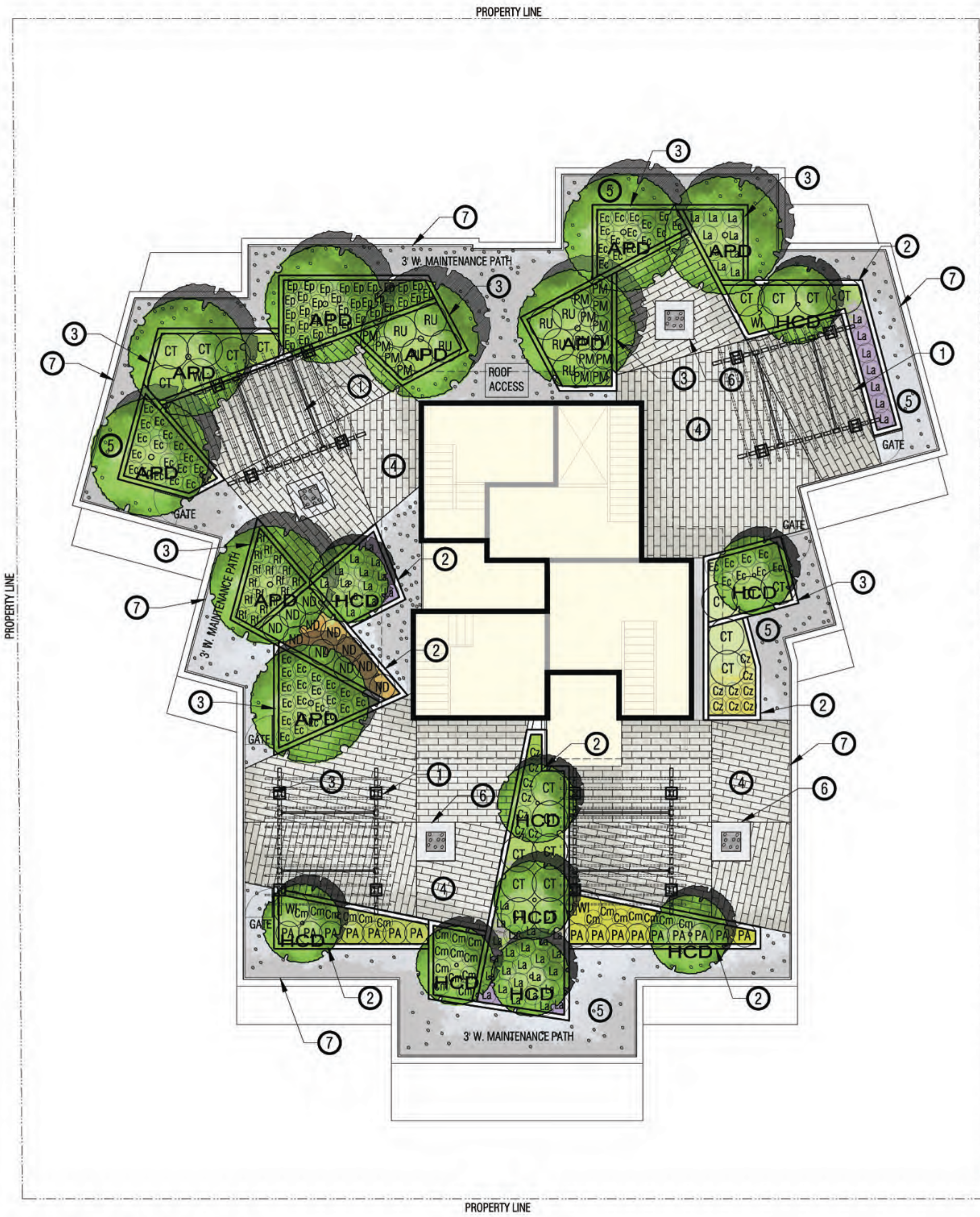
REVISIONS/ISSUED
1. SEP. 05, 2014 ISSUED FOR D.P.
2. NOV. 18, 2014 REVISION FOR PERMITS, CDP/DP.
3. MAR. 11, 2015 REVISION FOR PERMITS, CDP/DP.
4. MAR. 18, 2015 REVISION FOR PERMITS, CDP/DP.

