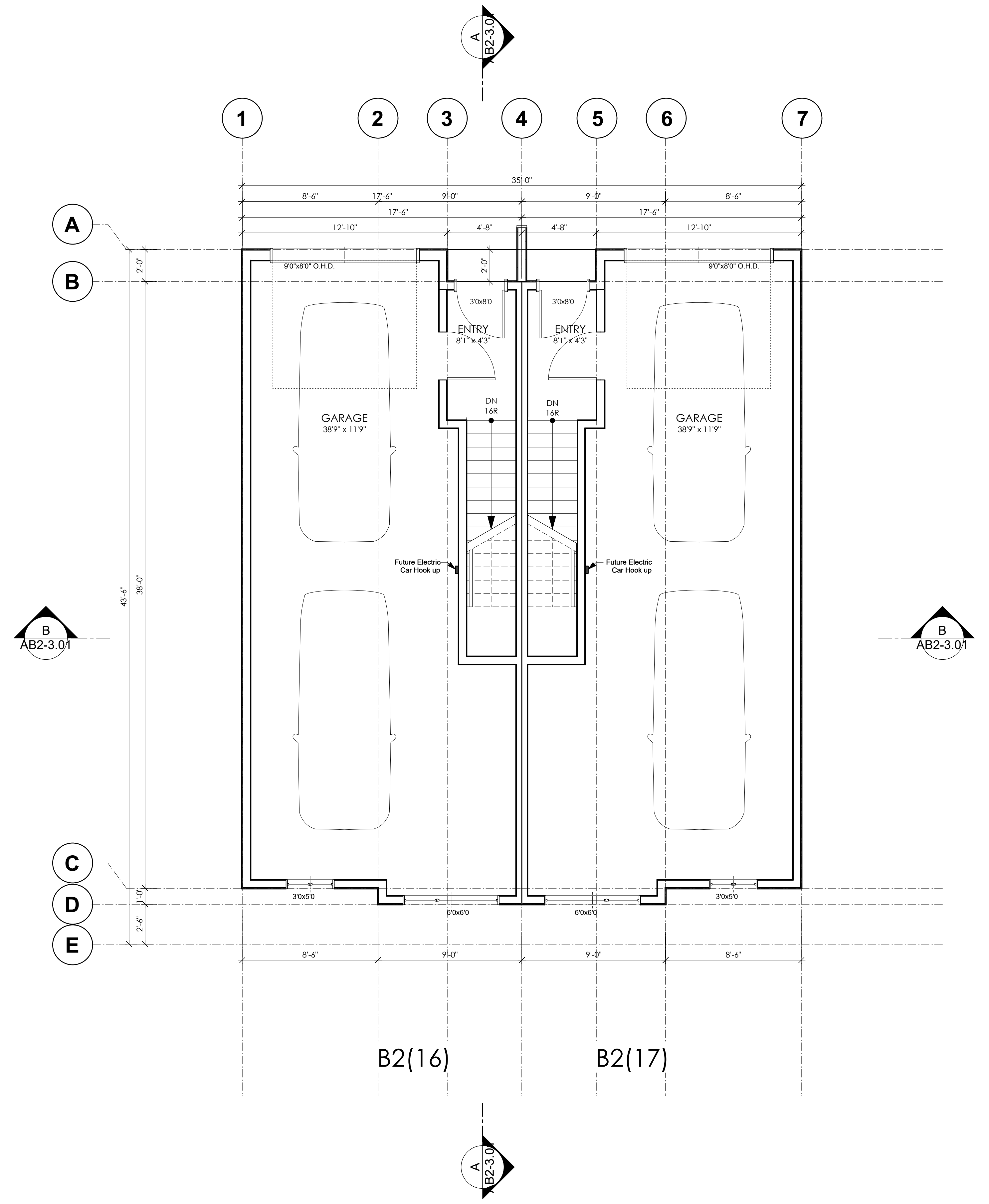


REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

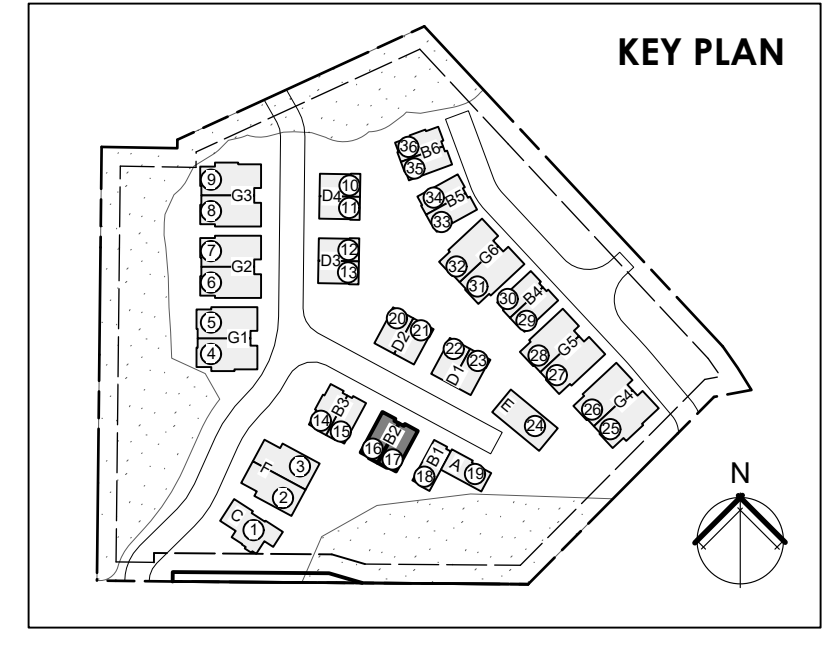


UPPER / ENTRY FLOOR PLAN
UNIT B2



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B2

DRAWING
UPPER FLOOR PLAN



UNIT 16 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.2 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS 100%	761.2 SF	0.0 SF	0.0 SF	761.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	709.0 SF	258.4 SF	967.4 SF

UNIT 16 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 100%	70.7 SM	0.0 SM	0.0 SM	70.7 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	65.9 SM	24.0 SM	89.9 SM

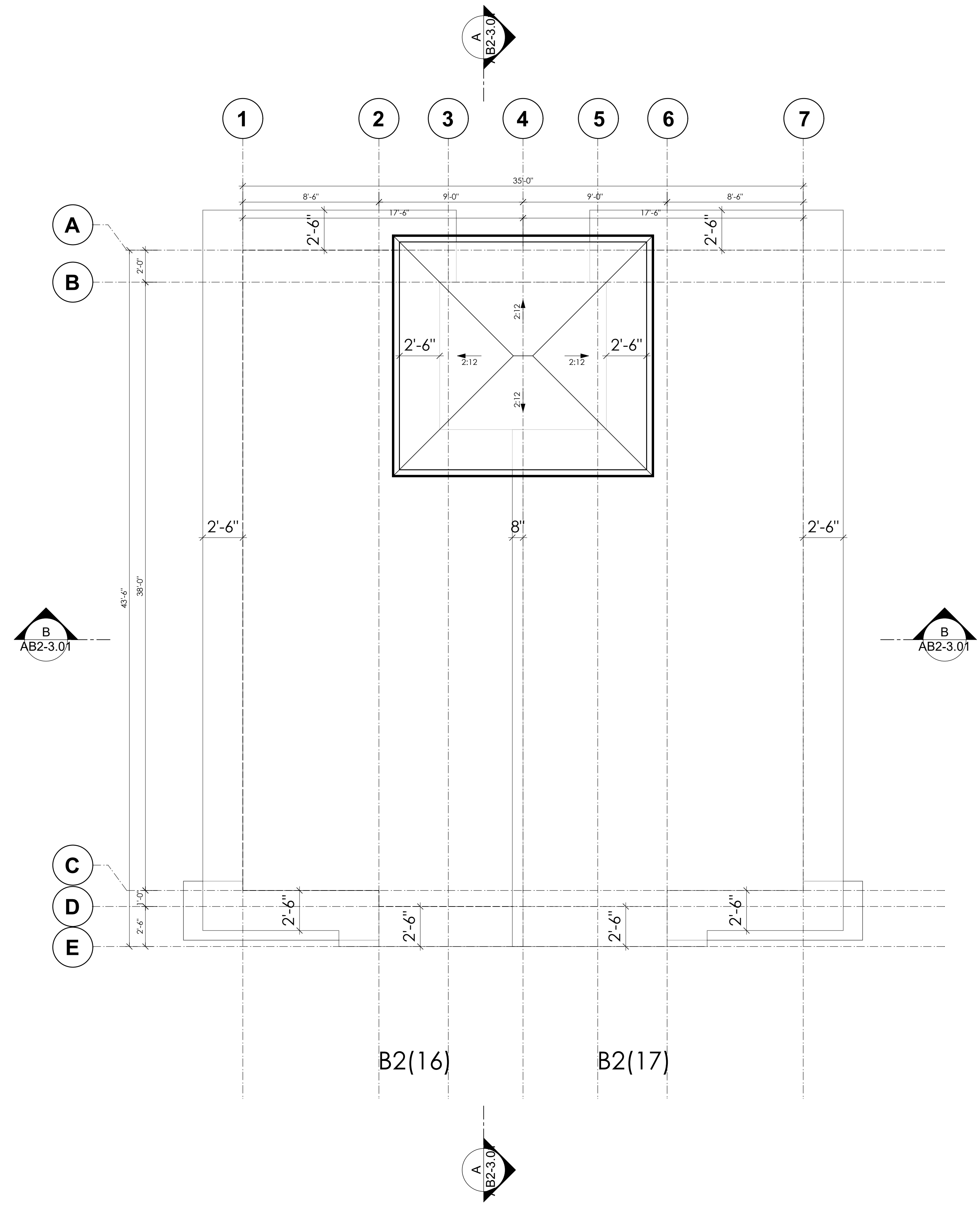
UNIT 17 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS 49.21%	374.6 SF	0.0 SF	0.0 SF	374.6 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	386.6 SF	709.0 SF	258.4 SF	1354.0 SF

UNIT 17 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 49.21%	34.8 SM	0.0 SM	0.0 SM	34.8 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	35.9 SM	65.9 SM	24.0 SM	125.8 SM

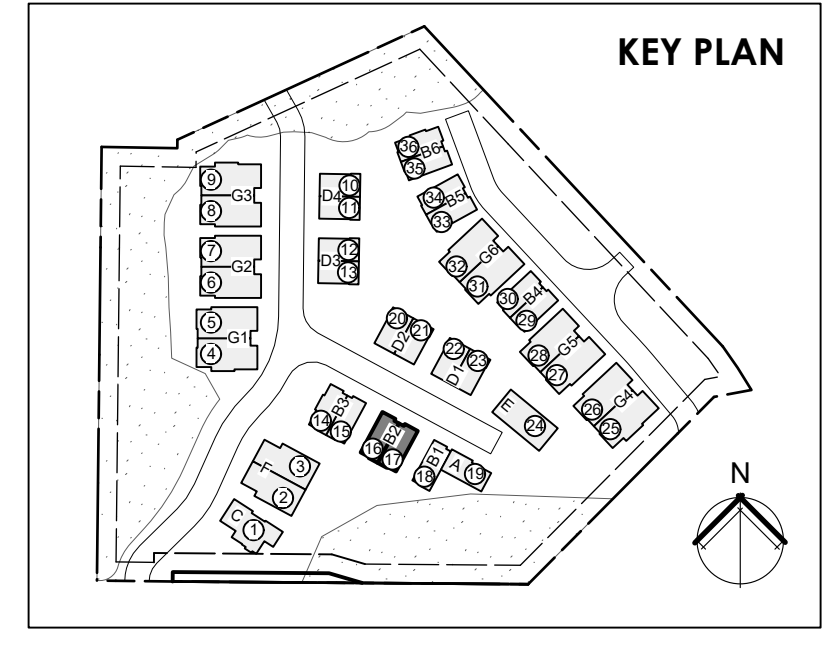
PROJECT#	8030	SHEET	AB2-2.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRG/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



ROOF PLAN
UNIT B2



KEY PLAN

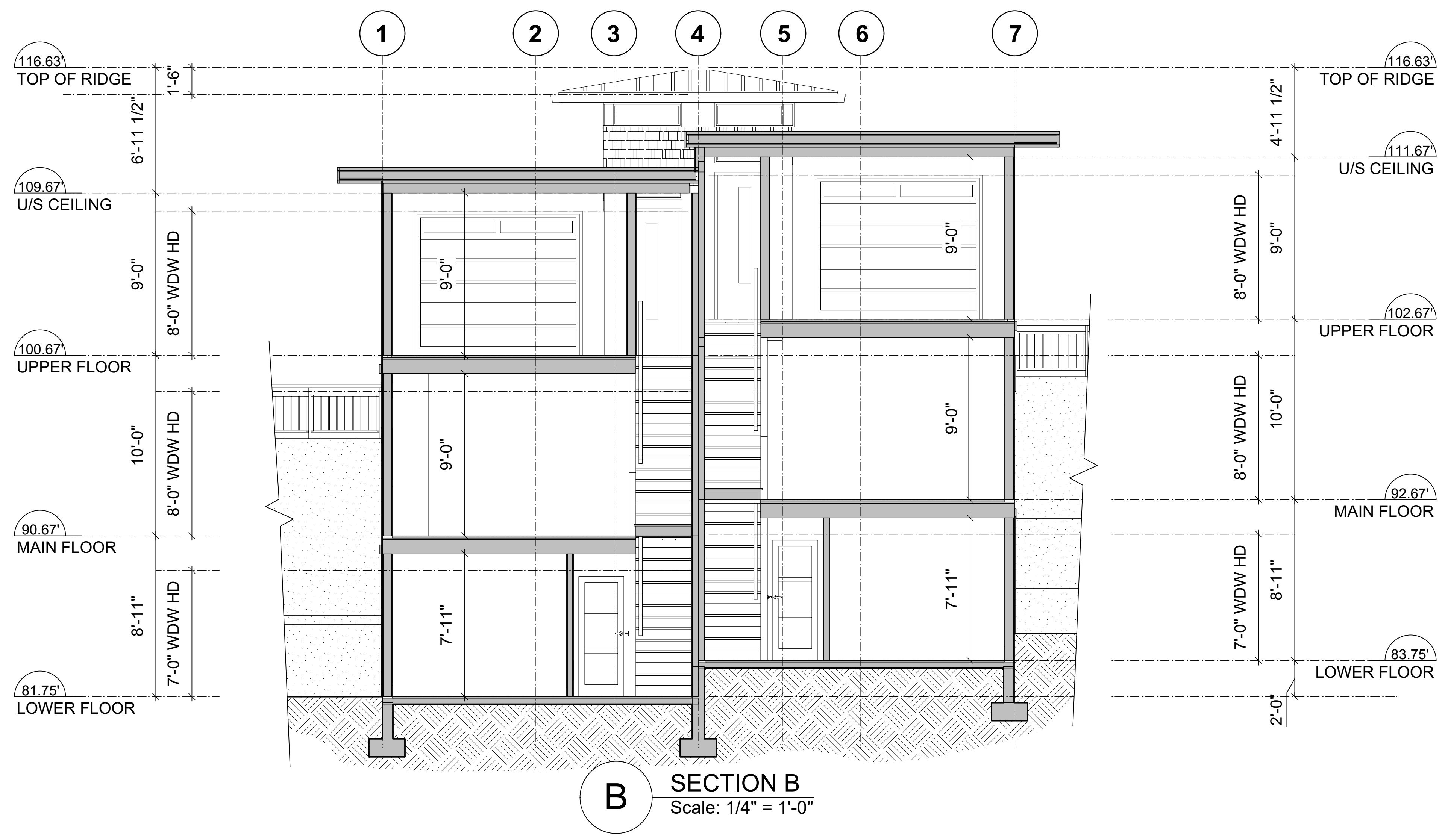
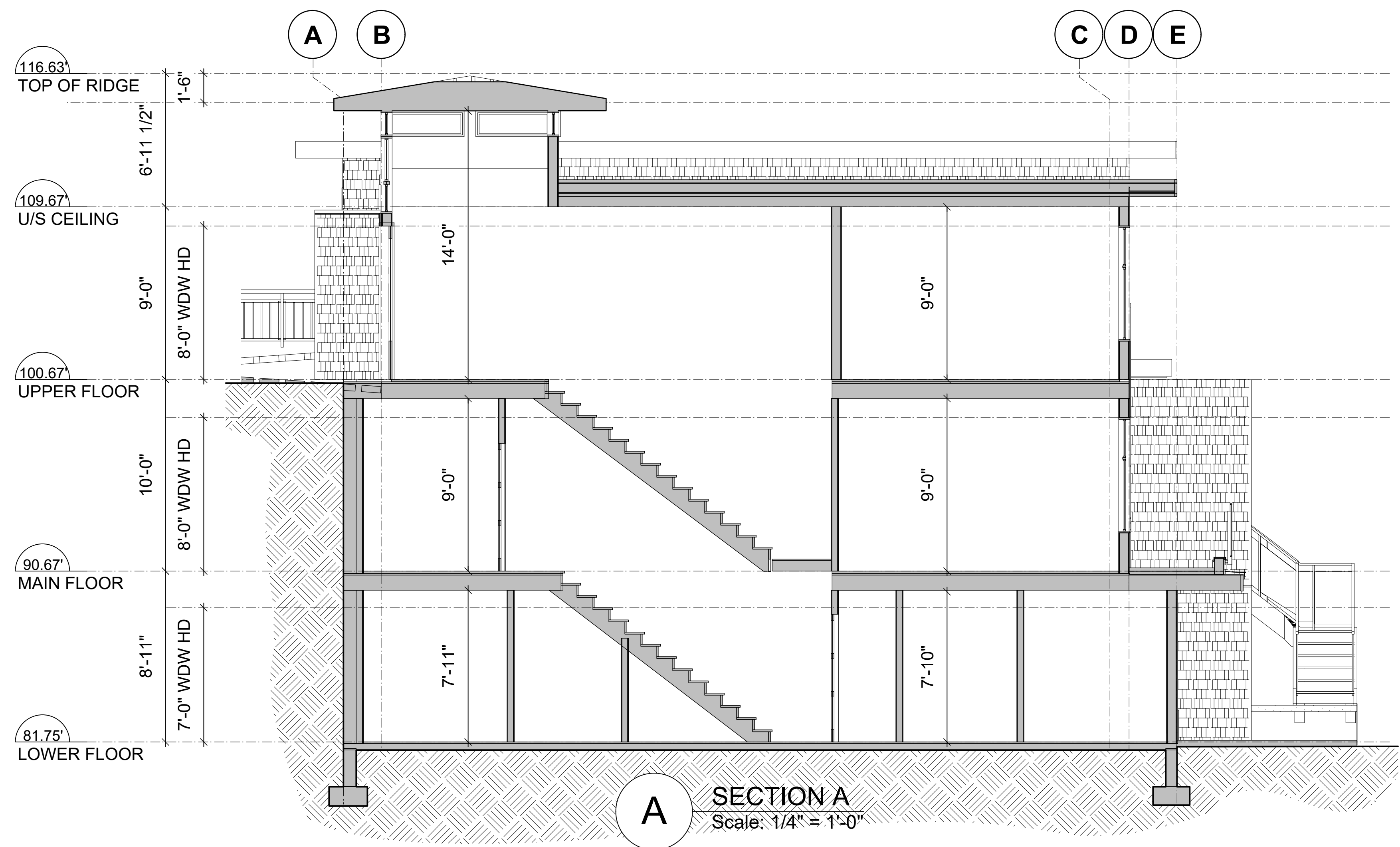
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B2

DRAWING
ROOF PLAN

PROJECT#	SHEET
8030	AB2-2.04
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
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G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



PROJECT

AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

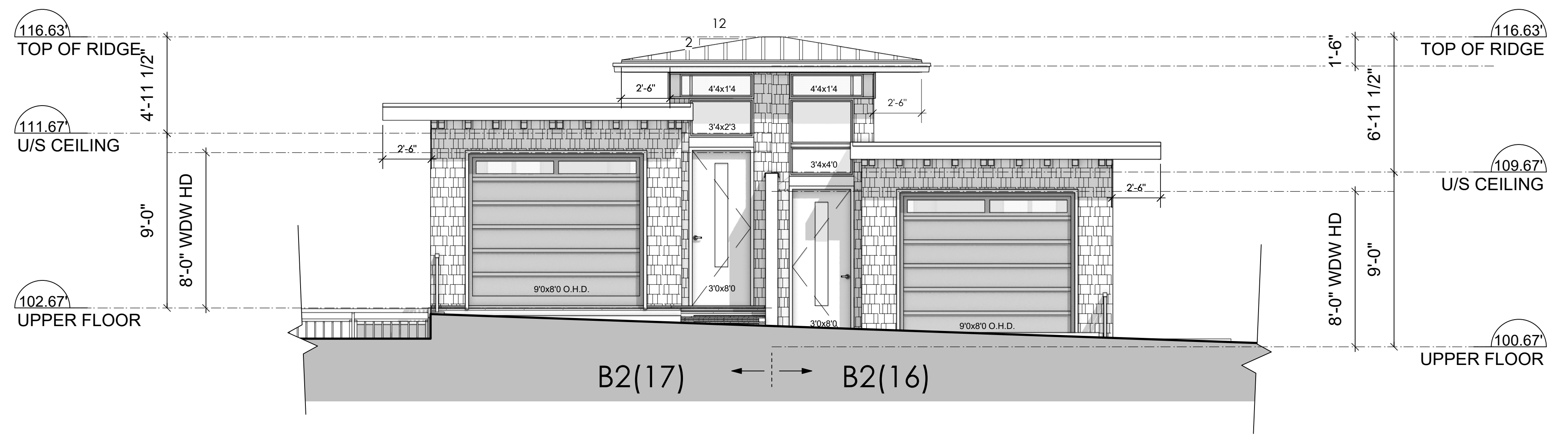
UNIT B2

DRAWING

SECTIONS

PROJECT#	8030	SHEET	AB2-3.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
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H unit additions	Oct 1, 2023



ENTRY ELEVATION
UNIT B2



BACK ELEVATION
UNIT B2

LOWER FLOOR / BASEMENT EXEMPTIONS:
(88.14'- 83.75' / 92.67'- 83.75') x 100 = 49.21%
761.3 (gross area) x 49.21% = 374.63 SF (exemption)



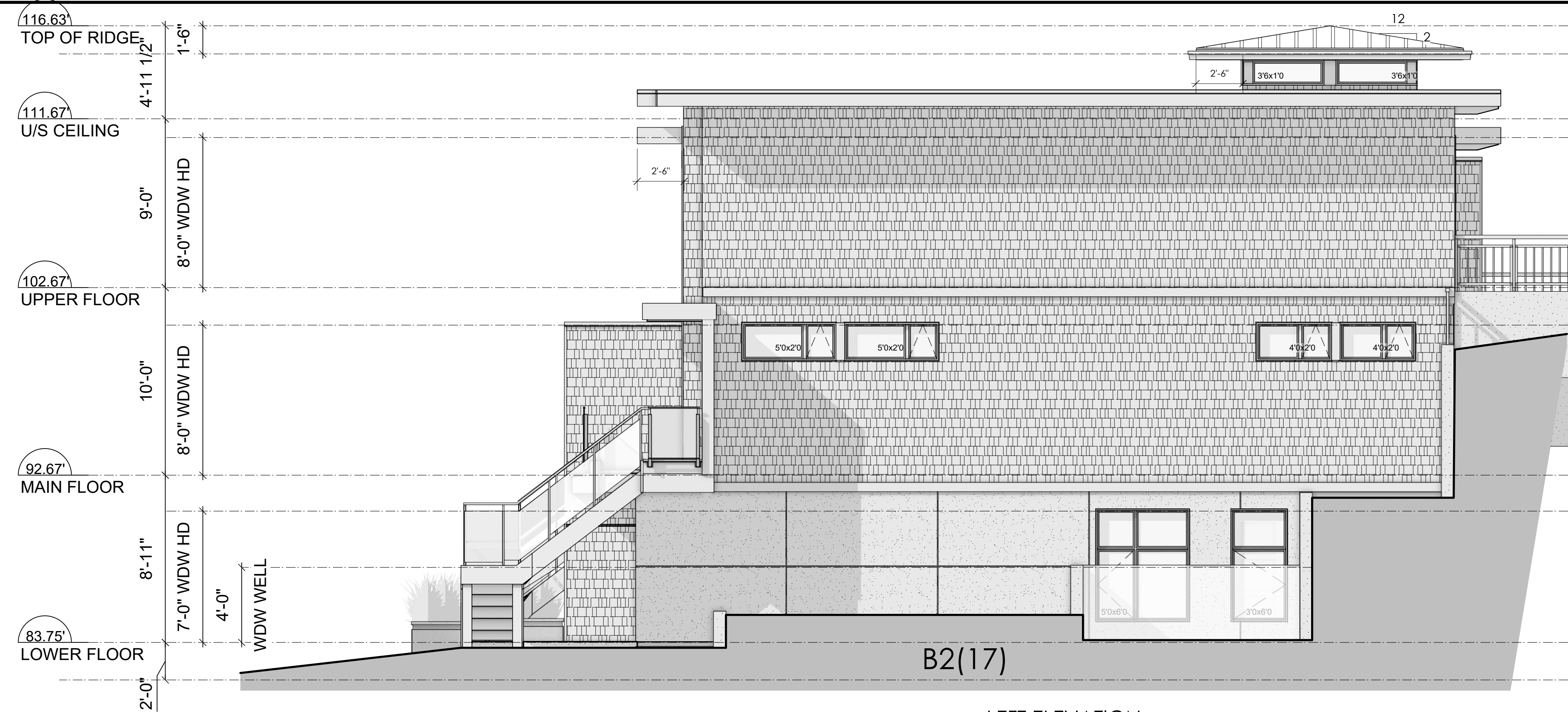
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B2

DRAWING
ENTRY AND BACK ELEVATIONS B/W

PROJECT#	8030	SHEET	AB2-4.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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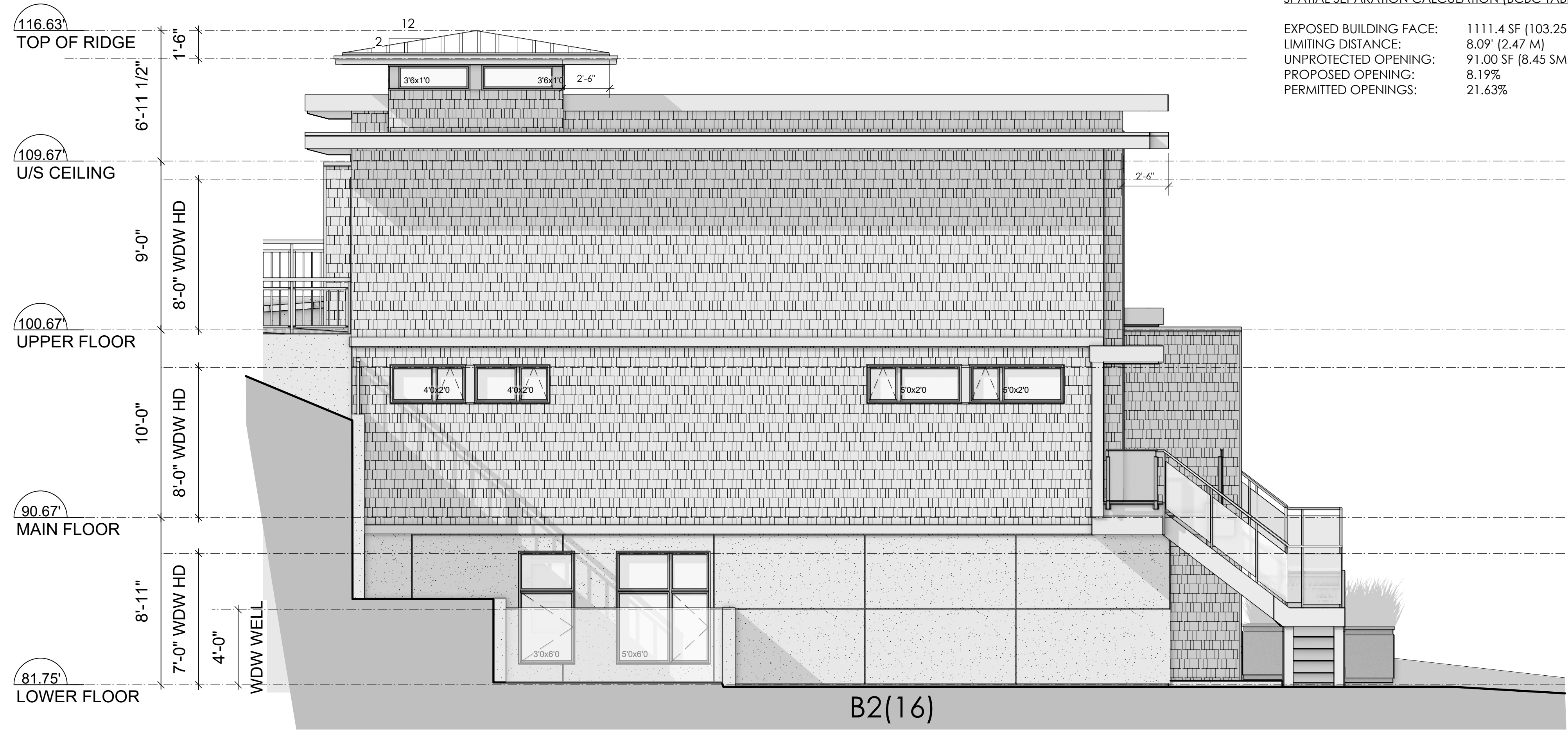
REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
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G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



LEFT ELEVATION
UNIT B2

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1111.4 SF (103.25 SM)
LIMITING DISTANCE:	8.09' (2.47 M)
UNPROTECTED OPENING:	91.00 SF (8.45 SM)
PROPOSED OPENING:	8.19%
PERMITTED OPENINGS:	21.63%



RIGHT ELEVATION
UNIT B2

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

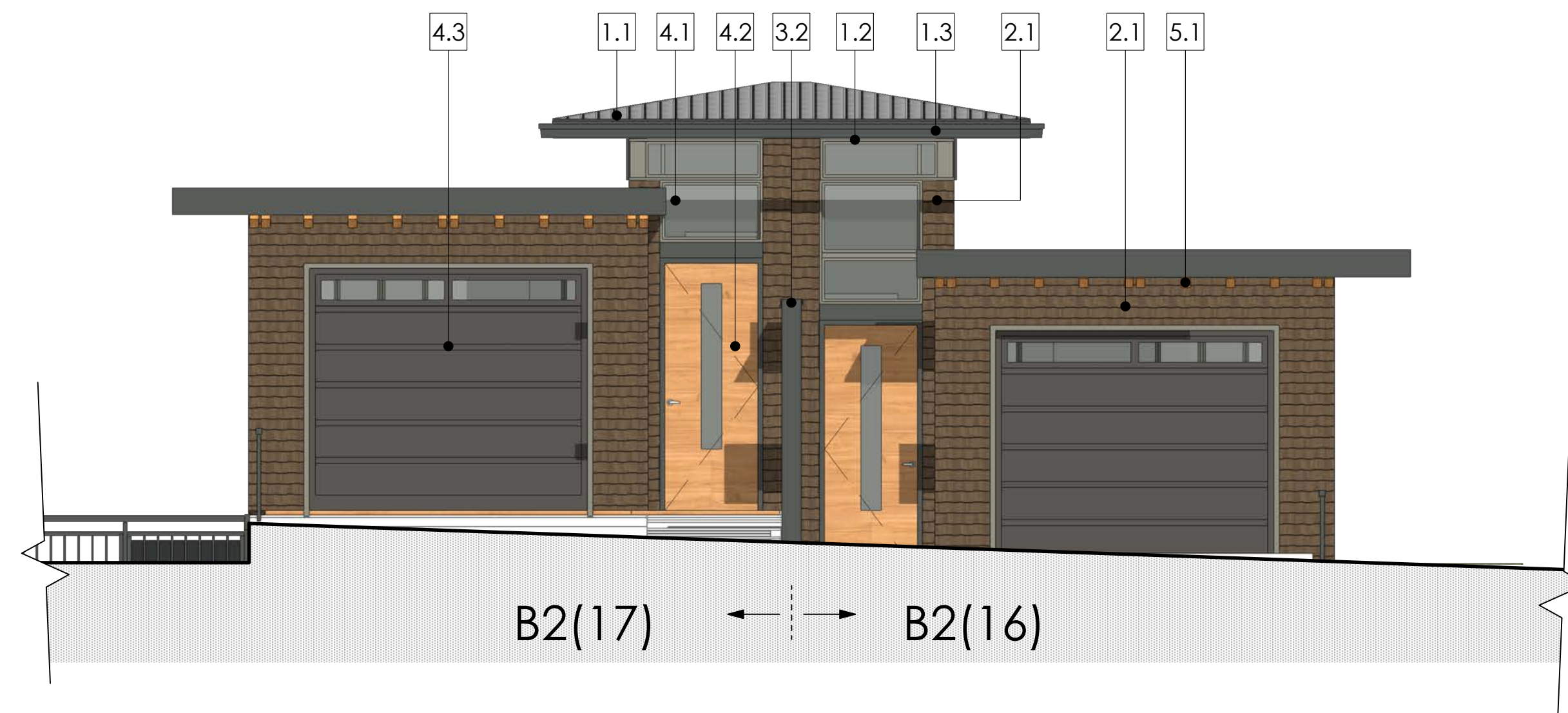
EXPOSED BUILDING FACE:	1173.83 SF (109.05 SM)
LIMITING DISTANCE:	8.09' (2.47 M)
UNPROTECTED OPENING:	91.00 SF (8.45 SM)
PROPOSED OPENING:	7.75%
PERMITTED OPENINGS:	21.4%



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B2

DRAWING
LEFT AND RIGHT ELEVATIONS B/W

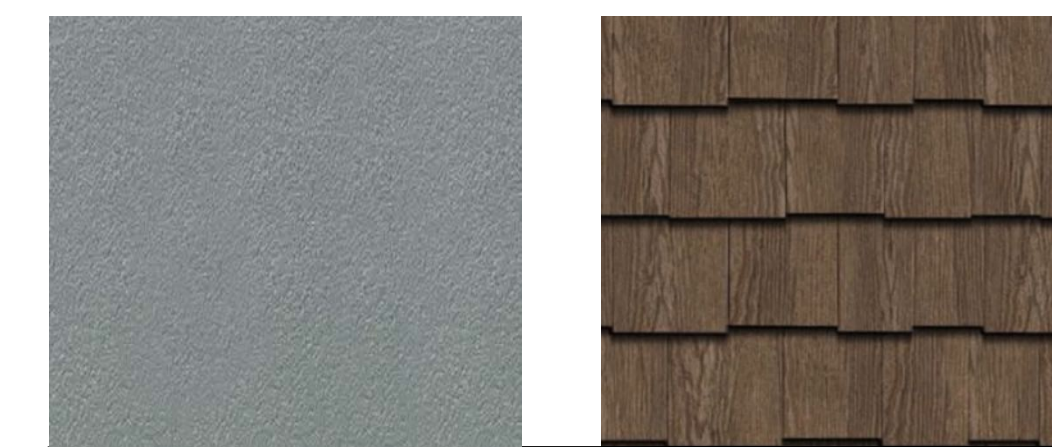
PROJECT#	SHEET
8030	AB2-4.02
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023



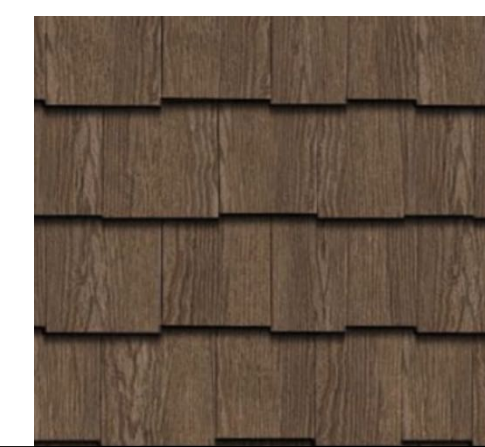
ENTRY ELEVATION
UNIT B2



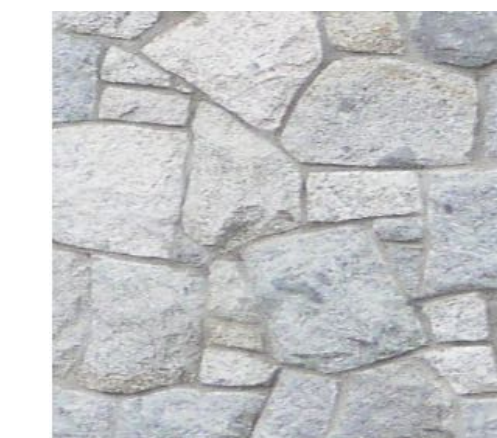
BACK ELEVATION
UNIT B2



HARDY PANEL



FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors & Trims	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



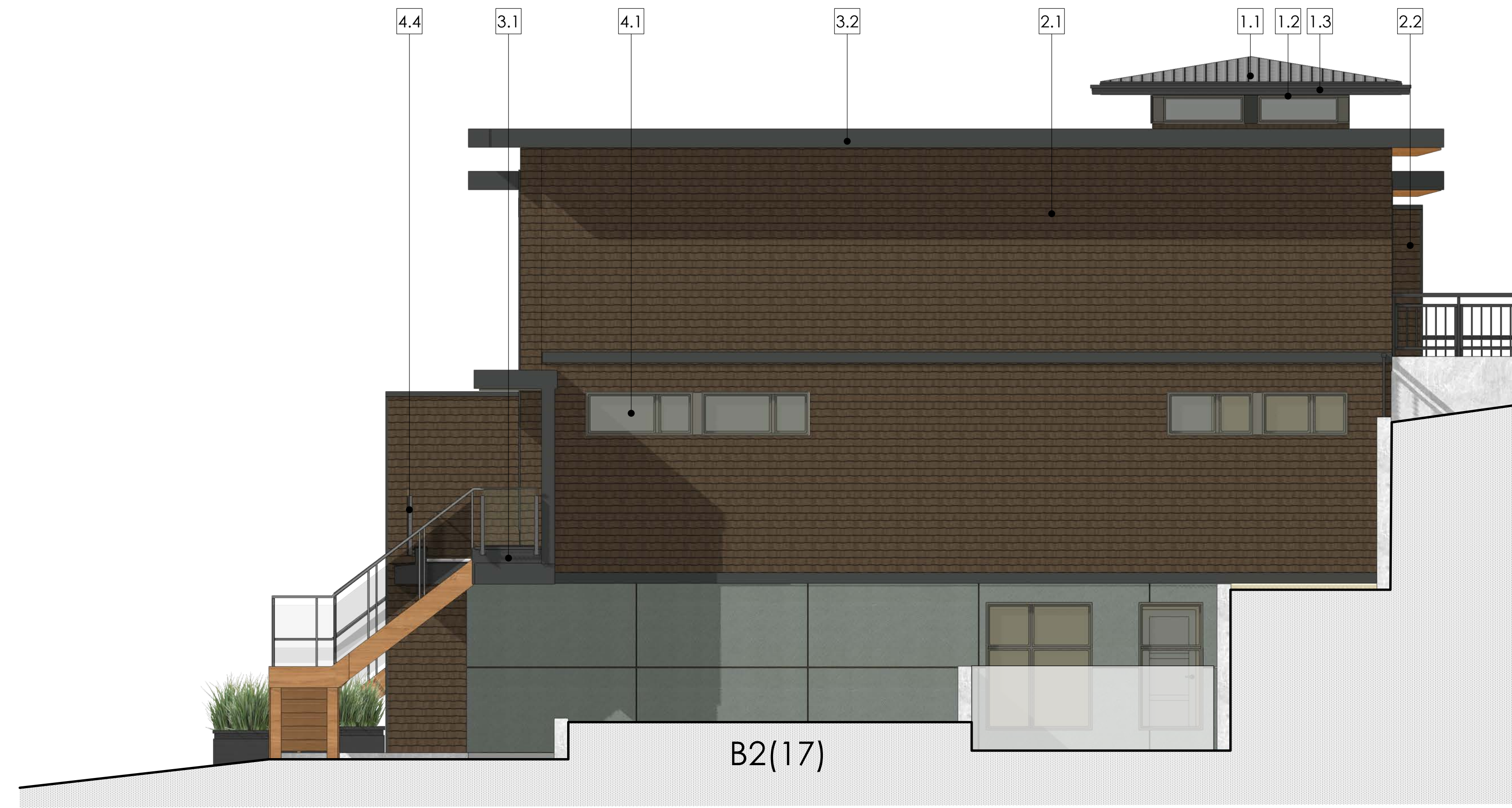
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B2

DRAWING
**ENTRY AND
BACK
ELEVATIONS**

PROJECT#	8030	SHEET	AB2- 4.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

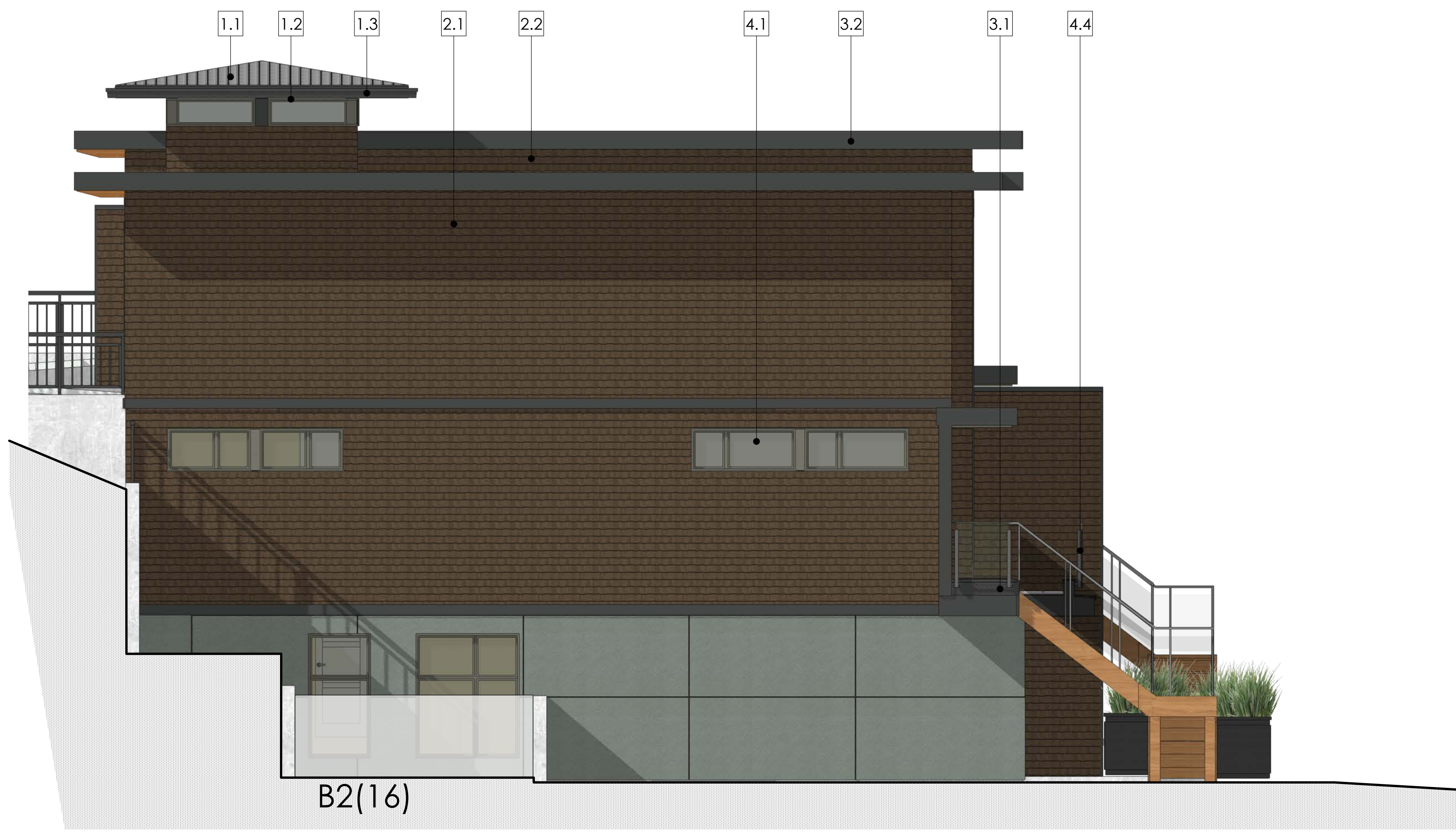
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REVISIONS	
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DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



B2(17)

LEFT ELEVATION
UNIT B2



B2(16)

RIGHT ELEVATION
UNIT B2

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors & Trims	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B2

DRAWING
LEFT AND RIGHT ELEVATION

PROJECT# 8030
SCALE 1/4" = 1'-0"
DATE OCT 1, 2023
AB2-4.04

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT B2



BACK ELEVATION - CAMERA VIEW
UNIT B2



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B2

DRAWING
FRONT AND
BACK
ELEVATION-CAM
ERA VIEW

PROJECT#	SHEET	
8030	AB2- 4.05	
SCALE		N.T.S.
DATE		OCT 1, 2023

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REVISIONS

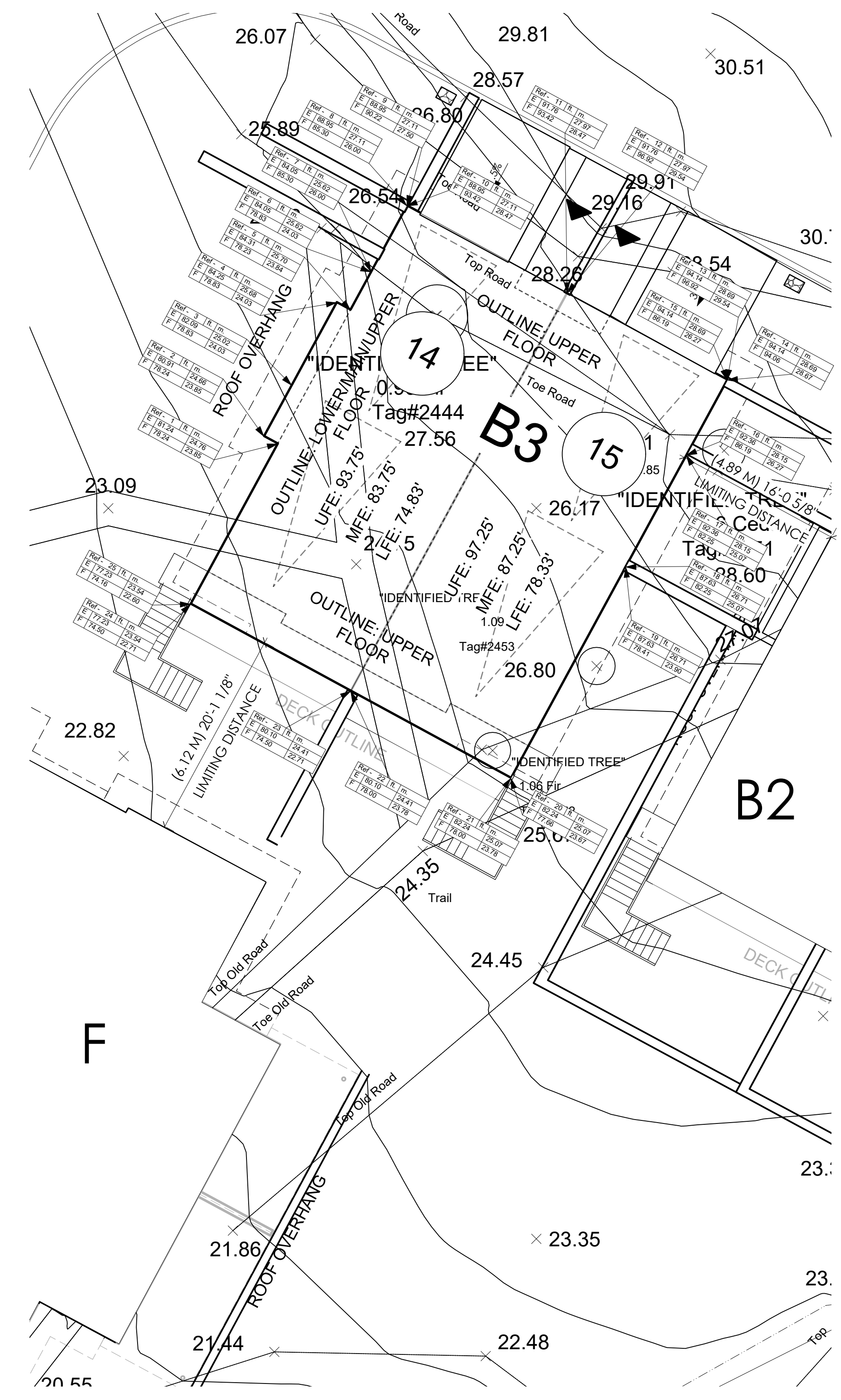
Issued for DP/Rezoning	Aug 31, 2021
DRG/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

B3 - AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	78.24	2	78.24	78.24	1.50	117.36
2	78.24	3	78.83	78.54	5.58	438.46
3	78.83	4	78.83	78.83	9.04	712.78
4	78.83	5	78.23	78.53	1.50	117.80
5	78.23	6	78.83	78.53	4.17	327.23
6	78.83	7	85.30	82.07	0.00	0.00
7	85.30	8	85.30	85.30	7.21	614.84
8	85.30	9	90.22	87.76	0.00	0.00
9	90.22	10	93.42	91.82	0.00	0.00
10	93.42	11	93.42	93.42	17.50	1634.85
11	93.42	12	96.92	95.17	0.00	0.00
12	96.92	13	96.92	96.92	17.50	1696.10
13	96.92	14	94.06	95.49	0.00	0.00
14	94.06	15	86.19	90.13	0.00	0.00
15	86.19	16	86.19	86.19	8.21	707.45
16	86.19	17	82.25	84.22	0.00	0.00
17	82.25	18	82.25	82.25	12.21	1004.11
18	82.25	19	78.41	80.33	0.00	0.00
19	78.41	20	77.66	78.04	23.08	1801.28
20	77.66	21	78.80	78.23	0.00	0.00
21	78.80	22	78.80	78.80	17.50	1379.00
22	78.80	23	74.50	76.65	0.00	0.00
23	74.50	24	74.50	74.50	17.50	1303.75
24	74.50	25	74.16	74.33	0.00	0.00
25	74.16	1	78.24	76.20	17.50	1333.50
Total					160.00	13188.51
AVG Finish Grade						82.43
Max. Bldg Height (Ft):				29.85		112.28