PROJECT
PROPOSED DEVELOPMENT
1763 BELLEVUE AVENUE
CITY OF WEST VANCOUVER, B.C.
CLIENT: NEWPORT DEVELOPMENT
ARCHITECTS: KARL GUSTAVSON ARCHITECT INC.
MARUYAMA & ASSOCIATES 860 UNIT C LEG IN BOOTH SQUARE, VANCOUVER, B.C. V6Z 4B4, PH: (604) 874-9867, FX: (604) 874-9831, EM: maruyama@telus.net



DATE: AUG. 20, 2014
DESIGN: RMM, JZ
DRAWN: JZ
CHECKED: RMM
SCALE: 1/8"=1'-0"
JOB NO.: M1409

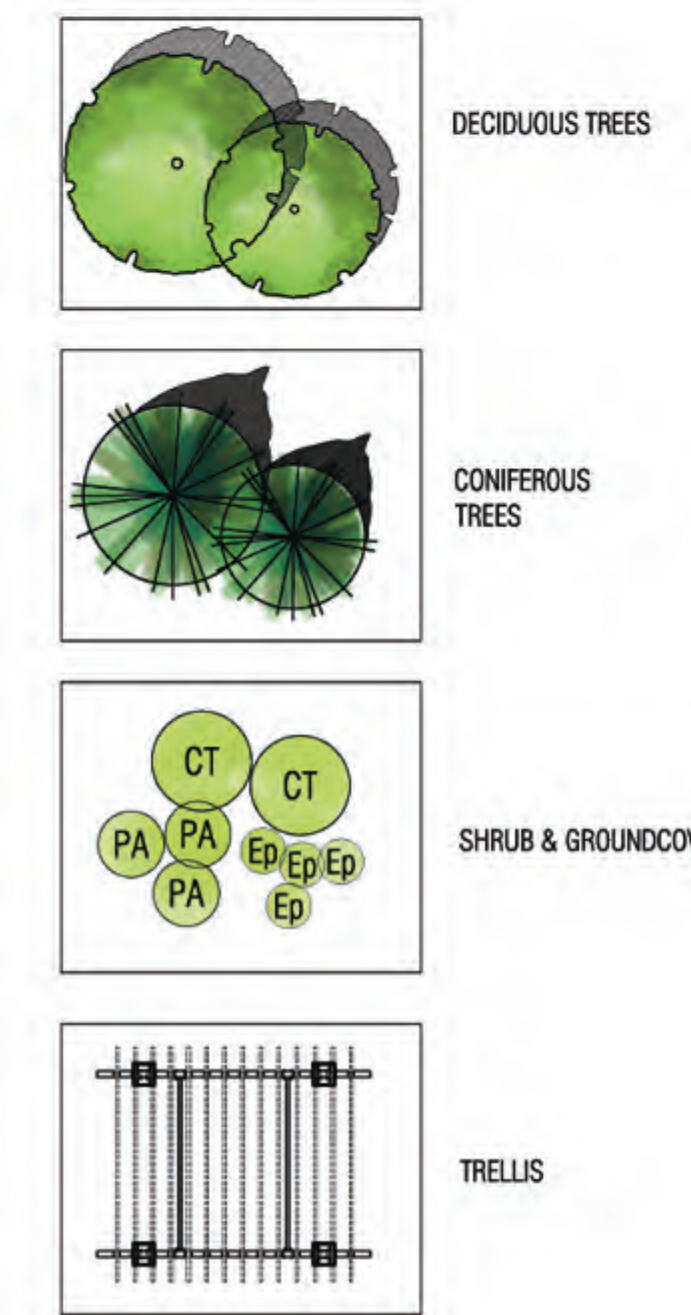
SHEET TITLE
LANDSCAPE PLAN
RESIDENTIAL LEVEL 1 & 2
SHEET NO.
L-2



SCHEDULE OF LANDSCAPE ITEMS:

- 1 TRELLIS
- 2 TYPICAL 18" HT. RAISED PLANTER
- 3 3' HT. PLANTER W/ SMALL DECIDUOUS TREE
- 4 UNIT PAVERS WITH DIFFERING ANGLES FOR EACH PANEL
- 5 1/2" DIA. PEBBLES FOR MAINTENANCE ACCESS
- 6 FIRE PIT
- 7 GUARDRAIL

LEGEND:



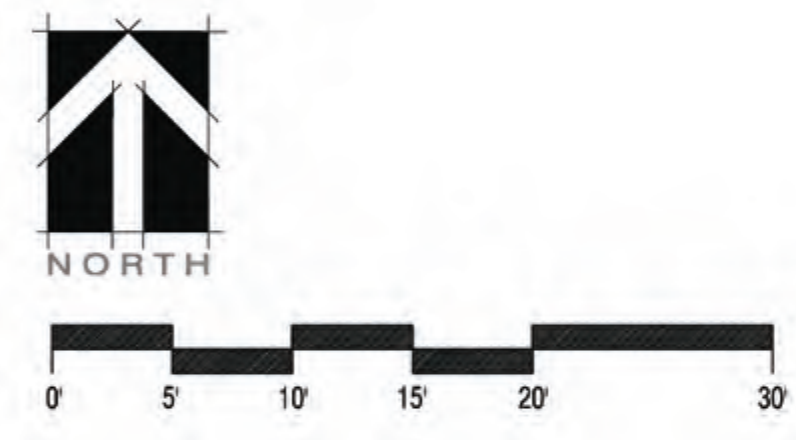
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 - C: 1'-0" TO 2'-0" DIAMETER
- REFER TO THE KEYS SHOWN ON LANDSCAPE PLAN.

PLANT LIST - LOFT ROOF PATIO:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
DECIDUOUS TREES					
APD	9	ACER PALMATUM	JAPANESE MAPLE	5CM CAL.	B&B
SHRUBS					
HCD	9	HIBISCUS SYRIACUS 'BLUEBIRD'	BLUEBIRD ROSE OF SHARON	6' HT.	CONTAINER, STD.
CT	22	CHOISYA TERNATA	MEXICAN MOCK ORANGE	#3	CONTAINER
ND	11	NANDINA DOMESTICA 'MOON BAY'	HEAVENLY BAMBOO	#3	CONTAINER
PA	16	PENNISETUM ALOPECUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	#3	CONTAINER
PM	15	POLYSTICHUM MUNITEM	WESTERN SWORD FERN	#2	CONTAINER
RU	8	RHODOGEDRON 'UNIQUE'	'UNIQUE' RHODOGEDRON	#3	CONTAINER
WI	4	WISTERIA FLORIBUNDA	JAPANESE WISTERIA VINE	#3	STAKE TO SCREEN
GROUNDCOVERS					
Cm	24	COREOPSIS VERTICILLATA MOONBEAM	MOONBEAM TICKSEED	#1	CONTAINER
Cz	15	COREOPSIS VERTICILLATA ZAGREB	ZAGREB TICKSEED	#1	CONTAINER
Ec	62	EUPHORBIA CHARACIAS 'WULFENI'	WOOD SPURGE	#1	CONTAINER
Ep	34	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#1	CONTAINER
La	55	LAVANDULA ANGLUSTIFOLIA	ENGLISH LAVENDER	#1	CONTAINER
Rf	17	RUDBECKIA FULGIDA var 'GOLDSTRUM'	BLACK-EYED SUSAN	#1	CONTAINER

LANDSCAPE PLAN: LOFT-ROOF PATIO
SCALE: 1/8"=1'-0"



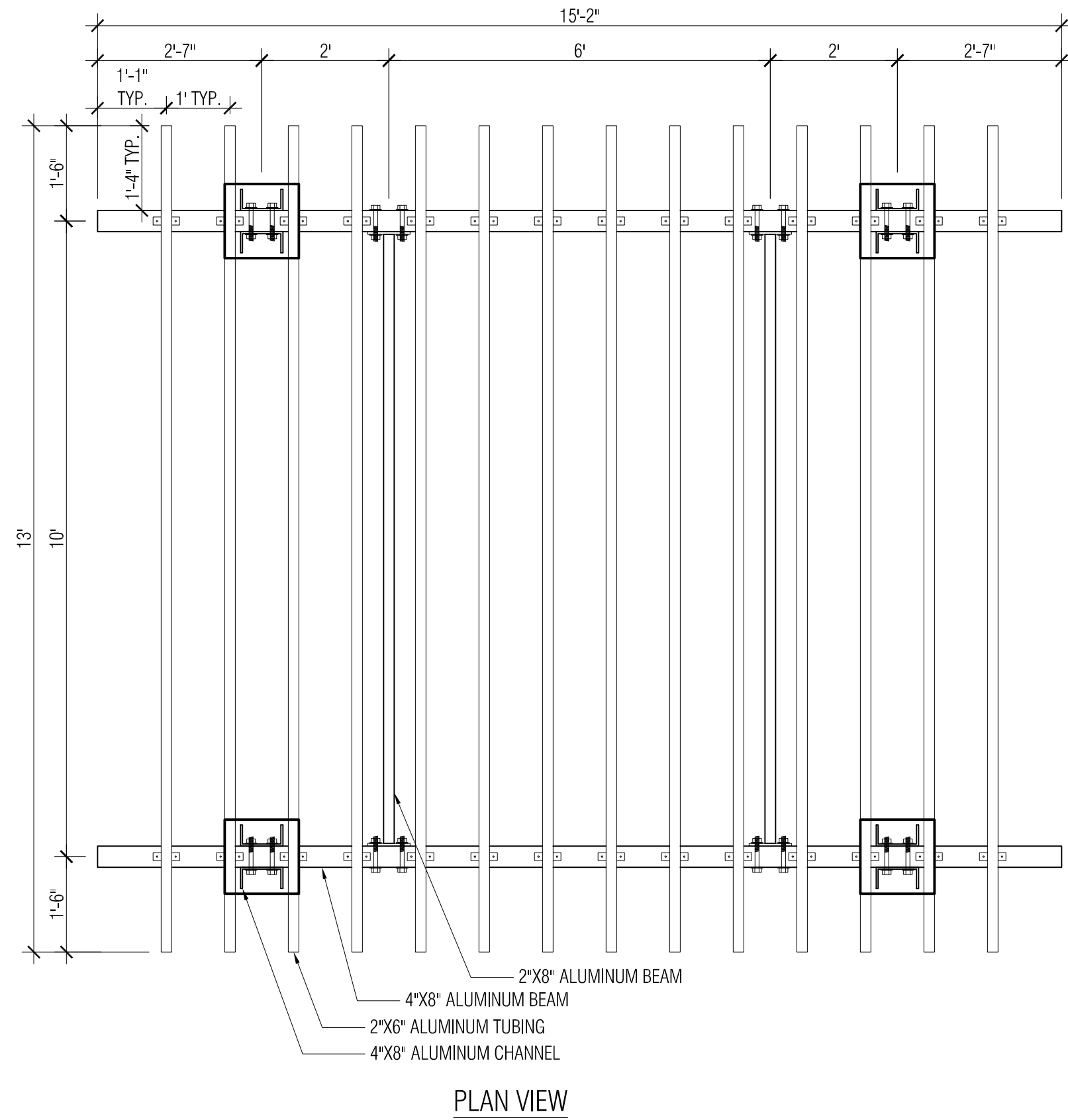
REVISIONS/ISSUED
1. SEP. 05, 2014 ISSUED FOR D.P.
2. NOV. 18, 2014 REVISED FOR REZONING CDP/D.P.
3. FEB. 19, 2015 REVISED FOR REZONING CDP/D.P.
4. MAR. 18, 2015 REVISED FOR REZONING CDP/D.P.