B3 - AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	81.24	2	80.91	81.08	1.50	121.61
2	80.91	3	82.09	81.50	5.58	455.01
3	82.09	4	84.25	83.17	9.04	752.02
4	84.25	5	84.31	84.28	1.50	126.42
5	84.31	6	84.05	84.18	4.17	350.78
6	84.05	7	84.05	84.05	0.00	0.00
7	84.05	8	88.95	86.50	7.21	623.49
8	88.95	9	88.95	88.95	0.00	0.00
9	88.95	10	88.95	88.95	0.00	0.00
10	88.95	11	91.76	90.36	17.50	1581.21
11	91.76	12	91.76	91.76	0.00	0.00
12	91.76	13	94.14	92.95	17.50	1626.63
13	94.14	14	94.14	94.14	0.00	0.00
14	94.14	15	94.14	94.14	0.00	0.00
15	94.14	16	92.36	93.25	8.21	765.40
16	92.36	17	92.36	92.36	0.00	0.00
17	92.36	18	87.63	90.00	12.21	1098.66
18	87.63	19	87.63	87.63	0.00	0.00
19	87.63	20	82.24	84.94	23.08	1960.55
20	82.24	21	82.24	82.24	0.00	0.00
21	82.24	22	80.10	81.17	17.50	1420.48
22	80.10	23	80.10	80.10	0.00	0.00
23	80.10	24	77.23	78.67	17.50	1376.64
24	77.23	25	77.23	77.23	0.00	0.00
25	77.23	1	81.24	79.24	17.50	1386.61
Total					160.00	13645.51
AVG Existing Grade						85.28
Max. Bldg Height (Ft):				29.85		115.13



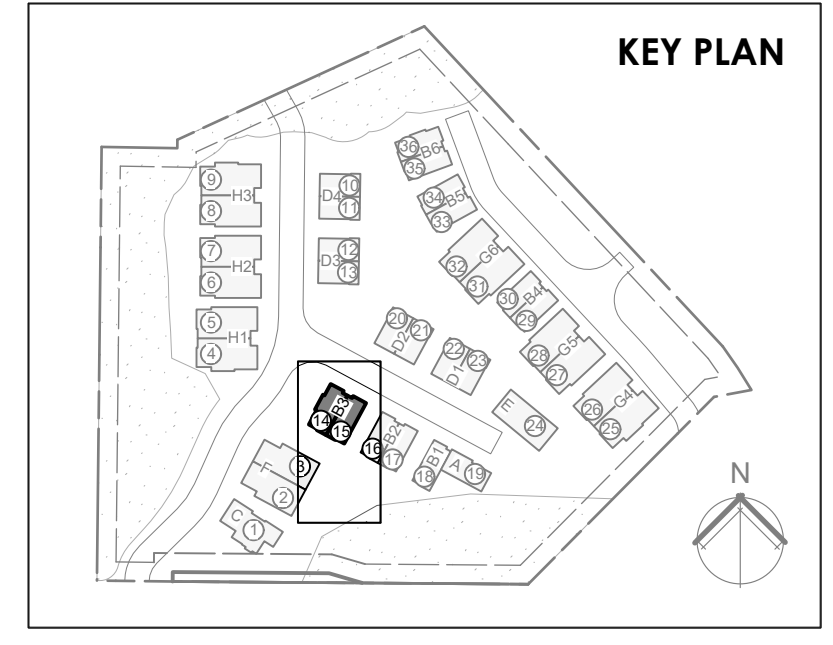
SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - B3 (14)

Lower	Main	Upper
22.81 m	25.53 m	28.58 m
74.83'	83.75'	93.75'

TOP OF FINISH FLOOR - B3 (15)

Lower	Main	Upper
23.87 m	26.59 m	29.64 m
78.33'	87.25'	97.25'



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B3

DRAWING
SITE PLAN

PROJECT#	8030	SHEET	AB3-1.01
SCALE	1/8" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS

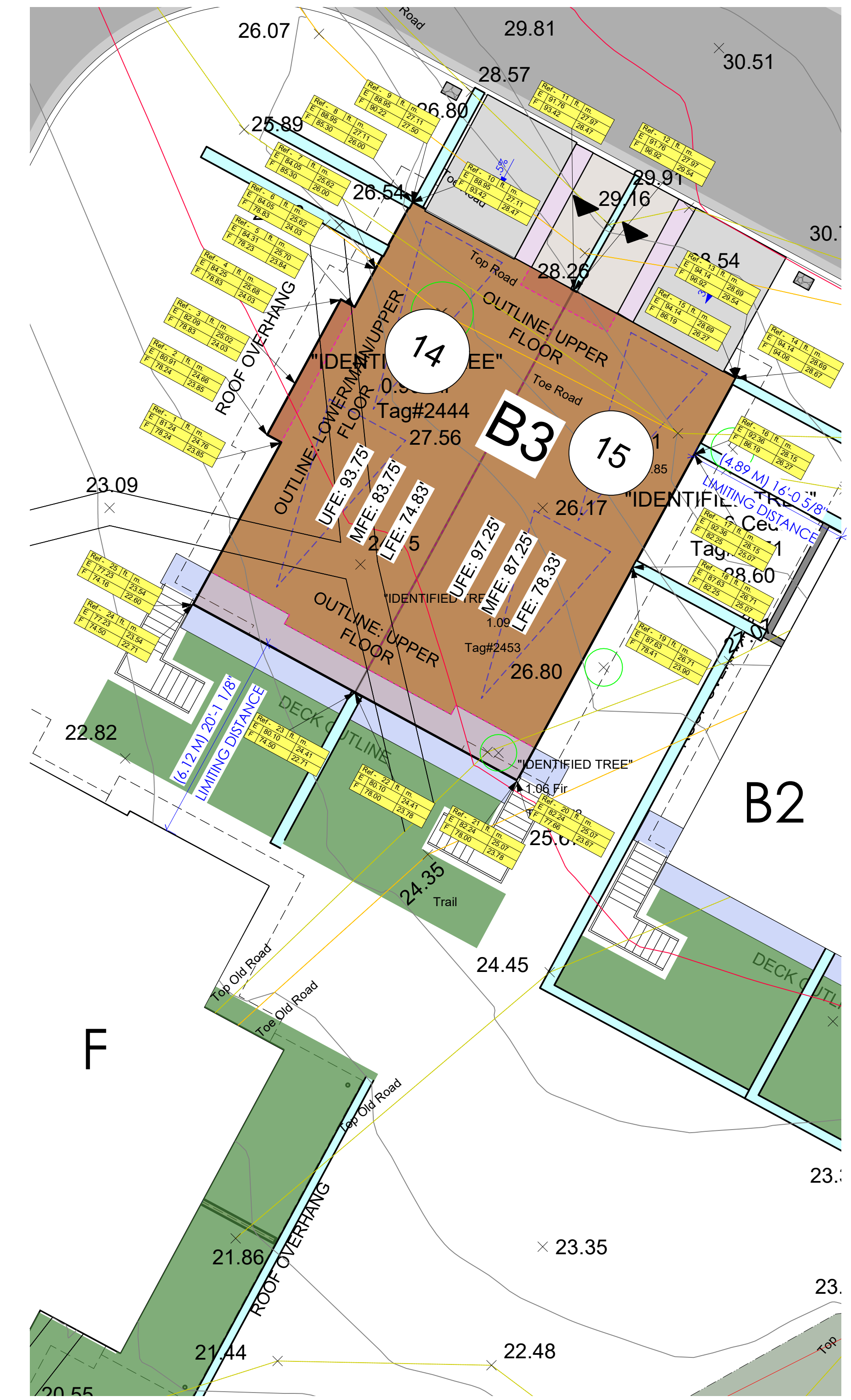
Issued for DP/Rezoning	Aug 31, 2021
DRG/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

B3 - AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	78.24	2	78.24	78.24	1.50	117.36
2	78.24	3	78.83	78.54	5.58	438.46
3	78.83	4	78.83	78.83	9.04	712.78
4	78.83	5	78.23	78.53	1.50	117.80
5	78.23	6	78.83	78.53	4.17	327.23
6	78.83	7	85.30	82.07	0.00	0.00
7	85.30	8	85.30	85.30	7.21	614.84
8	85.30	9	90.22	87.76	0.00	0.00
9	90.22	10	93.42	91.82	0.00	0.00
10	93.42	11	93.42	93.42	17.50	1634.85
11	93.42	12	96.92	95.17	0.00	0.00
12	96.92	13	96.92	96.92	17.50	1696.10
13	96.92	14	94.06	95.49	0.00	0.00
14	94.06	15	86.19	90.13	0.00	0.00
15	86.19	16	86.19	86.19	8.21	707.45
16	86.19	17	82.25	84.22	0.00	0.00
17	82.25	18	82.25	82.25	12.21	1004.11
18	82.25	19	78.41	80.33	0.00	0.00
19	78.41	20	77.66	78.04	23.08	1801.28
20	77.66	21	78.80	78.23	0.00	0.00
21	78.80	22	78.80	78.80	17.50	1379.00
22	78.80	23	74.50	76.65	0.00	0.00
23	74.50	24	74.50	74.50	17.50	1303.75
24	74.50	25	74.16	74.33	0.00	0.00
25	74.16	1	78.24	76.20	17.50	1333.50
Total					160.00	13188.51
AVG Finish Grade						82.43
Max. Bldg Height (Ft):				29.85		112.28

B3 - AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	81.24	2	80.91	81.08	1.50	121.61
2	80.91	3	82.09	81.50	5.58	455.01
3	82.09	4	84.25	83.17	9.04	752.02
4	84.25	5	84.31	84.28	1.50	126.42
5	84.31	6	84.05	84.18	4.17	350.78
6	84.05	7	84.05	84.05	0.00	0.00
7	84.05	8	88.95	86.50	7.21	623.49
8	88.95	9	88.95	88.95	0.00	0.00
9	88.95	10	88.95	88.95	0.00	0.00
10	88.95	11	91.76	90.36	17.50	1581.21
11	91.76	12	91.76	91.76	0.00	0.00
12	91.76	13	94.14	92.95	17.50	1626.63
13	94.14	14	94.14	94.14	0.00	0.00
14	94.14	15	94.14	94.14	0.00	0.00
15	94.14	16	92.36	93.25	8.21	765.40
16	92.36	17	92.36	92.36	0.00	0.00
17	92.36	18	87.63	90.00	12.21	1098.66
18	87.63	19	87.63	87.63	0.00	0.00
19	87.63	20	82.24	84.94	23.08	1960.55
20	82.24	21	82.24	82.24	0.00	0.00
21	82.24	22	80.10	81.17	17.50	1420.48
22	80.10	23	80.10	80.10	0.00	0.00
23	80.10	24	77.23	78.67	17.50	1376.64
24	77.23	25	77.23	77.23	0.00	0.00
25	77.23	1	81.24	79.24	17.50	1386.61
Total					160.00	13645.51
AVG Existing Grade						85.28
Max. Bldg Height (Ft):				29.85		115.13



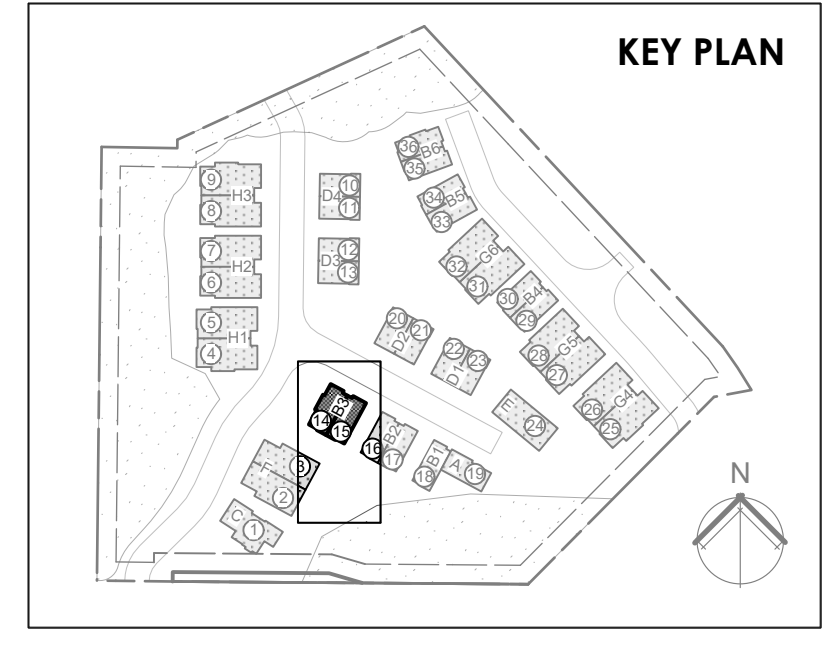
SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - B3 (14)

Lower	Main	Upper
22.81 m	25.53 m	28.58 m
74.83'	83.75'	93.75'

TOP OF FINISH FLOOR - B3 (15)

Lower	Main	Upper
23.87 m	26.59 m	29.64 m
78.33'	87.25'	97.25'



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B3

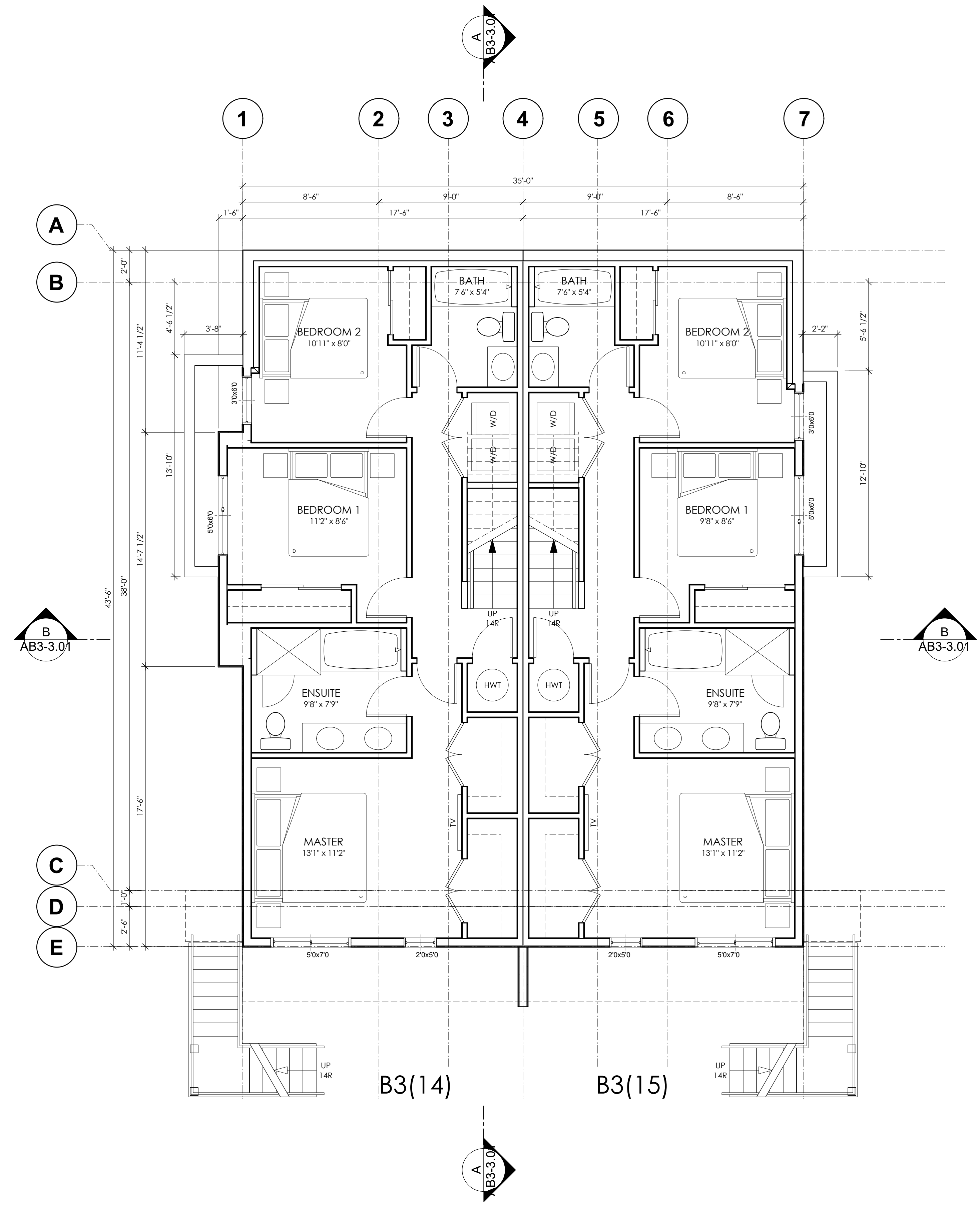
DRAWING
SITE PLAN

PROJECT# 8030
SCALE 1/8" = 1'-0"
DATE OCT 1, 2023
SHEET **AB3-1.01**

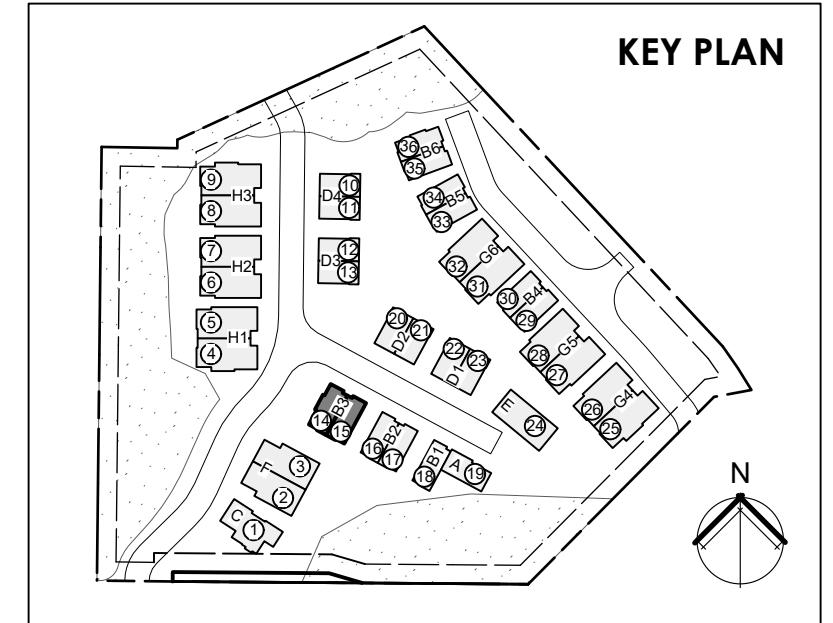
REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

LOWER FLOOR / BASEMENT EXEMPTIONS:
 $(82.43' - 78.33' / 87.25' - 78.33') \times 100 = 45.96\%$
 761.3 (gross area) \times 45.96% = 349.89 SF (exemption)



LOWER FLOOR PLAN
UNIT B3



UNIT 14 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	783.2 SF	730.9 SF	721.6 SF	2235.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 100%	783.2 SF	0.0 SF	0.0 SF	783.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	43.0 SF	730.9 SF	280.2 SF	1054.1 SF

UNIT 14 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	72.8 SM	67.9 SM	67.0 SM	207.7 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 100%	72.8 SM	0.0 SM	0.0 SM	72.8 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	4.0 SM	67.9 SM	26.0 SM	97.9 SM

UNIT 15 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 45.96%	349.9 SF	0.0 SF	0.0 SF	349.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	411.4 SF	709.0 SF	258.3 SF	1378.6 SF

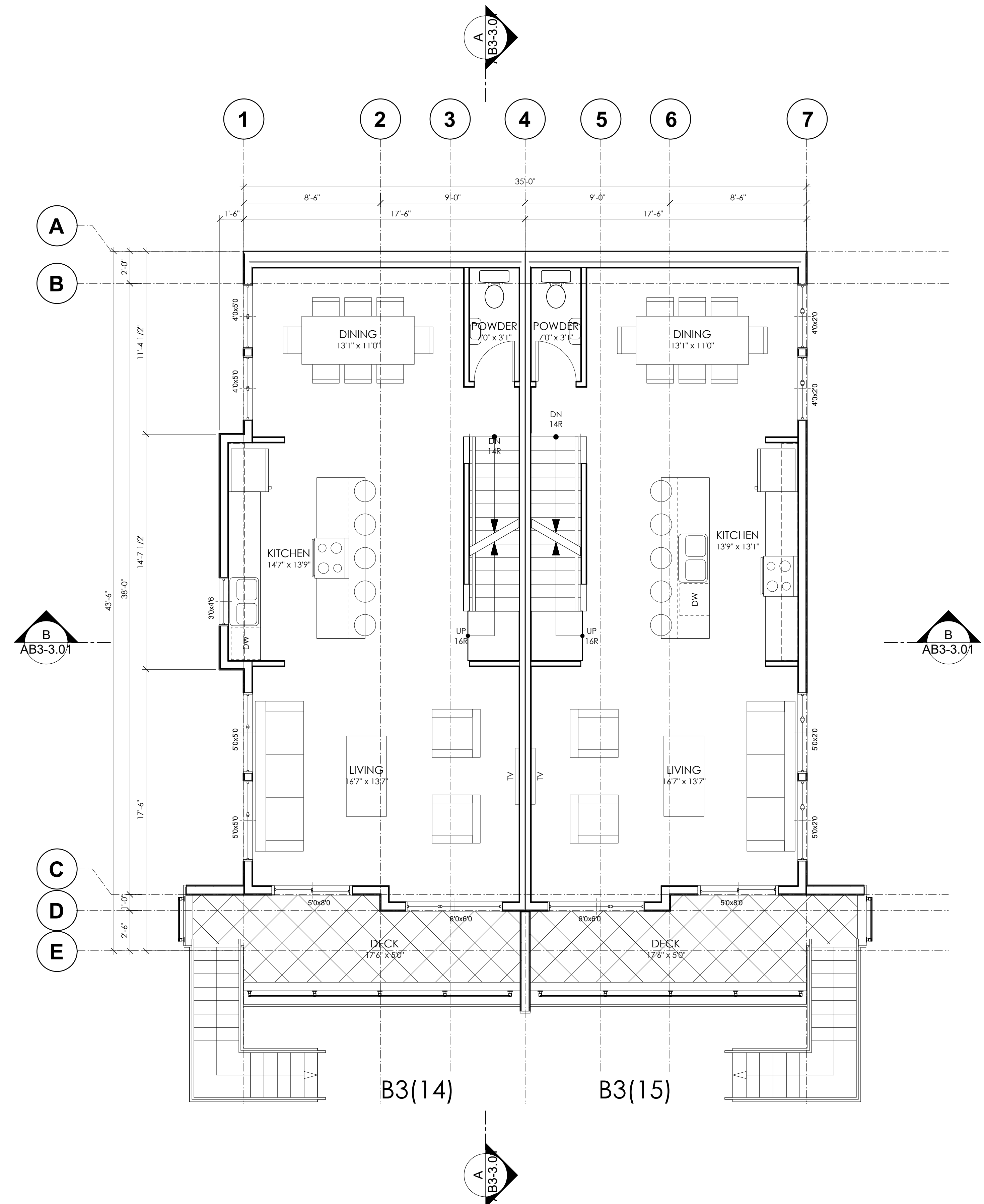
UNIT 15 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 45.96%	32.5 SM	0.0 SM	0.0 SM	32.5 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	38.2 SM	65.9 SM	24.0 SM	128.1 SM

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B3

DRAWING
LOWER FLOOR PLAN

PROJECT# 8030
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2023
AB3-2.01

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

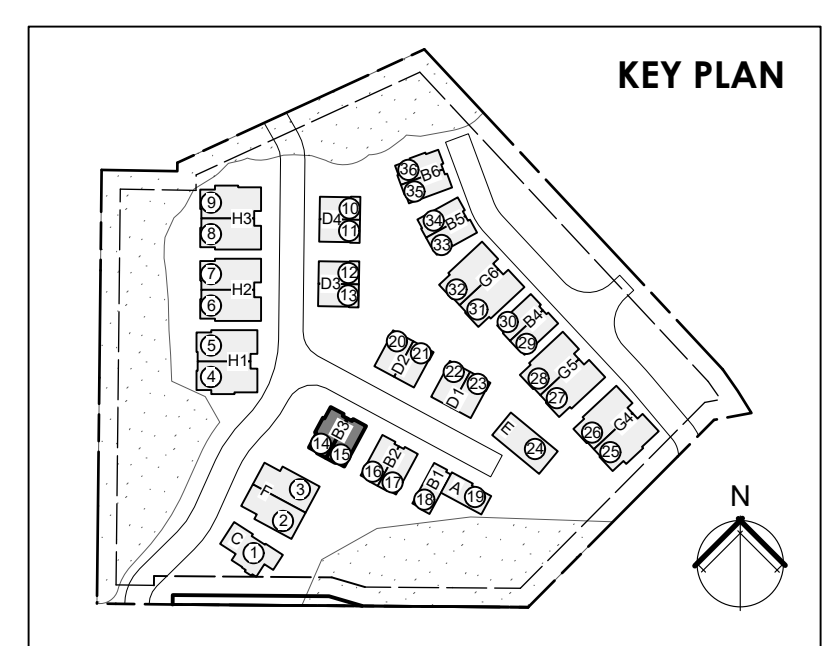


MAIN FLOOR PLAN
UNIT B3



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B3

DRAWING
MAIN FLOOR PLAN



UNIT 14 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	783.2 SF	730.9 SF	721.6 SF	2235.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 100%	783.2 SF	0.0 SF	0.0 SF	783.2 SF
COVERAGE HEIGHT INCLUSION	43.0 SF	0.0 SF	0.0 SF	43.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	43.0 SF	730.9 SF	280.2 SF	1054.1 SF

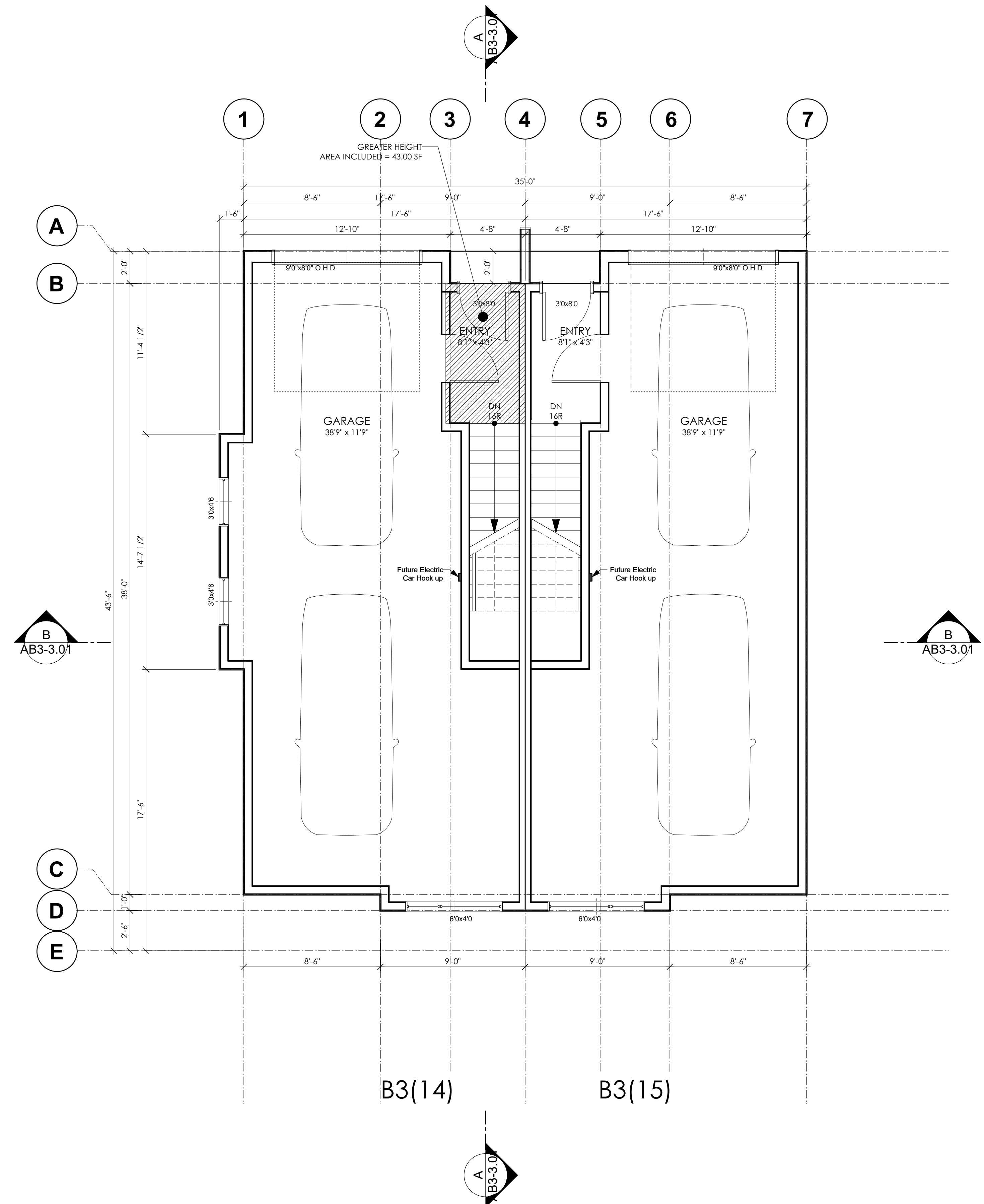
UNIT 14 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	72.8 SM	67.9 SM	67.0 SM	207.7 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 100%	72.8 SM	0.0 SM	0.0 SM	72.8 SM
COVERAGE HEIGHT INCLUSION	4.0 SM	0.0 SM	0.0 SM	4.0 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	4.0 SM	67.9 SM	26.0 SM	97.9 SM

UNIT 15 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 45.96%	349.9 SF	0.0 SF	0.0 SF	349.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	411.4 SF	709.0 SF	258.3 SF	1378.6 SF

UNIT 15 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 45.96%	32.5 SM	0.0 SM	0.0 SM	32.5 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	38.2 SM	65.9 SM	24.0 SM	128.1 SM

PROJECT#	8030	SHEET	AB3-2.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



UPPER / ENTRY FLOOR PLAN
UNIT B3

UNIT 14 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	783.2 SF	730.9 SF	721.6 SF	2235.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 100%	783.2 SF	0.0 SF	0.0 SF	783.2 SF
OVERAGE HEIGHT INCLUSION	43.0 SF	0.0 SF	0.0 SF	43.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	43.0 SF	730.9 SF	280.2 SF	1054.1 SF

UNIT 14 FLOOR AREAS METRIC

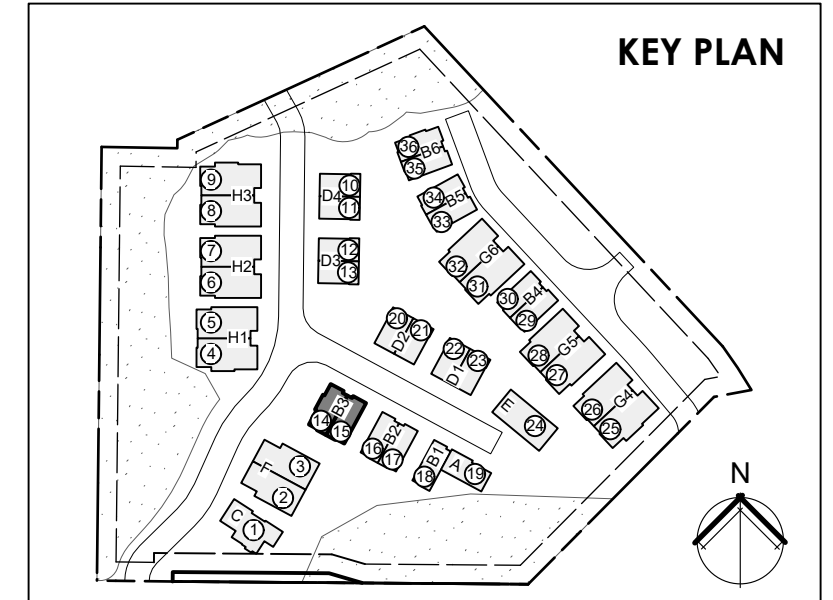
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	72.8 SM	67.9 SM	67.0 SM	207.7 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 100%	72.8 SM	0.0 SM	0.0 SM	72.8 SM
OVERAGE HEIGHT INCLUSION	4.0 SM	0.0 SM	0.0 SM	4.0 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	4.0 SM	67.9 SM	26.0 SM	97.9 SM

UNIT 15 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 45.96%	349.9 SF	0.0 SF	0.0 SF	349.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	411.4 SF	709.0 SF	258.3 SF	1378.6 SF

UNIT 15 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 45.96%	32.5 SM	0.0 SM	0.0 SM	32.5 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	38.2 SM	65.9 SM	24.0 SM	128.1 SM



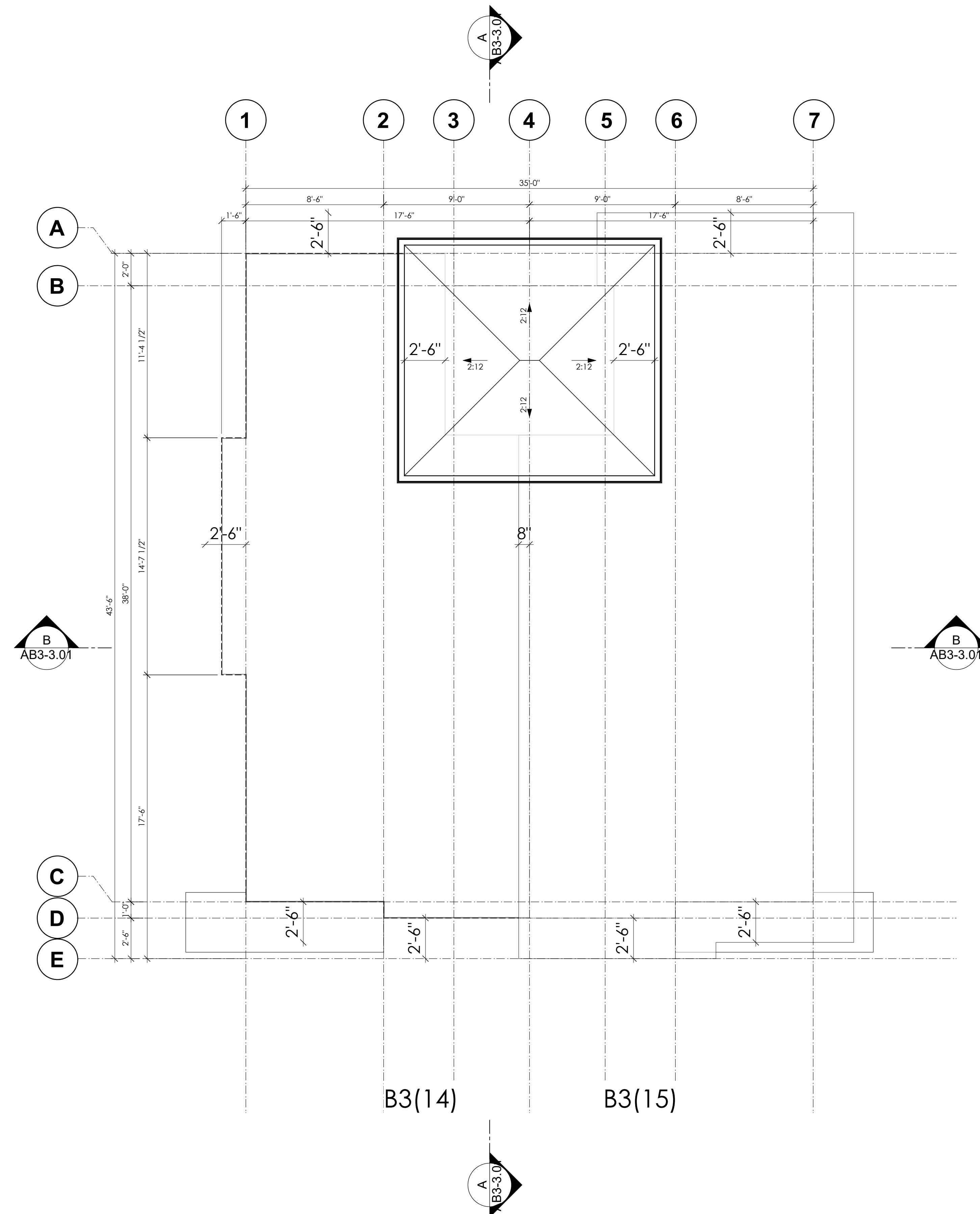
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B3

DRAWING
UPPER FLOOR PLAN

PROJECT#	8030	SHEET	AB3-2.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRG/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

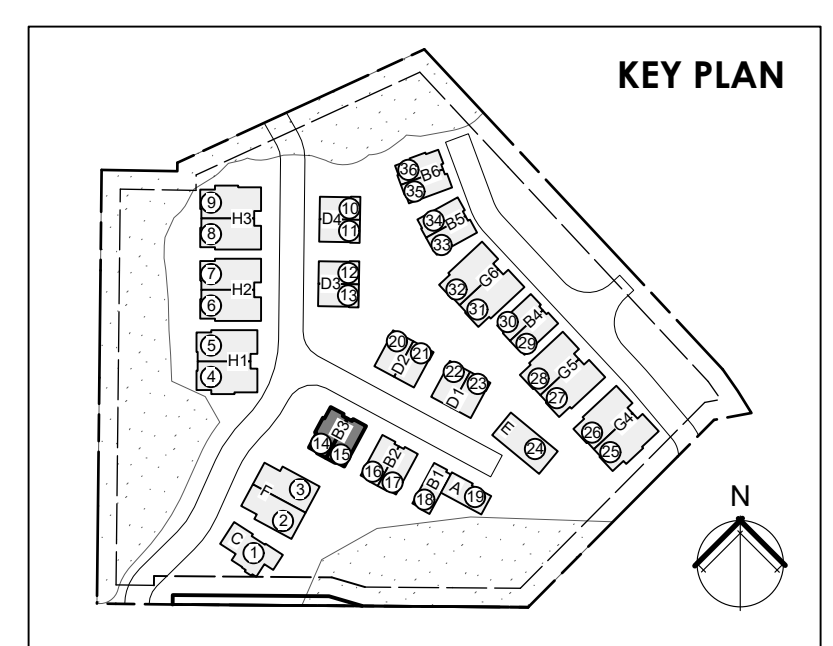


ROOF PLAN
UNIT B3



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B3

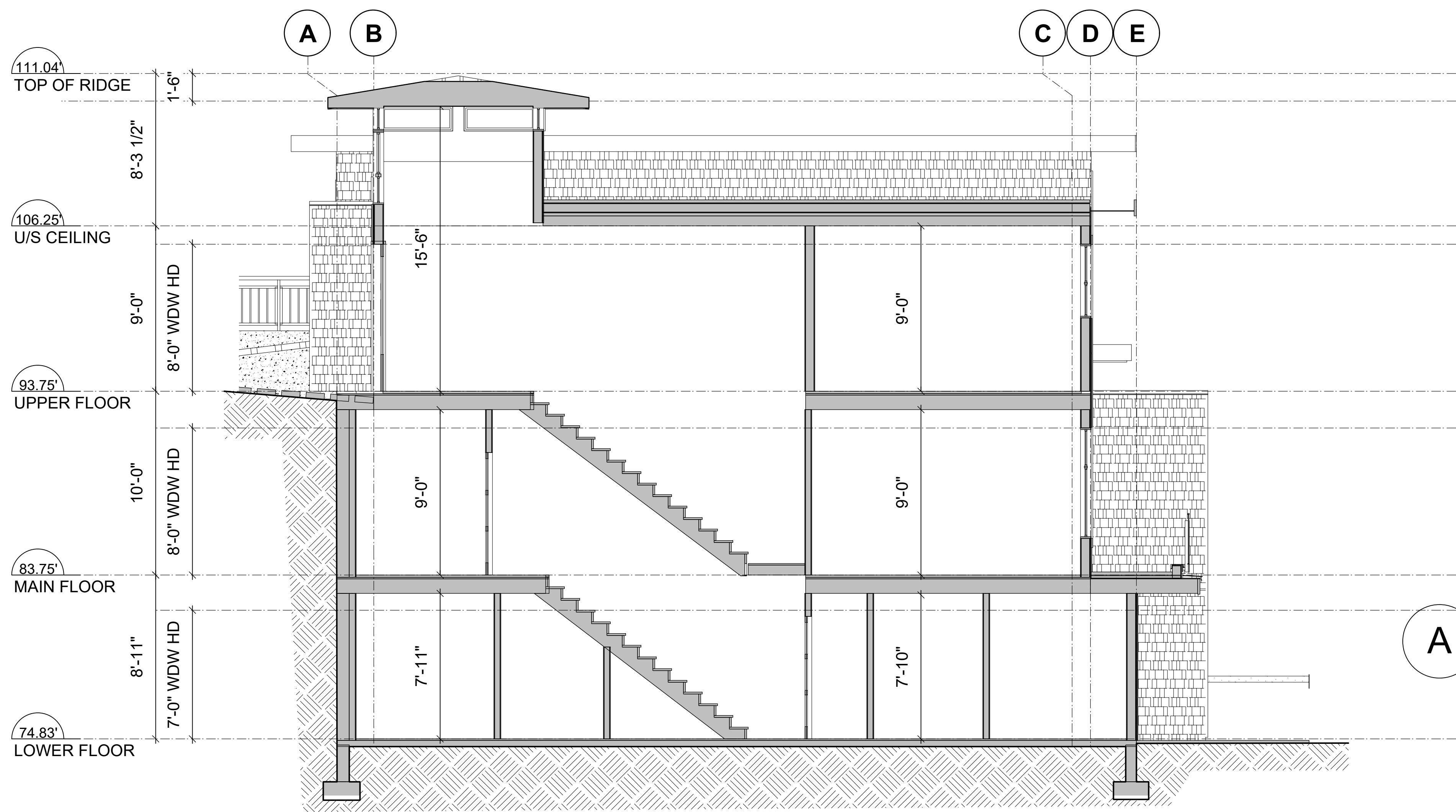
DRAWING
ROOF PLAN



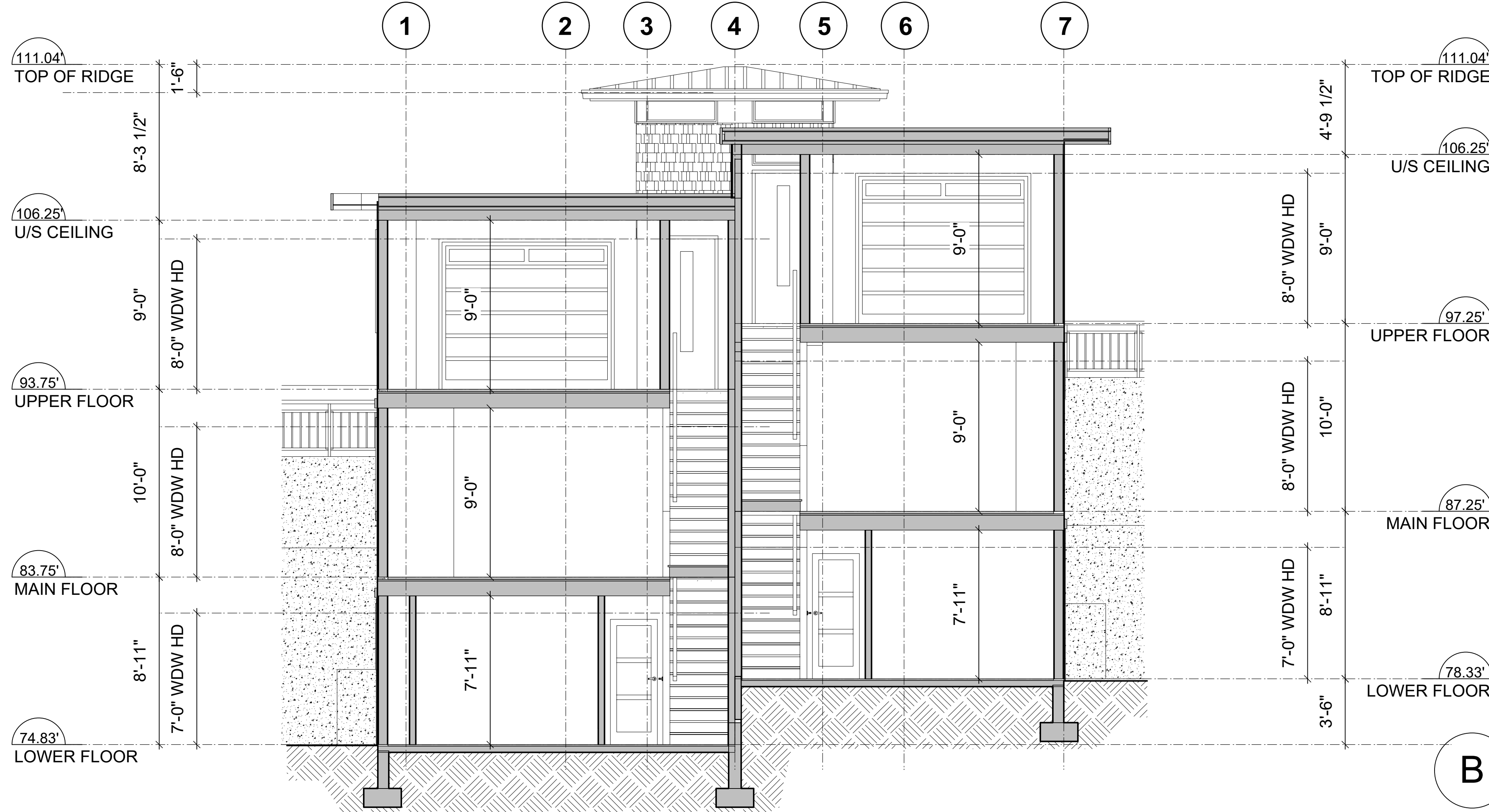
PROJECT#	SHEET
8030	AB3-2.04
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



A SECTION A
Scale: 1/4" = 1'-0"



B SECTION B
Scale: 1/4" = 1'-0"

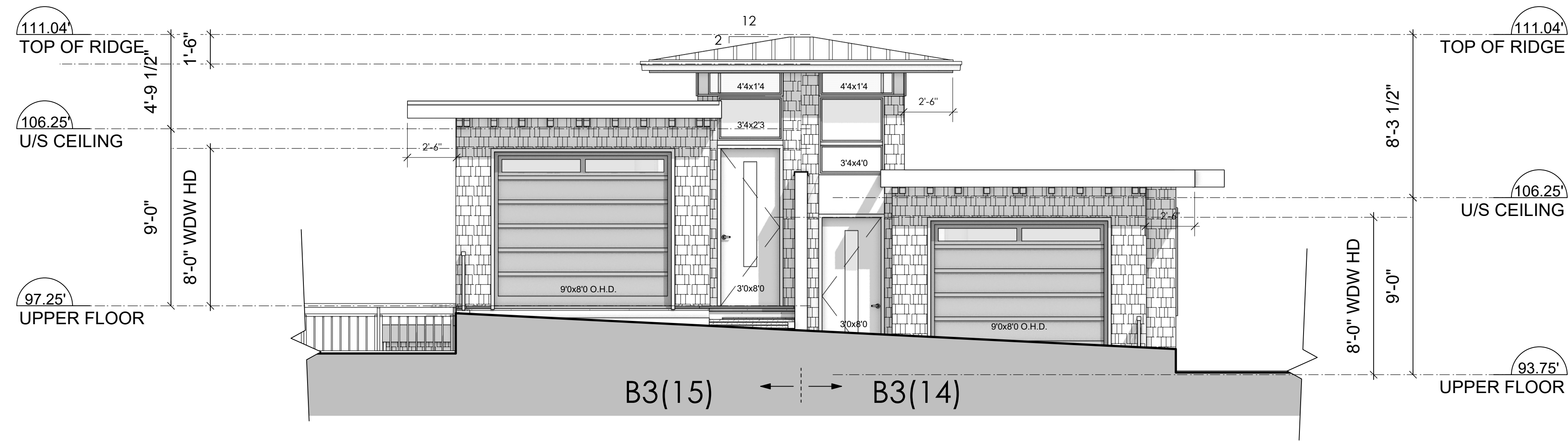


PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B3

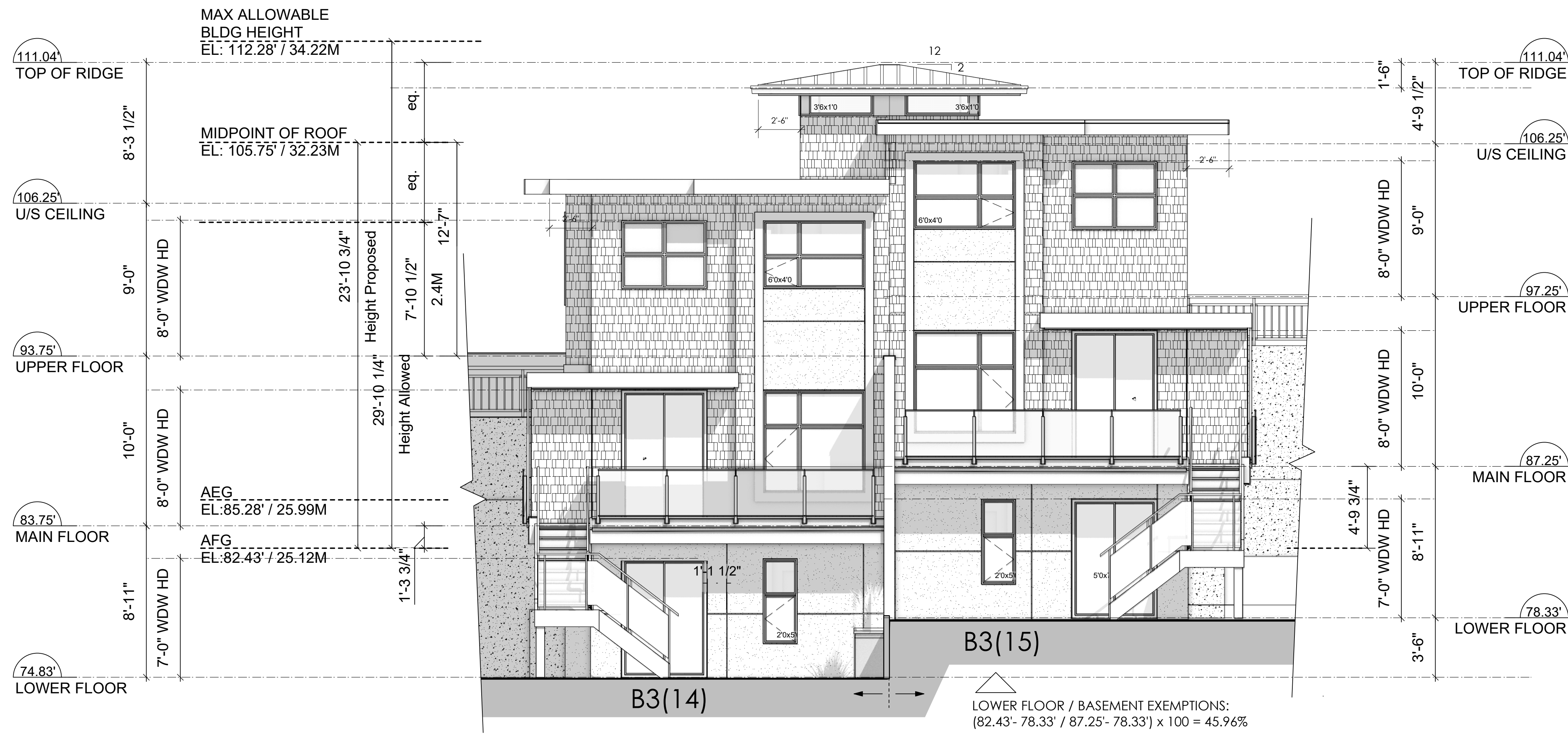
DRAWING
SECTIONS

PROJECT#	8030	SHEET	AB3-3.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



ENTRY ELEVATION
UNIT B3



LOWER FLOOR / BASEMENT EXEMPTIONS:
(82.43'- 78.33' / 87.25'- 78.33') x 100 = 45.96%

761.3 (gross area) x 45.96% = 349.89 SF (exemption)