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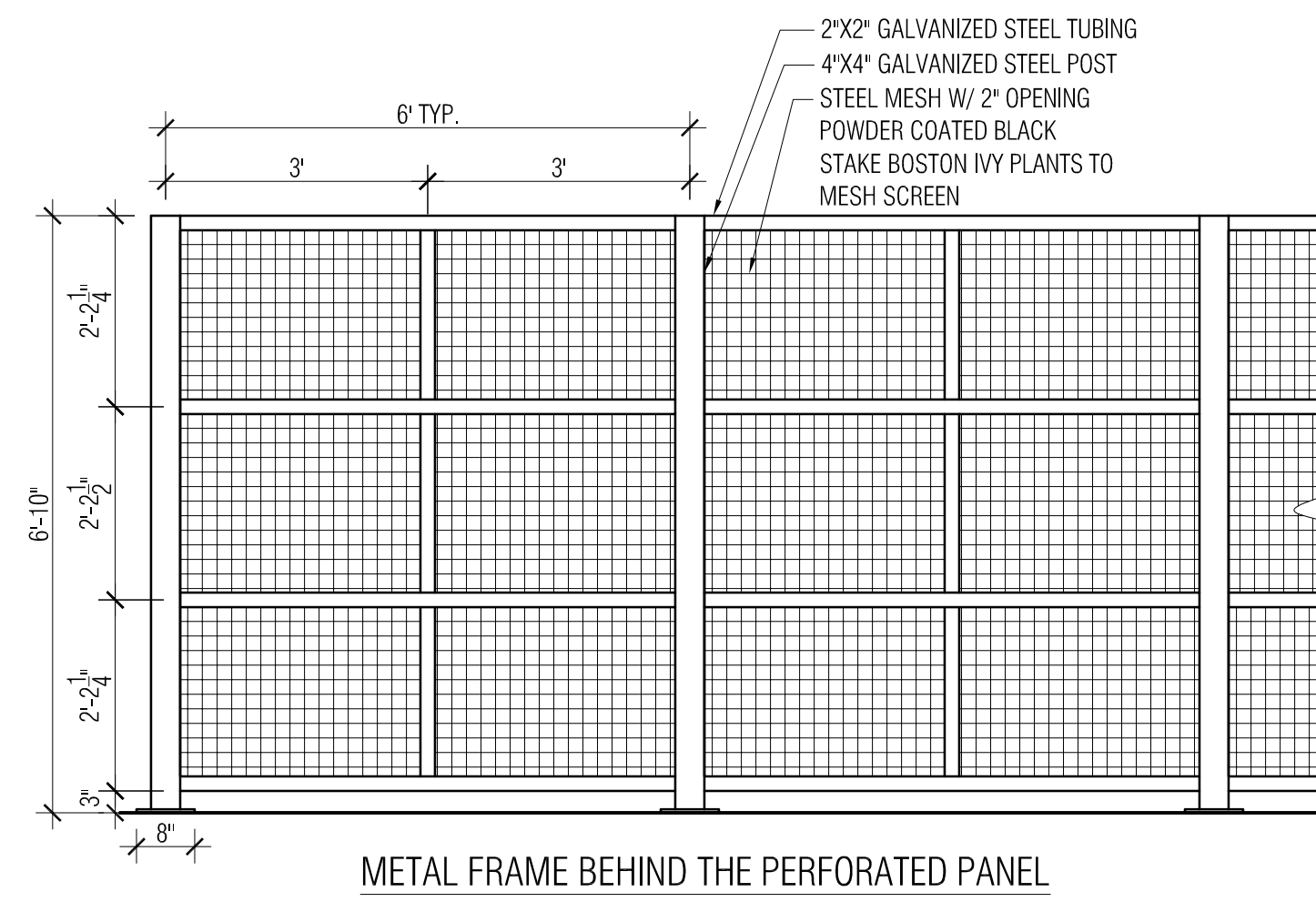


DATE: AUG. 20, 2014
DESIGN: RMM, JZ
DRAWN: JZ
CHECKED: RMM
SCALE: 1/8"=1'-0"
JOB NO.: M1409

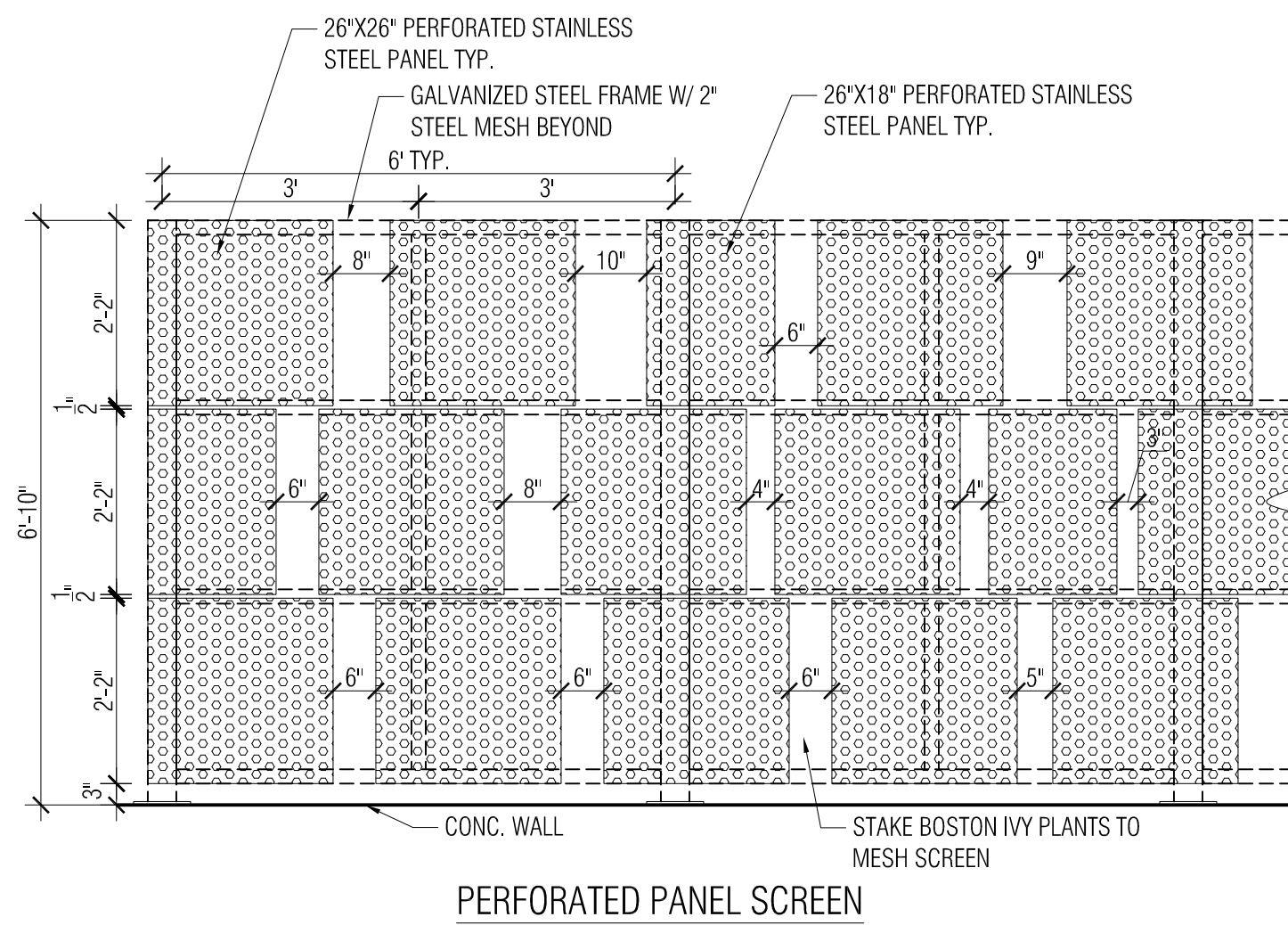
SHEET TITLE