BACK ELEVATION
UNIT B3

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1077.62 SF (100.11 SM)
LIMITING DISTANCE:	10.04' (3.06 M)
UNPROTECTED OPENING:	297.0 SF (27.59 SM)
PROPOSED OPENING:	27.56%
PERMITTED OPENINGS:	26.59%



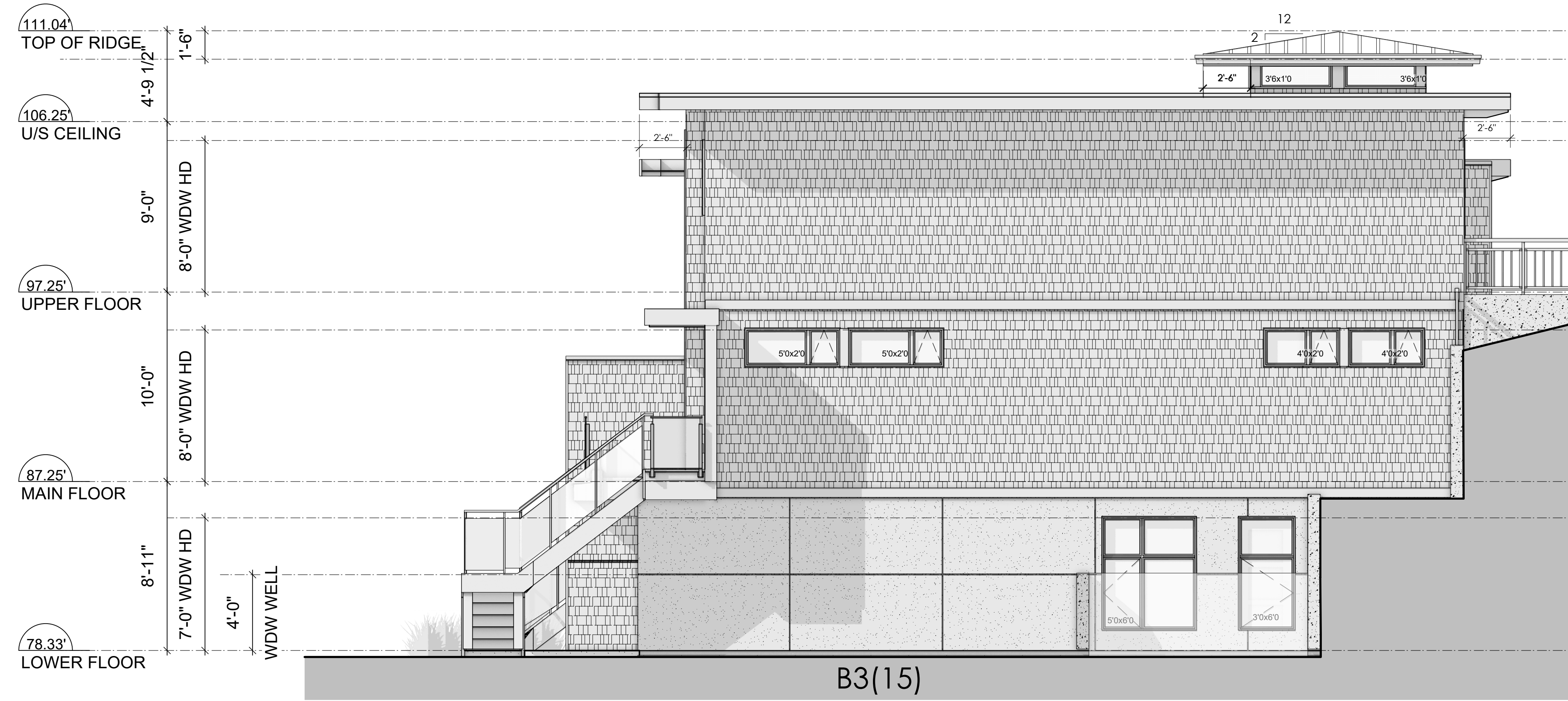
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B3

DRAWING
ENRTY AND BACK ELEVATIONS B/W

PROJECT#	SHEET
8030	AB3-4.01
SCALE	
DATE	

OCT 1, 2023

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



LEFT ELEVATION
UNIT B3

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1139.68 SF (105.88 SM)
LIMITING DISTANCE:	8.02 (2.44 M)
UNPROTECTED OPENING:	91 SF (8.45 SM)
PROPOSED OPENING:	7.98%
PERMITTED OPENINGS:	21.29%



RIGHT ELEVATION
UNIT B3

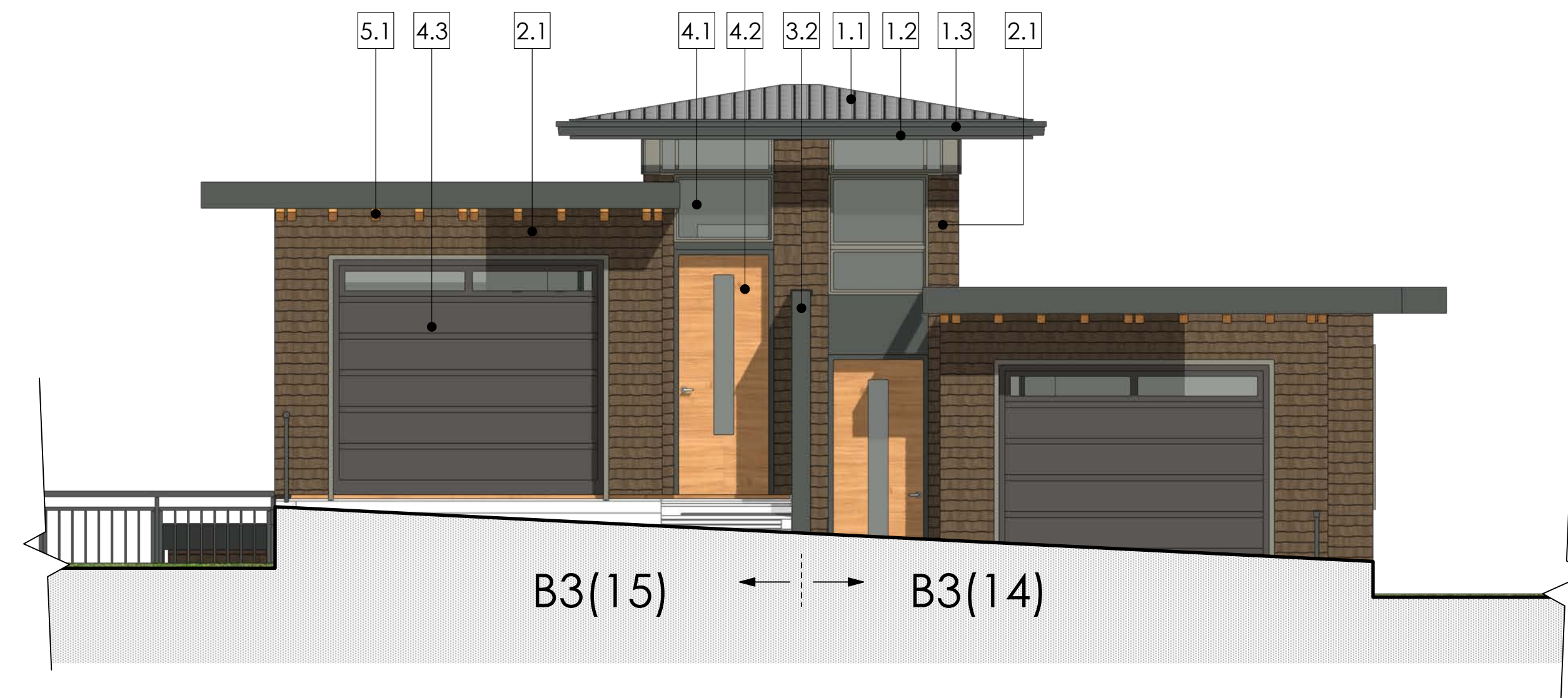


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B3

DRAWING
LEFT AND RIGHT
ELEVATIONS B/W

PROJECT#	SHEET
8030	AB3-4.02
SCALE	
DATE	

1/4" = 1'-0"
OCT 1, 2023



ENTRY ELEVATION
UNIT B3



BACK ELEVATION
UNIT B3



HARDY PANEL

FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING

METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT

WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105

BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors & Trims	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

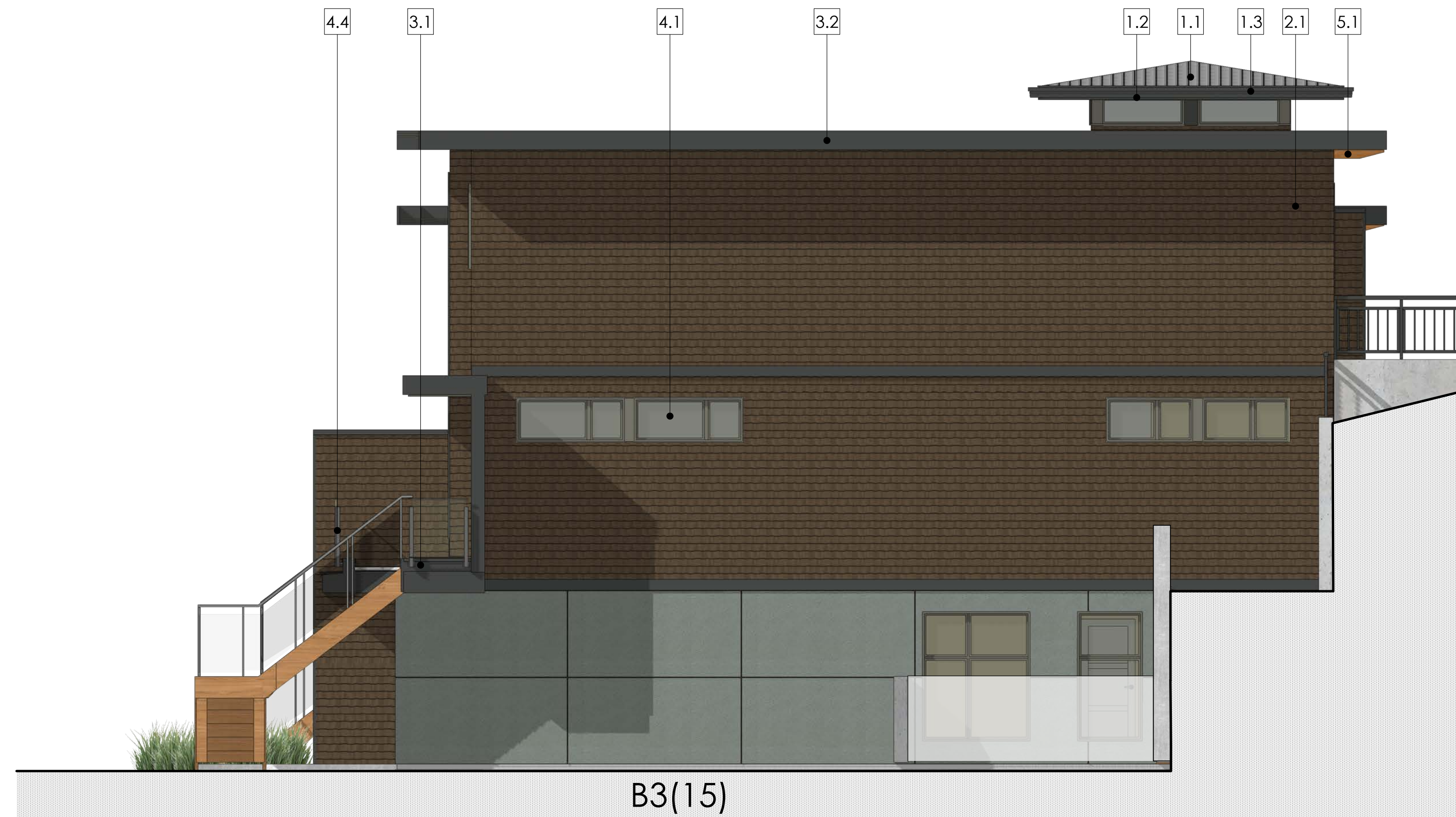


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B3

DRAWING
**ENTRY AND
BACK
ELEVATIONS**

PROJECT#	SHEET
8030	AB3- 4.03
SCALE 1/4" = 1'-0"	
DATE OCT 1, 2023	

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B3(15)

LEFT ELEVATION

UNIT B3



B3(14)

RIGHT ELEVATION

UNIT B3

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors & Trims	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B3

DRAWING
LEFT AND RIGHT ELEVATIONS

PROJECT#	8030	SHEET	AB3-4.04
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT B3



BACK ELEVATION - CAMERA VIEW
UNIT B3



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B3

DRAWING
FORNT AND
BACK
ELEVATIONS -
CAMERA VIEW

PROJECT#	SHEET	
8030	AB3- 4.05	
SCALE		N.T.S.
DATE		OCT 1, 2023

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REVISIONS

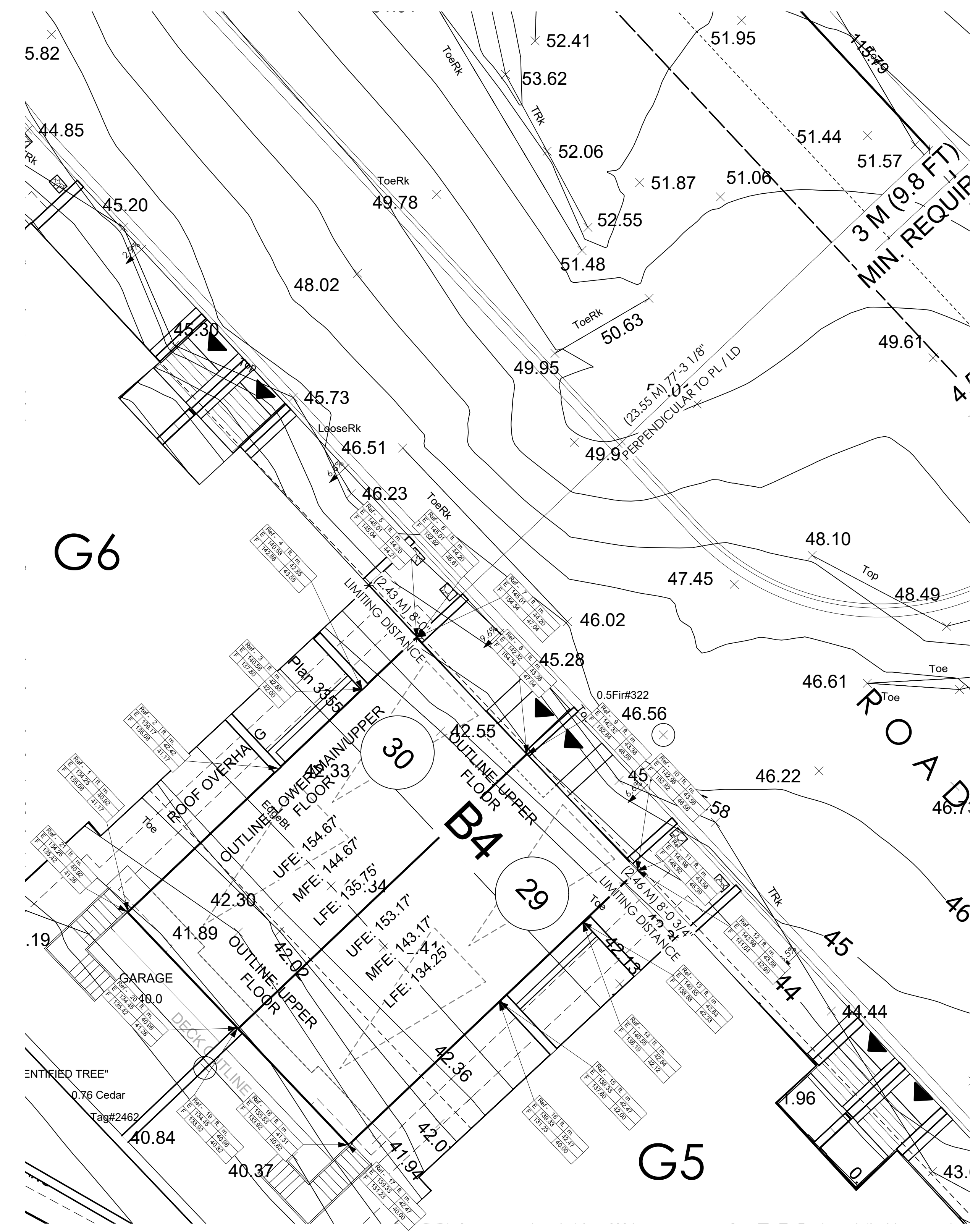
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

B4 - AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	135.42	2	137.80	136.61	22.79	3112.66
2	137.80	3	137.80	137.80	12.51	1723.46
3	137.80	4	142.88	140.34	0.00	0.00
4	142.88	5	145.04	143.96	8.21	1181.62
5	145.04	6	152.92	148.98	0.00	0.00
6	152.92	7	154.34	153.63	0.00	0.00
7	154.34	8	154.34	154.34	17.50	2700.95
8	154.34	9	152.84	153.59	0.00	0.00
9	152.84	10	152.82	152.83	17.50	2674.53
10	152.82	11	148.92	150.87	0.00	0.00
11	148.92	12	141.04	144.98	0.00	0.00
12	141.04	13	138.88	139.96	8.21	1148.79
13	138.88	14	138.19	138.54	0.00	0.00
14	138.19	15	137.80	138.00	12.53	1729.63
15	137.80	16	131.23	134.52	0.00	0.00
16	131.23	17	131.23	131.23	22.76	2986.53
17	131.23	18	133.92	132.58	0.00	0.00
18	133.92	19	133.92	133.92	17.50	2343.60
19	133.92	20	135.42	134.67	0.00	0.00
20	135.42	21	135.42	135.42	17.50	2369.85
21	135.42	1	135.42	135.42	0.00	0.00
Total					157.00	21971.63
AVG Finish Grade						139.95
Max. Bldg Height (Ft):				29.85		169.80

B4 - AVERAGE EXISTING GRADE CALCULATION

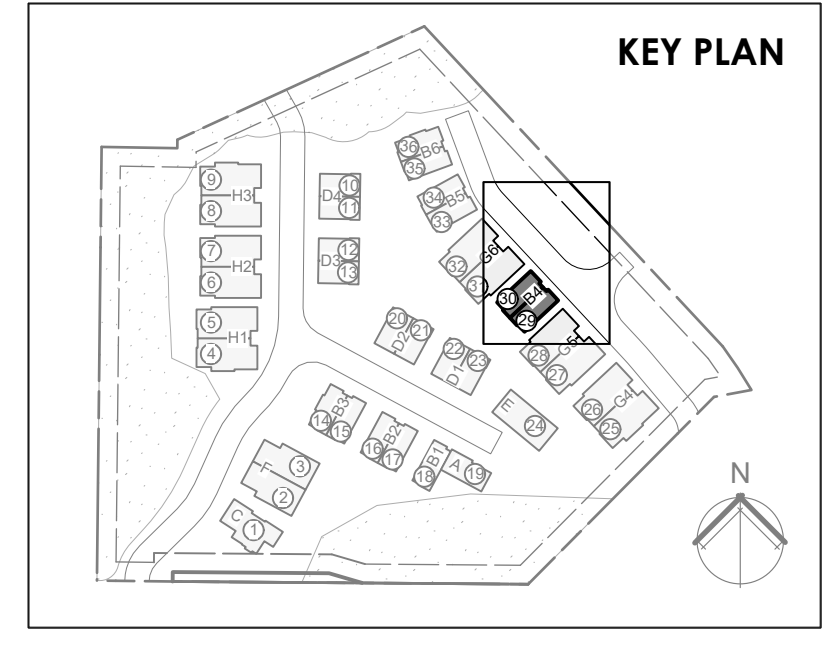
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	134.24	2	139.17	136.71	22.79	3114.82
2	139.17	3	140.58	139.88	12.51	1749.42
3	140.58	4	140.58	140.58	0.00	0.00
4	140.58	5	145.01	142.80	8.21	1172.06
5	145.01	6	145.01	145.01	0.00	0.00
6	145.01	7	145.01	145.01	0.00	0.00
7	145.01	8	142.32	143.67	17.50	2514.14
8	142.32	9	142.32	142.32	0.00	0.00
9	142.32	10	142.98	142.65	17.50	2496.38
10	142.98	11	142.98	142.98	0.00	0.00
11	142.98	12	142.98	142.98	0.00	0.00
12	142.98	13	140.55	141.77	8.21	1163.61
13	140.55	14	140.55	140.55	0.00	0.00
14	140.55	15	139.33	139.94	12.53	1754.01
15	139.33	16	139.33	139.33	0.00	0.00
16	139.33	17	139.33	139.33	22.76	3170.87
17	139.33	18	135.53	137.43	0.00	0.00
18	135.53	19	134.45	134.99	17.50	2362.33
19	134.45	20	134.45	134.45	0.00	0.00
20	134.45	21	134.25	134.35	17.50	2351.13
21	134.25	1	134.24	134.25	0.00	0.00
Total					157.00	21848.75
AVG Existing Grade						139.16
Max. Bldg Height (Ft):				29.85		169.01



SITE PLAN
SCALE: 1/8"=1'0"

TOP OF FINISH FLOOR - B4 (30)

Lower	Main	Upper
41.38 m 135.75'	44.10 m 144.67'	47.14 m 154.67'



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B4

DRAWING
SITE PLAN

PROJECT#	8030	SHEET	AB4-1.01
SCALE	1/8" = 1'-0"		
DATE	OCT 1, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS

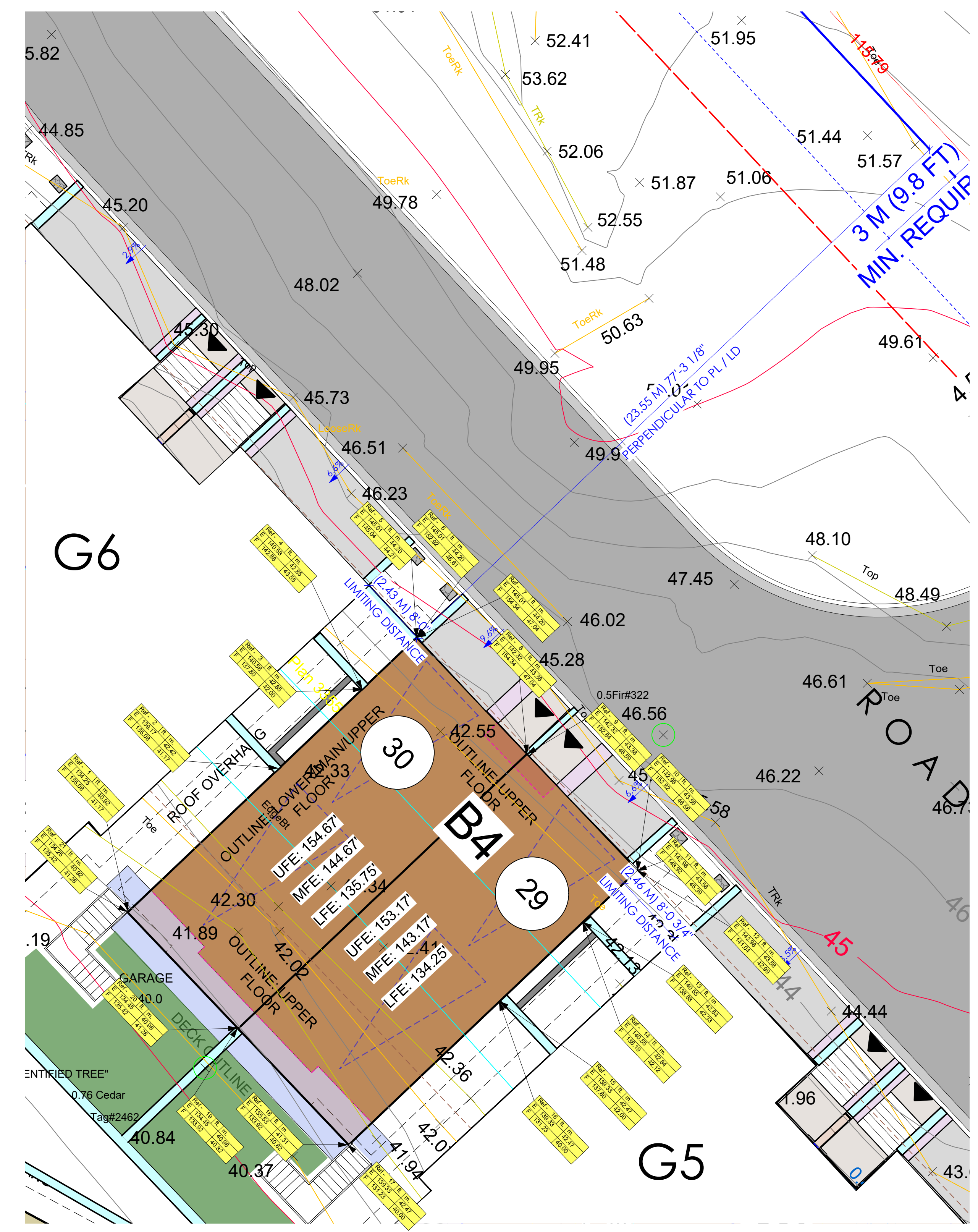
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

B4 - AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	135.42	2	137.80	136.61	22.79	3112.66
2	137.80	3	137.80	137.80	12.51	1723.46
3	137.80	4	142.88	140.34	0.00	0.00
4	142.88	5	145.04	143.96	8.21	1181.62
5	145.04	6	152.92	148.98	0.00	0.00
6	152.92	7	154.34	153.63	0.00	0.00
7	154.34	8	154.34	154.34	17.50	2700.95
8	154.34	9	152.84	153.59	0.00	0.00
9	152.84	10	152.82	152.83	17.50	2674.53
10	152.82	11	148.92	150.87	0.00	0.00
11	148.92	12	141.04	144.98	0.00	0.00
12	141.04	13	138.88	139.96	8.21	1148.79
13	138.88	14	138.19	138.54	0.00	0.00
14	138.19	15	137.80	138.00	12.53	1729.63
15	137.80	16	131.23	134.52	0.00	0.00
16	131.23	17	131.23	131.23	22.76	2986.53
17	131.23	18	133.92	132.58	0.00	0.00
18	133.92	19	133.92	133.92	17.50	2343.60
19	133.92	20	135.42	134.67	0.00	0.00
20	135.42	21	135.42	135.42	17.50	2369.85
21	135.42	1	135.42	135.42	0.00	0.00
Total					157.00	21971.63
AVG Finish Grade						139.95
Max. Bldg Height (Ft):	29.85					169.80

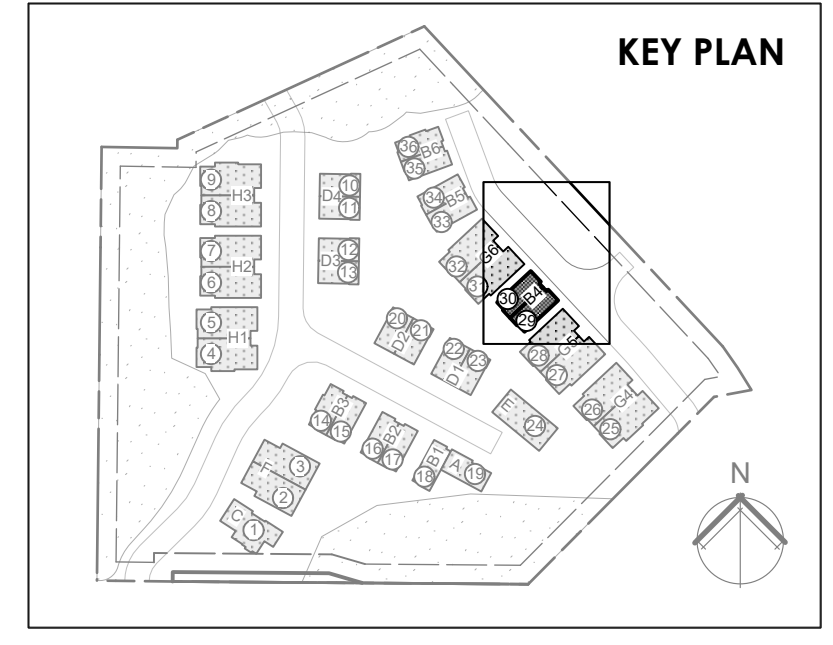
B4 - AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	134.24	2	139.17	136.71	22.79	3114.82
2	139.17	3	140.58	139.88	12.51	1749.42
3	140.58	4	140.58	140.58	0.00	0.00
4	140.58	5	145.01	142.80	8.21	1172.06
5	145.01	6	145.01	145.01	0.00	0.00
6	145.01	7	145.01	145.01	0.00	0.00
7	145.01	8	142.32	143.67	17.50	2514.14
8	142.32	9	142.32	142.32	0.00	0.00
9	142.32	10	142.98	142.65	17.50	2496.38
10	142.98	11	142.98	142.98	0.00	0.00
11	142.98	12	142.98	142.98	0.00	0.00
12	142.98	13	140.55	141.77	8.21	1163.61
13	140.55	14	140.55	140.55	0.00	0.00
14	140.55	15	139.33	139.94	12.53	1754.01
15	139.33	16	139.33	139.33	0.00	0.00
16	139.33	17	139.33	139.33	22.76	3170.87
17	139.33	18	135.53	137.43	0.00	0.00
18	135.53	19	134.45	134.99	17.50	2362.33
19	134.45	20	134.45	134.45	0.00	0.00
20	134.45	21	134.25	134.35	17.50	2351.13
21	134.25	1	134.24	134.25	0.00	0.00
Total					157.00	21848.75
AVG Existing Grade						139.16
Max. Bldg Height (Ft):	29.85					169.01



SITE PLAN
SCALE: 1/8"=1'0"

TOP OF FINISH FLOOR - B4 (30)		
Lower	Main	Upper
41.38 m 135.75'	44.10 m 144.67'	47.14 m 154.67'



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B4

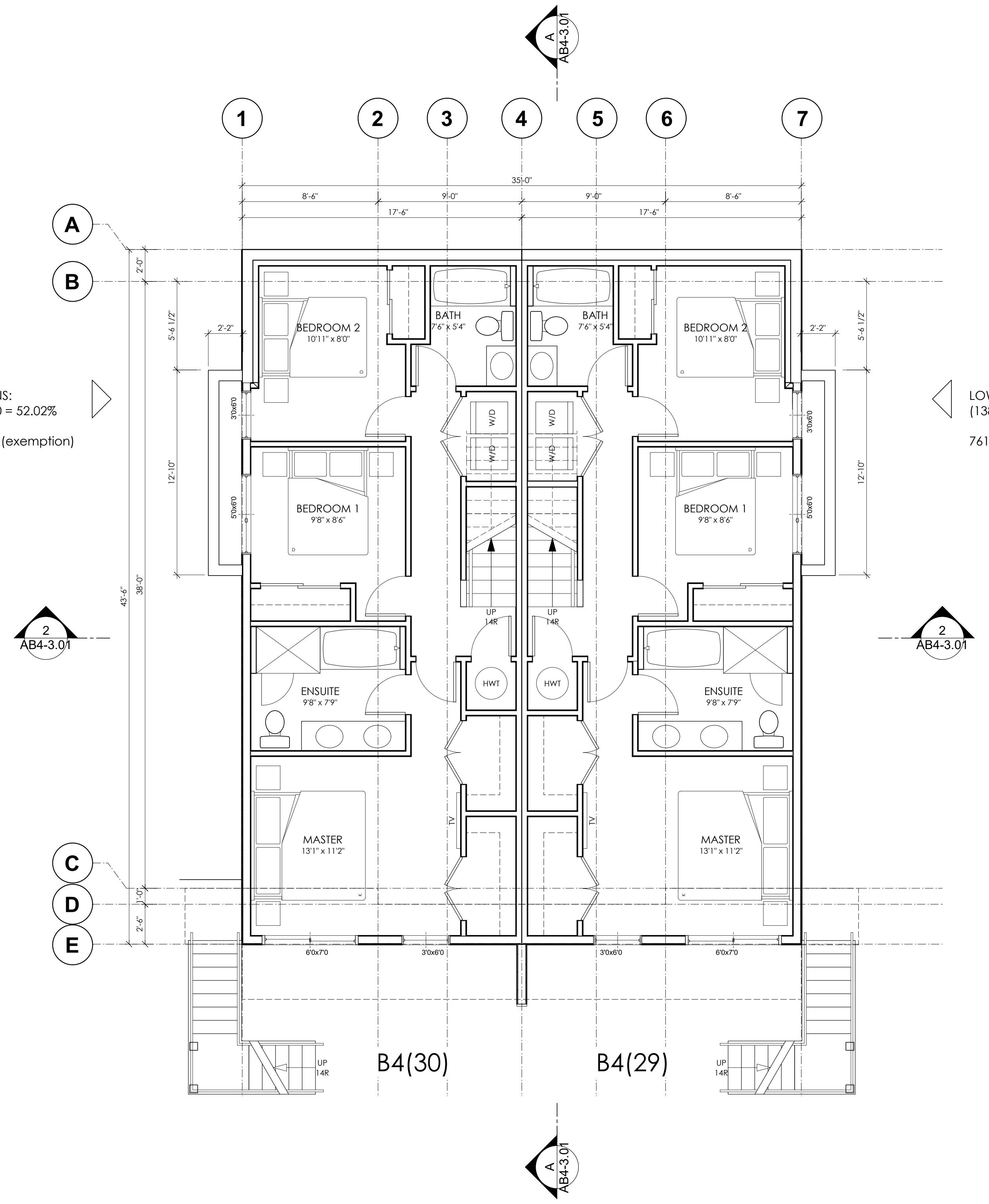
DRAWING
SITE PLAN

PROJECT#	8030	SHEET	AB4-1.01
SCALE	1/8" = 1'-0"		
DATE	OCT 1, 2023		

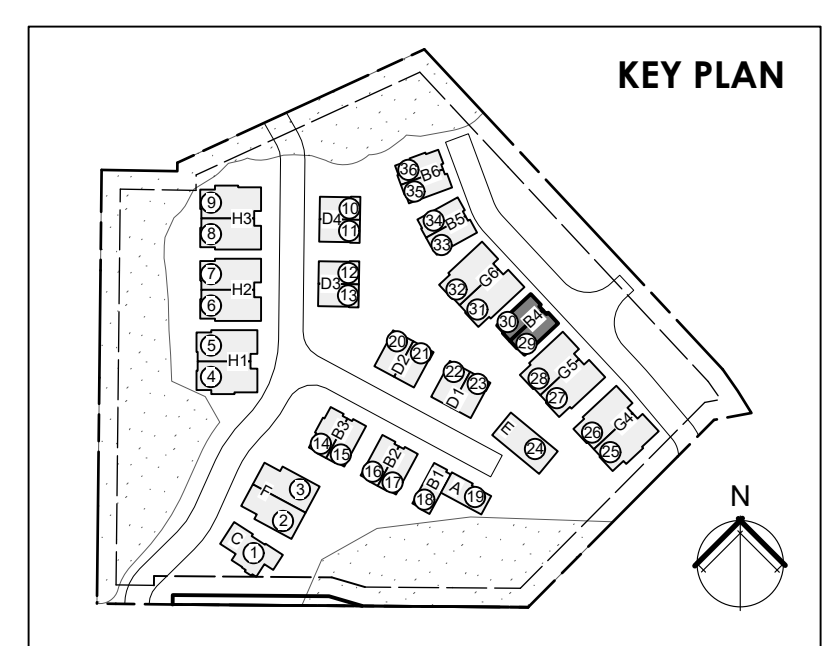
REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (138.89'- 134.25' / 143.17'- 134.25') x 100 = 52.02%
 761.3 (gross area) x 52.02% = 396.03 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (138.89'- 135.75' / 144.67'- 135.75') x 100 = 35.20%
 761.3 (gross area) x 35.2% = 267.98 SF (exemption)



LOWER FLOOR PLAN
 UNIT B4



UNIT 30 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS	396.0 SF	0.0 SF	0.0 SF	396.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	365.2 SF	709.0 SF	258.3 SF	1332.5 SF

UNIT 30 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS	36.8 SM	0.0 SM	0.0 SM	36.8 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	33.9 SM	65.9 SM	24.0 SM	123.8 SM

UNIT 29 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS	268.0 SF	0.0 SF	0.0 SF	268.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	493.3 SF	709.0 SF	258.3 SF	1460.5 SF

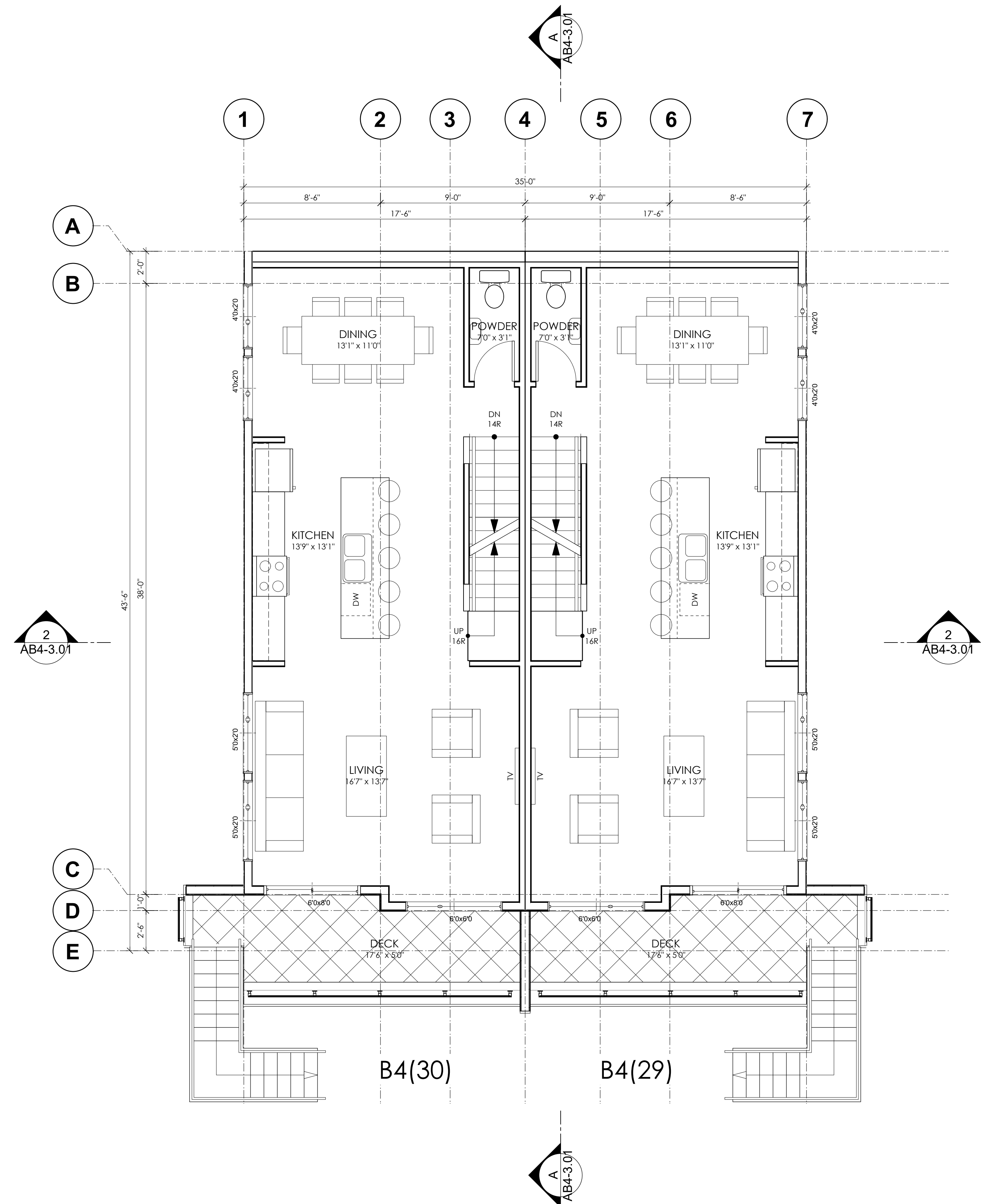
UNIT 29 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS	24.9 SM	0.0 SM	0.0 SM	24.9 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	45.8 SM	65.9 SM	24.0 SM	135.7 SM

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B4

DRAWING
LOWER FLOOR PLAN

PROJECT#	8030	SHEET	AB4-2.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

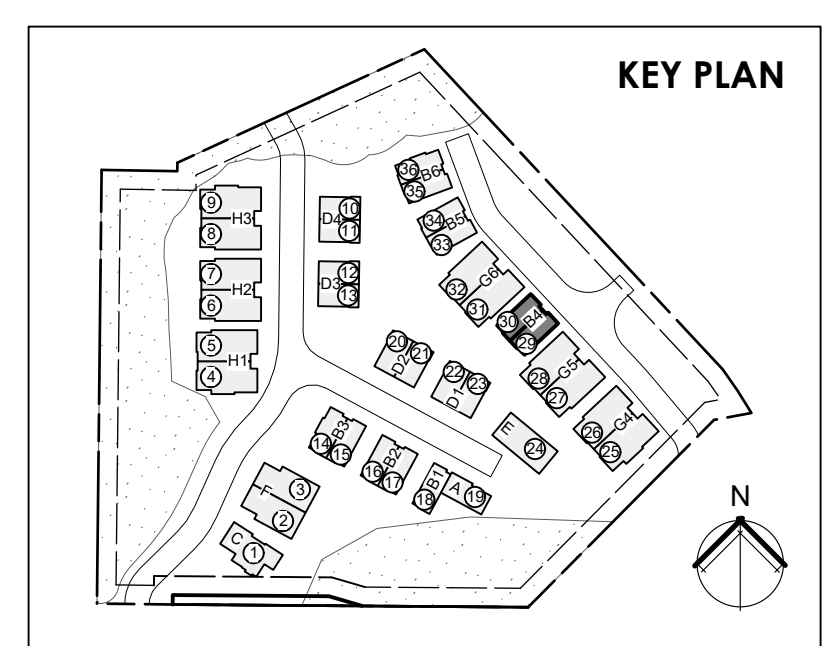


MAIN FLOOR PLAN
UNIT B4



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B4

DRAWING
MAIN FLOOR PLAN



UNIT 30 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS	396.0 SF	0.0 SF	0.0 SF	396.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	365.2 SF	709.0 SF	258.3 SF	1332.5 SF

UNIT 30 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS	36.8 SM	0.0 SM	0.0 SM	36.8 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	33.9 SM	65.9 SM	24.0 SM	123.8 SM

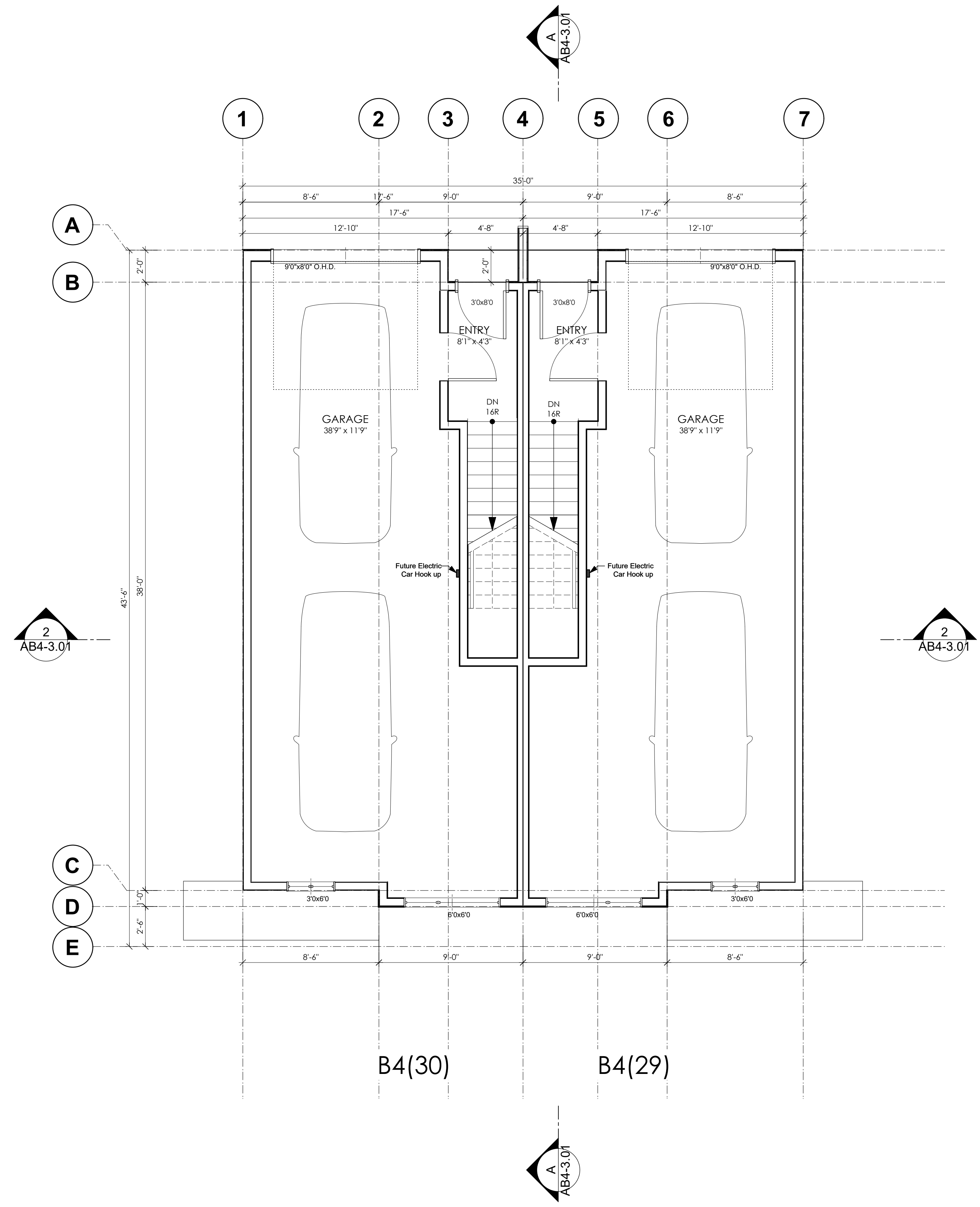
UNIT 29 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS	268.0 SF	0.0 SF	0.0 SF	268.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	493.3 SF	709.0 SF	258.3 SF	1460.5 SF

UNIT 29 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS	24.9 SM	0.0 SM	0.0 SM	24.9 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	45.8 SM	65.9 SM	24.0 SM	135.7 SM

PROJECT# 8030
SCALE 1/4" = 1'-0"
DATE OCT 1, 2023

SHEET
AB4-2.02

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

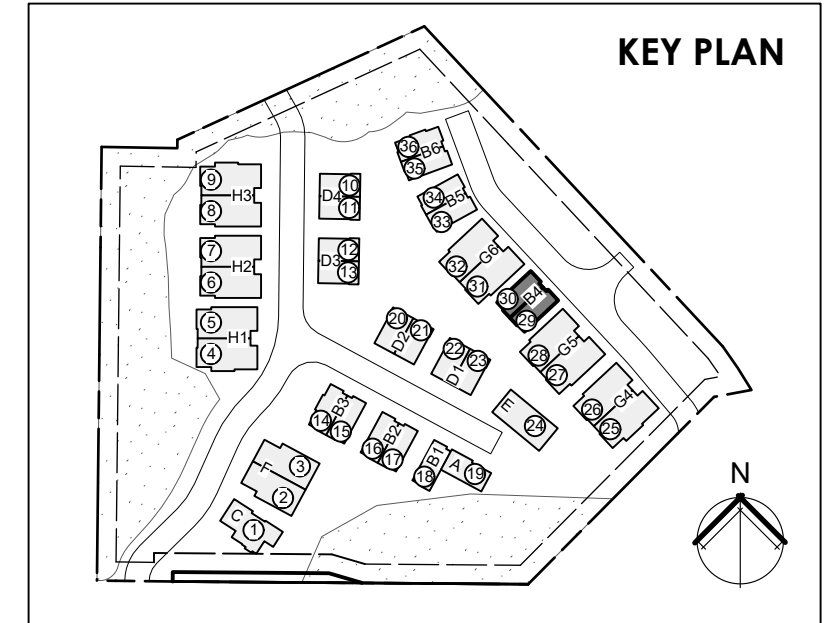


UPPER / ENTRY FLOOR PLAN
UNIT B4



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B4

DRAWING
UPPER FLOOR PLAN



UNIT 30 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS	396.0 SF	0.0 SF	0.0 SF	396.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	365.2 SF	709.0 SF	258.3 SF	1332.5 SF

UNIT 30 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS	36.8 SM	0.0 SM	0.0 SM	36.8 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	33.9 SM	65.9 SM	24.0 SM	123.8 SM