LANDSCAPE PLAN
LOFT ROOF PATIO
SHEET NO.
L-3



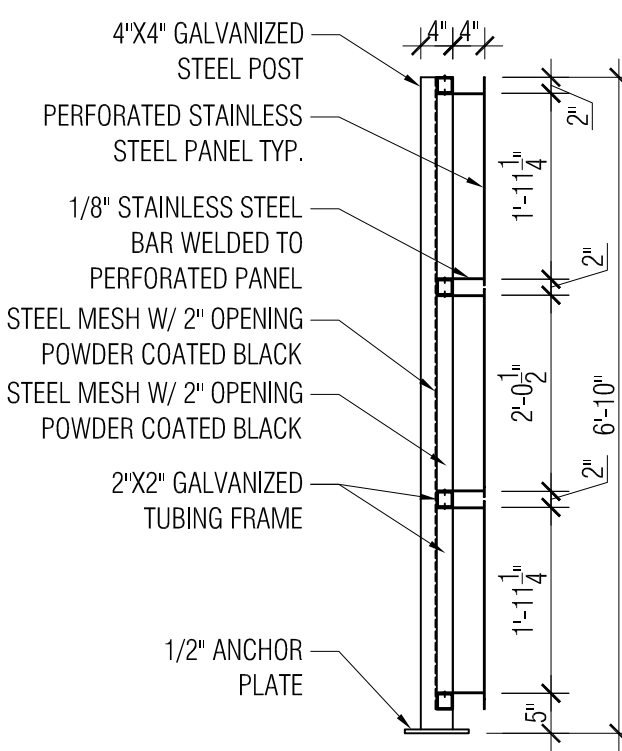
PLAN VIEW



METAL FRAME BEHIND THE PERFORATED PANEL



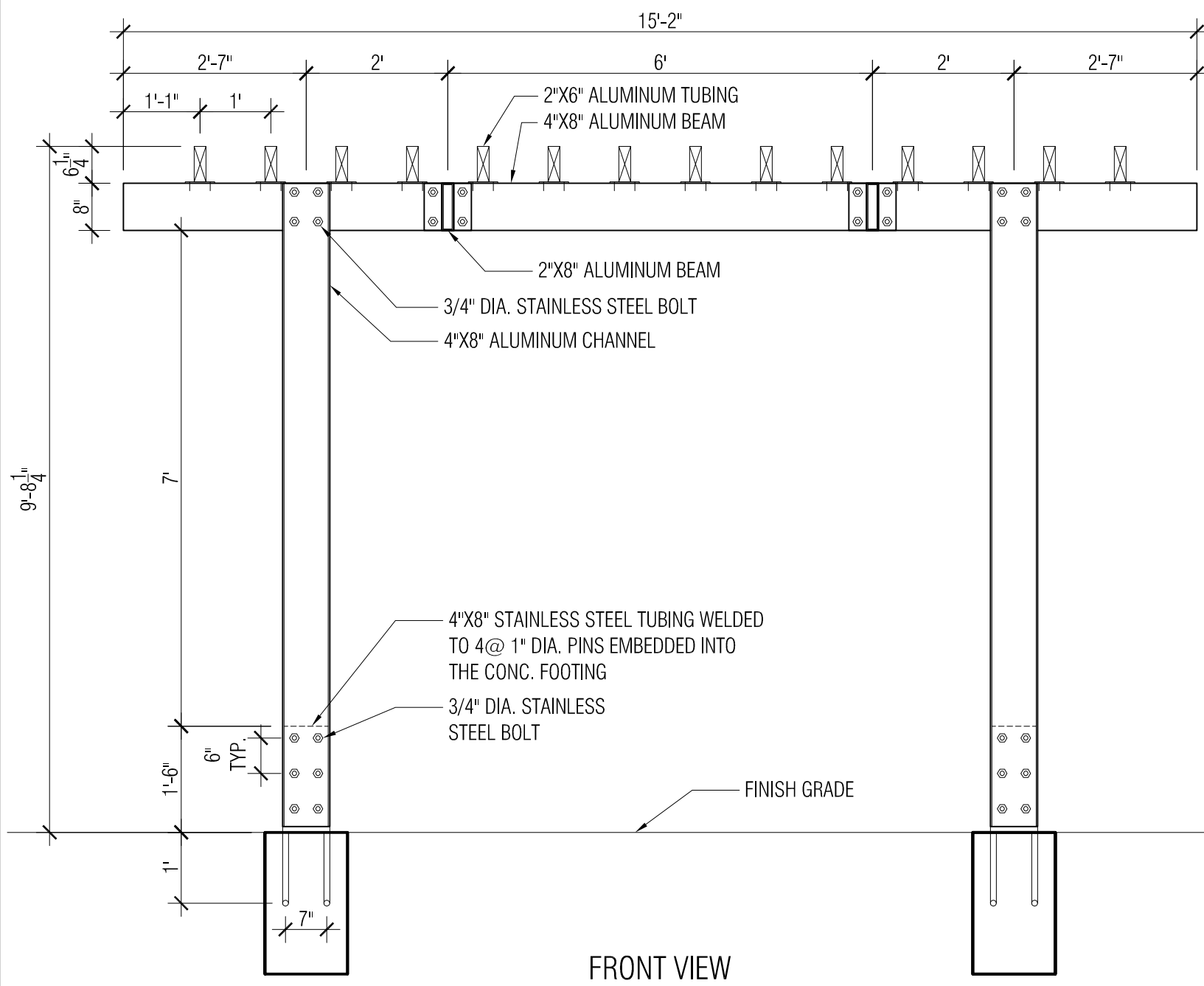
PERFORATED PANEL SCREEN



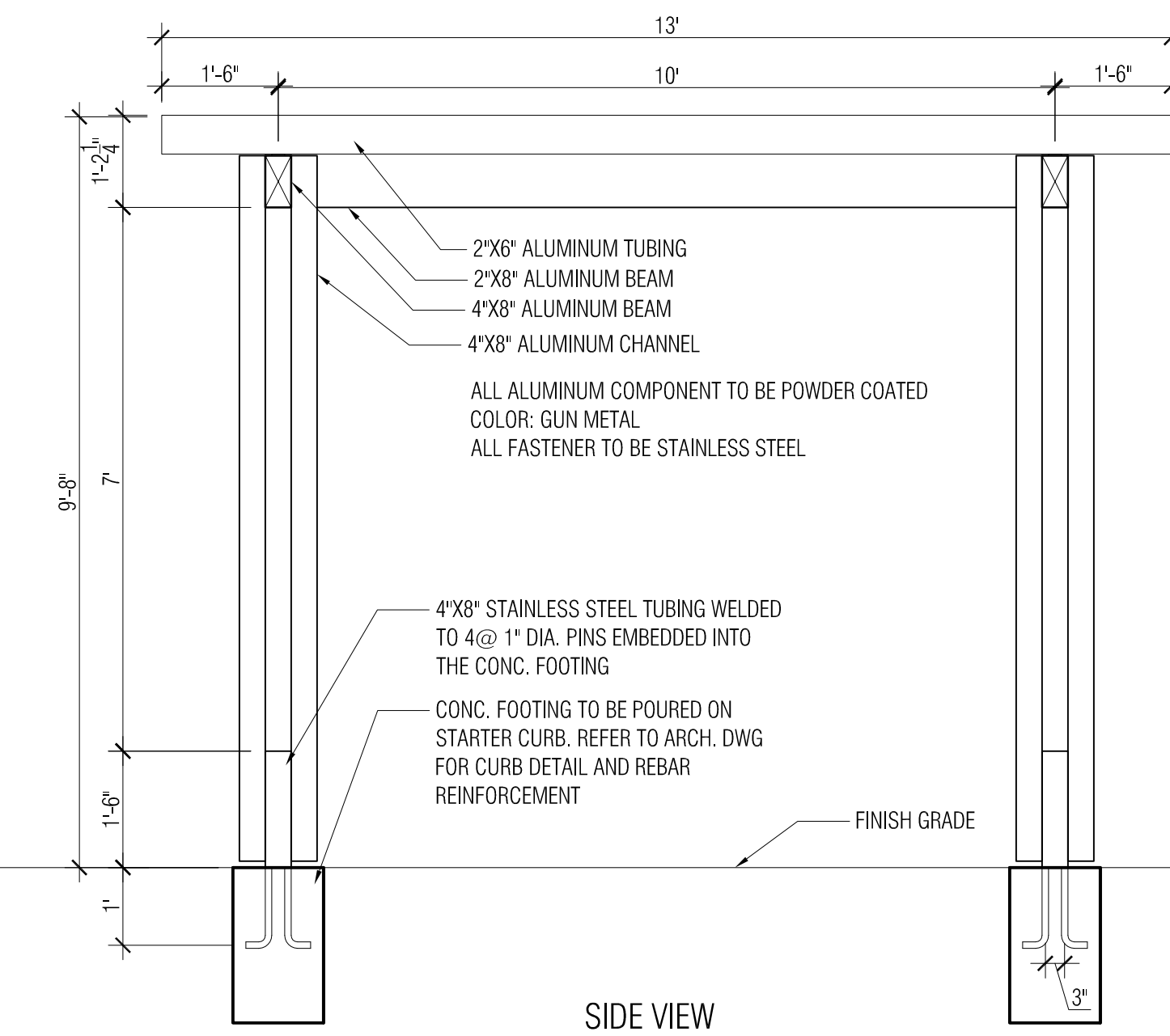
TYP. SECTION

SCALE: 1/2" = 1'-0"