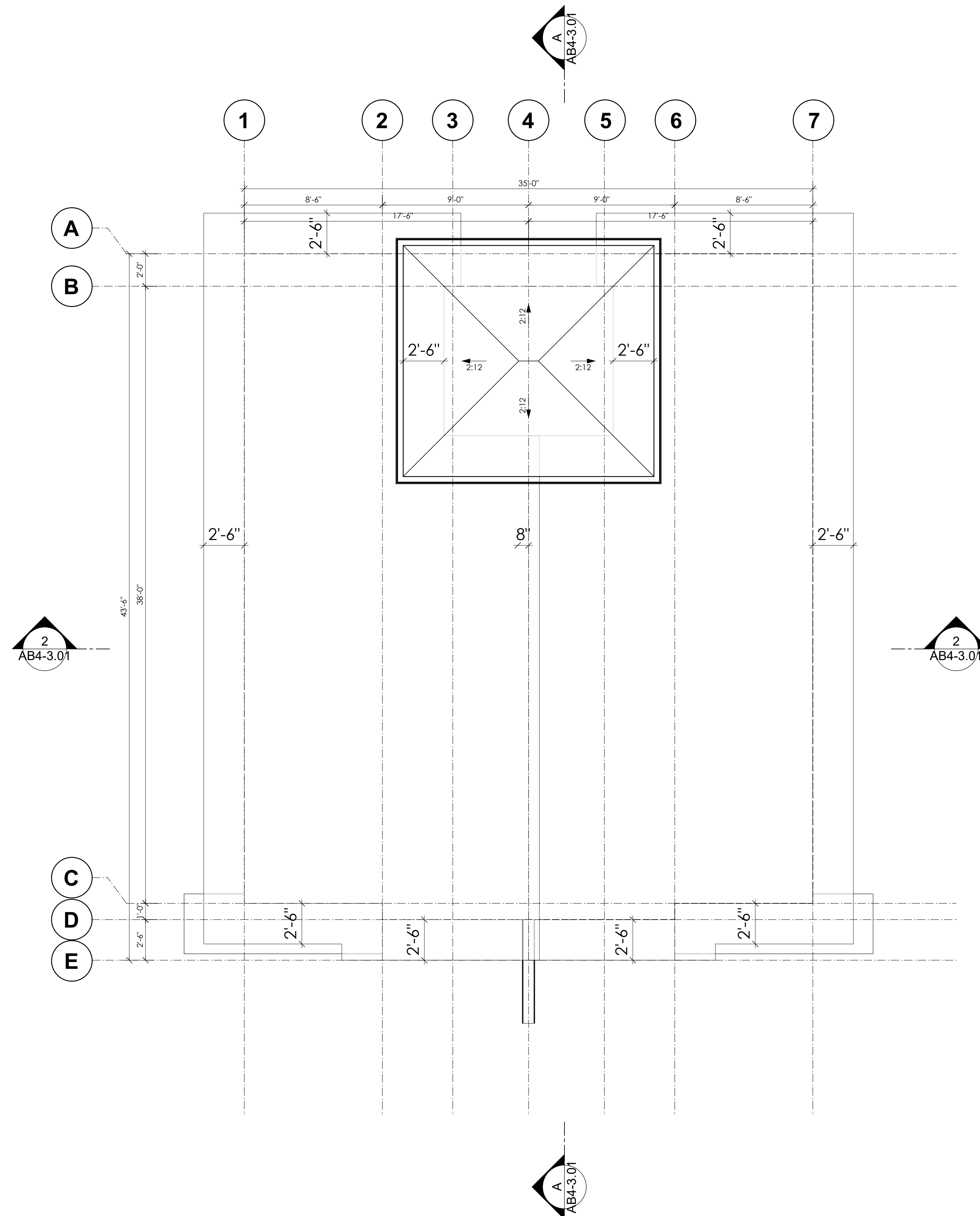
UNIT 29 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS	268.0 SF	0.0 SF	0.0 SF	268.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	493.3 SF	709.0 SF	258.3 SF	1460.5 SF

UNIT 29 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS	24.9 SM	0.0 SM	0.0 SM	24.9 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	45.8 SM	65.9 SM	24.0 SM	135.7 SM

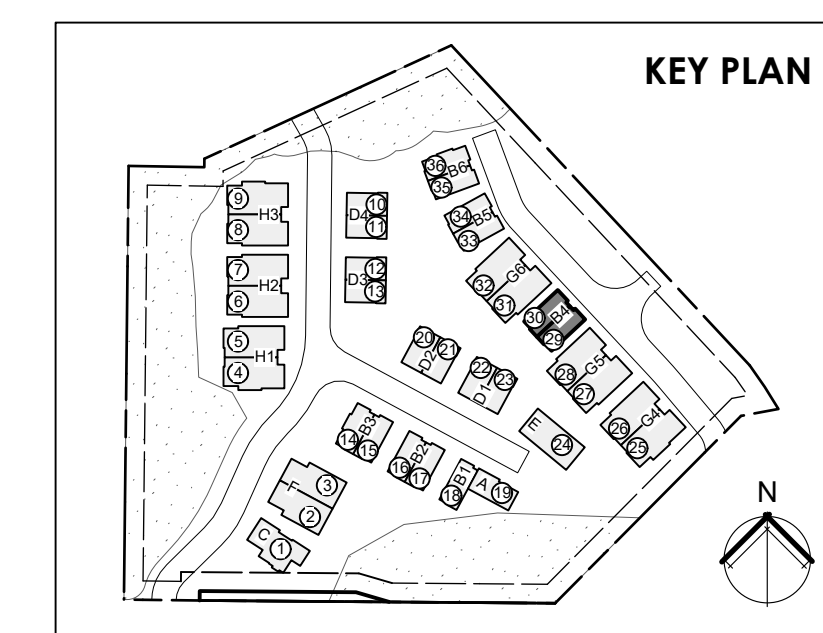
PROJECT#	8030	SHEET	AB4-2.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS
Issued for DP/Rezoning Aug 31, 2021
DRC/ Public Comment Revisions MAY 12, 2023
G1, G2, G3 Revisions JULY 31, 2023
H unit additions Oct 1, 2023



ROOF PLAN
UNIT B4



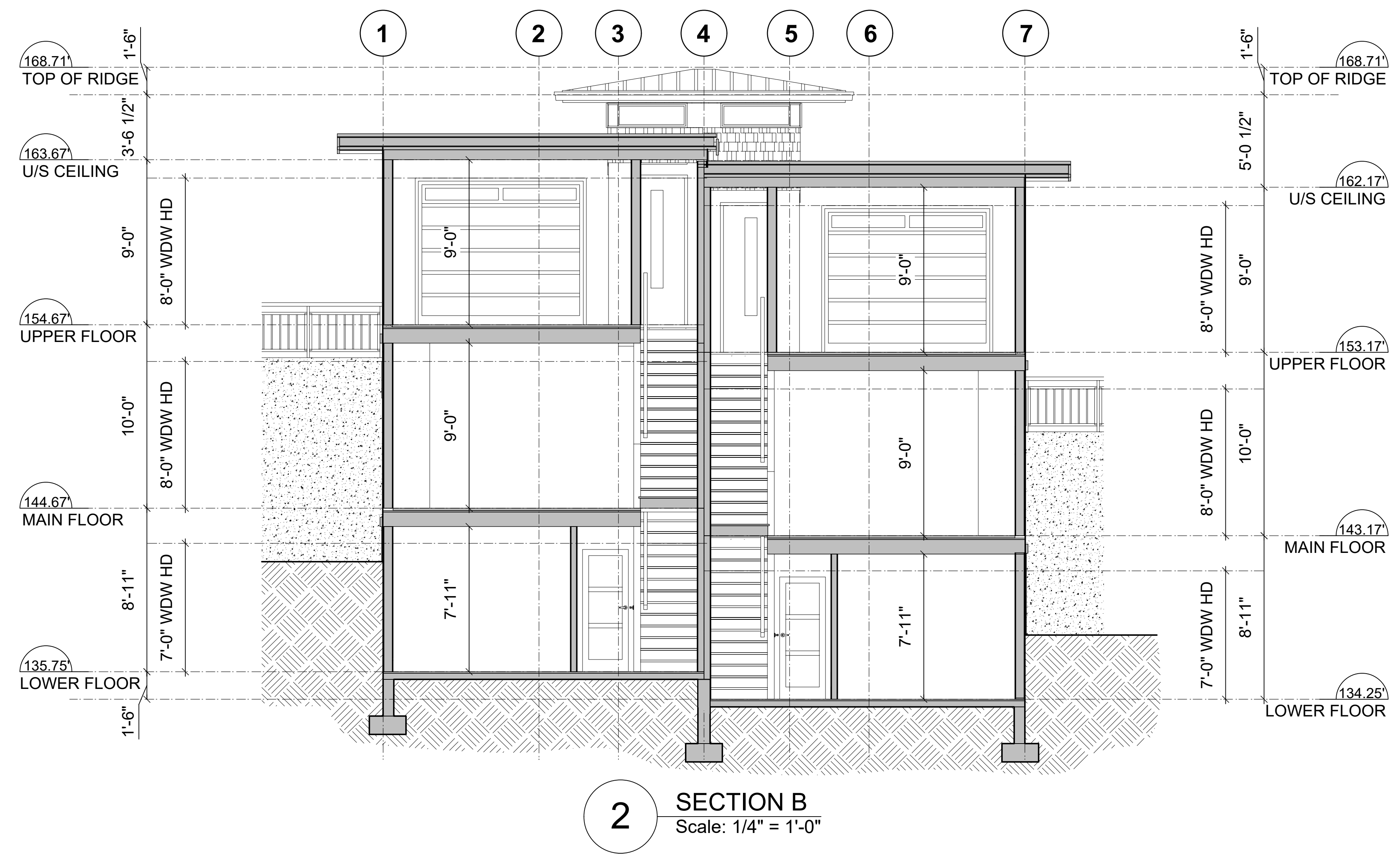
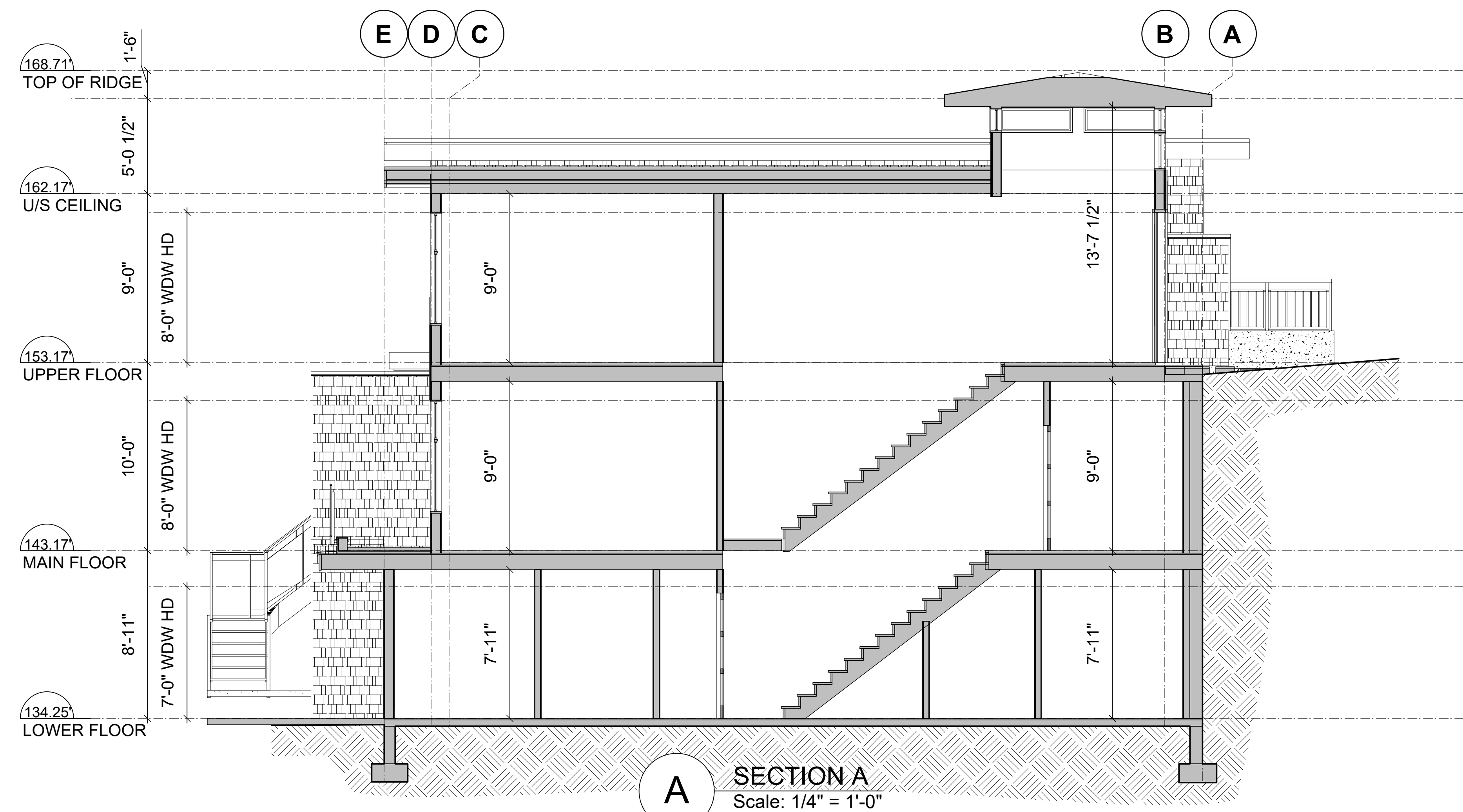
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B4

DRAWING
ROOF PLAN

PROJECT#	8030	SHEET	AB4-2.04
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

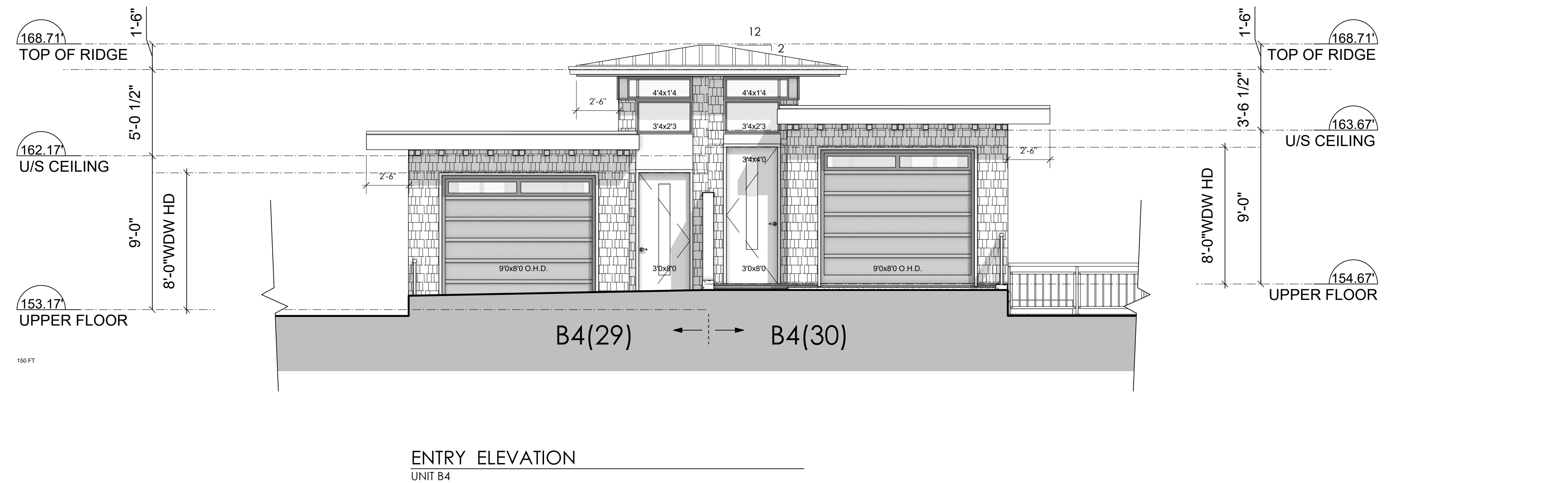


PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT B4

DRAWING
SECTIONS

PROJECT#	8030	SHEET	AB4-3.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

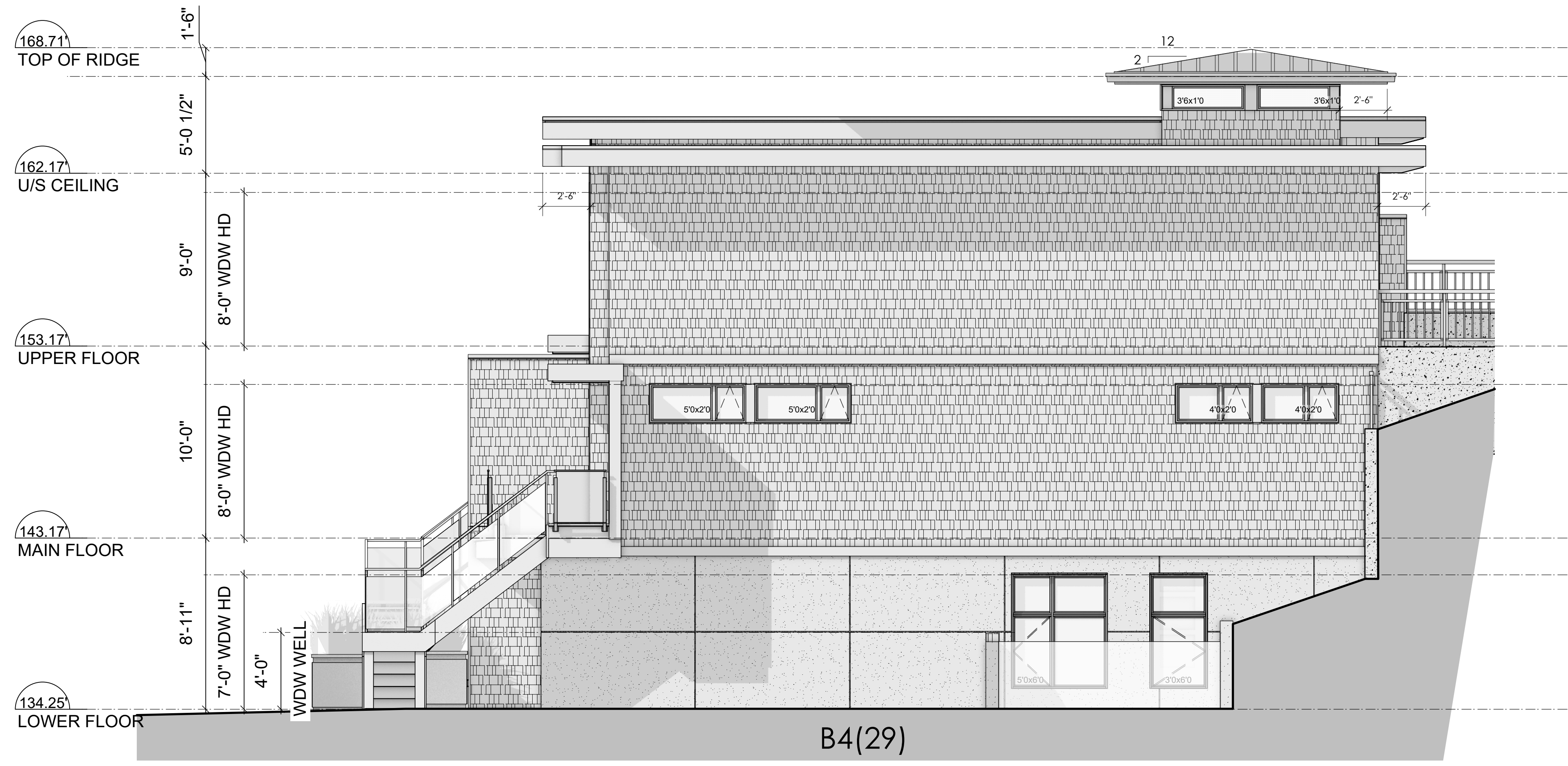


PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B4

DRAWING
 ENTRY & BACK
 ELEVATIONS B/W

PROJECT#	8030	SHEET	AB4-4.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

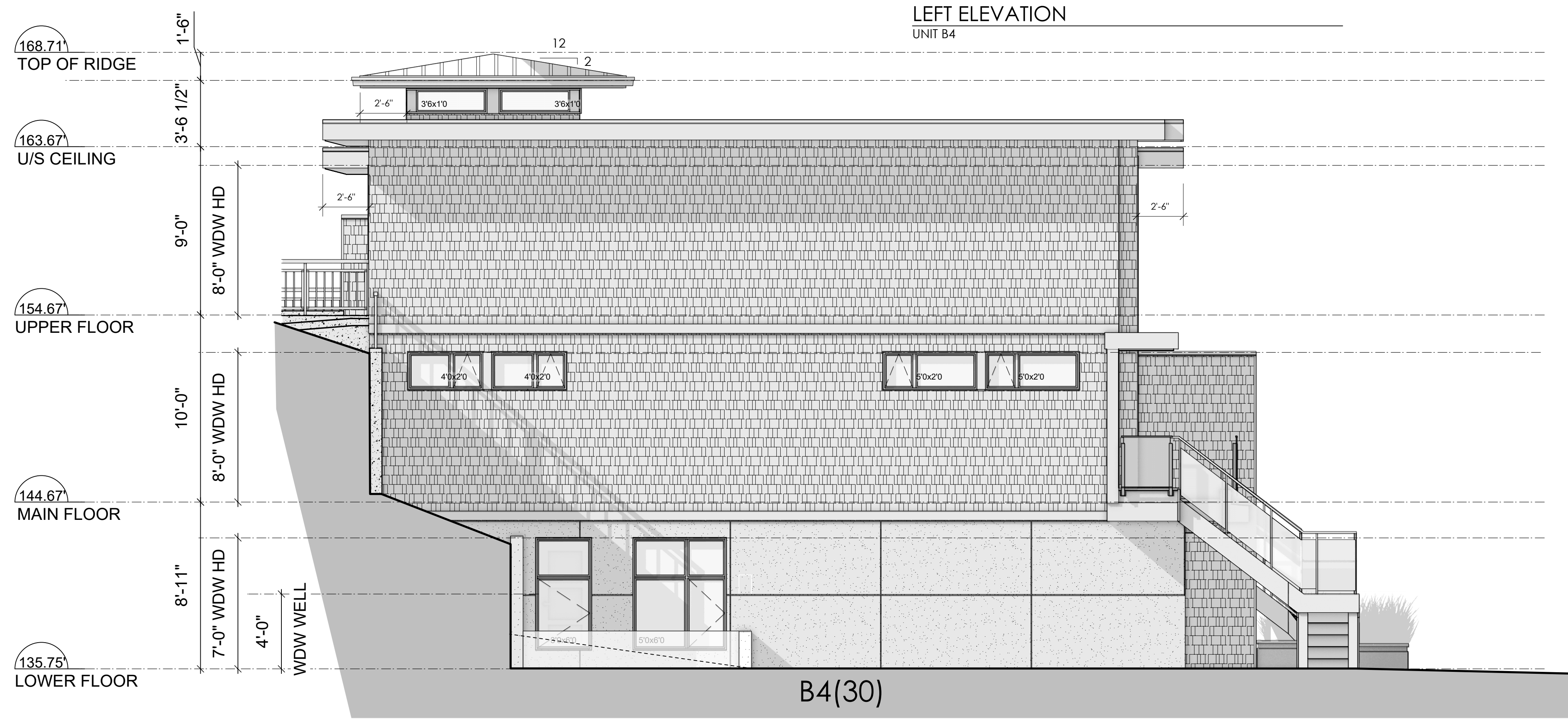
REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1171.22 SF (108.81 SM)
LIMITING DISTANCE:	4.03' (1.23 M)
UNPROTECTED OPENING:	85 SF (7.90 SM)
PROPOSED OPENING:	7.26%
PERMITTED OPENINGS:	11.5%

LEFT ELEVATION
UNIT B4



SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1139.08 SF (105.82 SM)
LIMITING DISTANCE:	4.00' (1.22 M)
UNPROTECTED OPENING:	91 SF (8.45 SM)
PROPOSED OPENING:	7.99%
PERMITTED OPENINGS:	14.10%

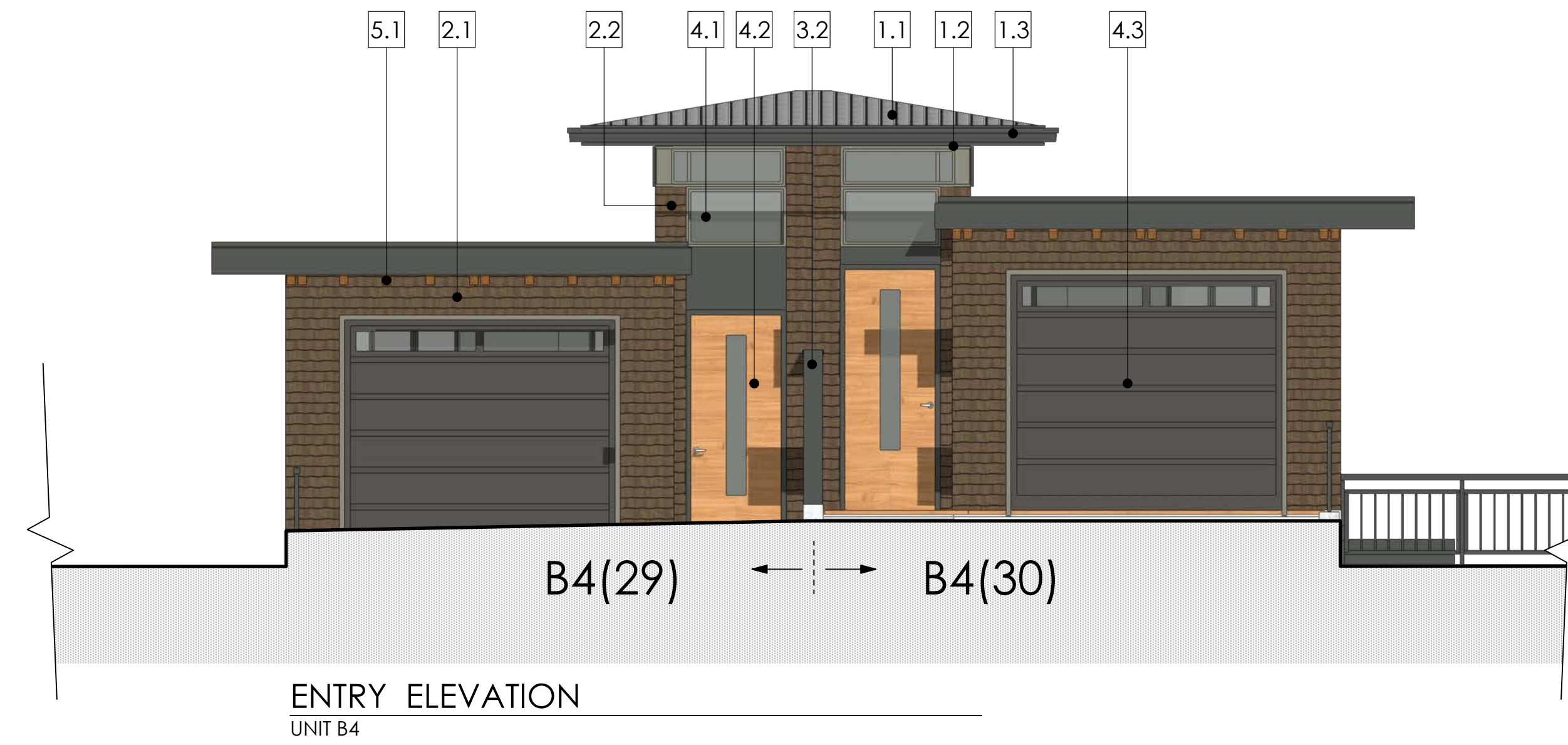
RIGHT ELEVATION
UNIT B4



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B4

DRAWING
LEFT & RIGHT ELEVATIONS B/W

PROJECT#	8030	SHEET	AB4-4.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		



ENTRY ELEVATION
UNIT B4



BACK ELEVATION
UNIT B4



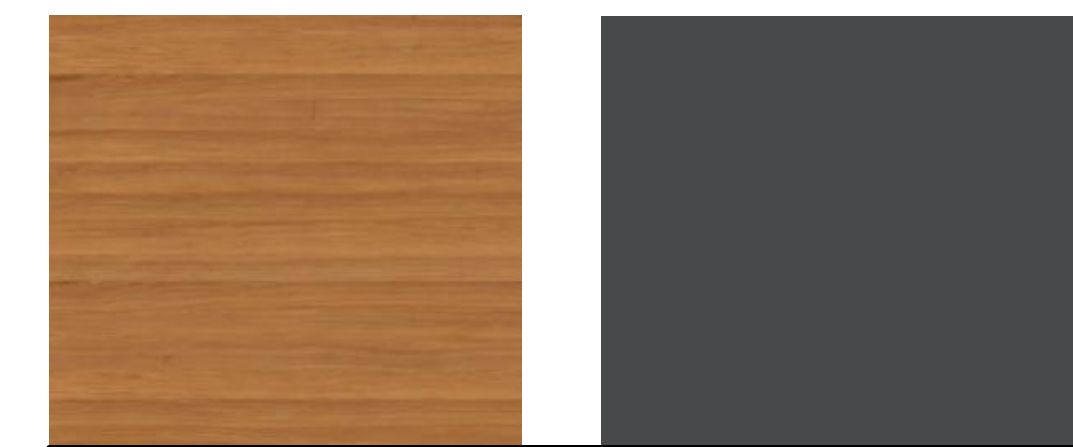
HARDY PANEL

FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING

METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT

WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105

BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
3.2		Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors & Trims	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS		
Issued for DP/Rezoning		Aug 31, 2021
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H unit additions		Oct 1, 2023



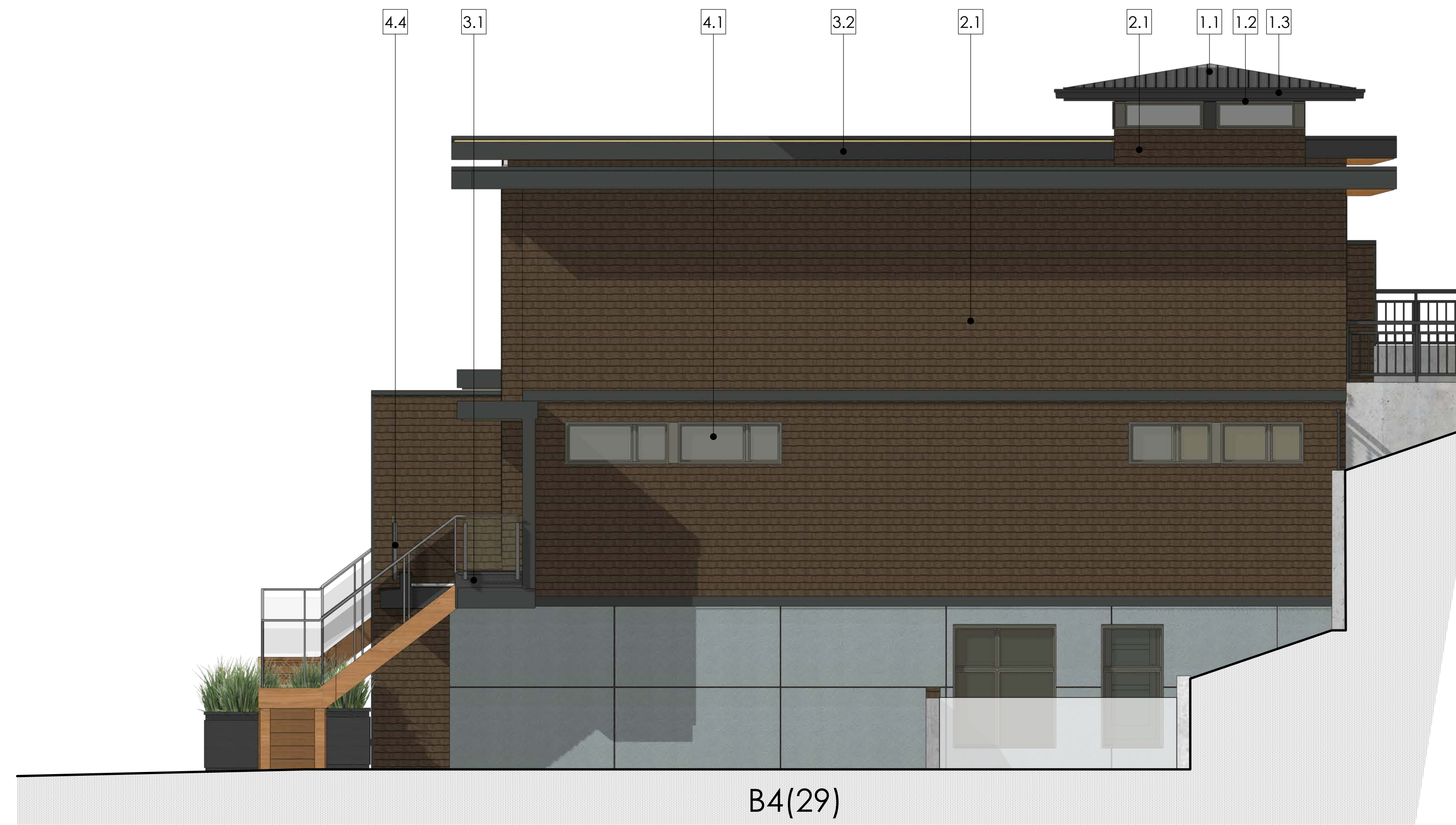
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B4

DRAWING
**ENTRY & BACK
ELEVATIONS**

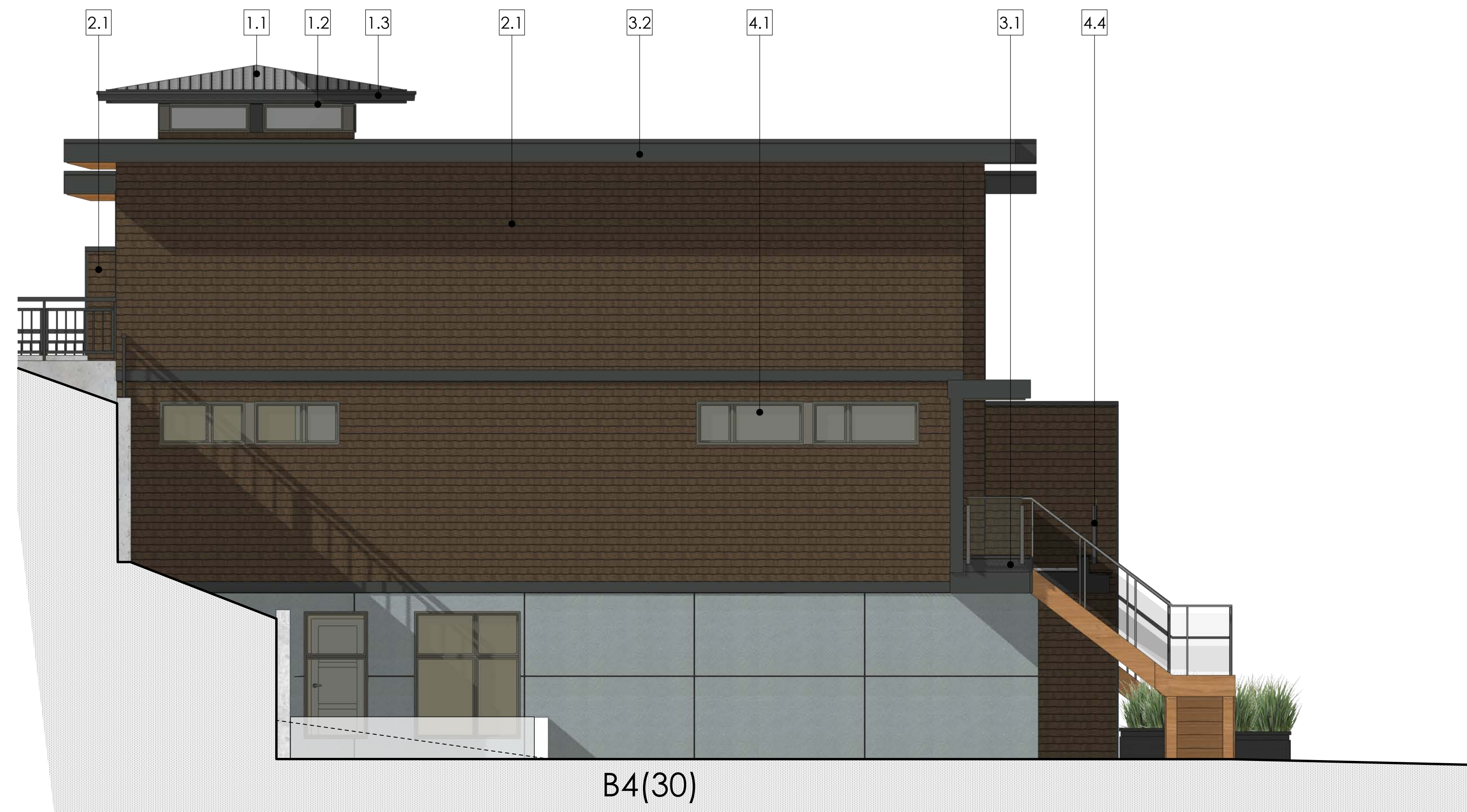
PROJECT#	8030	SHEET	AB4- 4.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
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G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



LEFT ELEVATION
UNIT B4



RIGHT ELEVATION
UNIT B4

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors & Trims	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

PROJECT

AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B4

DRAWING

LEFT & RIGHT
ELEVATIONS

PROJECT#

SHEET

8030

SCALE

**AB4-
4.04**

1 / 4" = 1' - 0"

DATE

OCT 1, 2023

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT B4



BACK ELEVATION - CAMERA VIEW
UNIT B4



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B4

DRAWING
FORNT AND
BACK
ELEVATIONS -
CAMERA VIEW

PROJECT#	SHEET	
8030	AB4- 4.05	
SCALE		N.T.S.
DATE		OCT 1, 2023

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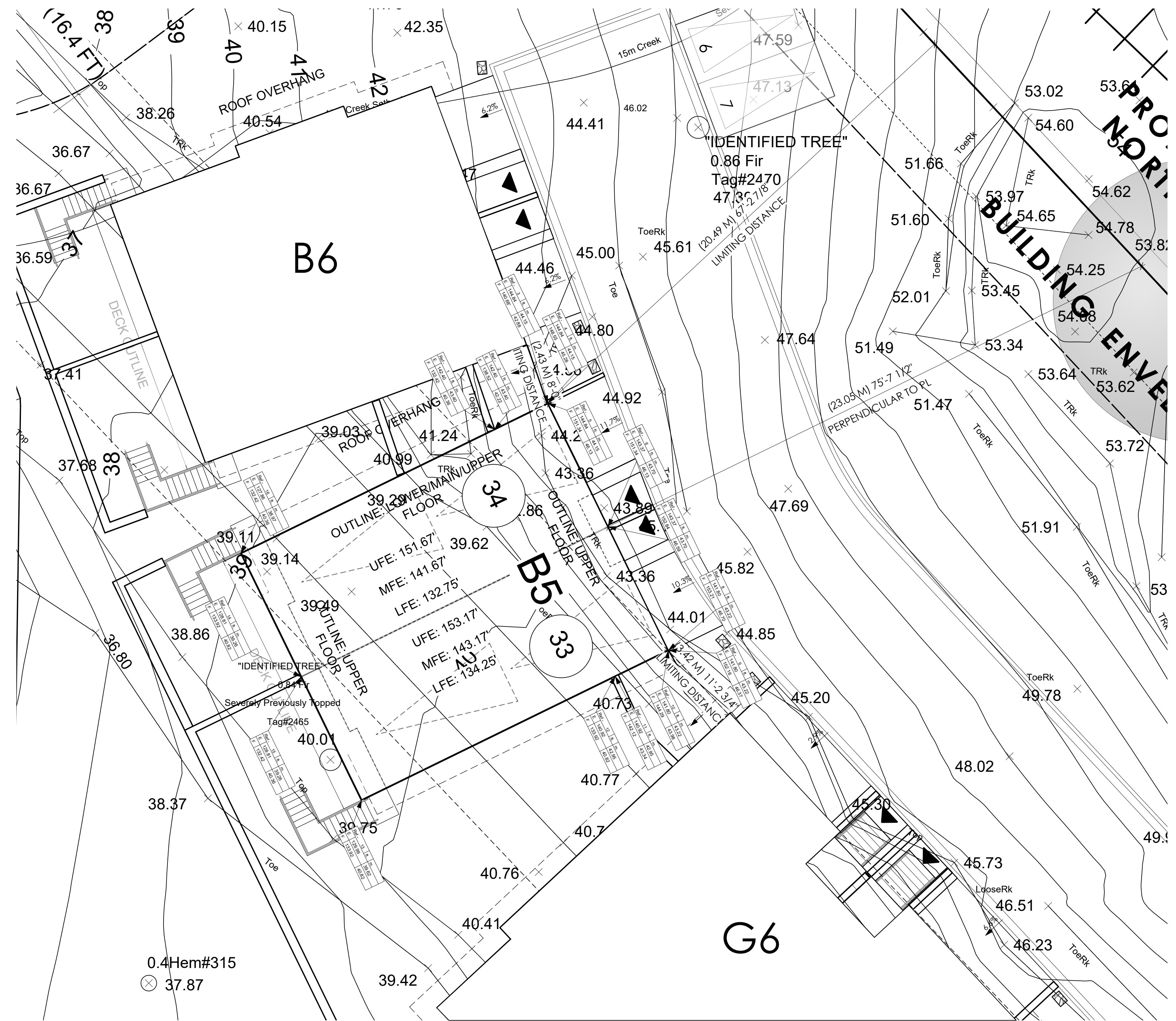
REVISIONS
 Issued for DP/Rezoning Aug 31, 2021
 DRC/ Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023
 H unit additions Oct 1, 2023

B5 - AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	142.40	2	142.40	142.40	0.00	0.00
2	142.40	3	144.84	143.62	7.54	1083.18
3	144.84	4	144.84	144.84	0.00	0.00
4	144.84	5	144.84	144.84	0.00	0.00
5	144.84	6	143.37	144.11	17.50	2521.84
6	143.37	7	143.37	143.37	0.00	0.00
7	143.37	8	141.80	142.59	17.50	2495.24
8	141.80	9	141.80	141.80	0.00	0.00
9	141.80	10	141.80	141.80	0.00	0.00
10	141.80	11	140.92	141.36	7.54	1066.14
11	140.92	12	140.92	140.92	0.00	0.00
12	140.92	13	129.99	135.46	35.96	4870.69
13	129.99	14	128.81	129.40	17.50	2264.50
14	128.81	15	128.81	128.81	0.00	0.00
15	128.81	16	127.86	128.34	17.50	2245.86
16	127.86	1	142.40	135.13	35.96	4859.00
Total					157.00	21406.45
AVG Existing Grade						136.35
Max. Bldg Height (Ft):	29.85					166.20

B5 - AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	132.42	2	138.52	135.47	0.00	0.00
2	138.52	3	140.68	139.60	7.54	1052.86
3	140.68	4	148.55	144.62	0.00	0.00
4	148.55	5	151.34	149.95	0.00	0.00
5	151.34	6	151.34	151.34	17.50	2648.45
6	151.34	7	152.84	152.09	0.00	0.00
7	152.84	8	153.21	153.03	17.50	2677.94
8	153.21	9	152.16	152.69	0.00	0.00
9	152.16	10	144.29	148.23	0.00	0.00
10	144.29	11	142.12	143.21	7.54	1080.05
11	142.12	12	133.92	138.02	0.00	0.00
12	133.92	13	133.92	133.92	35.96	4815.50
13	133.92	14	133.92	133.92	17.50	2343.60
14	133.92	15	132.42	133.17	0.00	0.00
15	132.42	16	132.42	132.42	17.50	2317.35
16	132.42	1	132.42	132.42	35.96	4761.56
Total					157.00	21697.31
AVG Finish Grade						138.20
Max. Bldg Height (Ft):	29.85					168.05



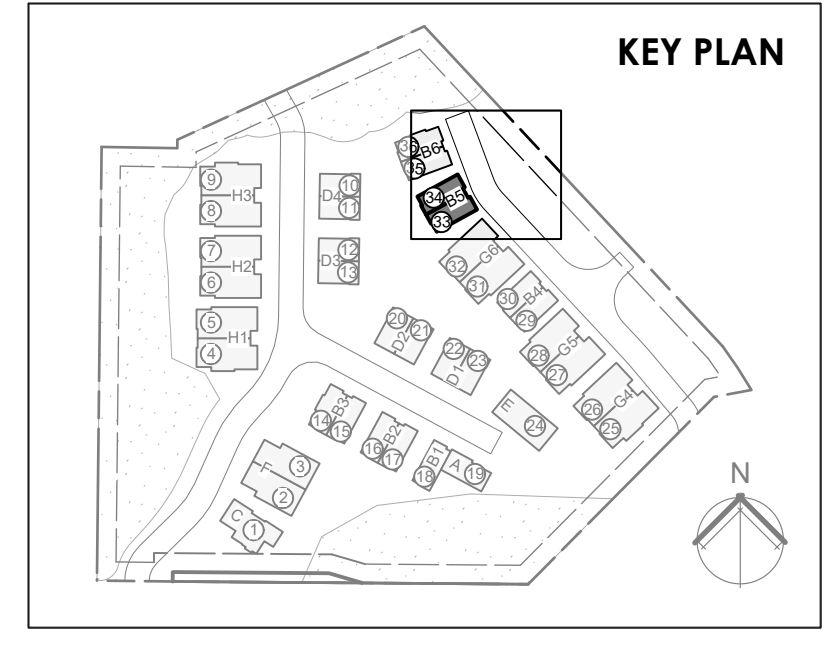
SITE PLAN
 SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - B5 (33)

Lower	Main	Upper
40.92 m	43.64 m	46.69 m
134.25'	143.17'	153.17'

TOP OF FINISH FLOOR - B5 (34)

Lower	Main	Upper
40.46 m	43.18 m	46.23 m
132.75'	141.67'	151.67'



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT B5

DRAWING
SITE PLAN

PROJECT# 8030
 SCALE 1/8" = 1'-0"
 DATE OCT 1, 2023
 SHEET
AB5-1.01

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REVISIONS

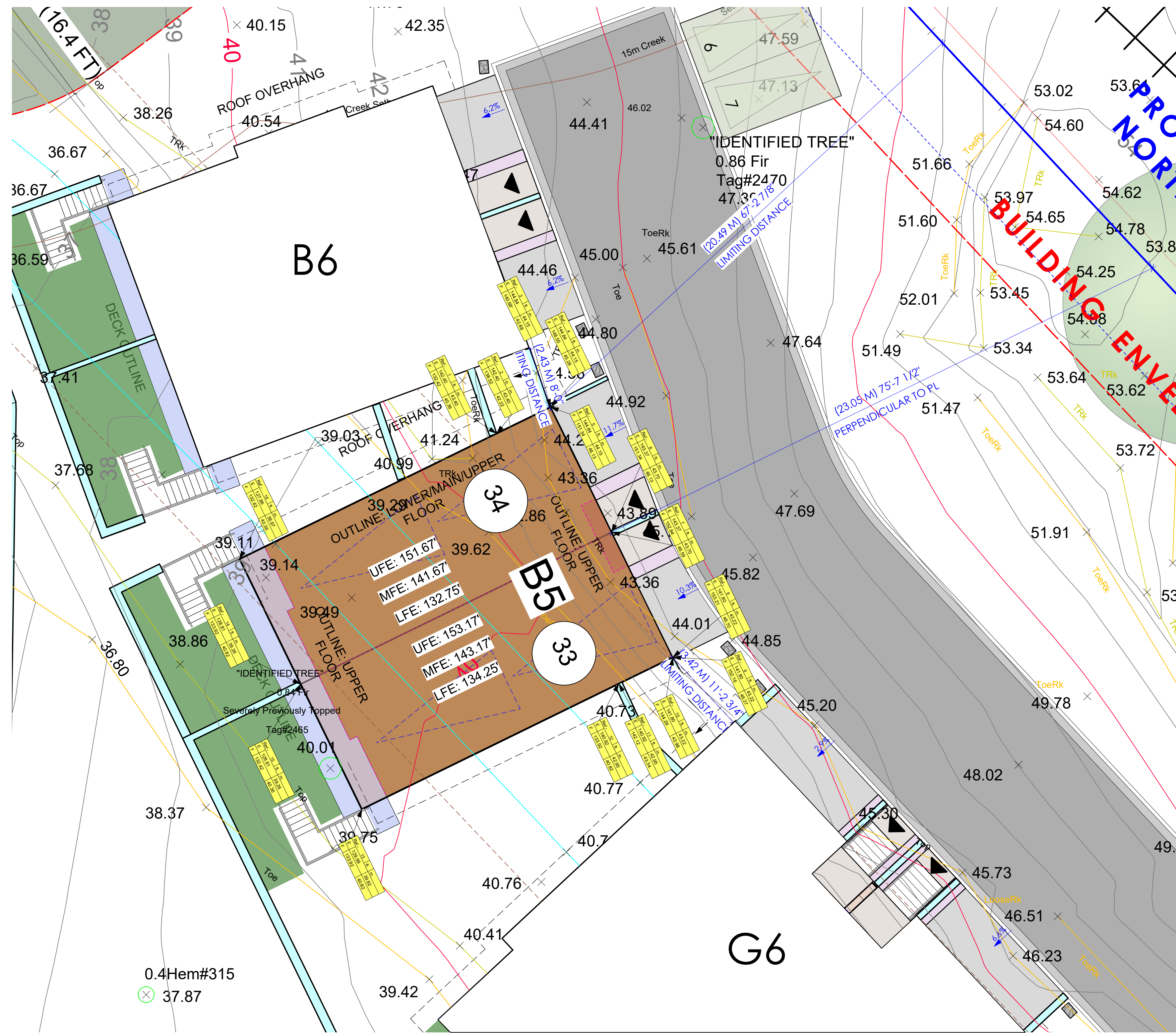
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

B5 - AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
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4	144.84	5	144.84	144.84	0.00	0.00
5	144.84	6	143.37	144.11	17.50	2521.84
6	143.37	7	143.37	143.37	0.00	0.00
7	143.37	8	141.80	142.59	17.50	2495.24
8	141.80	9	141.80	141.80	0.00	0.00
9	141.80	10	141.80	141.80	0.00	0.00
10	141.80	11	140.92	141.36	7.54	1066.14
11	140.92	12	140.92	140.92	0.00	0.00
12	140.92	13	129.99	135.46	35.96	4870.69
13	129.99	14	128.81	129.40	17.50	2264.50
14	128.81	15	128.81	128.81	0.00	0.00
15	128.81	16	127.86	128.34	17.50	2245.86
16	127.86	1	142.40	135.13	35.96	4859.00
Total					157.00	21406.45
AVG Existing Grade						136.35
Max. Bldg Height (Ft):	29.85					166.20