2 METAL PRIVACY SCREEN



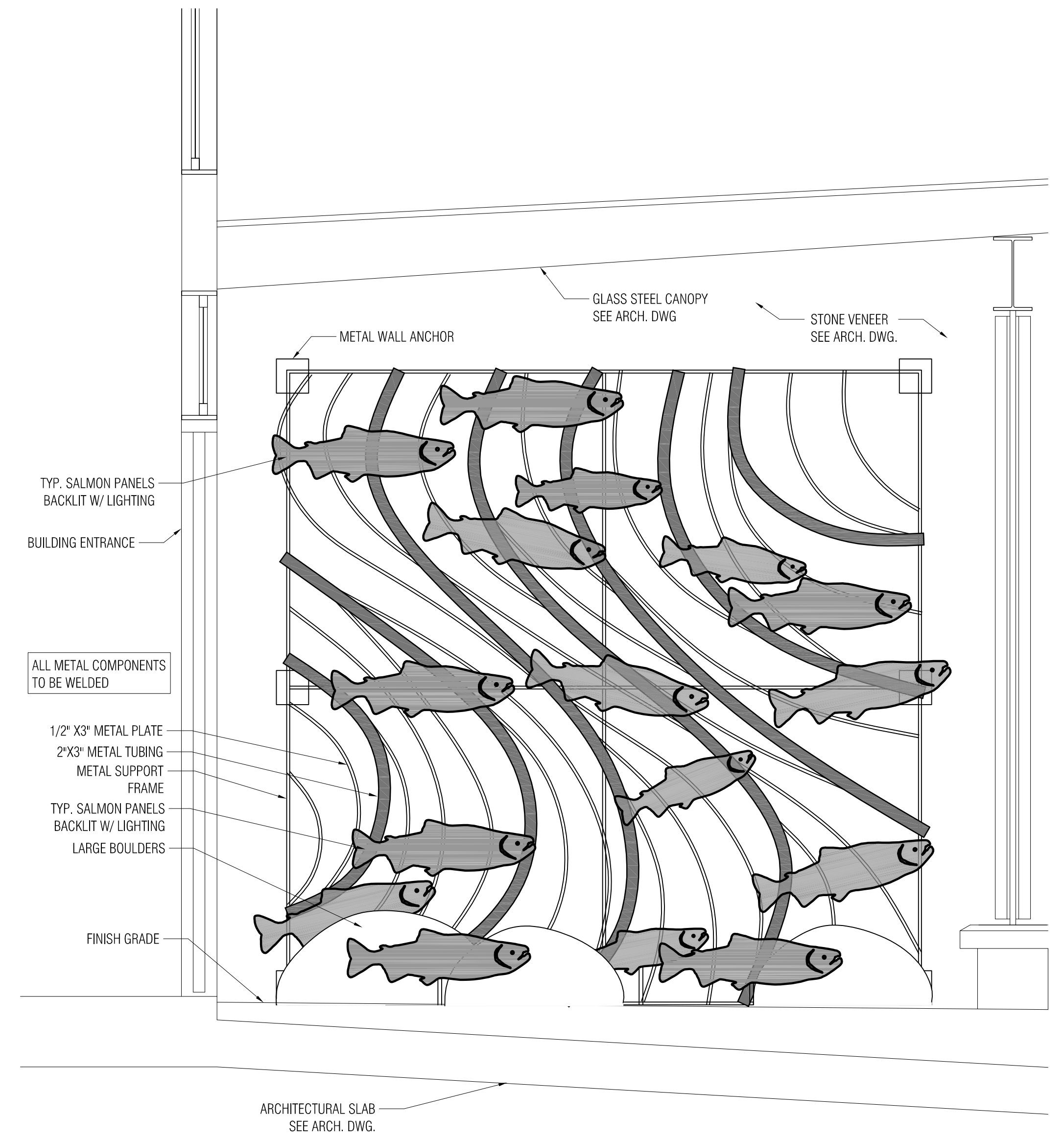
FRONT VIEW



SIDE VIEW

SCALE: 1/2" = 1'-0"

1 ALUMINUM TRELLIS



3 SALMON PANEL ART FEATURE

SCALE: 3/4" = 1'-0"

REVISIONS/ISSUED
 1. SEP. 05, 2014 ISSUED FOR D.P.
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DATE	AUG. 20, 2014
DESIGN	RM, JZ
DRAWN	JZ
CHECKED	RM
SCALE	AS SHOWN
JOB NO.	M1409

SHEET TITLE
LANDSCAPE DETAILS

SHEET NO.
L-4