B5 - AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
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2	138.52	3	140.68	139.60	7.54	1052.86
3	140.68	4	148.55	144.62	0.00	0.00
4	148.55	5	151.34	149.95	0.00	0.00
5	151.34	6	151.34	151.34	17.50	2648.45
6	151.34	7	152.84	152.09	0.00	0.00
7	152.84	8	153.21	153.03	17.50	2677.94
8	153.21	9	152.16	152.69	0.00	0.00
9	152.16	10	144.29	148.23	0.00	0.00
10	144.29	11	142.12	143.21	7.54	1080.05
11	142.12	12	133.92	138.02	0.00	0.00
12	133.92	13	133.92	133.92	35.96	4815.50
13	133.92	14	133.92	133.92	17.50	2343.60
14	133.92	15	132.42	133.17	0.00	0.00
15	132.42	16	132.42	132.42	17.50	2317.35
16	132.42	1	132.42	132.42	35.96	4761.56
Total					157.00	21697.31
AVG Finish Grade						138.20
Max. Bldg Height (Ft):	29.85					168.05



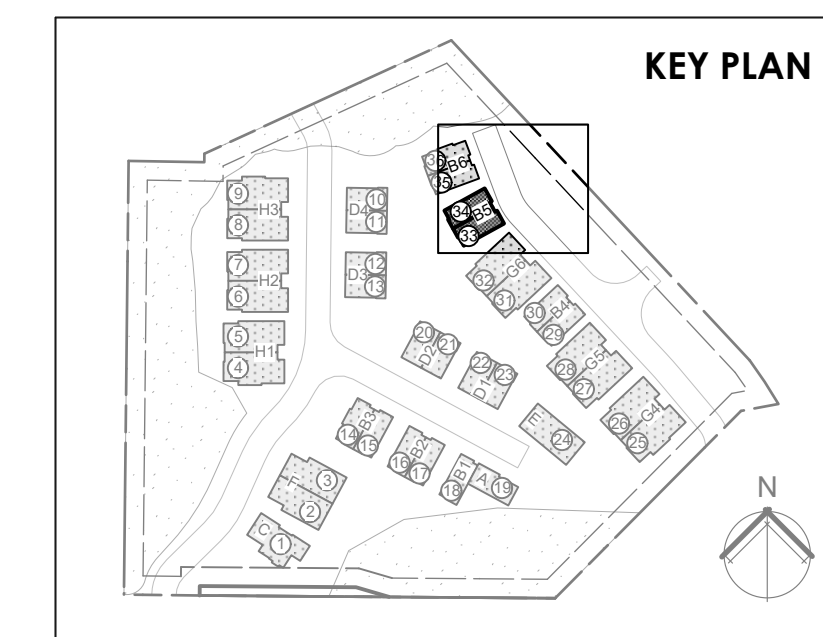
SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - B5 (33)

Lower	Main	Upper
40.92 m	43.64 m	46.69 m
134.25'	143.17'	153.17'

TOP OF FINISH FLOOR - B5 (34)

Lower	Main	Upper
40.46 m	43.18 m	46.23 m
132.75'	141.67'	151.67'



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B5

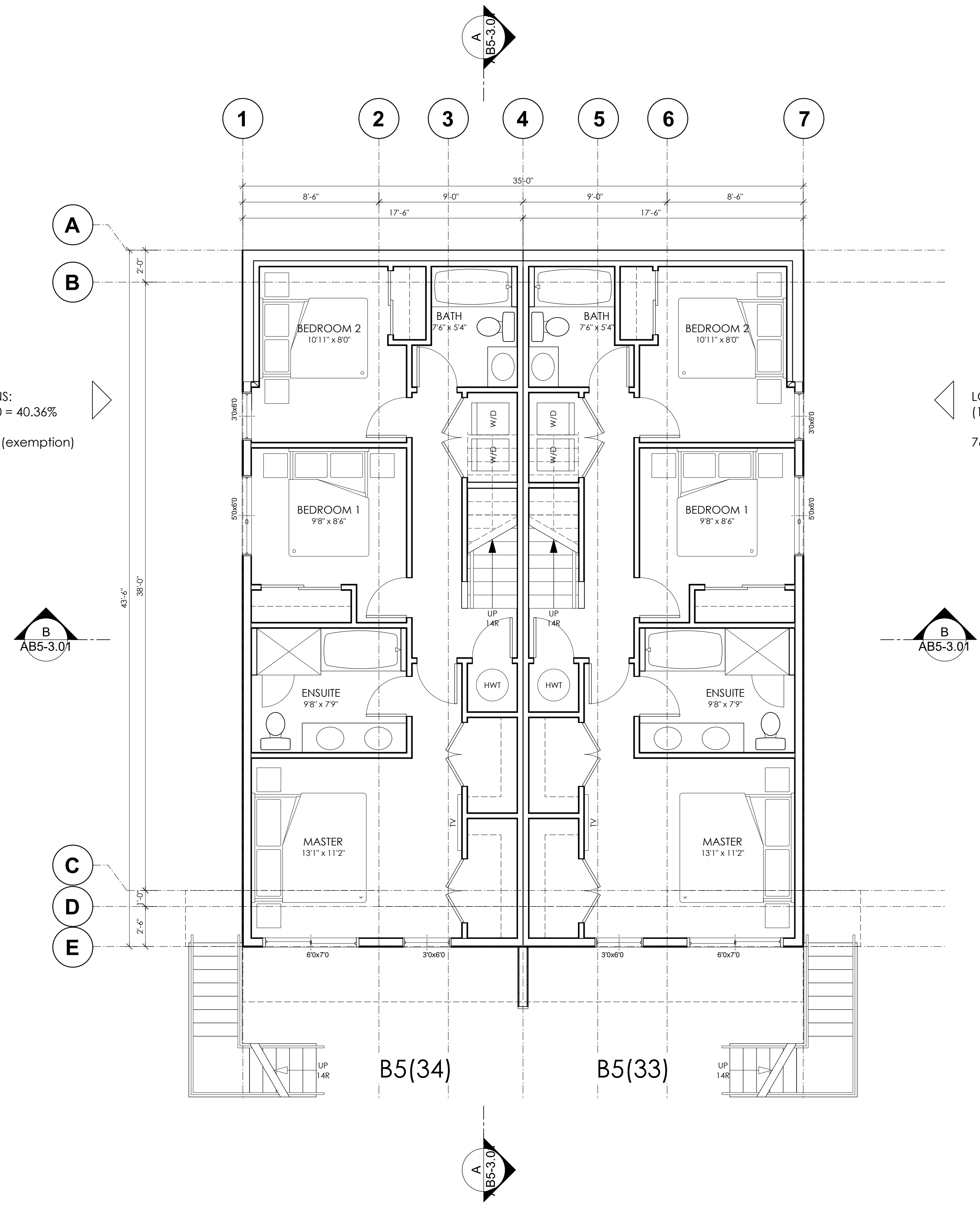
DRAWING
SITE PLAN

PROJECT# 8030
SCALE 1/8"=1'-0"
DATE OCT 1, 2023
SHEET
AB5-1.01

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (136.35'- 132.75' / 141.67'- 132.75') x 100 = 40.36%
 761.3 (gross area) x 40.36% = 307.26 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (136.35'- 134.25' / 143.17'- 134.25') x 100 = 23.54%
 761.3 (gross area) x 23.54% = 179.21 SF (exemption)

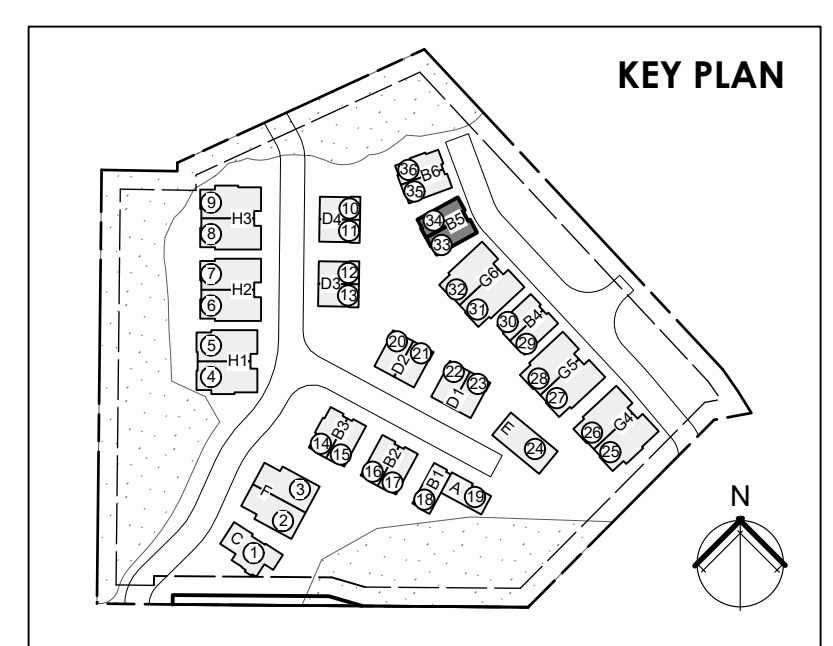


LOWER FLOOR PLAN
 UNIT B5



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B5

DRAWING
**LOWER FLOOR
 PLAN**



UNIT 34 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 40.36%	307.2 SF	0.0 SF	0.0 SF	307.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	454.0 SF	709.0 SF	258.3 SF	1421.3 SF

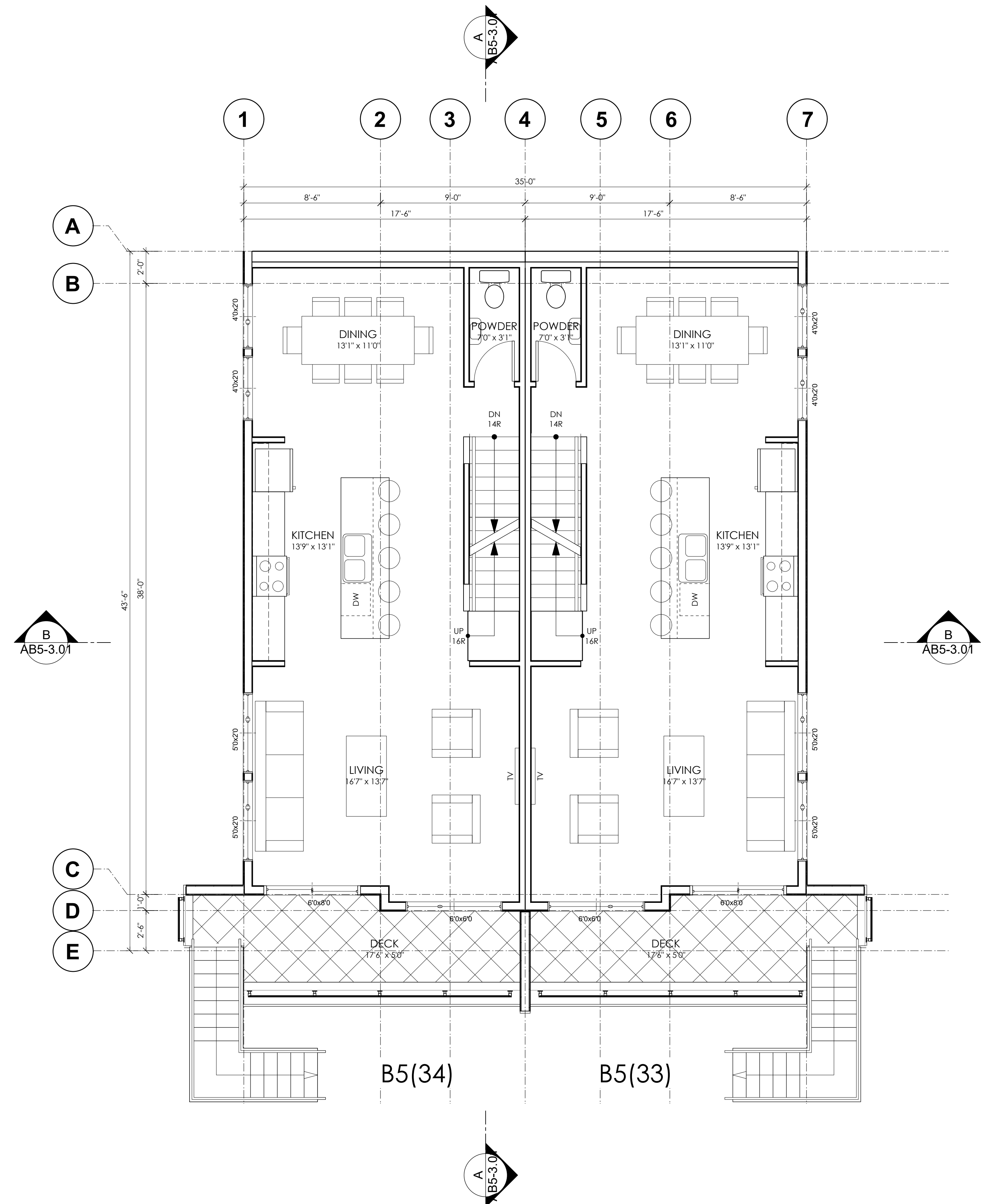
UNIT 34 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 40.36%	28.5 SM	0.0 SM	0.0 SM	28.5 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	42.2 SM	65.9 SM	24.0 SM	132.1 SM

UNIT 33 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.2 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 23.54%	179.2 SF	0.0 SF	0.0 SF	179.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	582.0 SF	709.0 SF	258.3 SF	1549.3 SF

UNIT 33 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 23.54%	16.6 SM	0.0 SM	0.0 SM	16.6 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	54.1 SM	65.9 SM	24.0 SM	144.0 SM

PROJECT#	8030	SHEET	AB5-2.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

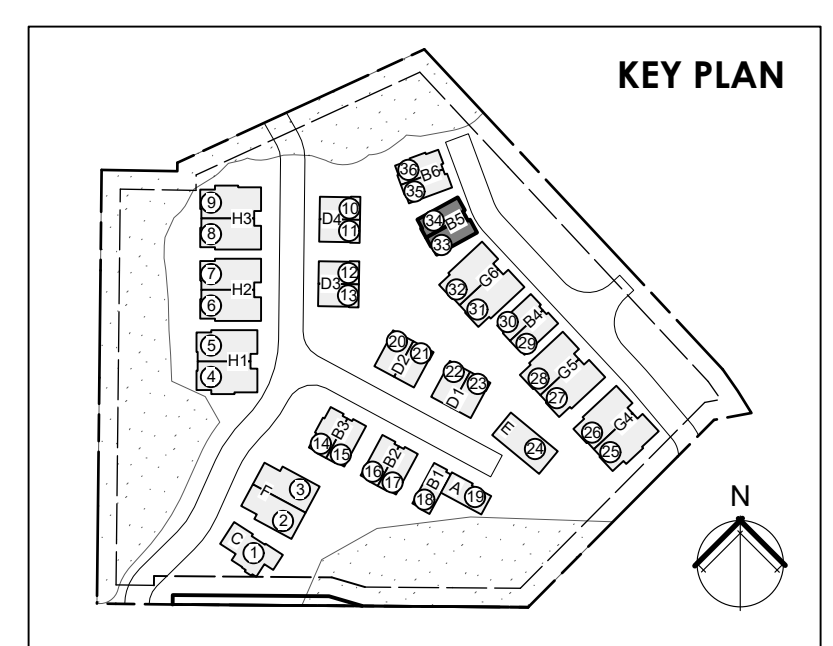


MAIN FLOOR PLAN
UNIT B5



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B5

DRAWING
MAIN FLOOR PLAN



UNIT 34 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 40.36%	307.2 SF	0.0 SF	0.0 SF	307.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	454.0 SF	709.0 SF	258.3 SF	1421.3 SF

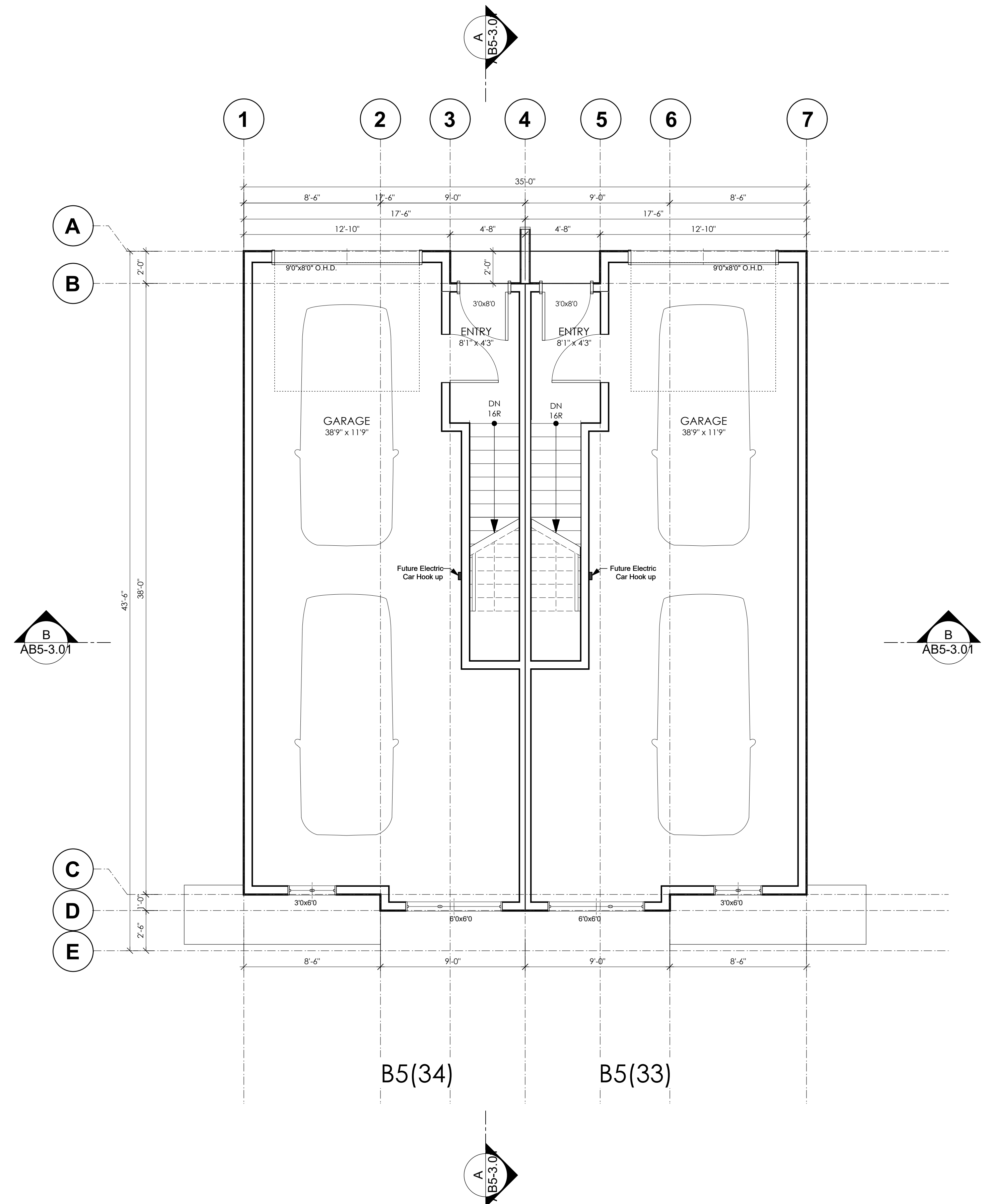
UNIT 34 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 40.36%	28.5 SM	0.0 SM	0.0 SM	28.5 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	42.2 SM	65.9 SM	24.0 SM	132.1 SM

UNIT 33 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.2 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 23.54%	179.2 SF	0.0 SF	0.0 SF	179.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	582.0 SF	709.0 SF	258.3 SF	1549.3 SF

UNIT 33 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 23.54%	16.6 SM	0.0 SM	0.0 SM	16.6 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	54.1 SM	65.9 SM	24.0 SM	144.0 SM

PROJECT#	8030	SHEET	AB5-2.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

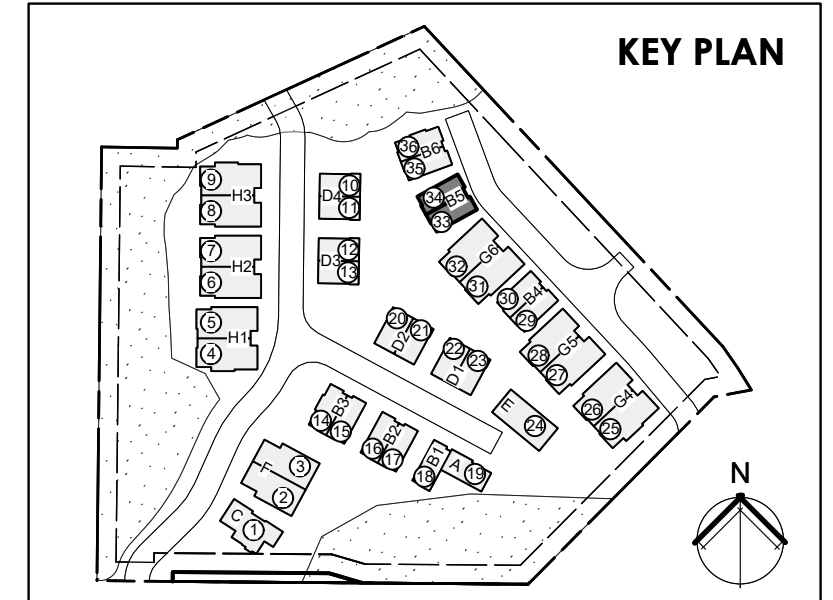


UPPER / ENTRY FLOOR PLAN
UNIT B5



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B5

DRAWING
UPPER FLOOR PLAN



UNIT 34 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 40.36%	307.2 SF	0.0 SF	0.0 SF	307.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	454.0 SF	709.0 SF	258.3 SF	1421.3 SF

UNIT 34 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 40.36%	28.5 SM	0.0 SM	0.0 SM	28.5 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	42.2 SM	65.9 SM	24.0 SM	132.1 SM

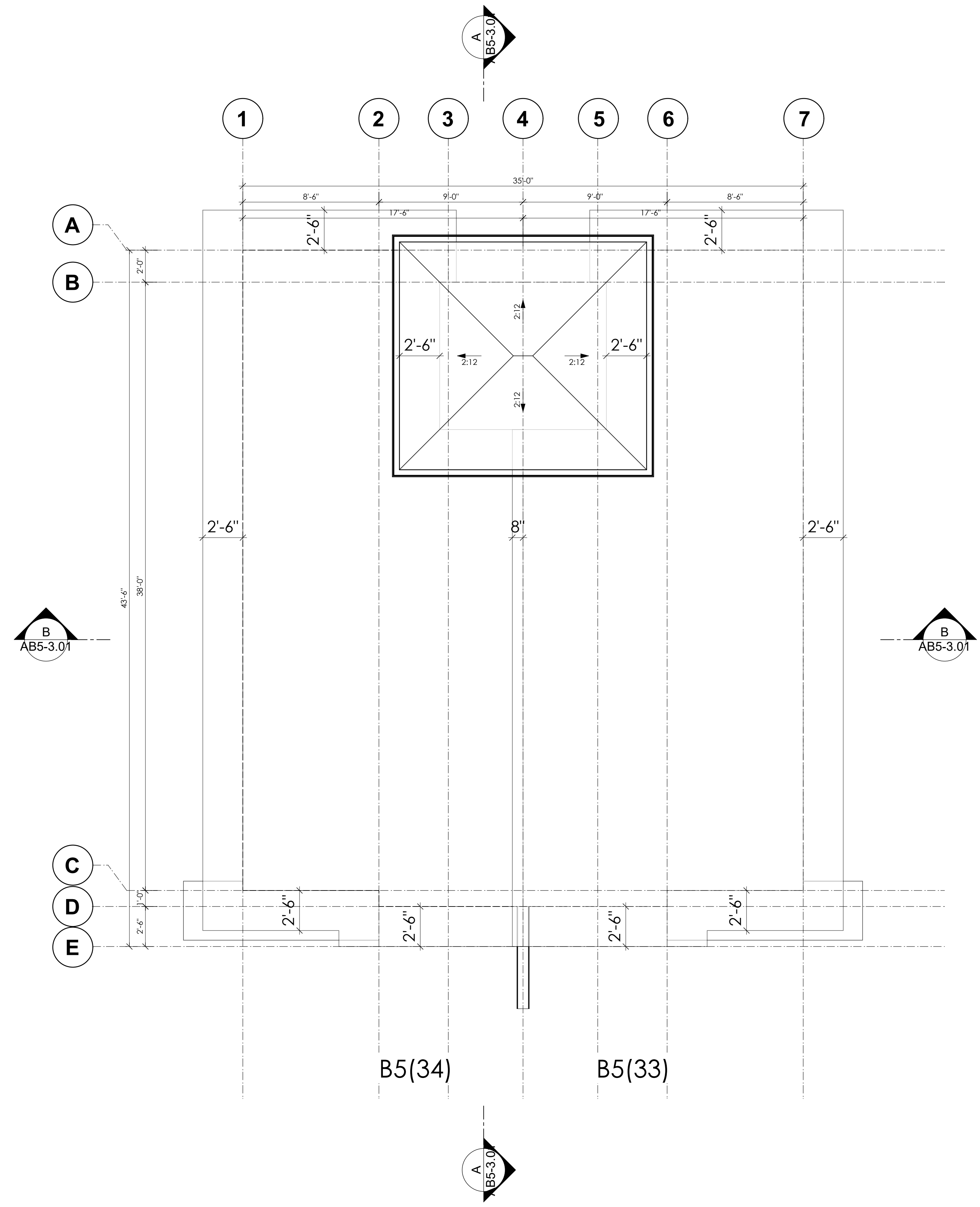
UNIT 33 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.2 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 23.54%	179.2 SF	0.0 SF	0.0 SF	179.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	582.0 SF	709.0 SF	258.3 SF	1549.3 SF

UNIT 33 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 23.54%	16.6 SM	0.0 SM	0.0 SM	16.6 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	54.1 SM	65.9 SM	24.0 SM	144.0 SM

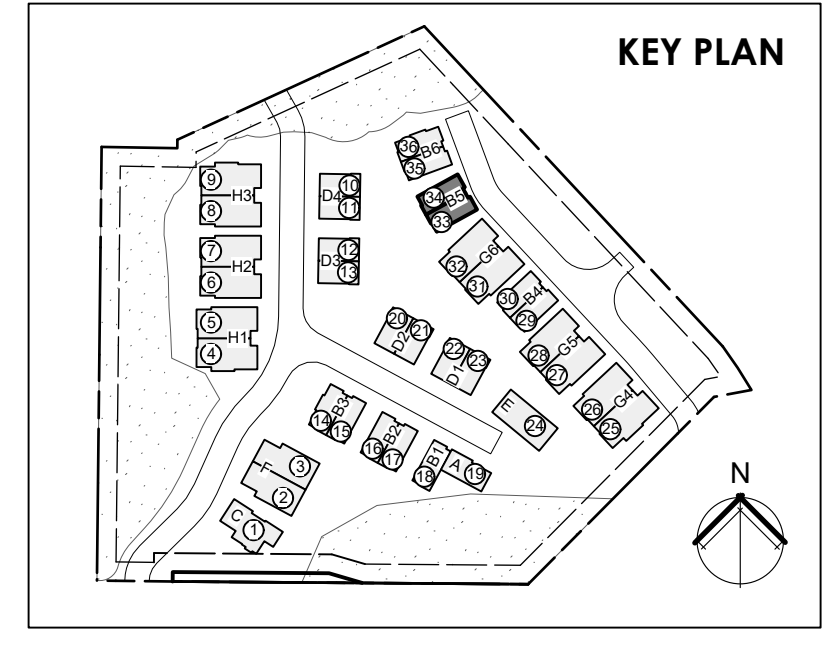
PROJECT#	8030	SHEET	AB5-2.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRG/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



ROOF PLAN
UNIT B5



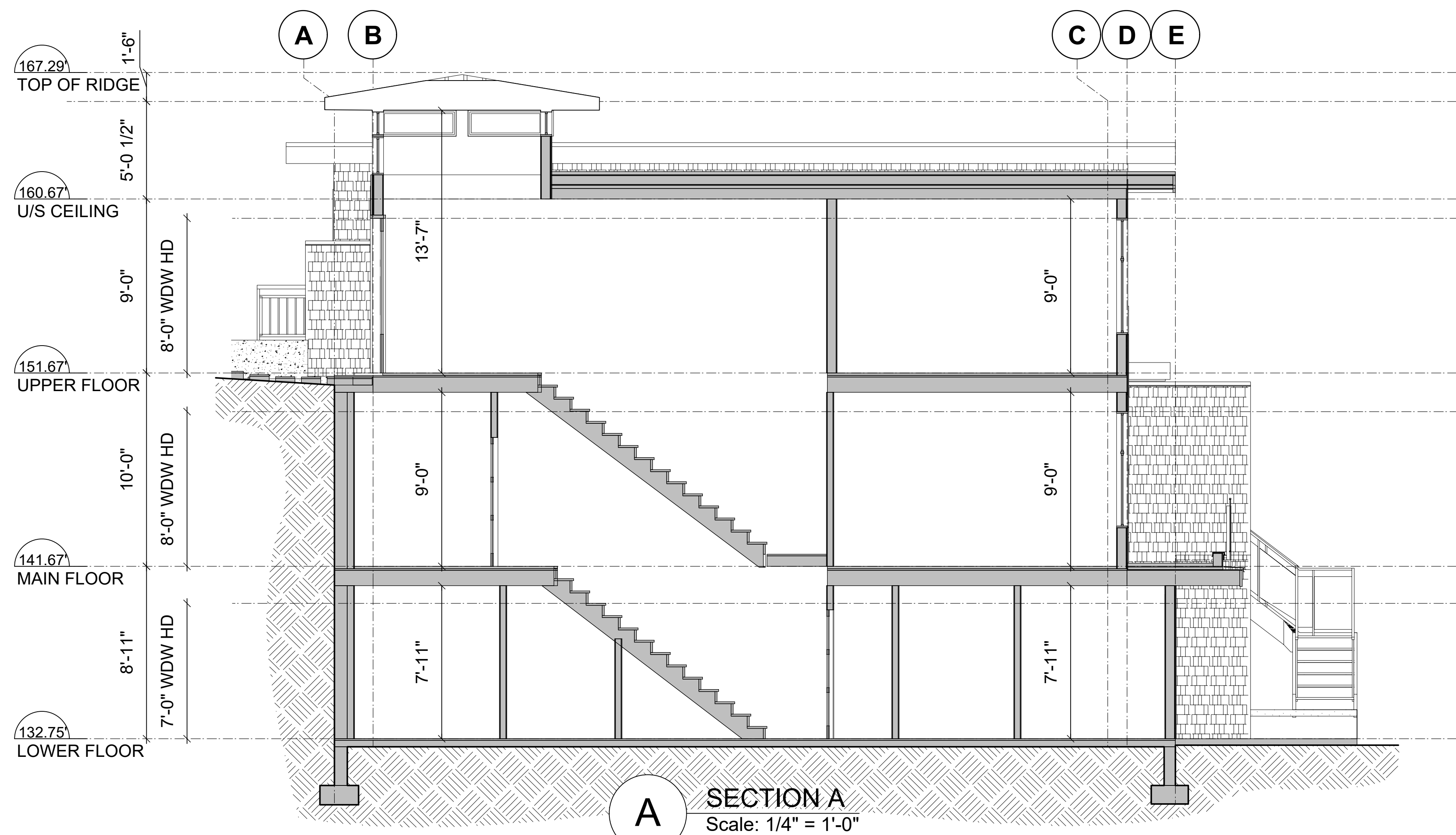
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B5

DRAWING
ROOF PLAN

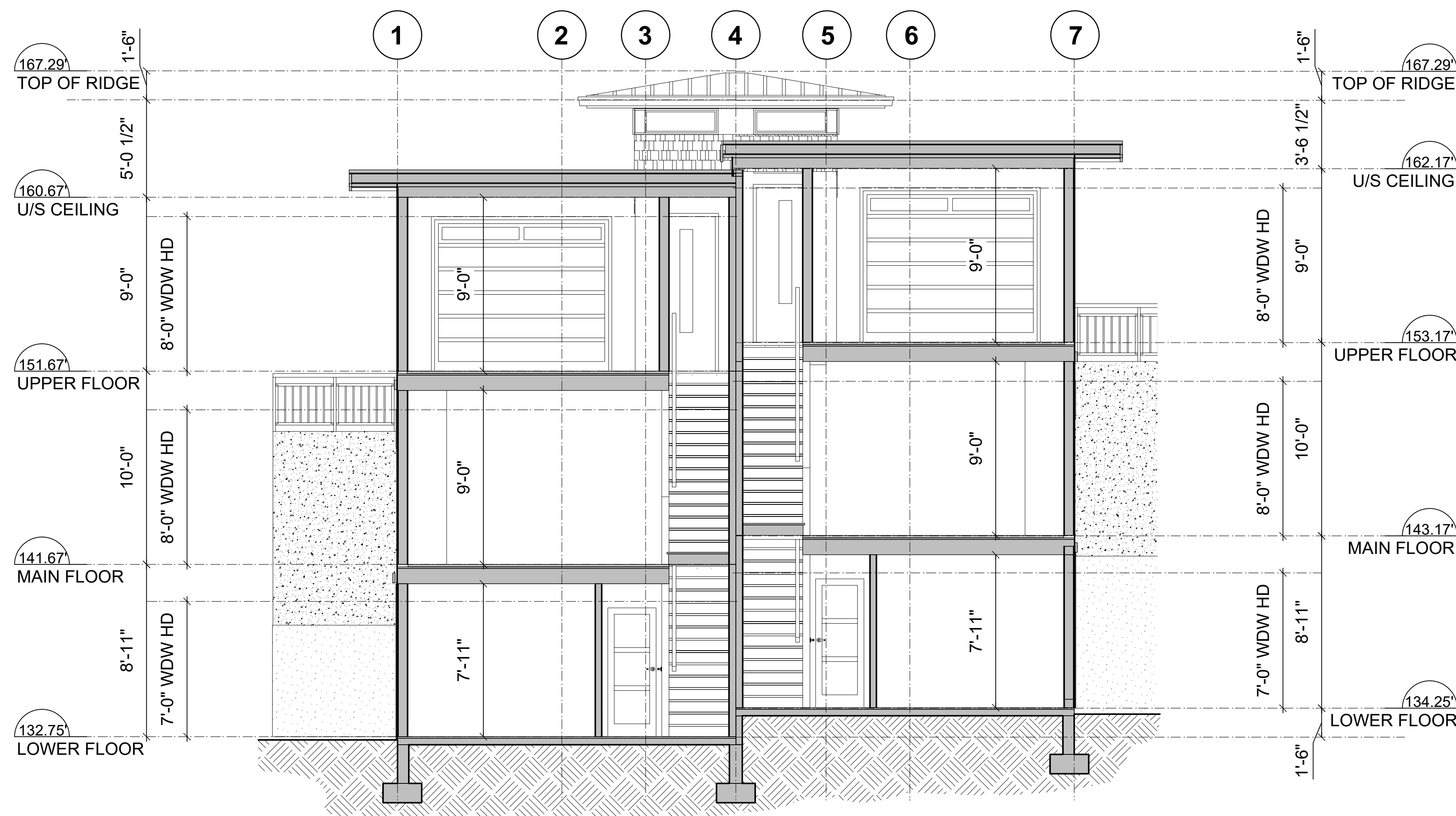
PROJECT#	SHEET
8030	AB5-2.04
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023

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REVISIONS	
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G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



A SECTION A
Scale: 1/4" = 1'-0"



B SECTION B
Scale: 1/4" = 1'-0"

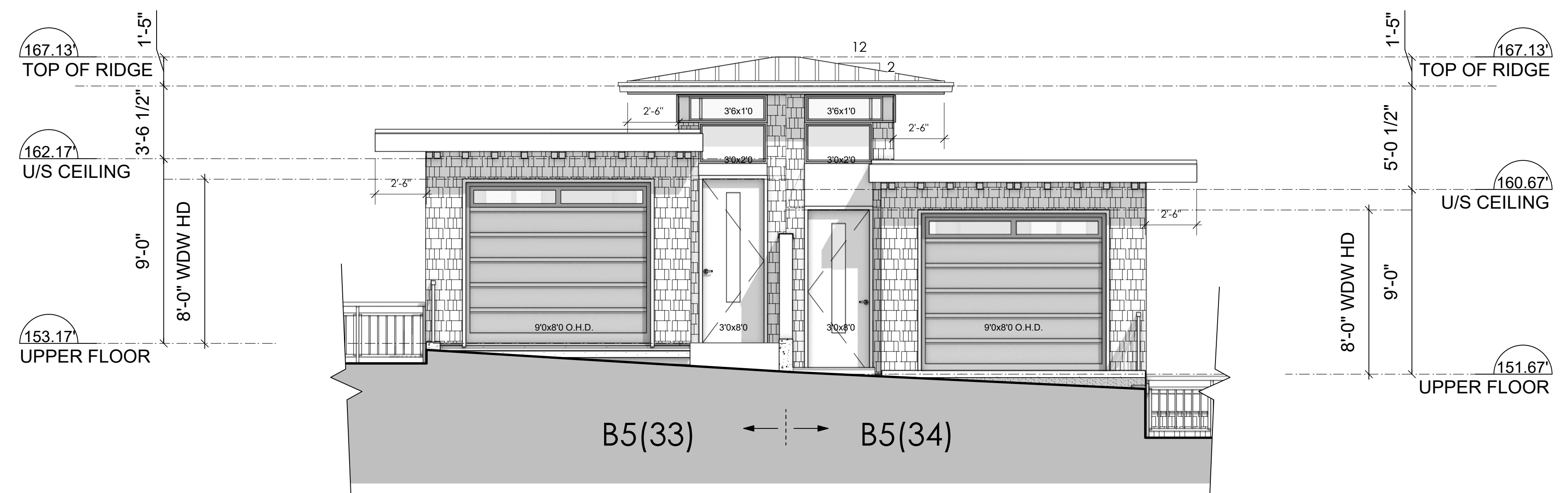


PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B5

DRAWING
SECTIONS

PROJECT#	8030	SHEET	AB5-3.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
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G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



ENTRY ELEVATION
UNIT B5

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	381.09 SF (35.40 SM)
LIMITING DISTANCE:	33.66' (10.25 M)
UNPROTECTED OPENING:	211.08 SF (19.60 SM)
PROPOSED OPENING:	55.38%
PERMITTED OPENINGS:	>100%



LOWER FLOOR / BASEMENT EXEMPTIONS: (136.35'- 132.75' / 141.67'- 132.75') x 100 = 40.36%	LOWER FLOOR / BASEMENT EXEMPTIONS: (136.35'- 134.25' / 143.17'- 134.25') x 100 = 23.54%
761.3 (gross area) x 40.36% = 307.26 SF (exemption)	761.3 (gross area) x 23.54% = 179.21 SF (exemption)

BACK ELEVATION
UNIT B5

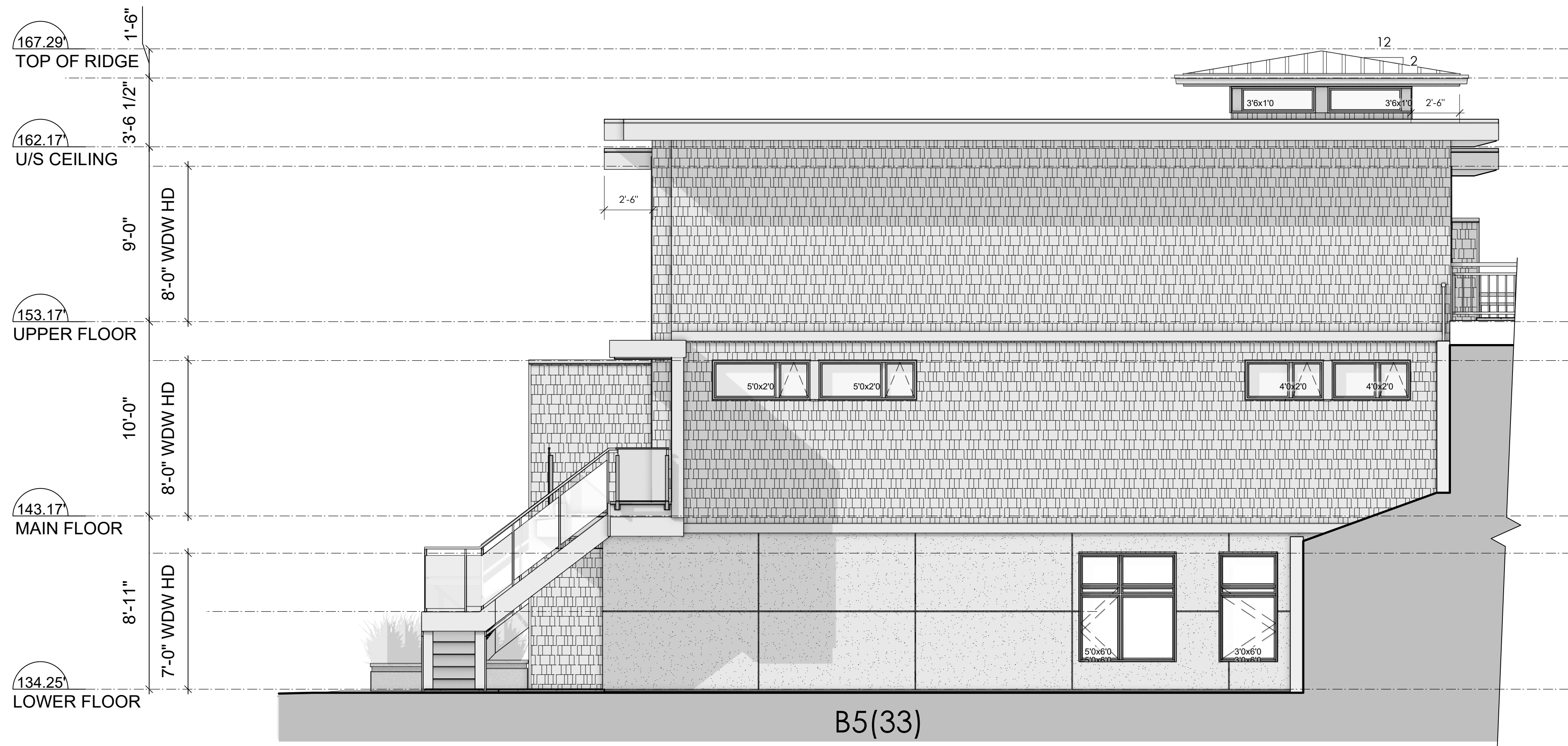


PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B5

DRAWING
ENTRY & BACK ELEVATIONS B/W

PROJECT#	8030	SHEET	AB5-4.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

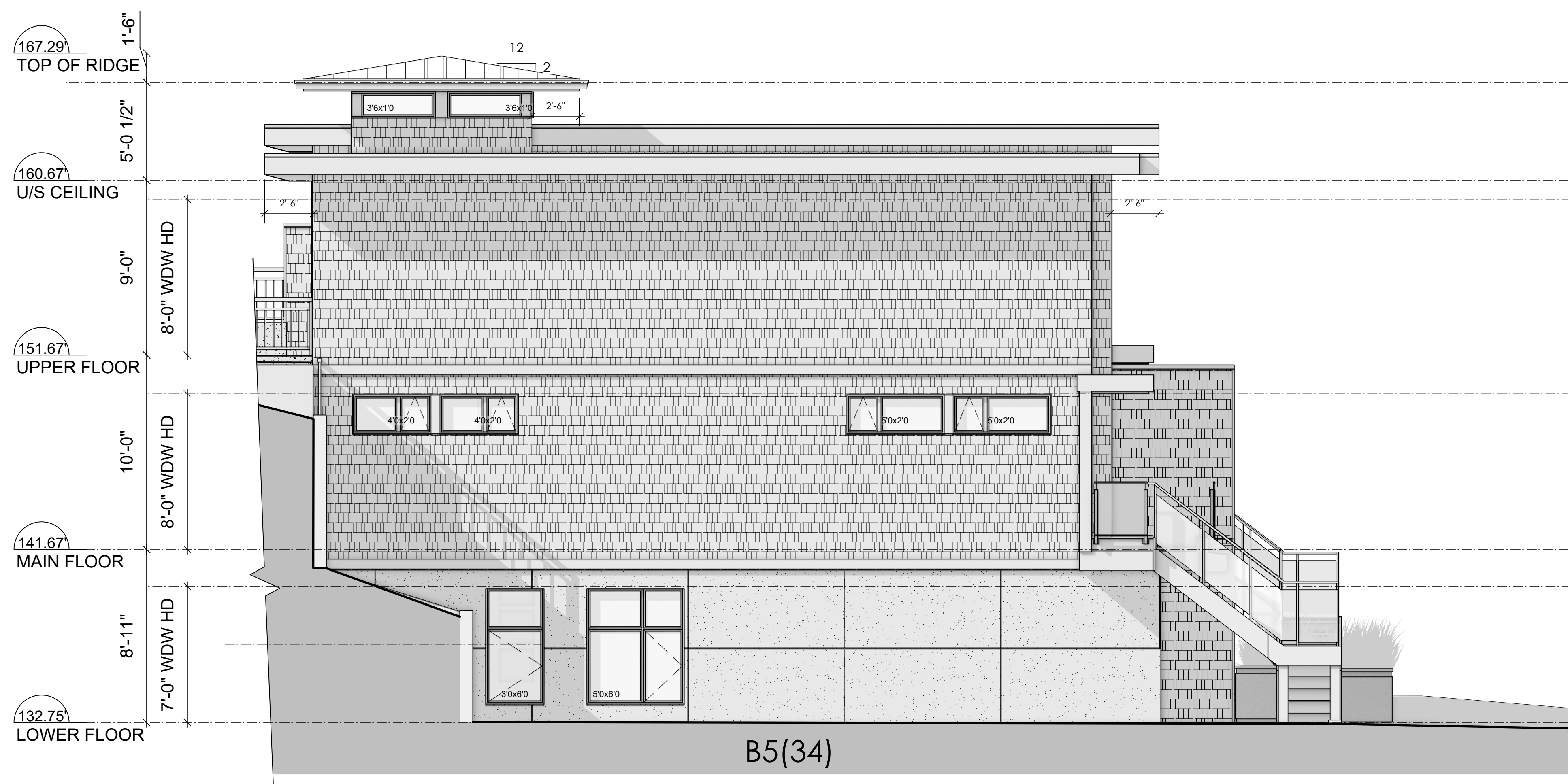
REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



LEFT ELEVATION
UNIT B5

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1126.93 SF (104.70 SM)
LIMITING DISTANCE:	5.62' (1.71 M)
UNPROTECTED OPENING:	91 SF (8.45 SM)
PROPOSED OPENING:	8.08%
PERMITTED OPENINGS:	17.11%



RIGHT ELEVATION
UNIT B5

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1155.16 SF (107.32 SM)
LIMITING DISTANCE:	4.00' (1.22 M)
UNPROTECTED OPENING:	91 SF (8.45 SM)
PROPOSED OPENING:	7.88%
PERMITTED OPENINGS:	14.1%

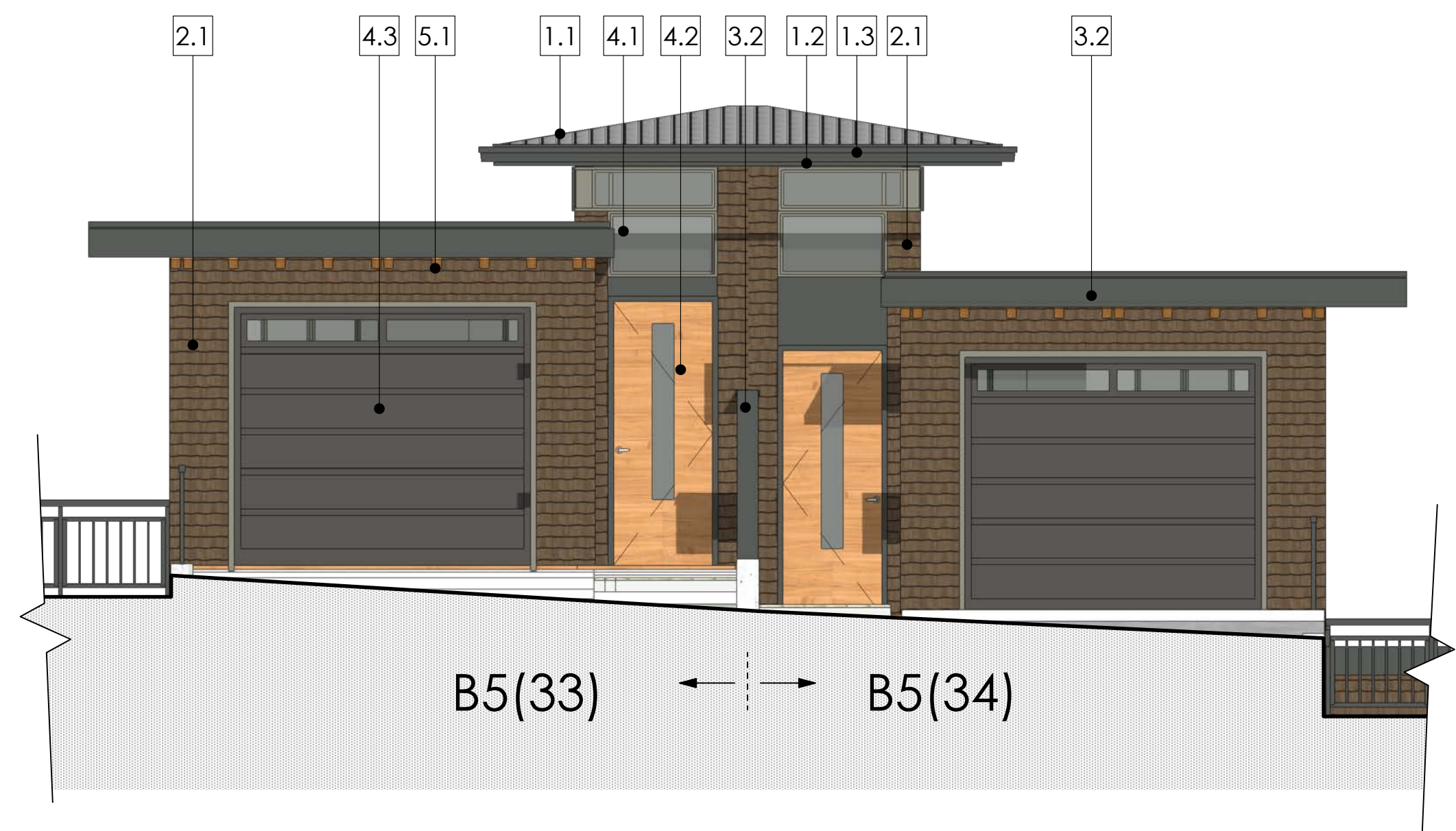


PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B5

DRAWING
LEFT & RIGHT ELEVATIONS B/W

PROJECT#	SHEET
8030	AB5-4.02
SCALE	
DATE	

1/4" = 1'-0"
OCT 1, 2023



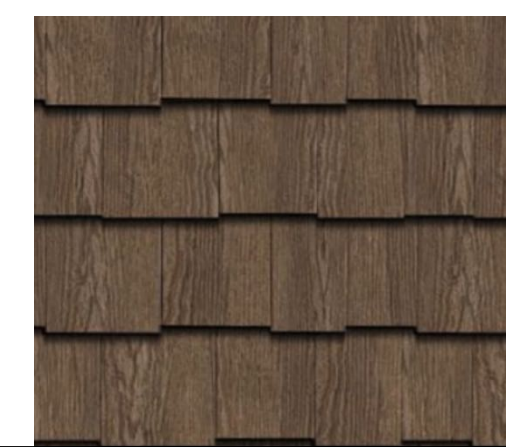
ENTRY ELEVATION
UNIT B5



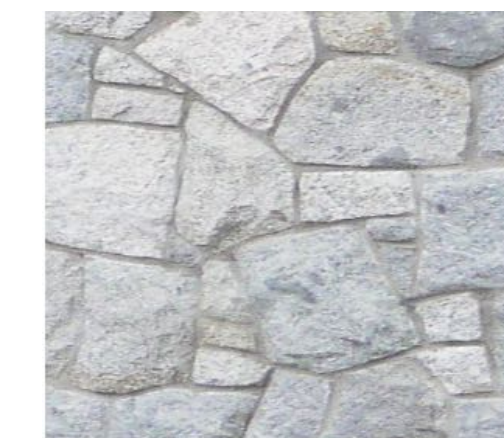
BACK ELEVATION
UNIT B5



HARDY PANEL



FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors & Trims	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

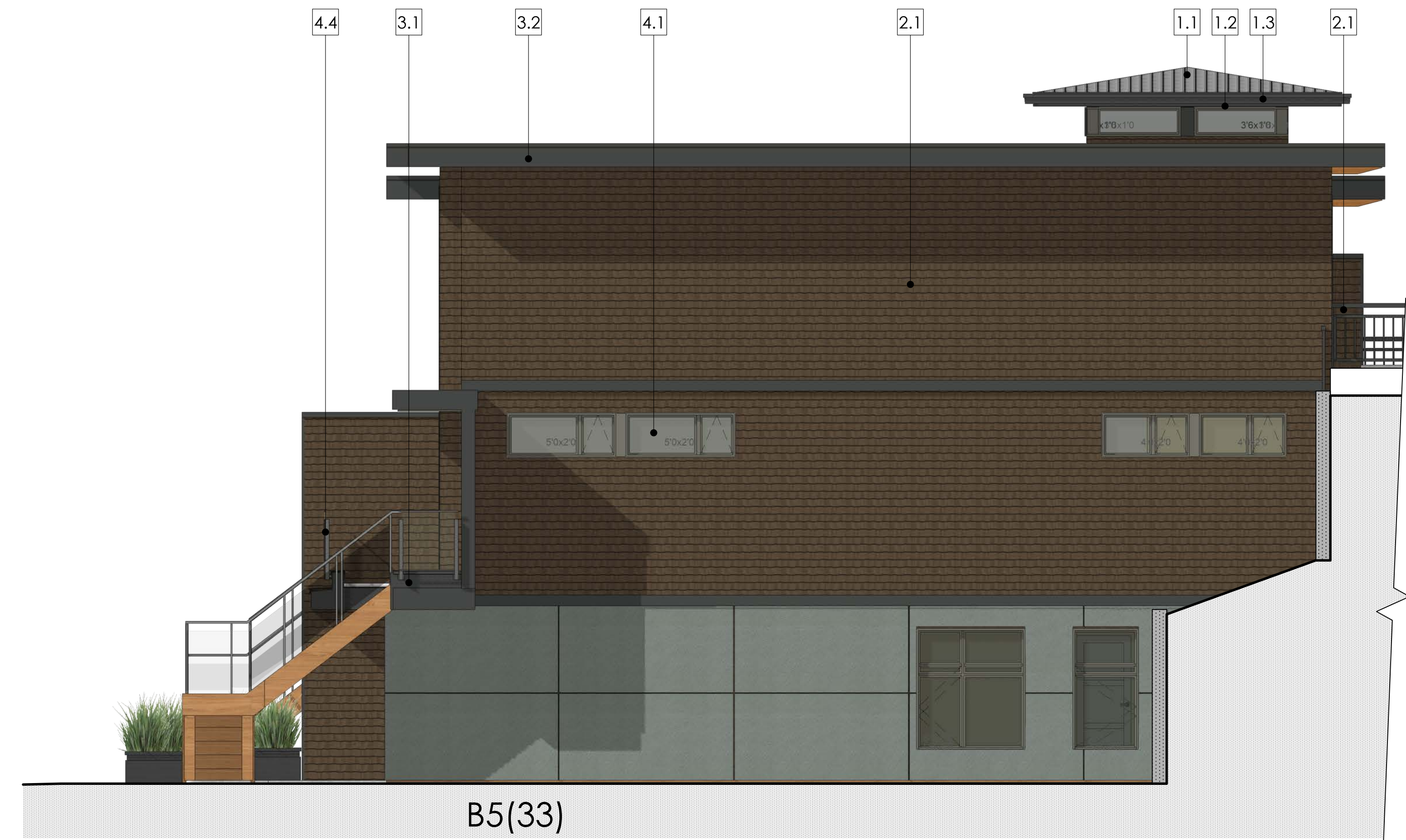


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B5

DRAWING
**ENTRY & BACK
ELEVATIONS**

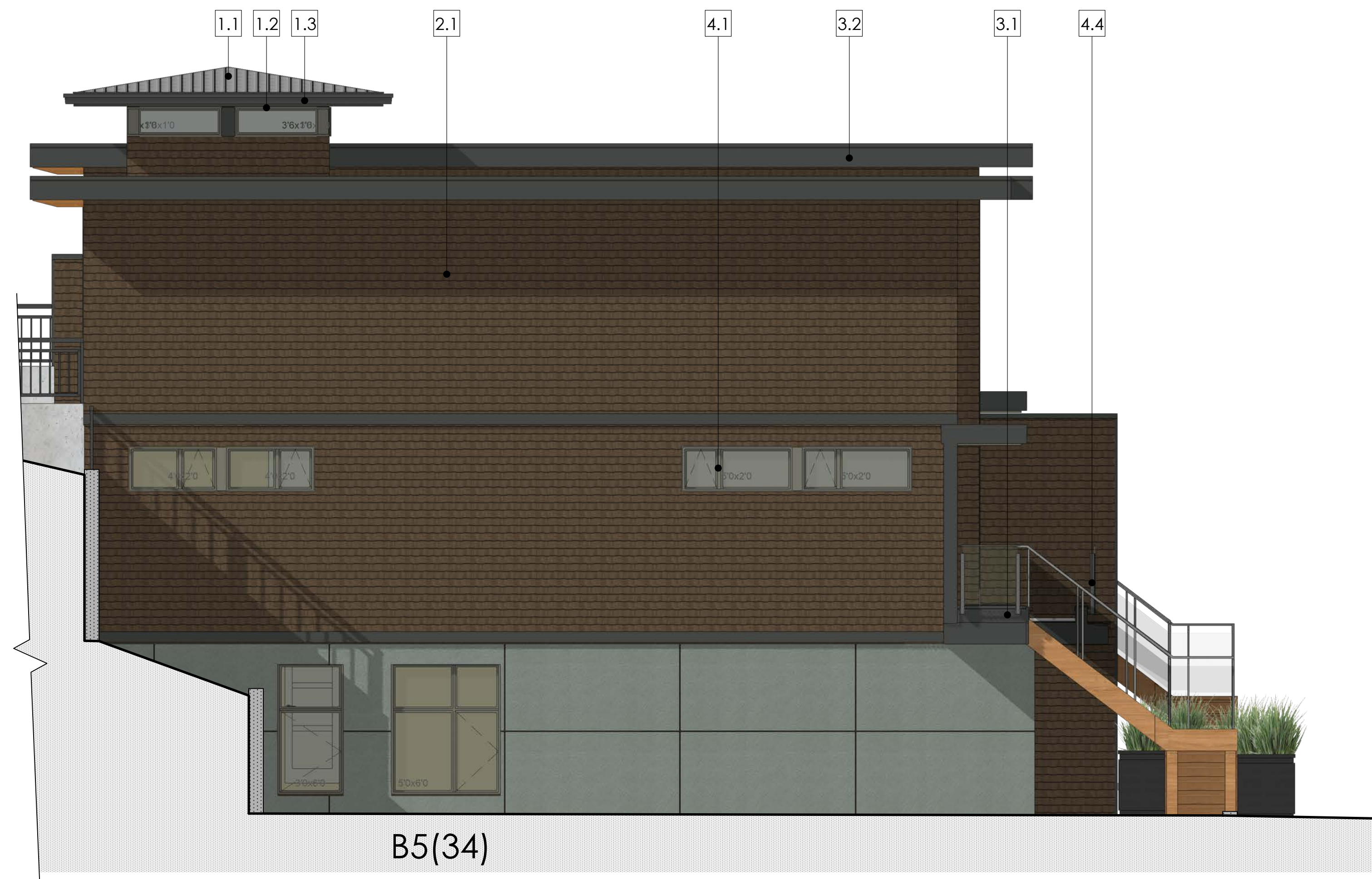
PROJECT#	8030	SHEET	AB5- 4.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

These plans remain the ownership of Sterling Pacific



B5(33)

LEFT ELEVATION
UNIT B5



B5(34)

RIGHT ELEVATION
UNIT B5

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors & Trims	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B5

DRAWING
**LEFT & RIGHT
ELEVATIONS**

PROJECT#	8030	SHEET	AB5- 4.04
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT B5



BACK ELEVATION - CAMERA VIEW
UNIT B5



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B5

DRAWING
FORNT & BACK
ELEVATIONS -
CAMERA VIEW

PROJECT#	SHEET
8030	AB5- 4.05
SCALE	
N.T.S.	
DATE	OCT 1, 2023

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REVISIONS

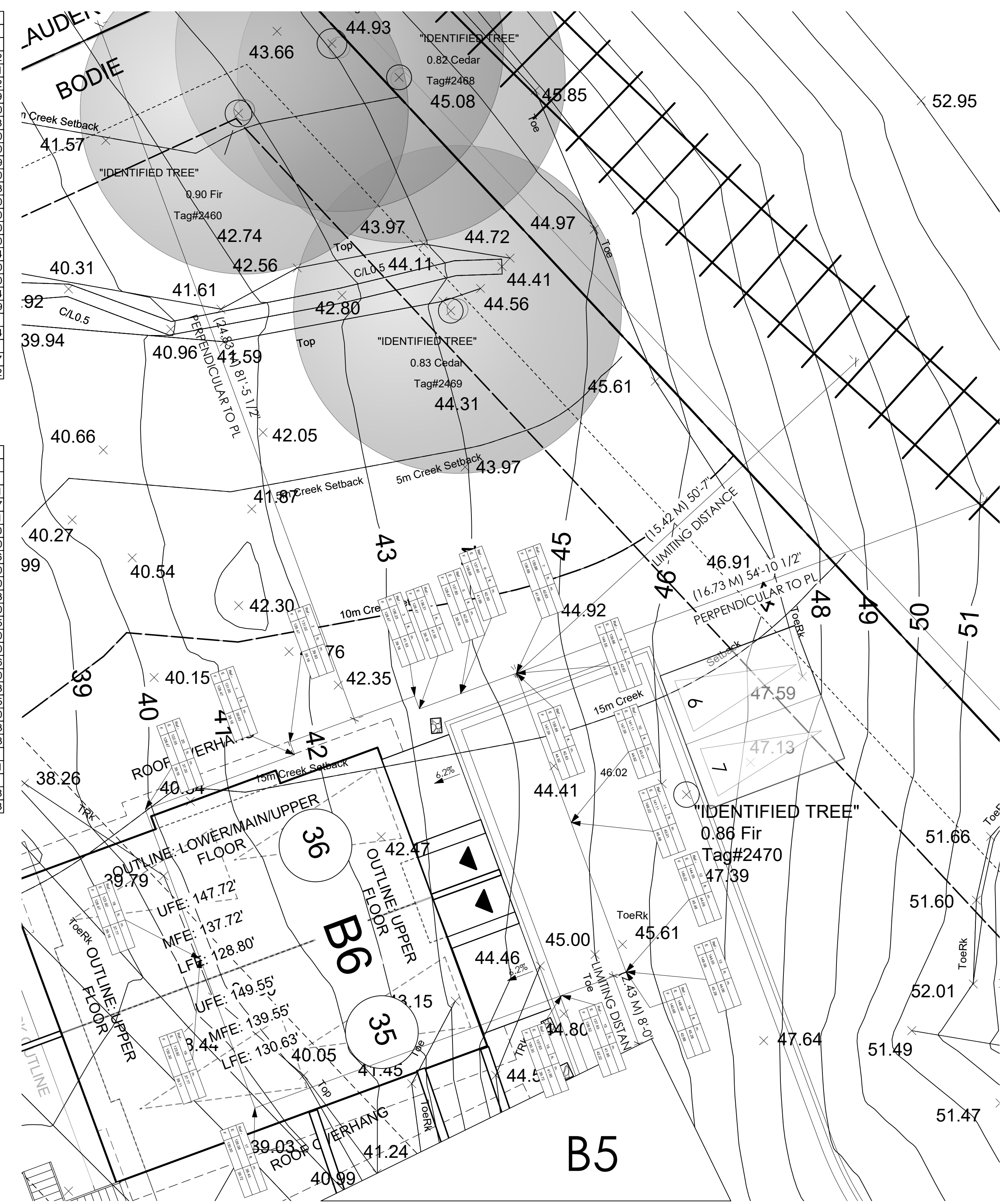
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	131.00	2	131.02	131.01	1.50	196.52
2	131.02	3	136.25	133.64	14.63	1954.41
3	136.25	4	136.31	136.28	1.50	204.42
4	136.31	5	137.80	137.06	4.83	662.39
5	137.80	6	137.80	137.80	0.00	0.00
6	137.80	7	139.86	138.83	6.54	908.23
7	139.86	8	139.86	139.86	0.00	0.00
8	139.86	9	139.86	139.86	0.00	0.00
9	139.86	10	141.11	140.49	17.50	2458.49
10	141.11	11	141.11	141.11	0.00	0.00
11	141.11	12	144.55	142.83	17.50	2499.53
12	144.55	13	144.55	144.55	0.00	0.00
13	144.55	14	144.55	144.55	0.00	0.00
14	144.55	15	137.63	141.09	7.54	1064.10
15	137.63	16	137.63	137.63	0.00	0.00
16	137.63	17	126.08	131.86	35.96	4741.24
17	126.08	18	123.92	125.00	17.50	2187.50
18	123.92	19	123.92	123.92	0.00	0.00
19	123.92	20	122.05	122.99	17.50	2152.24
20	122.05	1	131.00	126.53	17.50	2214.19
Total					160.00	21243.24
AVG Existing Grade						132.77
Max. Bldg Height (Ft):	29.85					162.62

AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	128.47	2	128.47	128.47	1.50	192.71
2	128.47	3	128.47	128.47	14.63	1878.87
3	128.47	4	128.47	128.47	1.50	192.71
4	128.47	5	128.47	128.47	4.83	620.90
5	128.47	6	136.68	132.58	0.00	0.00
6	136.68	7	136.68	136.68	6.54	894.16
7	136.68	8	144.55	140.62	0.00	0.00
8	144.55	9	147.39	145.97	0.00	0.00
9	147.39	10	147.39	147.39	17.50	2579.33
10	147.39	11	149.22	148.31	0.00	0.00
11	149.22	12	149.22	149.22	17.50	2611.35
12	149.22	13	148.56	148.89	0.00	0.00
13	148.56	14	140.68	144.62	0.00	0.00
14	140.68	15	138.52	139.60	7.54	1052.86
15	138.52	16	130.30	134.41	0.00	0.00
16	130.30	17	130.30	130.30	35.96	4685.33
17	130.30	18	130.30	130.30	17.50	2280.25
18	130.30	19	128.47	129.39	0.00	0.00
19	128.47	20	128.47	128.47	17.50	2248.23
20	128.47	1	128.47	128.47	17.50	2248.23
Total					160.00	21484.91
AVG Finish Grade						134.28
Max. Bldg Height (Ft):	29.85					164.13



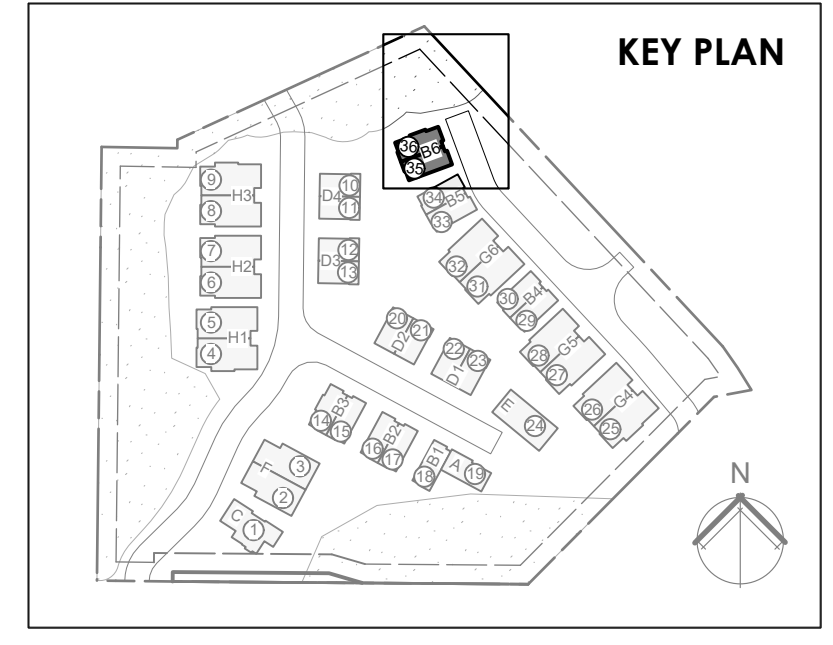
SITE PLAN
SCALE: 1/8"=1'0"

TOP OF FINISH FLOOR - B6 (35)

Lower	Main	Upper
39.82 m	42.53 m	45.58 m
130.63'	139.55'	149.55'

TOP OF FINISH FLOOR - B6 (36)

Lower	Main	Upper
39.26 m	41.98 m	45.03 m
128.80'	137.72'	147.72'



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT B6

DRAWING
SITE PLAN

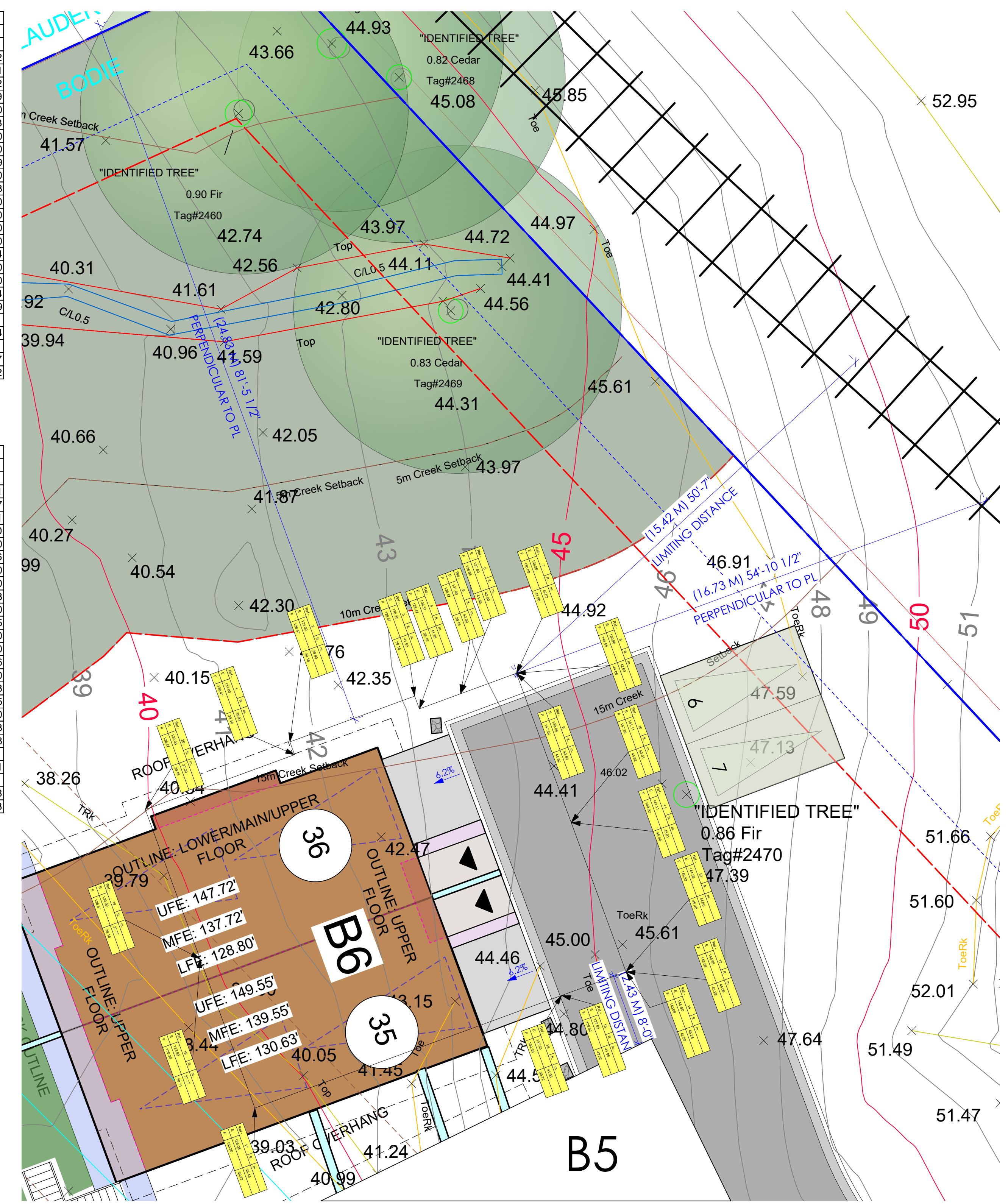
PROJECT#	8030	SHEET	AB6-1.01
SCALE	1/8" = 1'-0"		
DATE	OCT 1, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Rezoning Aug 31, 2021
 DRC/ Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023
 H unit additions Oct 1, 2023

AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	131.00	2	131.02	131.01	1.50	196.52
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6	137.80	7	139.86	138.83	6.54	908.23
7	139.86	8	139.86	139.86	0.00	0.00
8	139.86	9	139.86	139.86	0.00	0.00
9	139.86	10	141.11	140.49	17.50	2458.49
10	141.11	11	141.11	141.11	0.00	0.00
11	141.11	12	144.55	142.83	17.50	2499.53
12	144.55	13	144.55	144.55	0.00	0.00
13	144.55	14	144.55	144.55	0.00	0.00
14	144.55	15	137.63	141.09	7.54	1064.10
15	137.63	16	137.63	137.63	0.00	0.00
16	137.63	17	126.08	131.86	35.96	4741.24
17	126.08	18	123.92	125.00	17.50	2187.50
18	123.92	19	123.92	123.92	0.00	0.00
19	123.92	20	122.05	122.99	17.50	2152.24
20	122.05	1	131.00	126.53	17.50	2214.19
Total					160.00	21243.24
AVG Existing Grade						132.77
Max. Bldg Height (Ft):				29.85		162.62

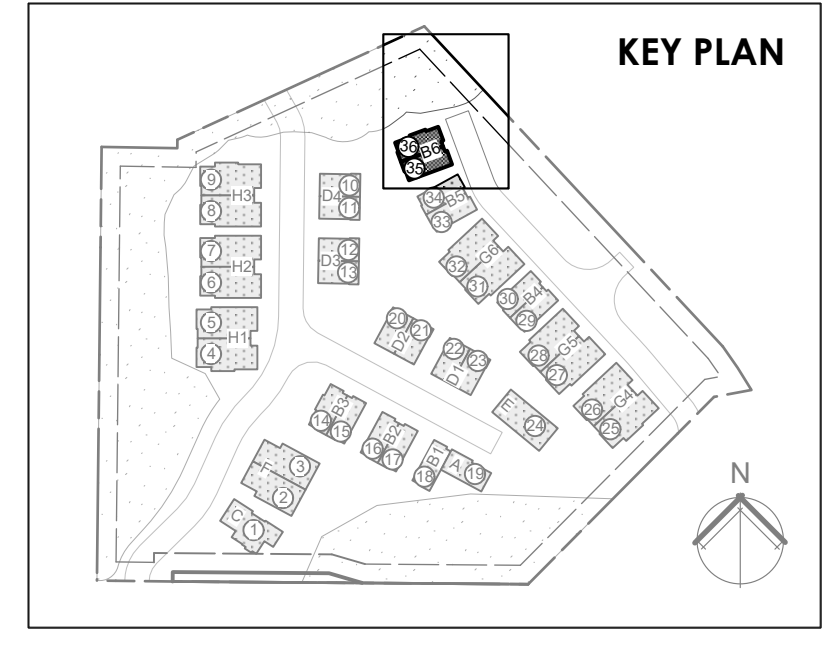
AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	128.47	2	128.47	128.47	1.50	192.71
2	128.47	3	128.47	128.47	14.63	1878.87
3	128.47	4	128.47	128.47	1.50	192.71
4	128.47	5	128.47	128.47	4.83	620.90
5	128.47	6	136.68	132.58	0.00	0.00
6	136.68	7	136.68	136.68	6.54	894.16
7	136.68	8	144.55	140.62	0.00	0.00
8	144.55	9	147.39	145.97	0.00	0.00
9	147.39	10	147.39	147.39	17.50	2579.33
10	147.39	11	149.22	148.31	0.00	0.00
11	149.22	12	149.22	149.22	17.50	2611.35
12	149.22	13	148.56	148.89	0.00	0.00
13	148.56	14	140.68	144.62	0.00	0.00
14	140.68	15	138.52	139.60	7.54	1052.86
15	138.52	16	130.30	134.41	0.00	0.00
16	130.30	17	130.30	130.30	35.96	4685.33
17	130.30	18	130.30	130.30	17.50	2280.25
18	130.30	19	128.47	129.39	0.00	0.00
19	128.47	20	128.47	128.47	17.50	2248.23
20	128.47	1	128.47	128.47	17.50	2248.23
Total					160.00	21484.91
AVG Finish Grade						134.28
Max. Bldg Height (Ft):				29.85		164.13



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - B6 (35)		
Lower	Main	Upper
39.82 m	42.53 m	45.58 m
130.63'	139.55'	149.55'

TOP OF FINISH FLOOR - B6 (36)		
Lower	Main	Upper
39.26 m	41.98 m	45.03 m
128.80'	137.72'	147.72'

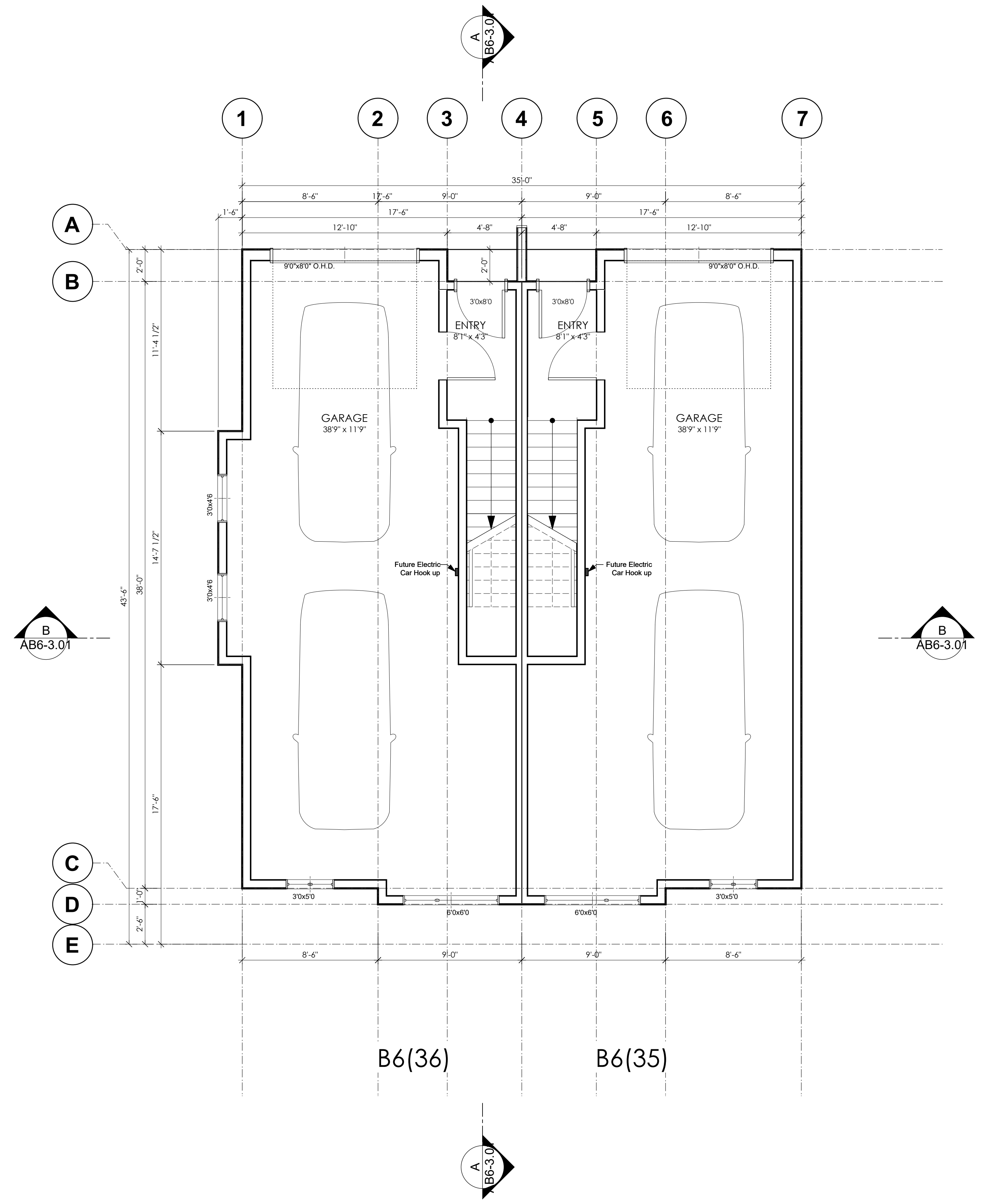


PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT B6

DRAWING
SITE PLAN

PROJECT# 8030
 SCALE 1/8" = 1'-0"
 DATE OCT 1, 2023
 SHEET
AB6-1.01

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

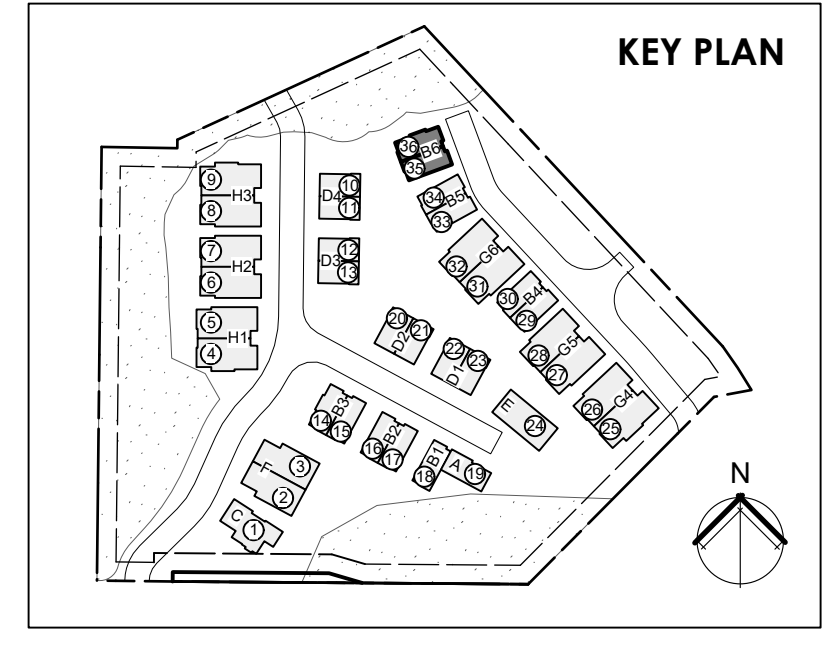


UPPER / ENTRY FLOOR PLAN
UNIT B6



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B6

DRAWING
UPPER FLOOR PLAN



UNIT 36 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	783.2 SF	730.9 SF	721.6 SF	2235.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS 44.50%	348.5 SF	0.0 SF	0.0 SF	348.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	434.7 SF	730.9 SF	280.3 SF	1445.9 SF

UNIT 36 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	72.8 SM	67.9 SM	67.0 SM	207.7 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 23.99%	32.4 SM	0.0 SM	0.0 SM	32.4 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	40.4 SM	67.9 SM	26.0 SM	134.3 SM

UNIT 35 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.2 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS 23.99%	182.6 SF	0.0 SF	0.0 SF	182.6 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	578.6 SF	709.0 SF	258.4 SF	1546.0 SF

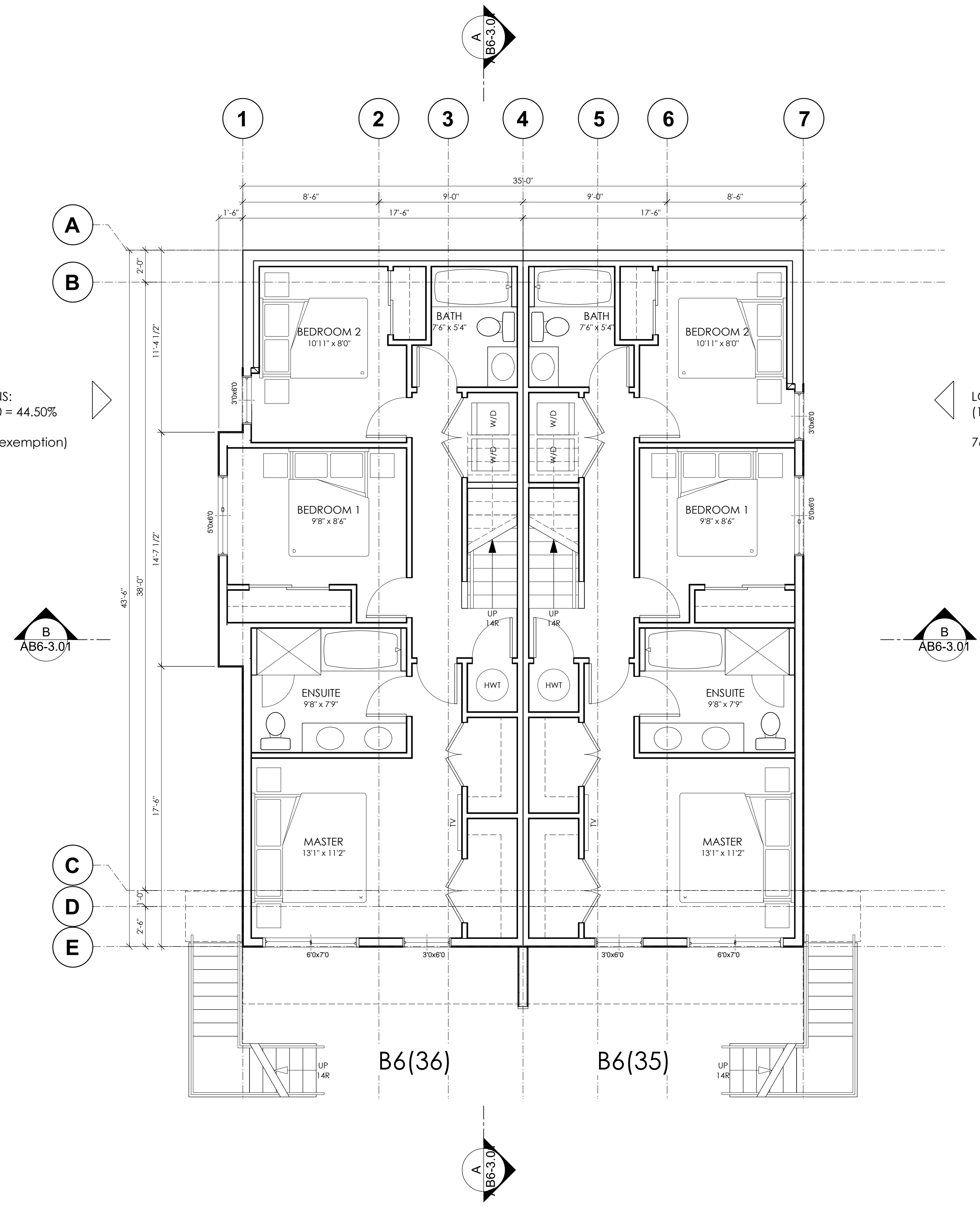
UNIT 35 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 23.99%	17.0 SM	0.0 SM	0.0 SM	17.0 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	53.8 SM	65.9 SM	24.0 SM	143.6 SM

PROJECT#	8030	SHEET	AB6-2.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

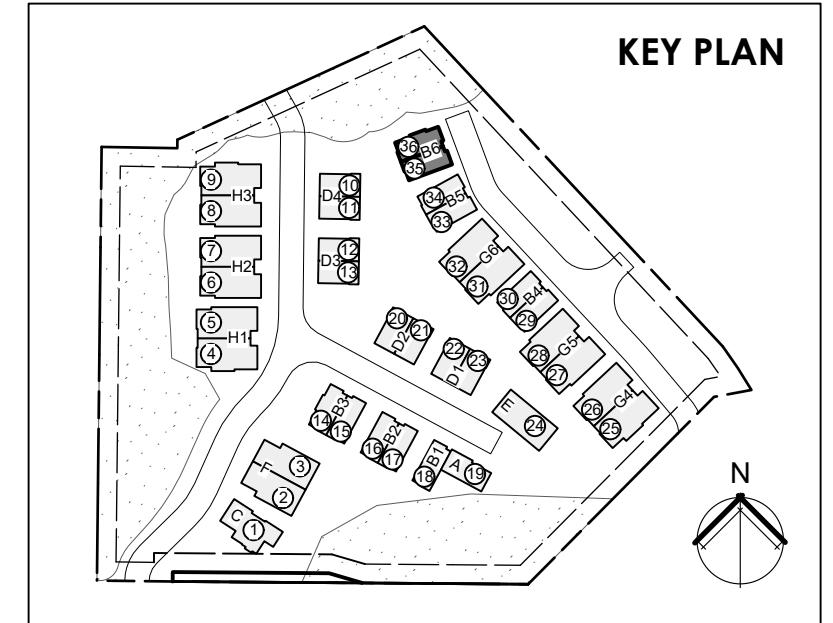
REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (132.77'- 128.80' / 137.72'- 128.80') x 100 = 44.50%
 783.2 (gross area) x 44.5% = 348.52 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (132.77'- 130.63' / 139.55'- 130.63') x 100 = 23.99%
 761.2 (gross area) x 23.99% = 182.61 SF (exemption)



LOWER FLOOR PLAN
 UNIT B6



UNIT 36 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	783.2 SF	730.9 SF	721.6 SF	2235.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS 44.50%	348.5 SF	0.0 SF	0.0 SF	348.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	434.7 SF	730.9 SF	280.3 SF	1445.9 SF

UNIT 36 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	72.8 SM	67.9 SM	67.0 SM	207.7 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 44.50%	32.4 SM	0.0 SM	0.0 SM	32.4 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	40.4 SM	67.9 SM	26.0 SM	134.3 SM

UNIT 35 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.2 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS 23.99%	182.6 SF	0.0 SF	0.0 SF	182.6 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	578.6 SF	709.0 SF	258.4 SF	1546.0 SF

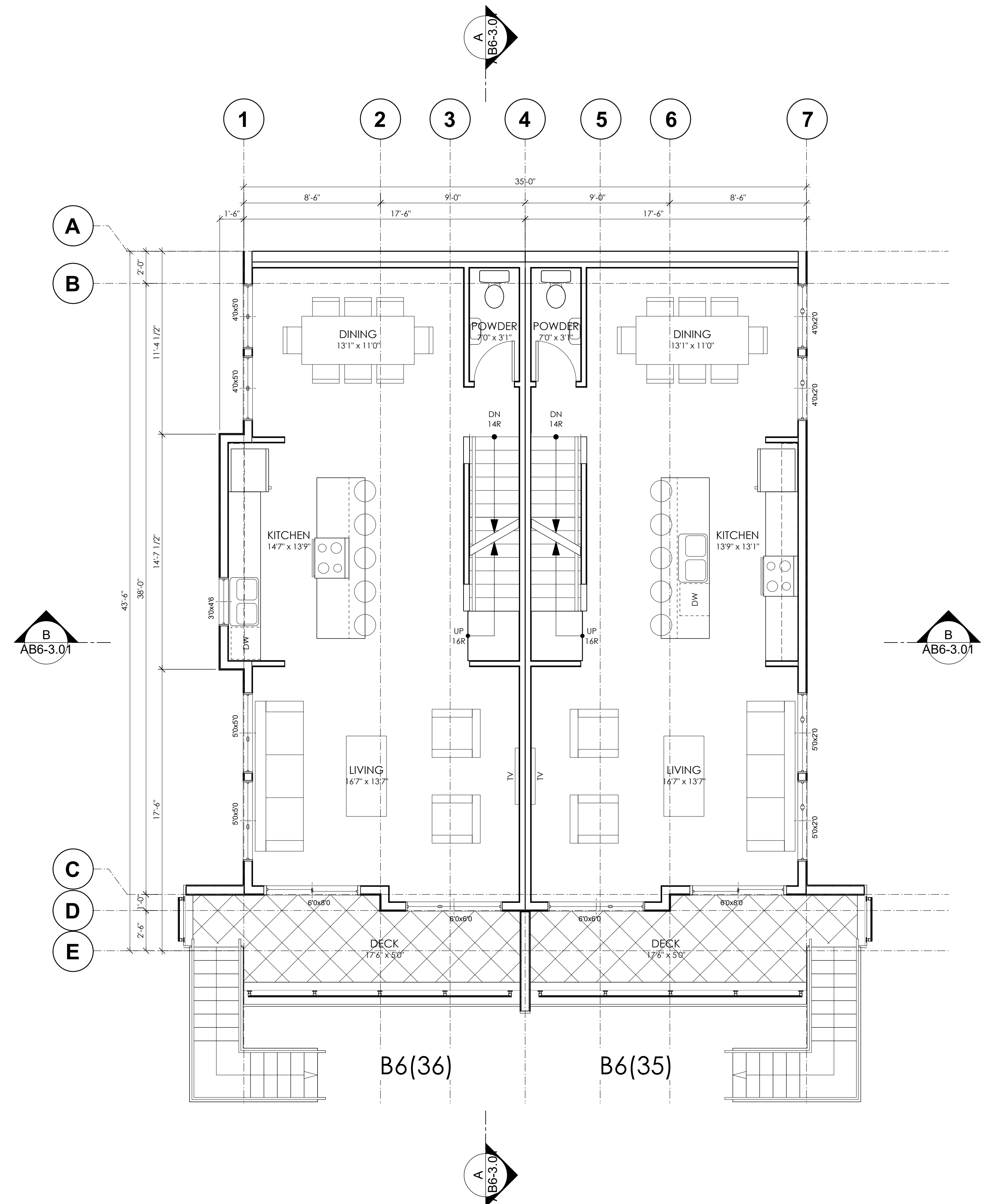
UNIT 35 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 23.99%	17.0 SM	0.0 SM	0.0 SM	17.0 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	53.8 SM	65.9 SM	24.0 SM	143.6 SM

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B6

DRAWING
 LOWER FLOOR
 PLAN

PROJECT# 8030
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2023
AB6-2.01

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

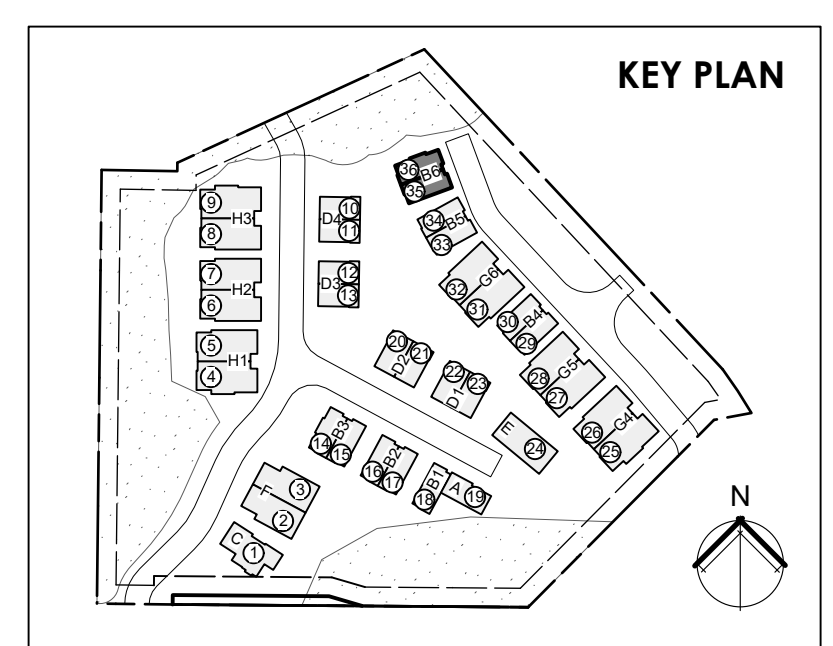


MAIN FLOOR PLAN
UNIT B6



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B6

DRAWING
MAIN FLOOR PLAN



UNIT 36 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	783.2 SF	730.9 SF	721.6 SF	2235.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS 44.50%	348.5 SF	0.0 SF	0.0 SF	348.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	434.7 SF	730.9 SF	280.3 SF	1445.9 SF

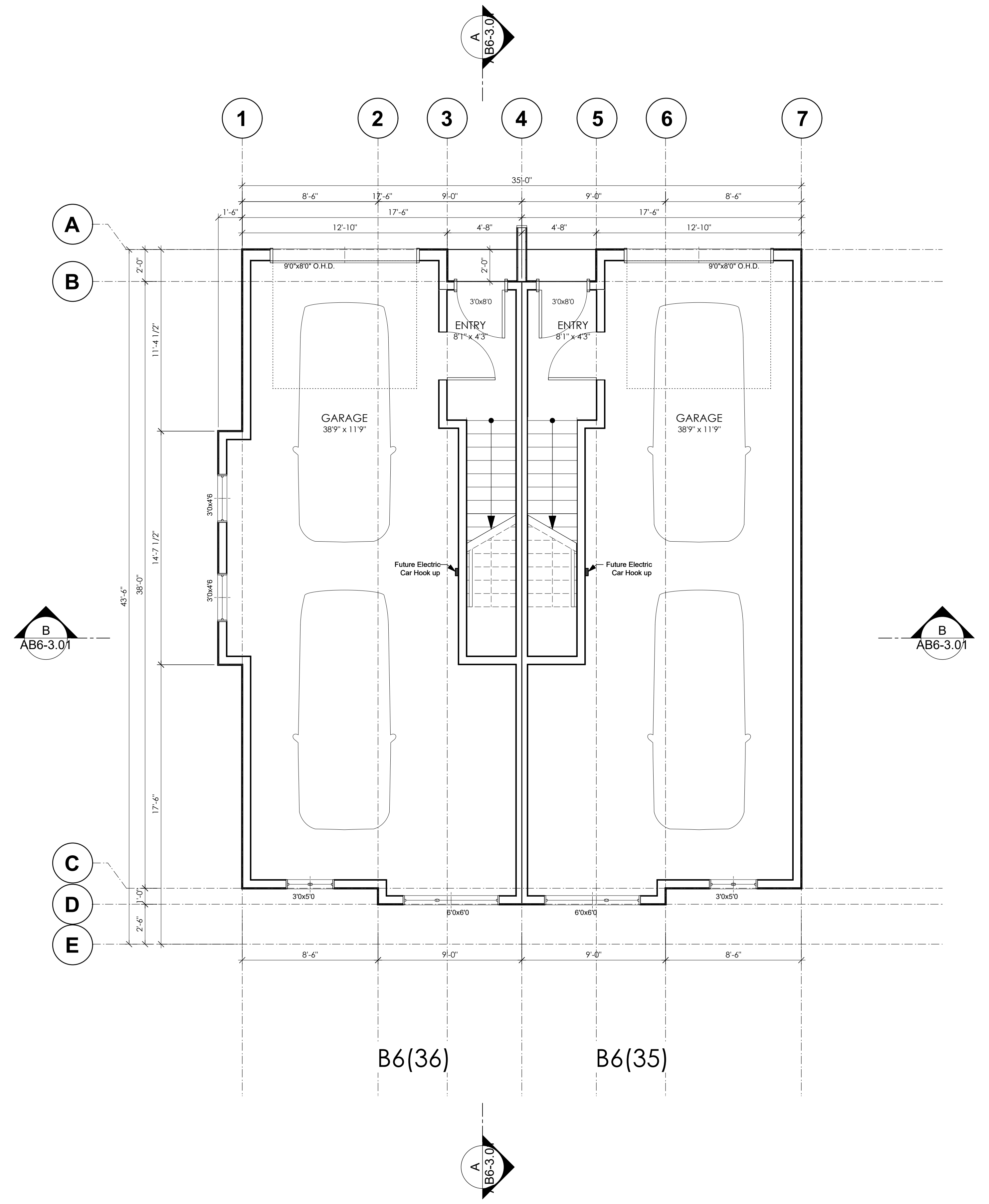
UNIT 36 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	72.8 SM	67.9 SM	67.0 SM	207.7 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 44.50%	32.4 SM	0.0 SM	0.0 SM	32.4 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	40.4 SM	67.9 SM	26.0 SM	134.3 SM

UNIT 35 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.2 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS 23.99%	182.6 SF	0.0 SF	0.0 SF	182.6 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	578.6 SF	709.0 SF	258.4 SF	1546.0 SF

UNIT 35 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 23.99%	17.0 SM	0.0 SM	0.0 SM	17.0 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	53.8 SM	65.9 SM	24.0 SM	143.6 SM

PROJECT#	8030	SHEET	AB6-2.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

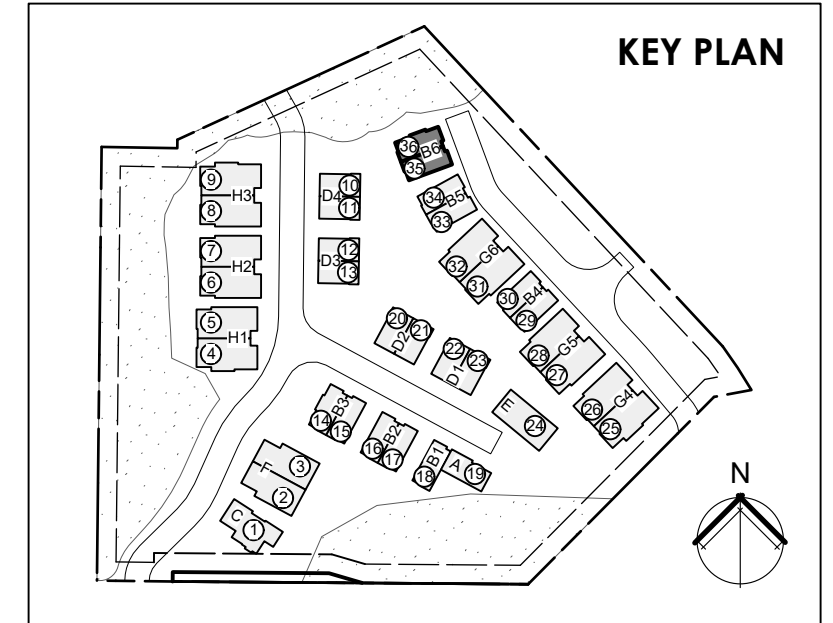


UPPER / ENTRY FLOOR PLAN
UNIT B6



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B6

DRAWING
UPPER FLOOR PLAN



UNIT 36 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	783.2 SF	730.9 SF	721.6 SF	2235.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS 44.50%	348.5 SF	0.0 SF	0.0 SF	348.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	434.7 SF	730.9 SF	280.3 SF	1445.9 SF

UNIT 36 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	72.8 SM	67.9 SM	67.0 SM	207.7 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 23.99%	32.4 SM	0.0 SM	0.0 SM	32.4 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	40.4 SM	67.9 SM	26.0 SM	134.3 SM

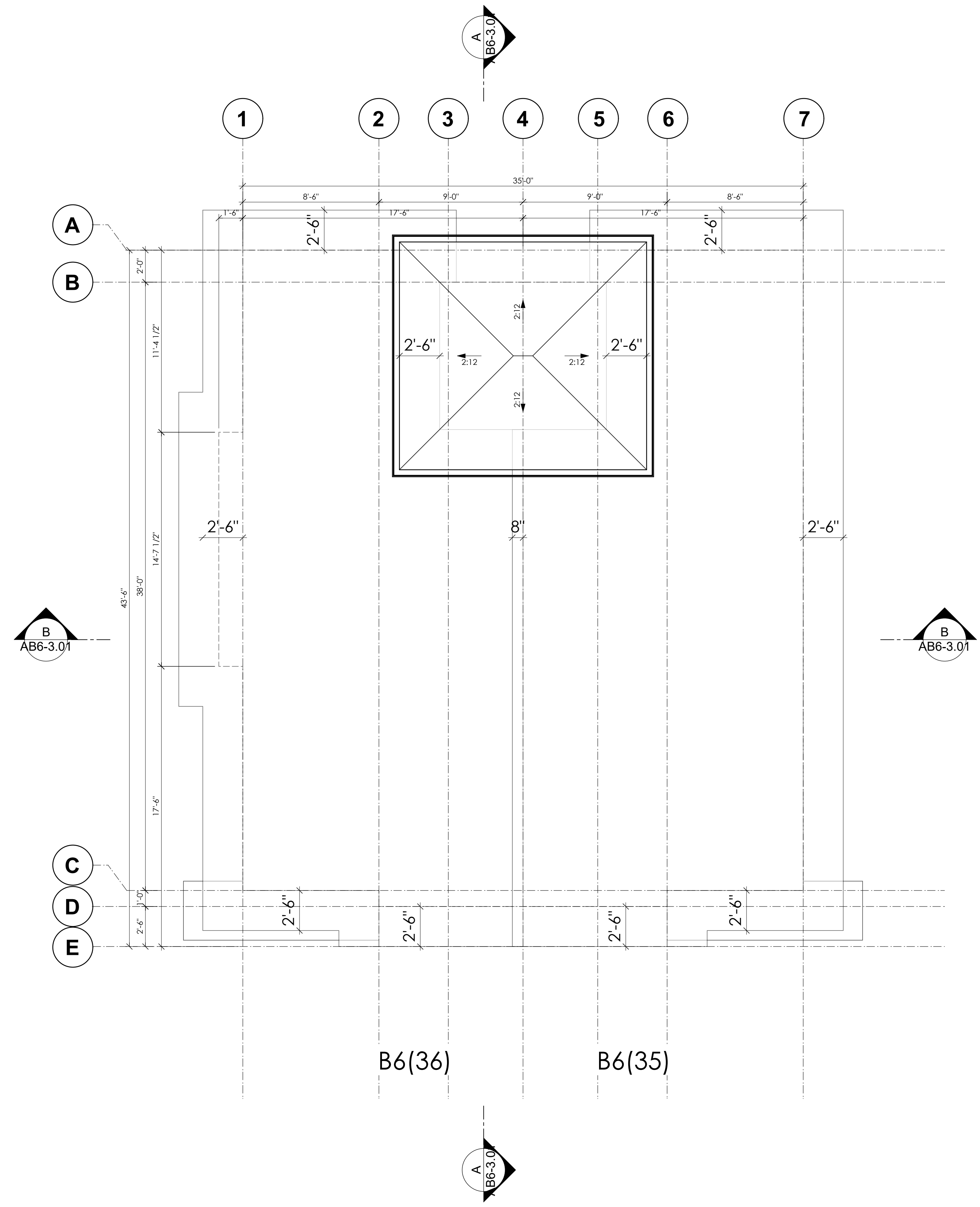
UNIT 35 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.2 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS 23.99%	182.6 SF	0.0 SF	0.0 SF	182.6 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	578.6 SF	709.0 SF	258.4 SF	1546.0 SF

UNIT 35 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SM	65.9 SM	65.0 SM	201.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	41.0 SM	41.0 SM
BASEMENT EXCLUSIONS 23.99%	17.0 SM	0.0 SM	0.0 SM	17.0 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	53.8 SM	65.9 SM	24.0 SM	143.6 SM

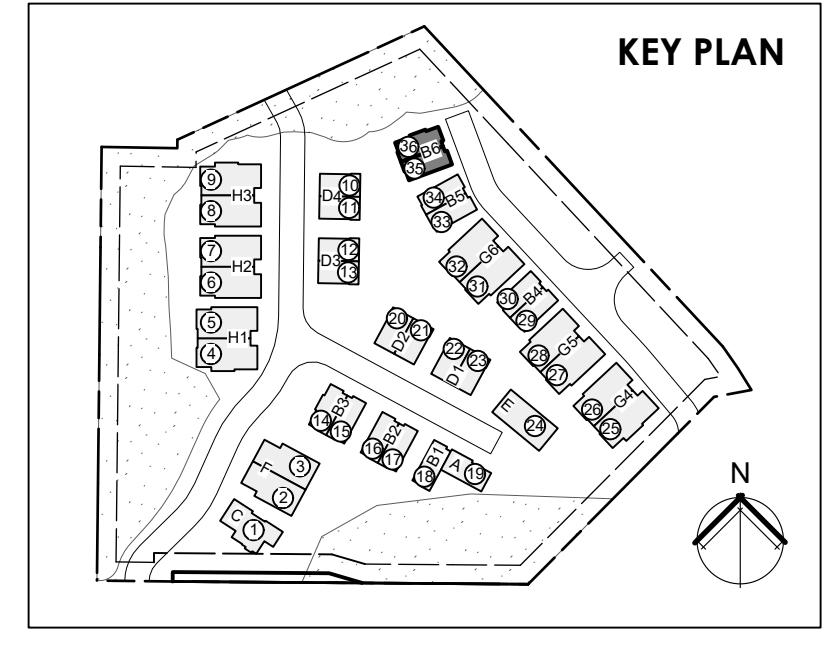
PROJECT#	8030	SHEET	AB6-2.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRG/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



ROOF PLAN
UNIT B6



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B6

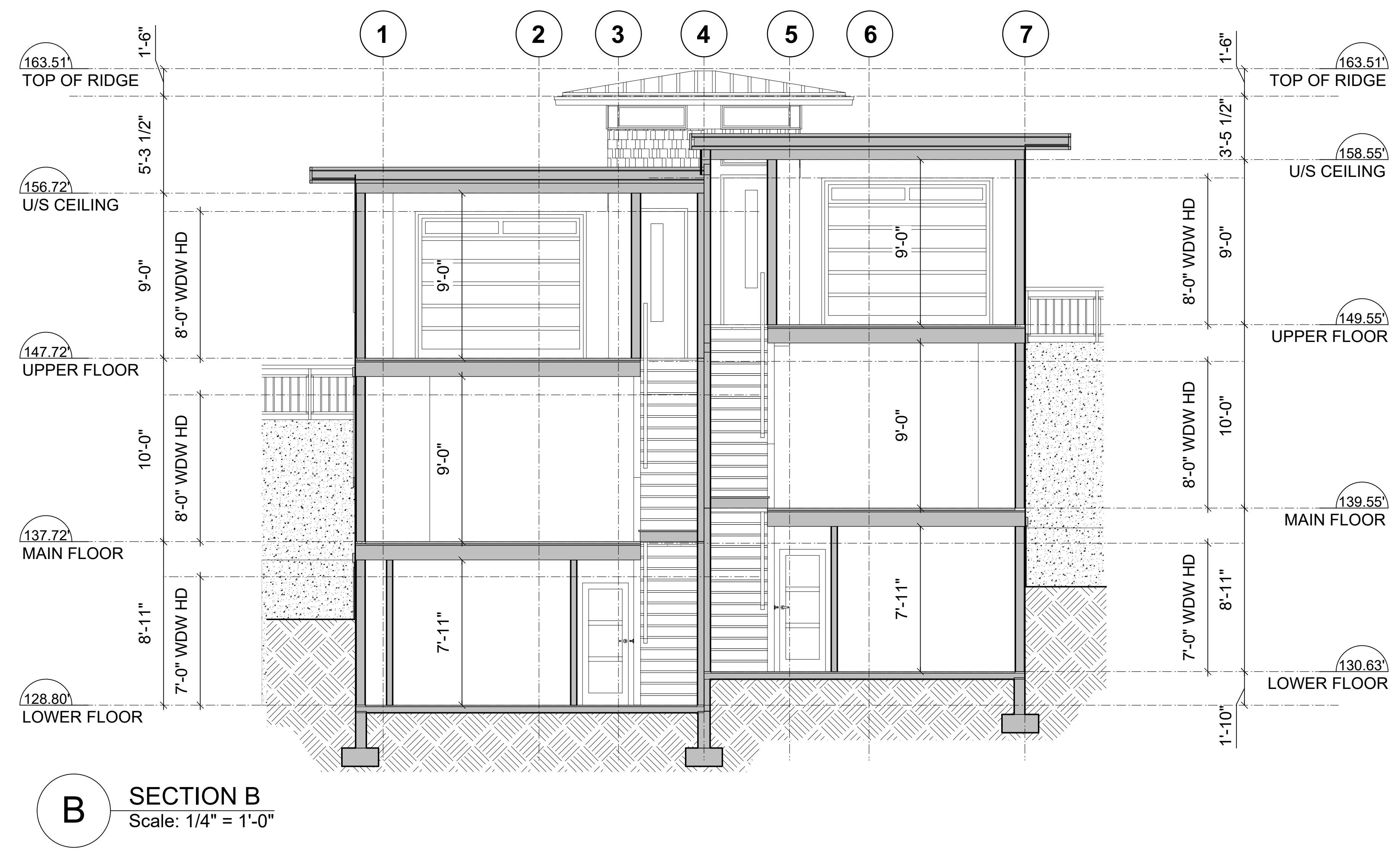
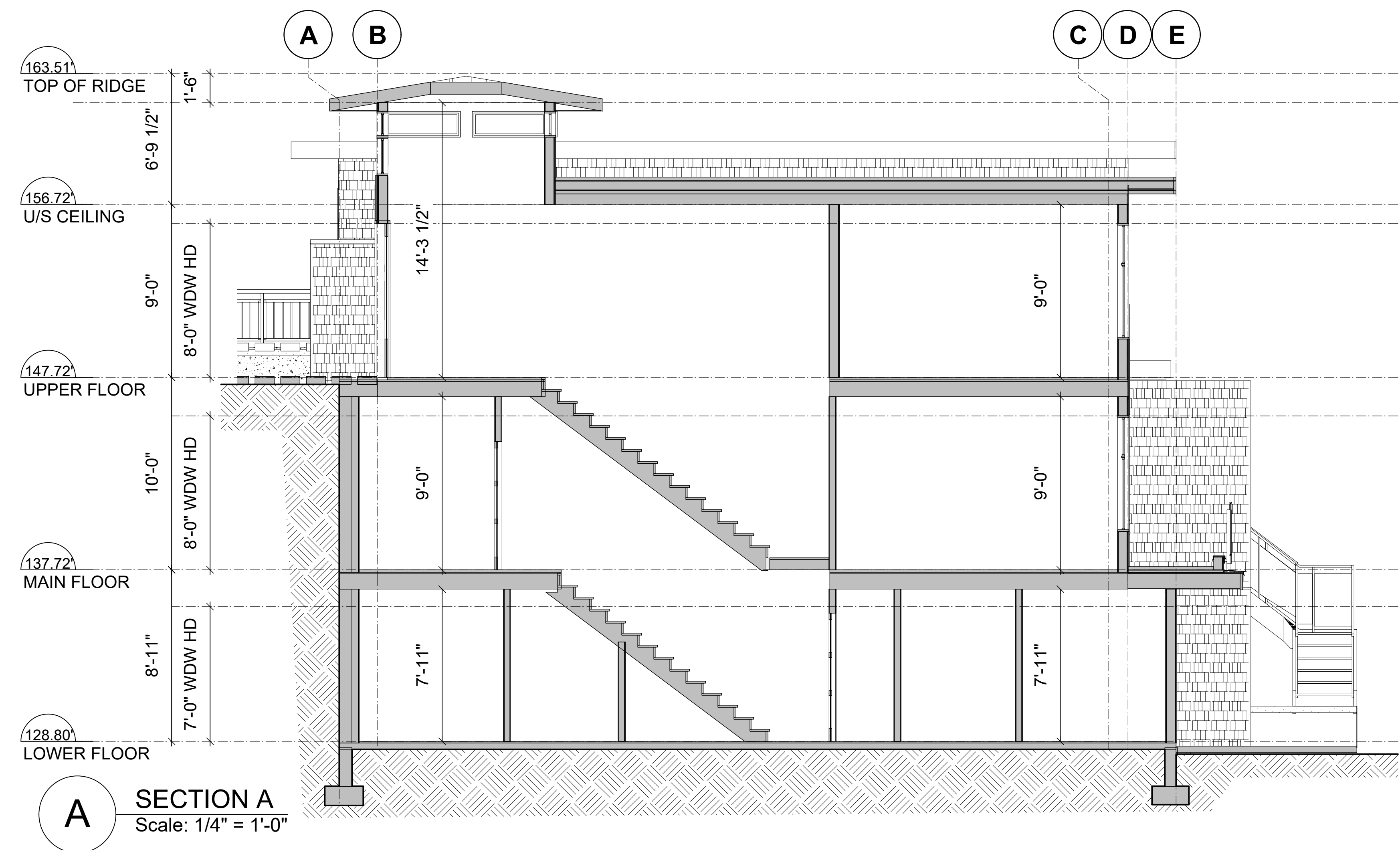
DRAWING
ROOF PLAN

PROJECT#	SHEET
8030	AB6-2.04
SCALE	
DATE	

1/4" = 1'-0"
OCT 1, 2023

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

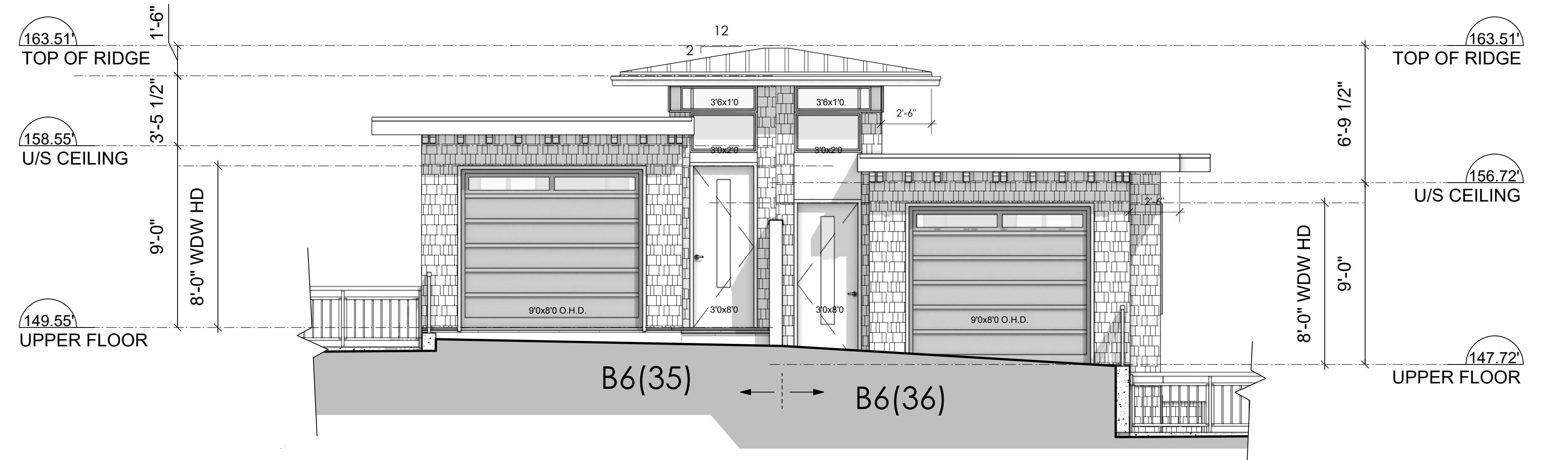


PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT B6

DRAWING
SECTIONS

PROJECT#	8030	SHEET	AB6-3.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



ENTRY ELEVATION

UNIT B6

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	381.60 SF (35.45 SM)
LIMITING DISTANCE:	25.29' (7.71 M)
UNPROTECTED OPENING:	211.00 SF (19.60 SM)
PROPOSED OPENINGS:	55.29%
PERMITTED OPENINGS:	100%



LOWER FLOOR / BASEMENT EXEMPTIONS:
(132.77'- 128.80' / 137.72'- 128.80') x 100 = 44.50%

783.2 (gross area) x 44.5% = 348.52 SF (exemption)

BACK ELEVATION

UNIT B6

LOWER FLOOR / BASEMENT EXEMPTIONS:
(132.77'- 130.63' / 139.55'- 130.63') x 100 = 23.99%

761.2 (gross area) x 23.99% = 182.61 SF (exemption)



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B6

DRAWING
ENTRY & BACK ELEVATIONS B/W

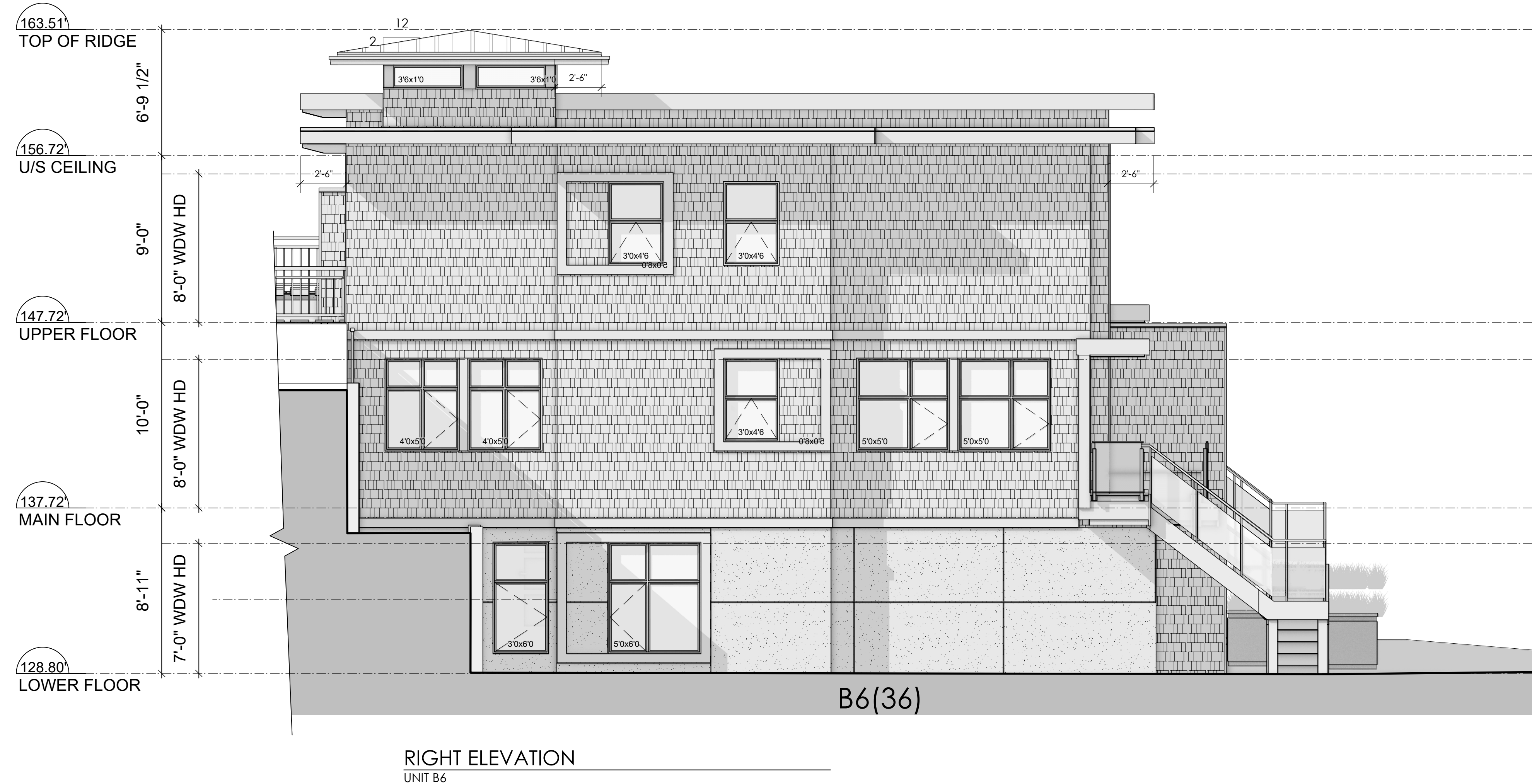
PROJECT#	SHEET
8030	AB6-4.01
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

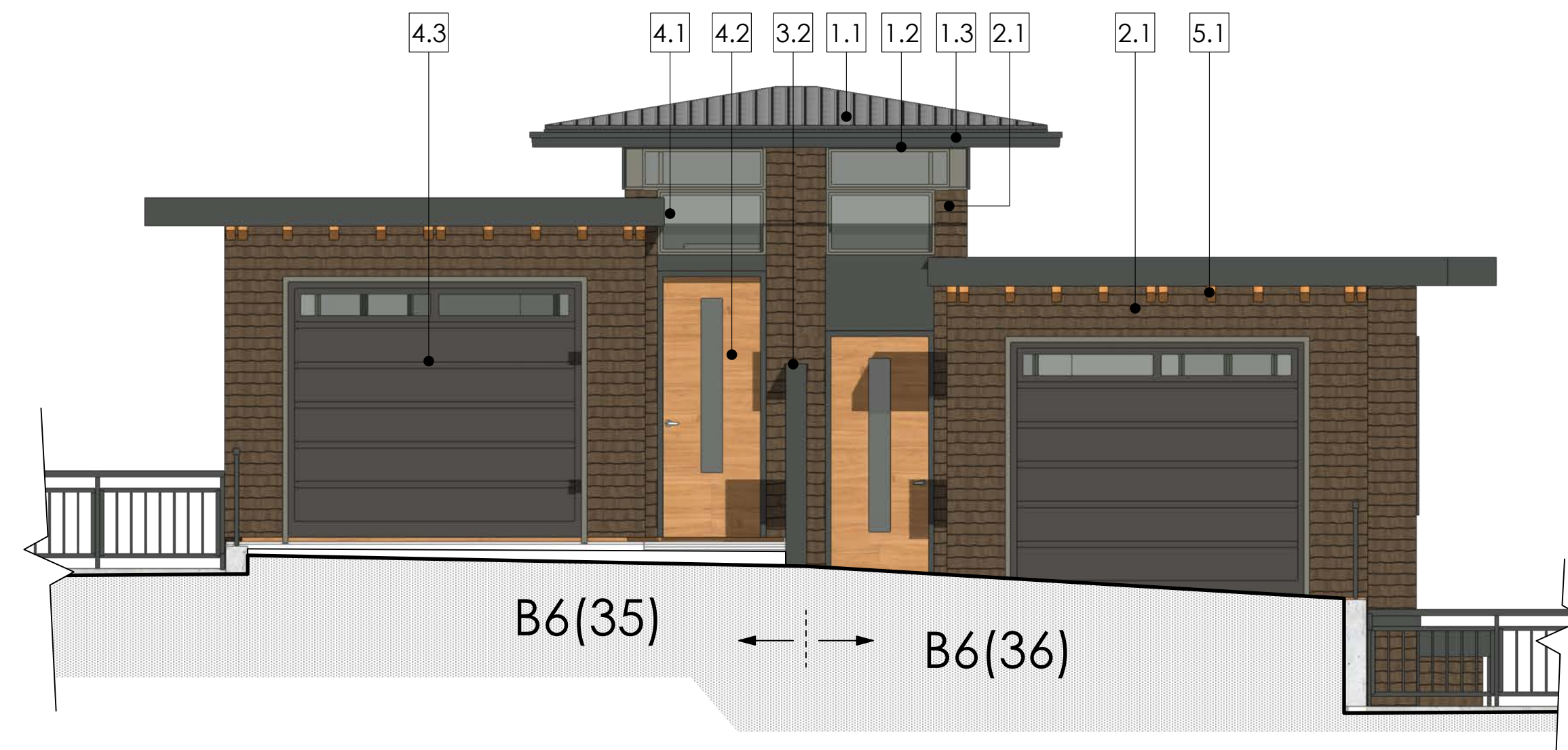
EXPOSED BUILDING FACE:	1120.84 SF (104.13 SM)
LIMITING DISTANCE:	4' (1.22 M)
UNPROTECTED OPENING:	91.00 SF (8.45 SM)
PROPOSED OPENING:	8.12%
PERMITTED OPENINGS:	14.0%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B6

DRAWING
 LEFT & RIGHT
 ELEVATIONS B/W

PROJECT#	SHEET
8030	AB6-
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023
	4.02



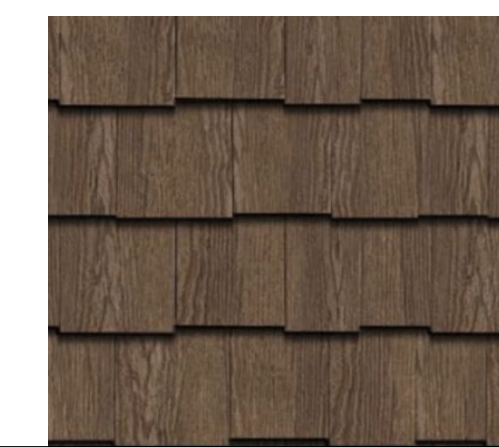
ENTRY ELEVATION
UNIT B6



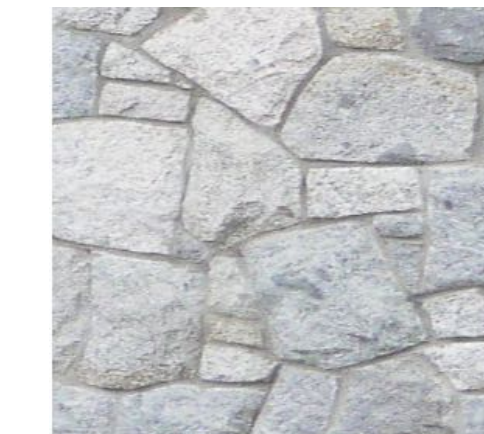
BACK ELEVATION
UNIT B6



HARDY PANEL



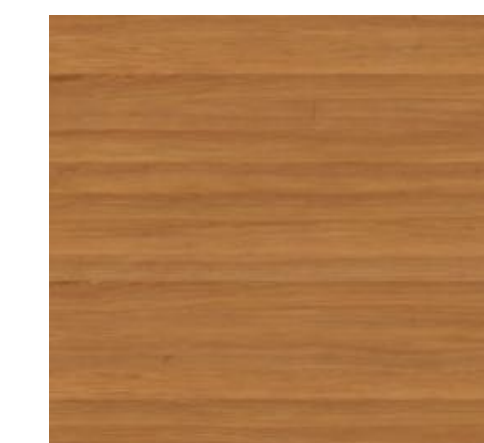
FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors & Trims	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



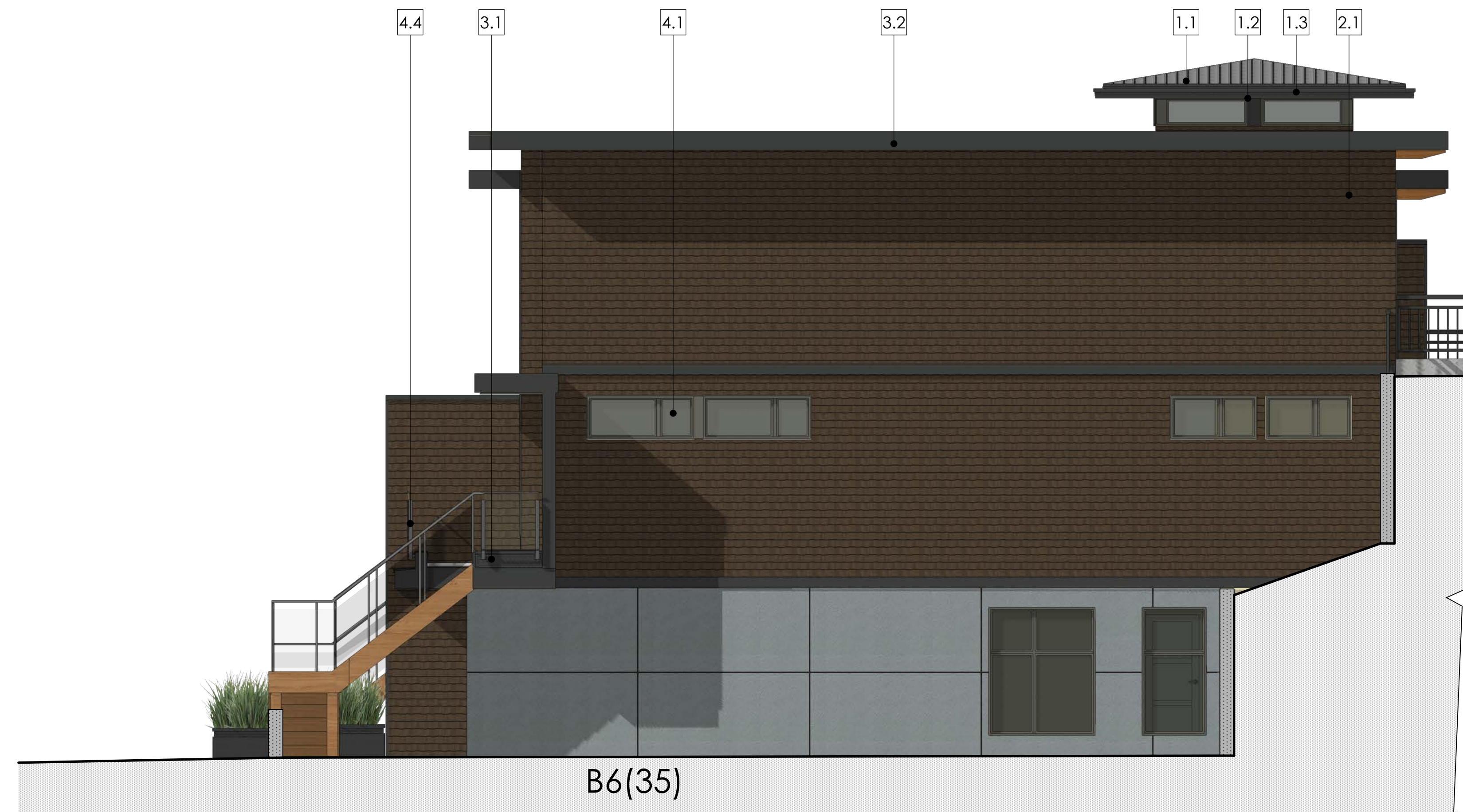
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B6

DRAWING
**ENTRY & BACK
ELEVATIONS**

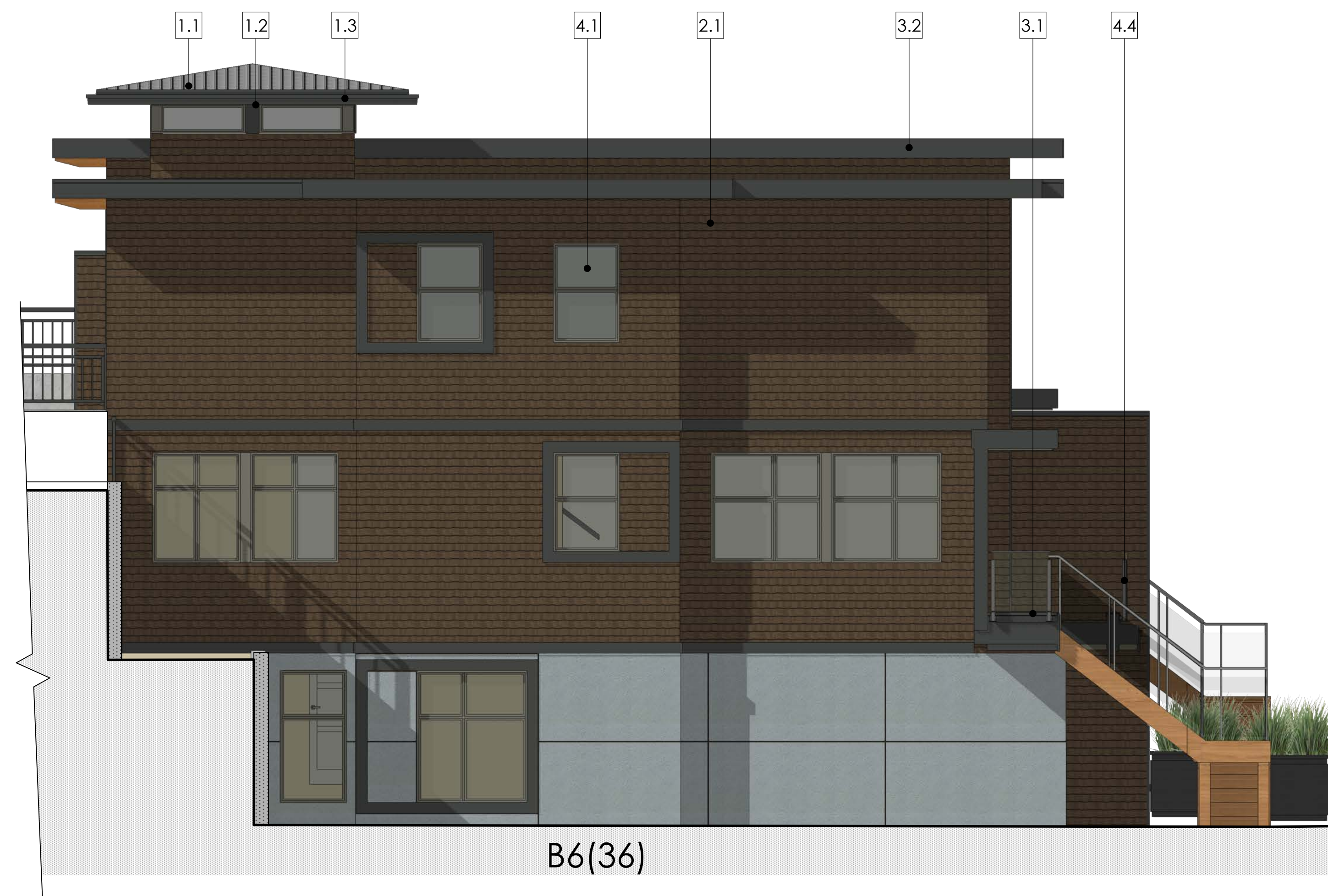
PROJECT#	8030	SHEET	AB6- 4.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



LEFT ELEVATION
UNIT B6



RIGHT ELEVATION
UNIT B6

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors & Trims	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B6

DRAWING
**LEFT & RIGHT
ELEVATIONS**

PROJECT#	8030	SHEET	AB6- 4.04
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT B6



BACK ELEVATION - CAMERA VIEW
UNIT B6



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B6

DRAWING
FRONT & BACK
ELEVATIONS -
CAMERA VIEW

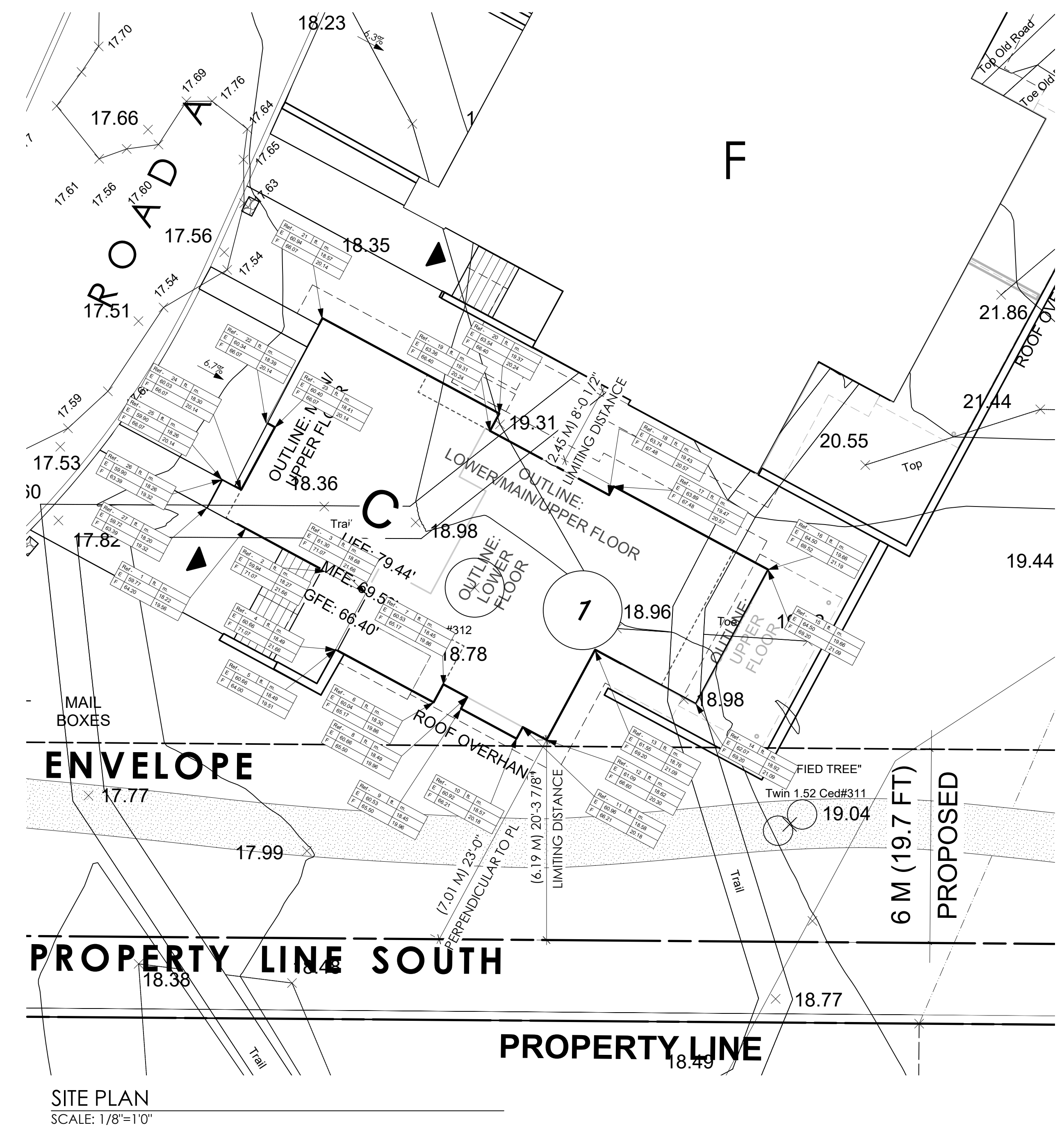
PROJECT#	SHEET	
8030	AB6- 4.05	
SCALE		N.T.S.
DATE		OCT 1, 2023

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REVISIONS
 Issued for DP/Rezoning Aug 31, 2021
 DRG/ Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023
 H unit additions Oct 1, 2023

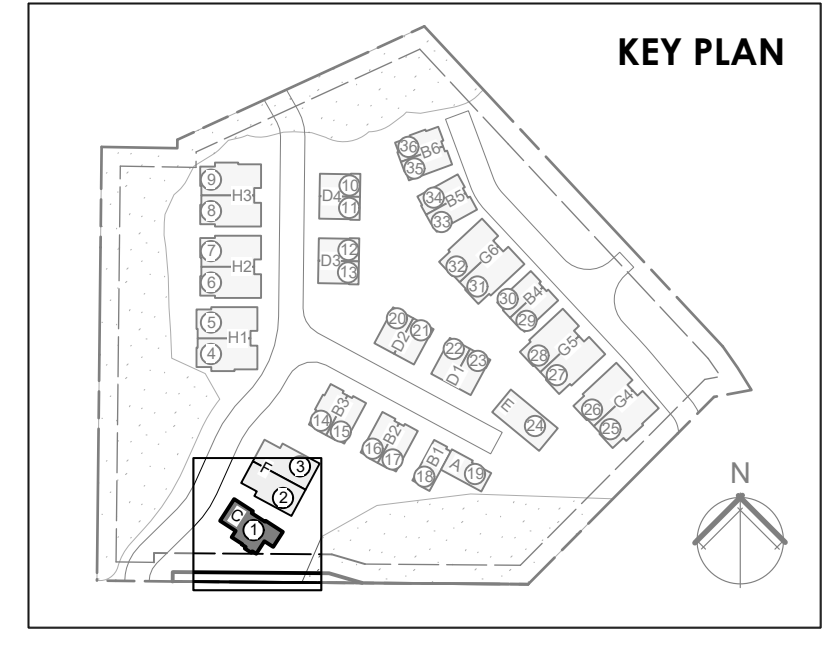
C - AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	64.20	2	71.07	67.64	4.23	286.10
2	71.07	3	71.07	71.07	4.70	333.82
3	71.07	4	71.07	71.07	6.50	461.96
4	71.07	5	64.00	67.54	0.00	0.00
5	64.00	6	65.17	64.59	11.33	731.94
6	65.17	7	65.17	65.17	2.08	135.55
7	65.17	8	65.50	65.34	2.71	177.06
8	65.50	9	65.50	65.50	1.33	87.12
9	65.50	10	66.21	65.86	6.42	422.79
10	66.21	11	66.21	66.21	1.33	88.06
11	66.21	12	66.60	66.41	2.75	182.61
12	66.60	13	69.20	67.90	10.42	707.52
13	69.20	14	69.20	69.20	11.63	804.80
14	69.20	15	69.20	69.20	15.50	1072.60
15	69.20	16	69.52	69.36	0.00	0.00
16	69.52	17	67.48	68.50	17.83	1221.56
17	67.48	18	67.48	67.48	1.00	67.48
18	67.48	19	66.40	66.94	13.75	920.43
19	66.40	20	66.40	66.40	2.00	132.80
20	66.40	21	66.07	66.24	20.42	1352.32
21	66.07	22	66.07	66.07	12.04	795.61
22	66.07	23	66.07	66.07	1.00	66.07
23	66.07	24	66.07	66.07	7.21	476.23
24	66.07	25	66.07	66.07	2.21	145.88
25	66.07	26	63.39	64.73	0.00	0.00
26	63.39	27	63.39	63.39	3.25	206.02
27	63.39	1	64.20	63.80	4.23	269.85
Total					165.87	11146.17
AVG Finish Grade						67.20
Max. Bldg Height (Ft):	29.85					97.05

C - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	59.77	2	59.94	59.86	9.40	562.64
2	59.94	3	61.30	60.62	4.70	284.73
3	61.30	4	60.66	60.98	6.50	396.37
4	60.66	5	60.66	60.66	0.00	0.00
5	60.66	6	60.04	60.35	11.33	683.95
6	60.04	7	60.53	60.29	2.08	125.39
7	60.53	8	60.66	60.60	2.71	164.21
8	60.66	9	60.53	60.60	1.33	80.59
9	60.53	10	60.92	60.73	6.42	389.85
10	60.92	11	60.96	60.94	1.33	81.05
11	60.96	12	61.09	61.03	2.75	167.82
12	61.09	13	61.55	61.32	10.42	638.95
13	61.55	14	62.07	61.81	11.63	718.85
14	62.07	15	64.50	63.29	15.50	980.92
15	64.50	16	64.50	64.50	0.00	0.00
16	64.50	17	63.89	64.20	17.83	1144.79
17	63.89	18	63.74	63.82	1.00	63.82
18	63.74	19	63.36	63.55	13.75	873.81
19	63.36	20	63.54	63.45	2.00	126.90
20	63.54	21	60.94	62.24	20.42	1270.75
21	60.94	22	60.34	60.64	12.04	730.23
22	60.34	23	60.40	60.37	1.00	60.37
23	60.40	24	60.03	60.22	7.21	434.03
24	60.03	25	59.90	59.97	2.21	132.40
25	59.90	26	59.90	59.90	0.00	0.00
26	59.90	27	59.72	59.81	3.25	194.38
27	59.72	1	59.77	59.75	4.23	252.72
Total					171.04	10559.53
AVG Existing Grade						61.74
Max. Bldg Height (Ft):	29.85					91.59



SITE PLAN
 SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - C (1)		
Lower	Main	Upper
20.24 m	21.19 m	24.21 m
66.40'	69.53'	79.44'



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT C

DRAWING
SITE PLAN

PROJECT# 8030
 SCALE 1/8"=1'-0"
 DATE OCT 1, 2023
AC-1 .01

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REVISIONS

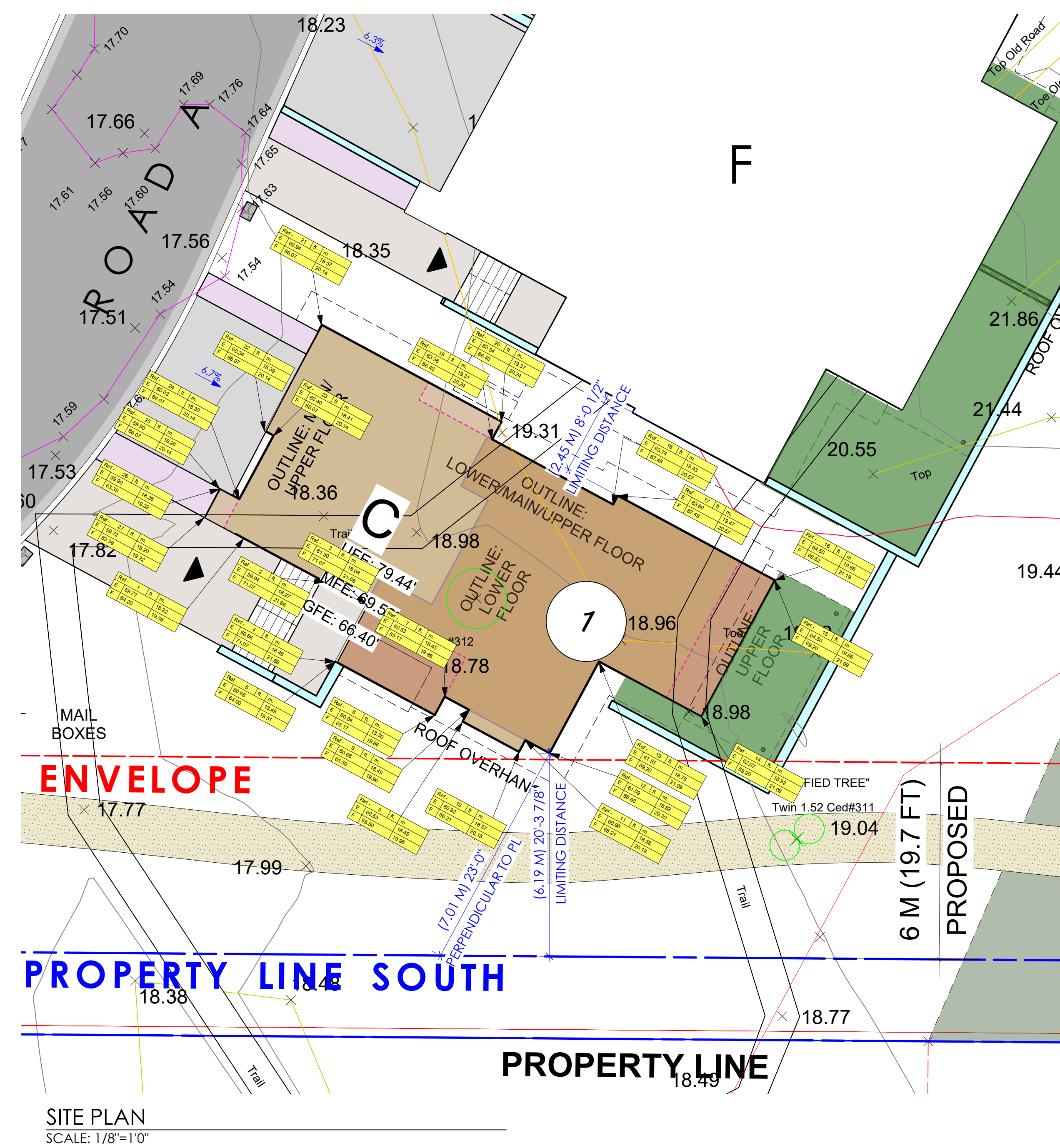
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

C - AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	64.20	2	71.07	67.64	4.23	286.10
2	71.07	3	71.07	71.07	4.70	333.82
3	71.07	4	71.07	71.07	6.50	461.96
4	71.07	5	64.00	67.54	0.00	0.00
5	64.00	6	65.17	64.59	11.33	731.94
6	65.17	7	65.17	65.17	2.08	135.55
7	65.17	8	65.50	65.34	2.71	177.06
8	65.50	9	65.50	65.50	1.33	87.12
9	65.50	10	66.21	65.86	6.42	422.79
10	66.21	11	66.21	66.21	1.33	88.06
11	66.21	12	66.60	66.41	2.75	182.61
12	66.60	13	69.20	67.90	10.42	707.52
13	69.20	14	69.20	69.20	11.63	804.80
14	69.20	15	69.20	69.20	15.50	1072.60
15	69.20	16	69.52	69.36	0.00	0.00
16	69.52	17	67.48	68.50	17.83	1221.56
17	67.48	18	67.48	67.48	1.00	67.48
18	67.48	19	66.40	66.94	13.75	920.43
19	66.40	20	66.40	66.40	2.00	132.80
20	66.40	21	66.07	66.24	20.42	1352.32
21	66.07	22	66.07	66.07	12.04	795.61
22	66.07	23	66.07	66.07	1.00	66.07
23	66.07	24	66.07	66.07	7.21	476.23
24	66.07	25	66.07	66.07	2.21	145.88
25	66.07	26	63.39	64.73	0.00	0.00
26	63.39	27	63.39	63.39	3.25	206.02
27	63.39	1	64.20	63.80	4.23	269.85
Total					165.87	11146.17
AVG Finish Grade						67.20
Max. Bldg Height (Ft):	29.85					97.05

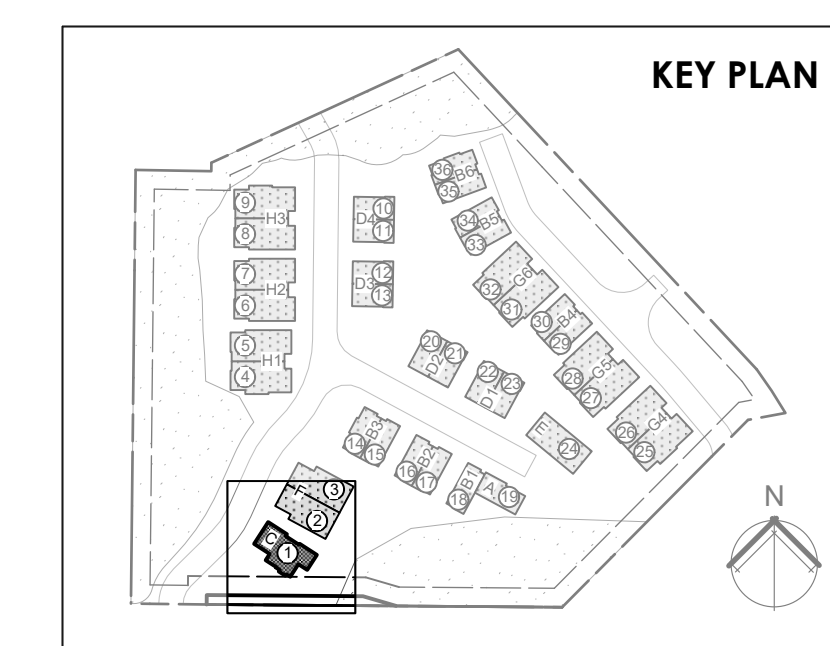
C - AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	59.77	2	59.94	59.86	9.40	562.64
2	59.94	3	61.30	60.62	4.70	284.73
3	61.30	4	60.66	60.98	6.50	396.37
4	60.66	5	60.66	60.66	0.00	0.00
5	60.66	6	60.04	60.35	11.33	683.95
6	60.04	7	60.53	60.29	2.08	125.39
7	60.53	8	60.66	60.60	2.71	164.21
8	60.66	9	60.53	60.60	1.33	80.59
9	60.53	10	60.92	60.73	6.42	389.85
10	60.92	11	60.96	60.94	1.33	81.05
11	60.96	12	61.09	61.03	2.75	167.82
12	61.09	13	61.55	61.32	10.42	638.95
13	61.55	14	62.07	61.81	11.63	718.85
14	62.07	15	64.50	63.29	15.50	980.92
15	64.50	16	64.50	64.50	0.00	0.00
16	64.50	17	63.89	64.20	17.83	1144.79
17	63.89	18	63.74	63.82	1.00	63.82
18	63.74	19	63.36	63.55	13.75	873.81
19	63.36	20	63.54	63.45	2.00	126.90
20	63.54	21	60.94	62.24	20.42	1270.75
21	60.94	22	60.34	60.64	12.04	730.23
22	60.34	23	60.40	60.37	1.00	60.37
23	60.40	24	60.03	60.22	7.21	434.03
24	60.03	25	59.90	59.97	2.21	132.40
25	59.90	26	59.90	59.90	0.00	0.00
26	59.90	27	59.72	59.81	3.25	194.38
27	59.72	1	59.77	59.75	4.23	252.72
Total					171.04	10559.53
AVG Existing Grade						61.74
Max. Bldg Height (Ft):	29.85					91.59



TOP OF FINISH FLOOR - C (1)

Lower	Main	Upper
20.24 m 66.40'	21.19 m 69.53'	24.21 m 79.44'



PROJECT

AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT C

DRAWING

SITE PLAN

PROJECT# 8030

SCALE 1/8"=1'-0"

DATE OCT 1, 2023

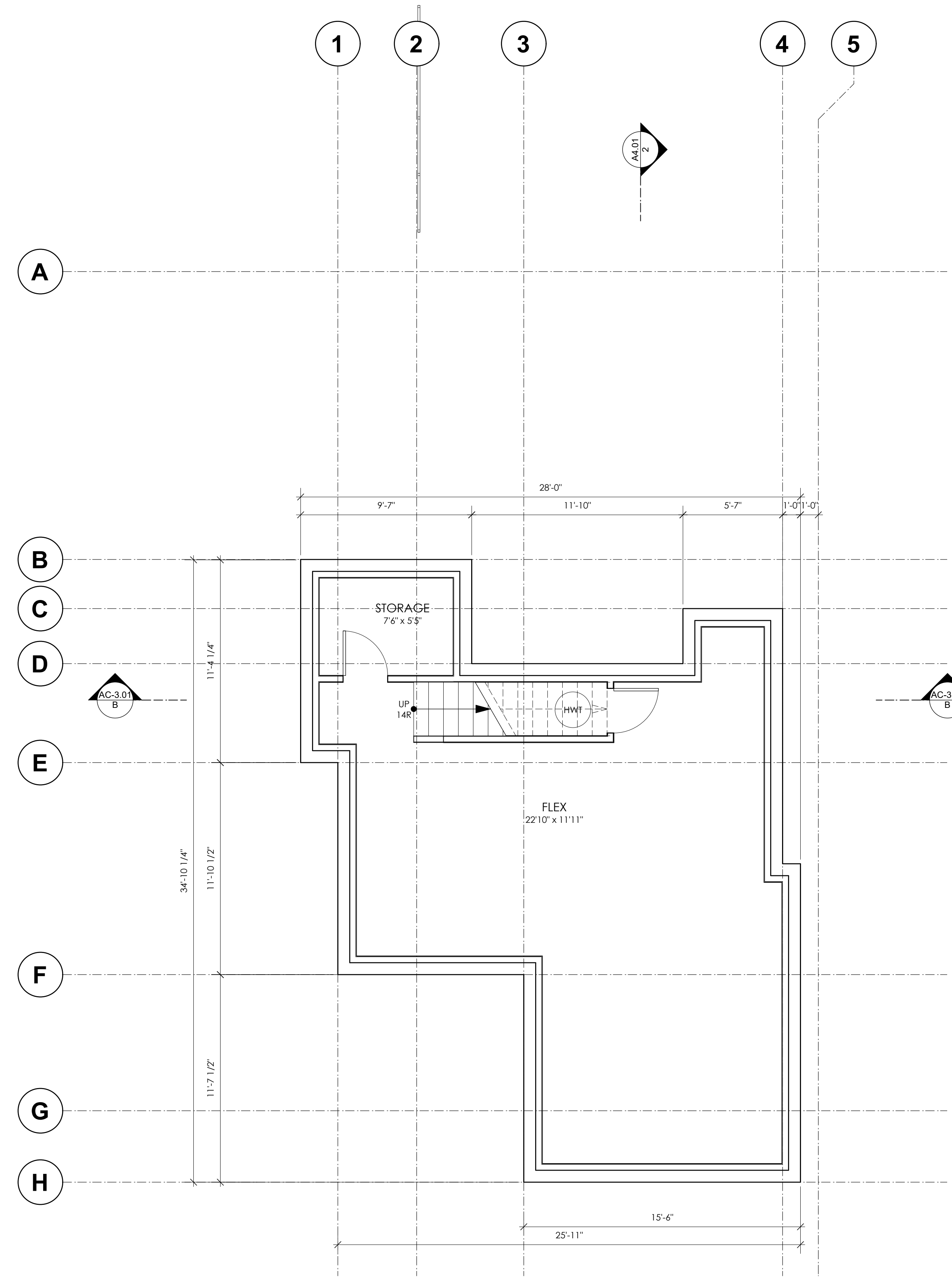
SHEET

AC-1
.01

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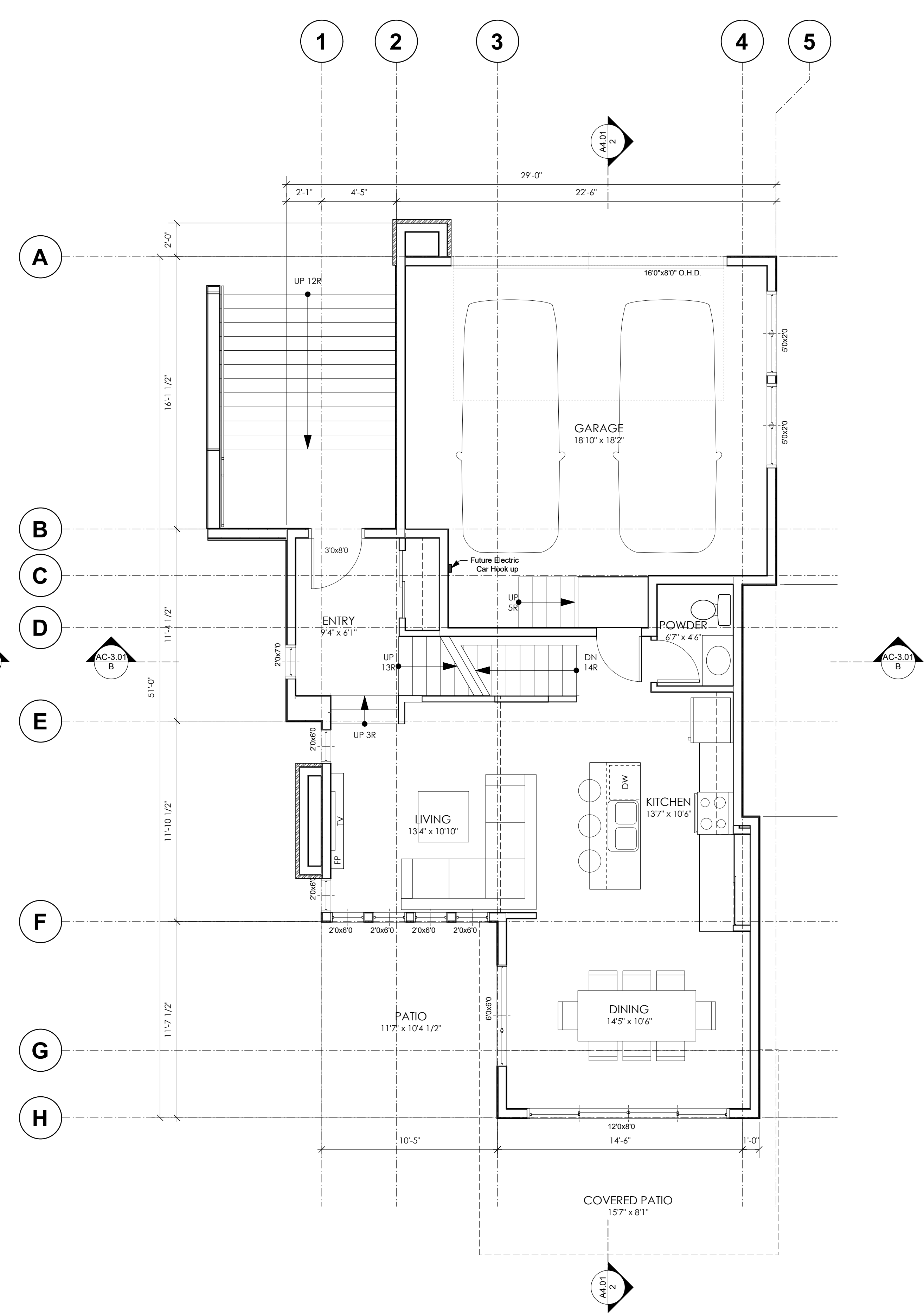
REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



BASEMENT EXEMPTIONS:
 $(61.74' - 60.61' / 69.53' - 60.61') \times 100 = 12.67\%$
 $704.9 \text{ (gross area)} \times 12.67\% = 89.3 \text{ SF (exemption)}$

LOWER FLOOR
UNIT C



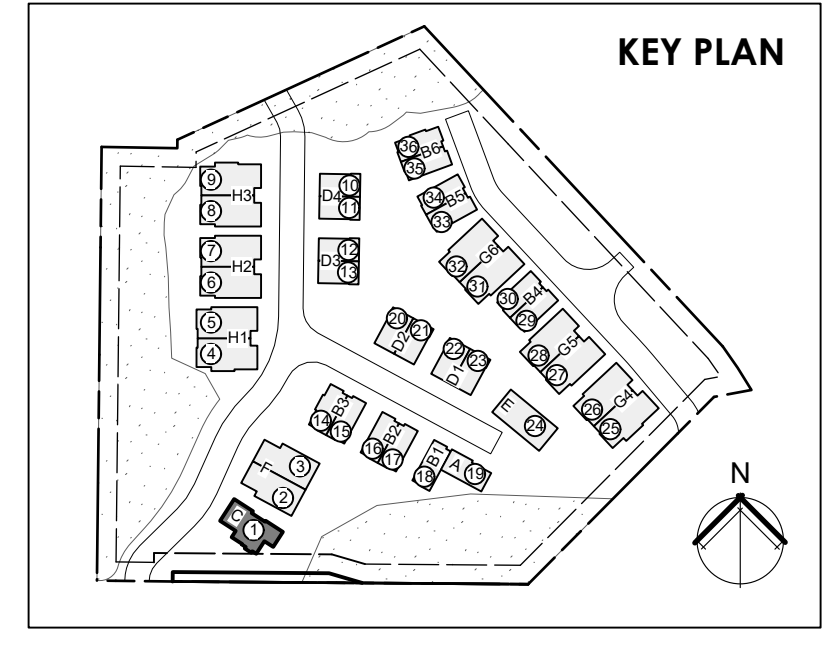
MAIN FLOOR
UNIT C

UNIT 1 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	704.9 SF	1167.4 SF	1027.1 SF	2899.3 SF
GARAGE EXCLUSIONS	0.0 SF	441.0 SF	0.0 SF	441.0 SF
BASEMENT EXCLUSIONS 12.67%	89.3 SF	0.0 SF	0.0 SF	89.3 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	615.6 SF	726.4 SF	1027.1 SF	2369.0 SF

UNIT 1 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.5 SM	108.5 SM	95.4 SM	269.4 SM
GARAGE EXCLUSIONS	0.0 SM	41.0 SM	0.0 SM	41.0 SM
BASEMENT EXCLUSIONS 12.67%	8.3 SM	0.0 SM	0.0 SM	8.3 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	57.2 SM	67.5 SM	95.4 SM	220.1 SM



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT C

DRAWING
LOWER & MAIN FLOOR PLANS

PROJECT# 8030
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2023
 SHEET **AC-2 .01**

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REVISIONS

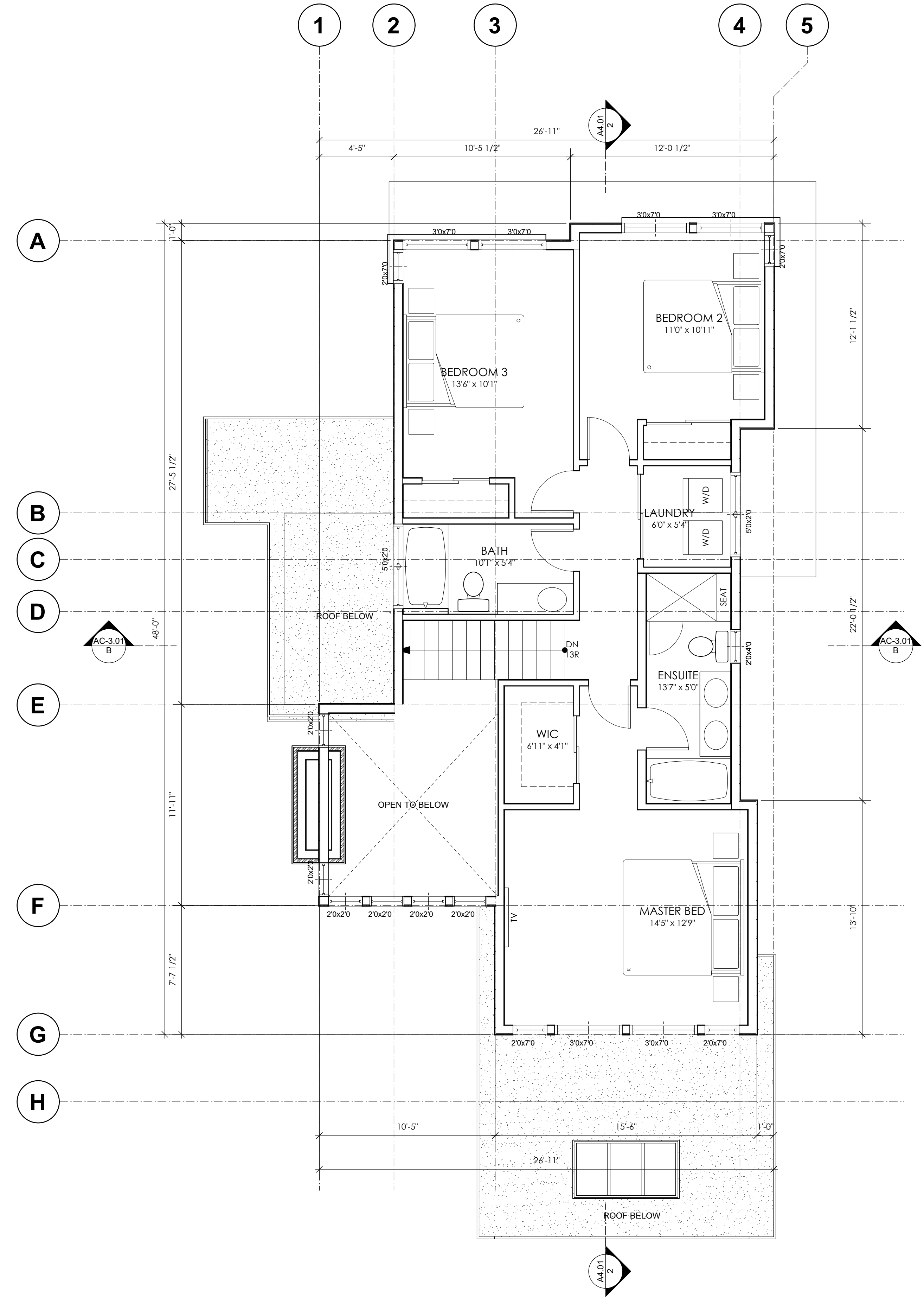
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



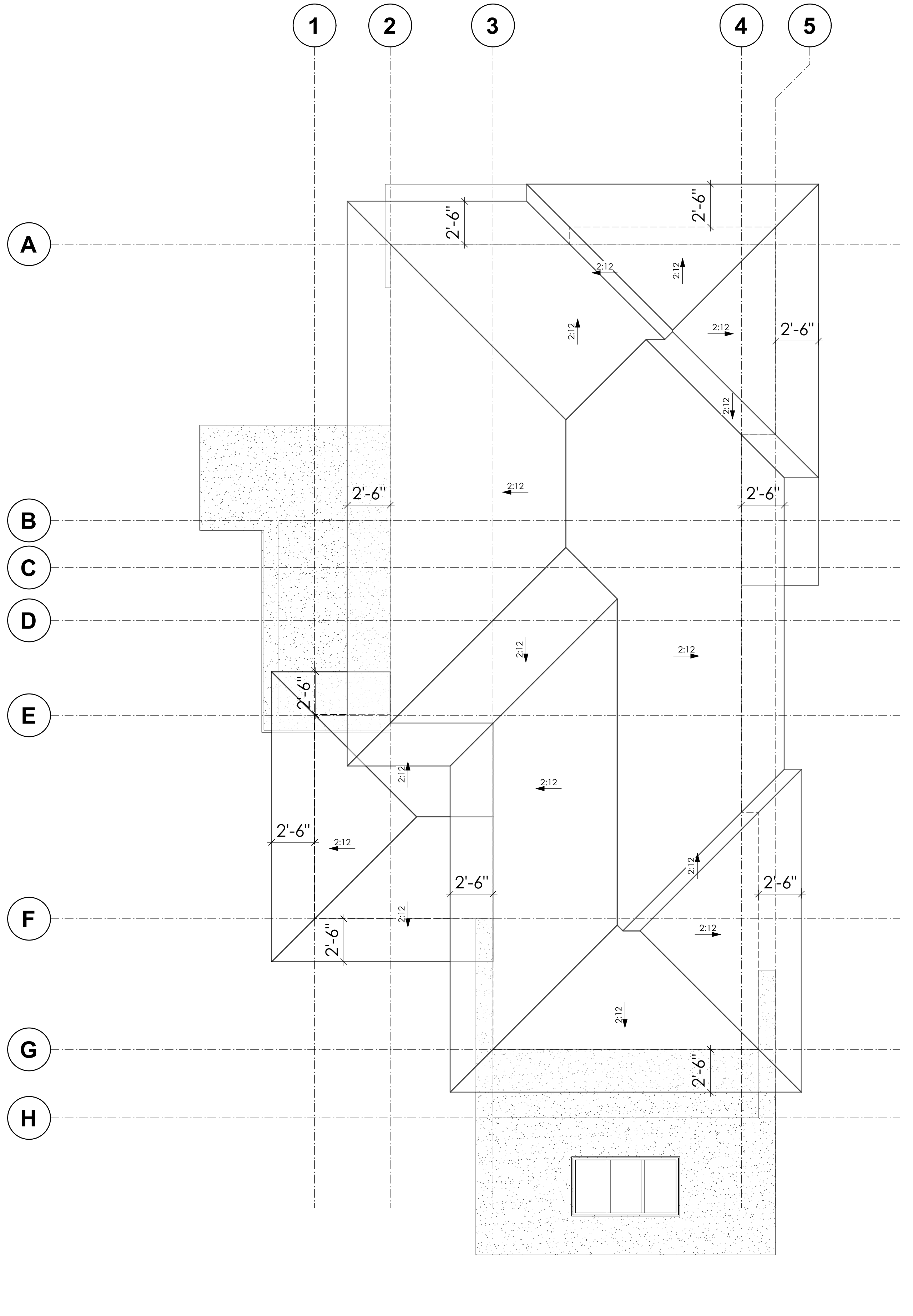
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT C

DRAWING
UPPER FLOOR & ROOF PLAN

PROJECT#	8030	SHEET	AC-2 .02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		



UPPER FLOOR
UNIT C



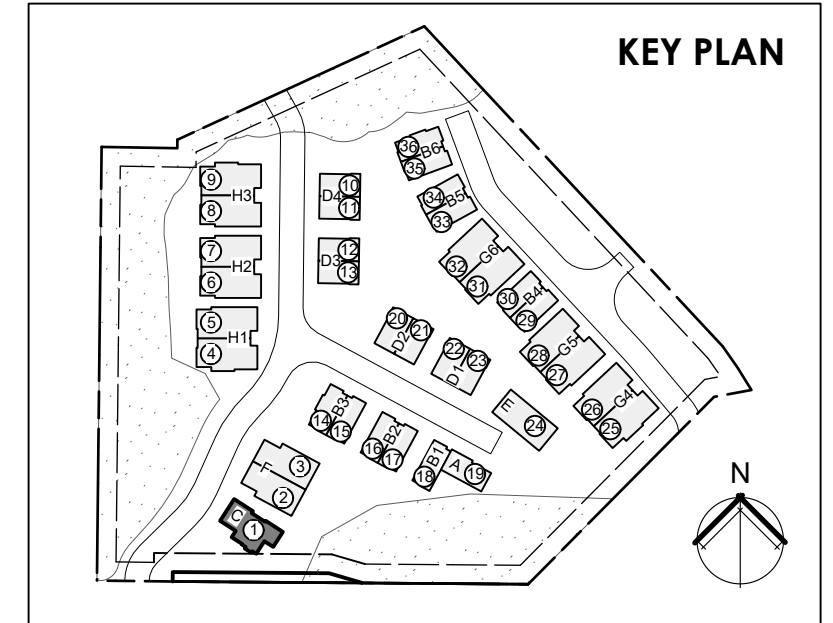
ROOF PLAN
UNIT C

UNIT 1 FLOOR AREAS IMPERIAL

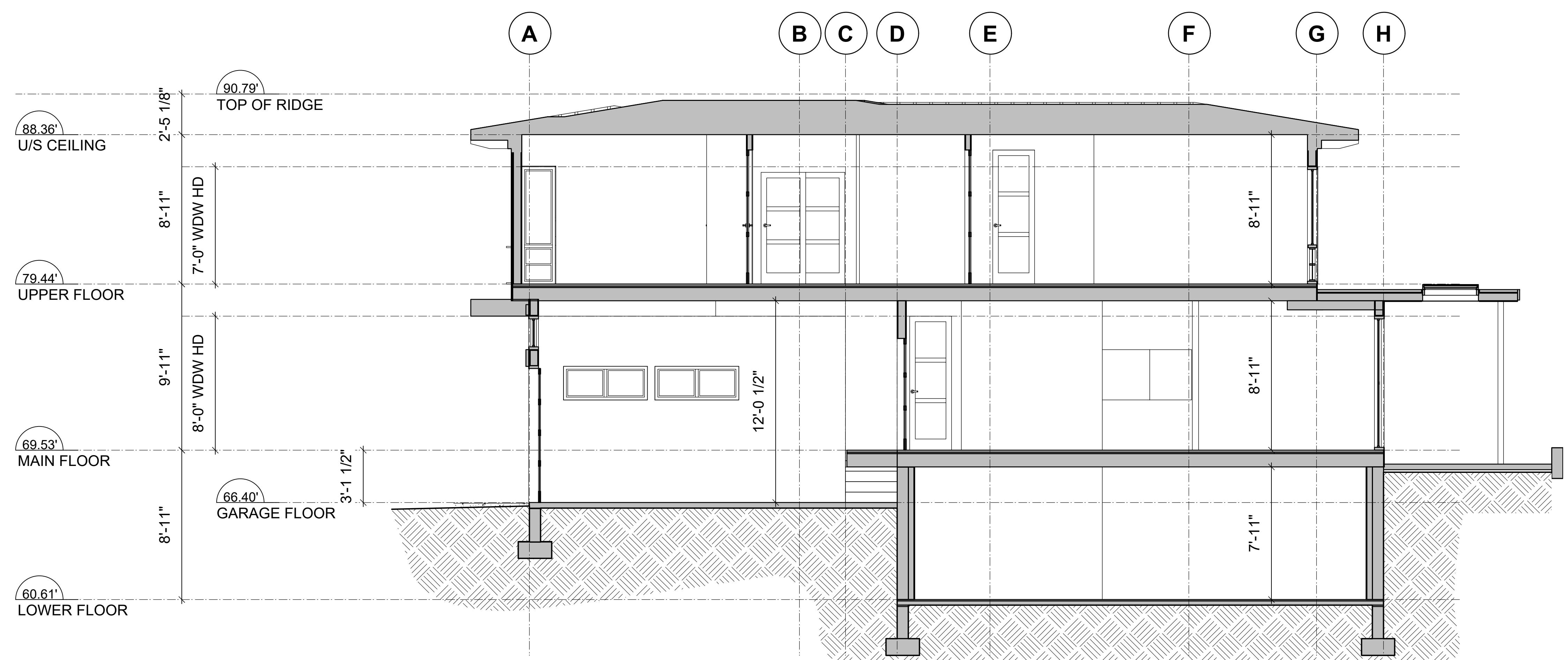
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	704.9 SF	1167.4 SF	1027.1 SF	2899.3 SF
GARAGE EXCLUSIONS	0.0 SF	441.0 SF	0.0 SF	441.0 SF
BASEMENT EXCLUSIONS 12.67%	89.3 SF	0.0 SF	0.0 SF	89.3 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	615.6 SF	726.4 SF	1027.1 SF	2369.0 SF

UNIT 1 FLOOR AREAS METRIC

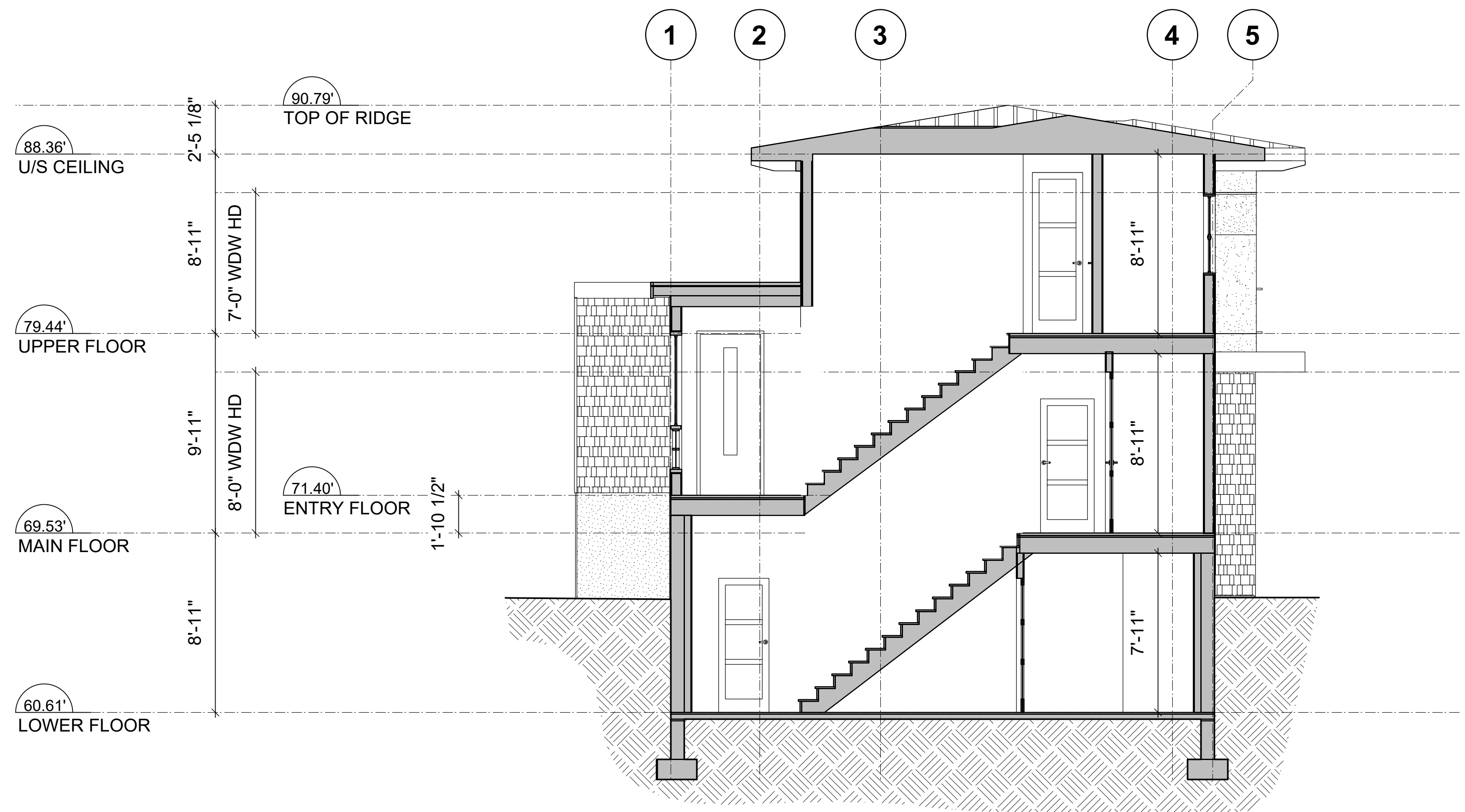
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.5 SM	108.5 SM	95.4 SM	269.4 SM
GARAGE EXCLUSIONS	0.0 SM	41.0 SM	0.0 SM	41.0 SM
BASEMENT EXCLUSIONS 12.67%	8.3 SM	0.0 SM	0.0 SM	8.3 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	57.2 SM	67.5 SM	95.4 SM	220.1 SM



REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



1 SECTION A-A
Scale: 1/4" = 1'-0"



B SECTION B-B
Scale: 1/4" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT C

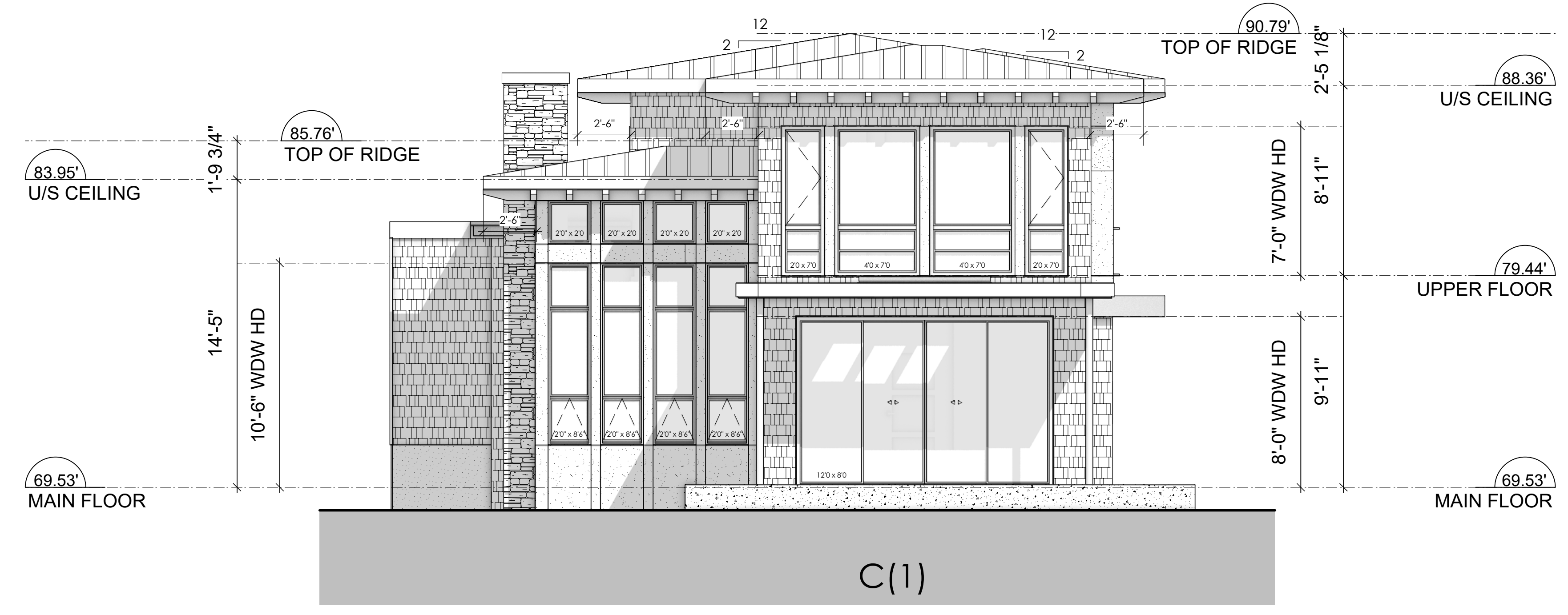
DRAWING
SECTIONS

PROJECT#	8030	SHEET	AC-3 .01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		



FRONT ELEVATION (WEST)
UNIT C

BASEMENT EXEMPTIONS:
 $(61.74' - 60.61' / 69.53' - 60.61') \times 100 = 12.67\%$
 $704.9 \text{ (gross area)} \times 12.67\% = 89.3 \text{ SF (exemption)}$



BACK ELEVATION (EAST)
UNIT C

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



PROJECT

AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

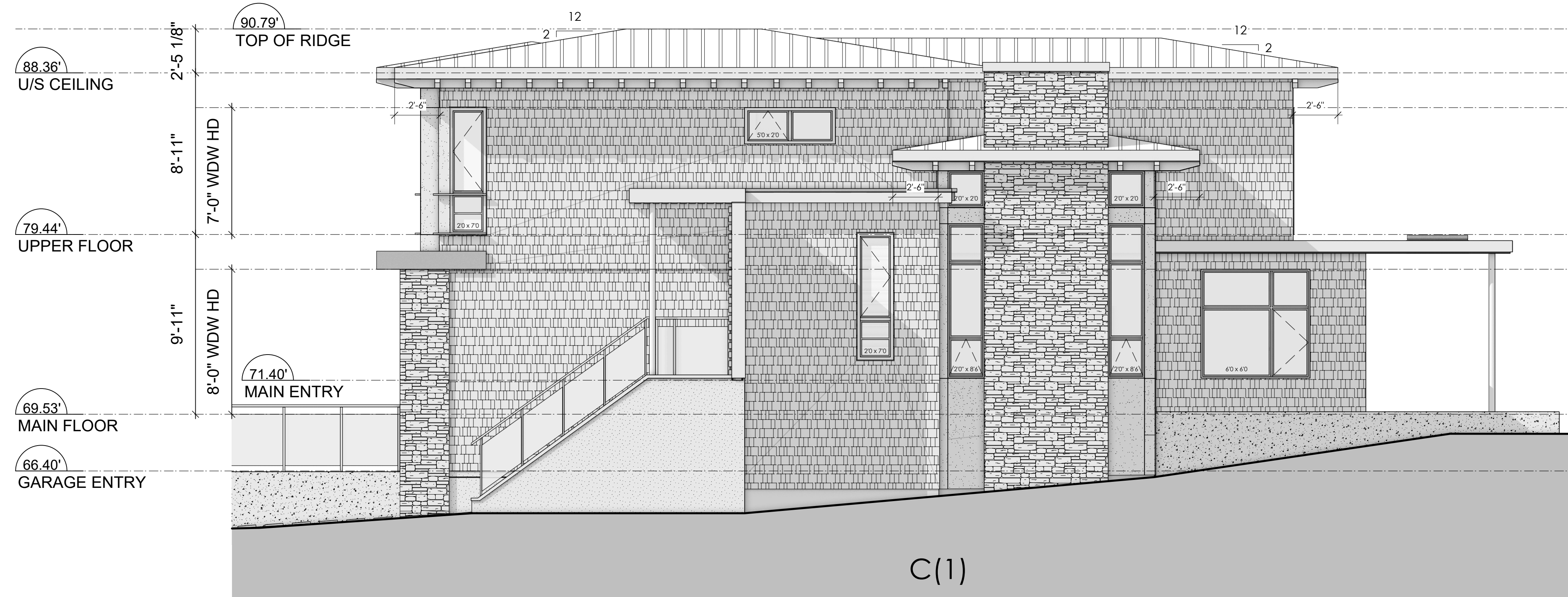
UNIT C

DRAWING

FRONT & BACK
 ELEVATIONS B/W

PROJECT#	8030	SHEET	AC-4 .01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRG/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

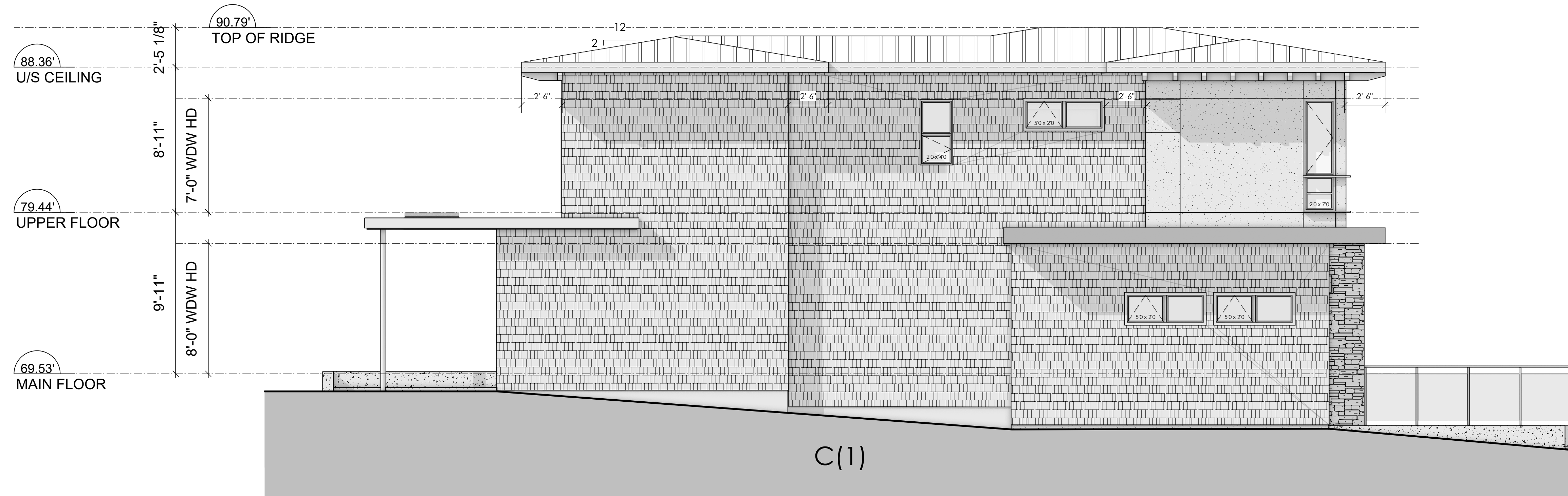


SOUTH ELEVATION

UNIT C

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1.-D)

EXPOSED BUILDING FACE:	1160.29 SF (107.79 SM)
LIMITING DISTANCE:	11.5' (3.50 M)
UNPROTECTED OPENING:	100.17 SF (9.30 SM)
PROPOSED OPENING:	8.63%
PERMITTED OPENINGS:	27.69%



NORTH ELEVATION

UNIT C

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1.-D)

EXPOSED BUILDING FACE:	1046.33 SF (108.81 SM)
LIMITING DISTANCE:	4.02' (1.23 M)
UNPROTECTED OPENING:	41.19 SF (12.55 SM)
PROPOSED OPENING:	3.93%
PERMITTED OPENINGS:	14.17%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT C

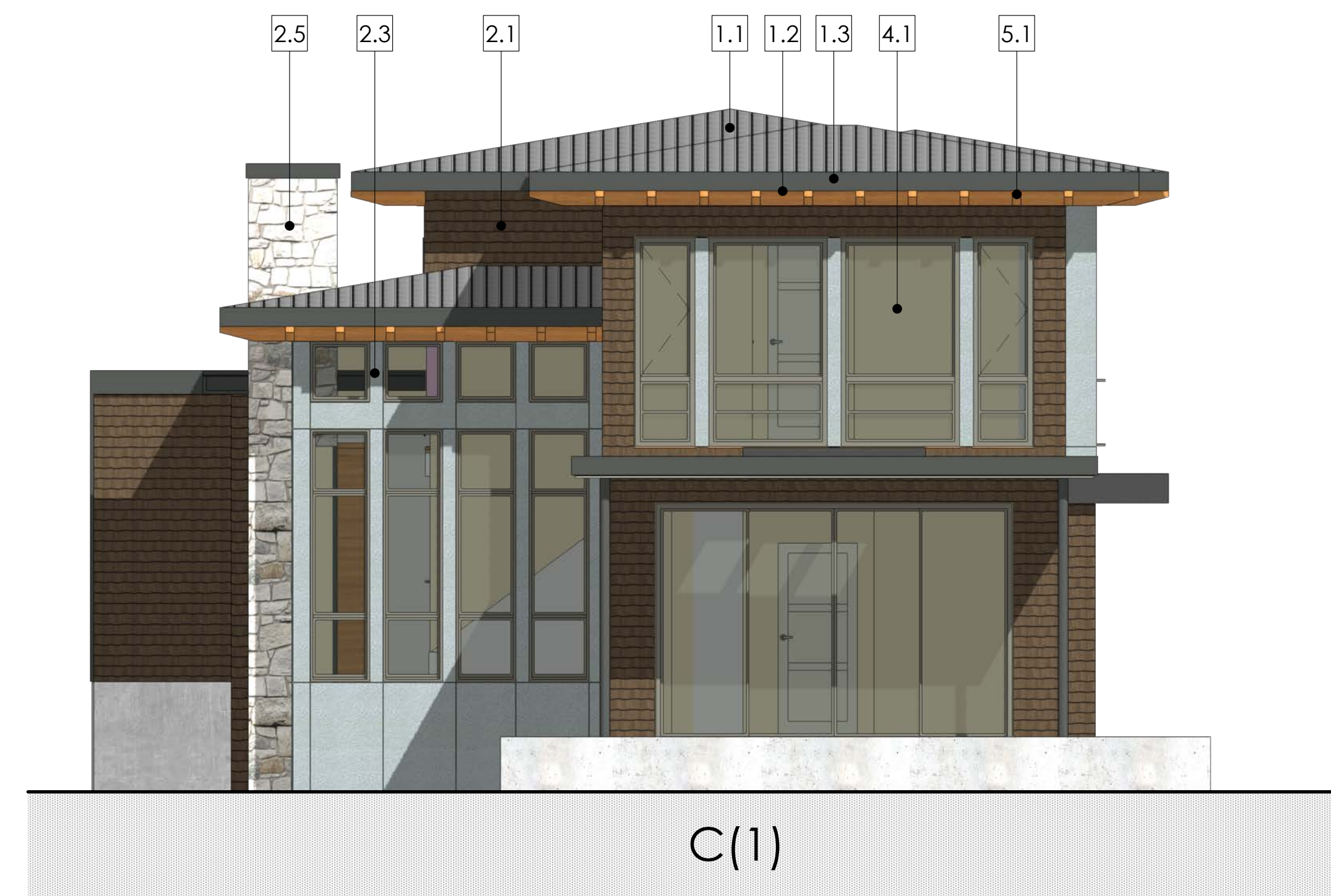
DRAWING
 SOUTH & NORTH ELEVATIONS B/W

PROJECT#	SHEET
8030	AC-4 .02
SCALE	
DATE	

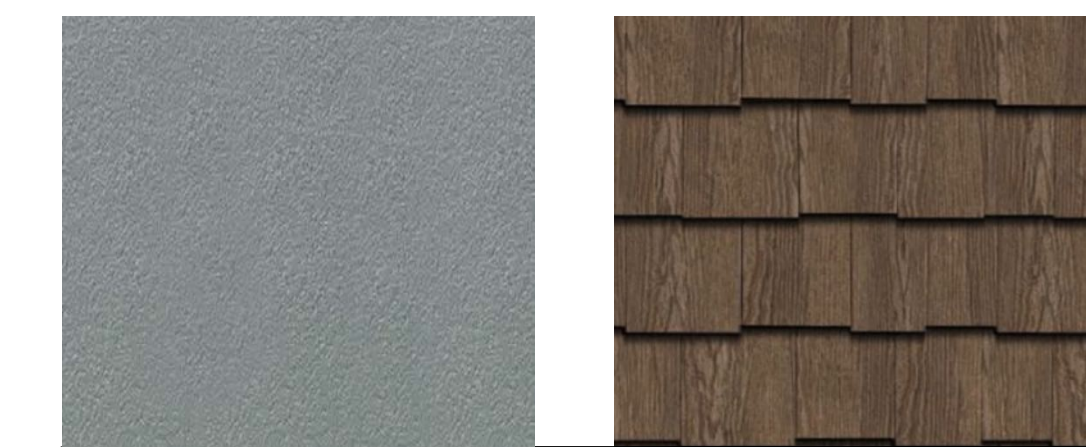
1/4" = 1'-0"
 OCT 1, 2023



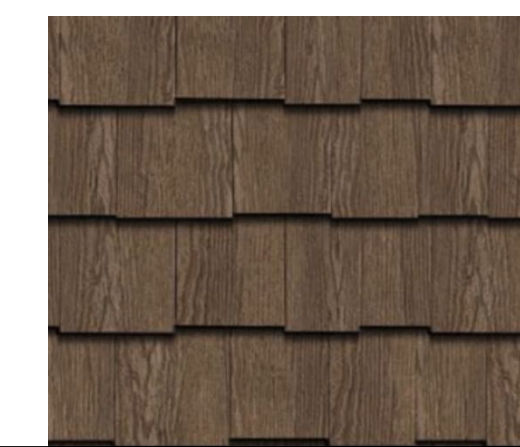
FRONT ELEVATION (WEST)
UNIT C



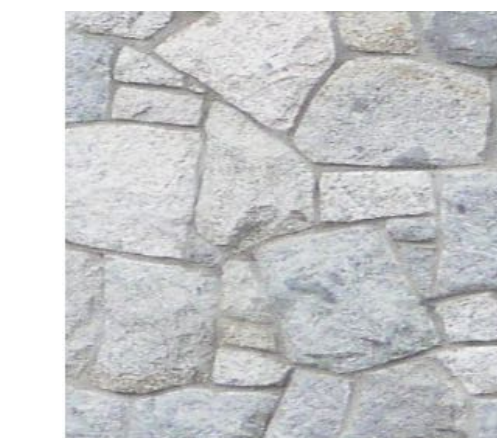
BACK ELEVATION (EAST)
UNIT C



HARDY PANEL



FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

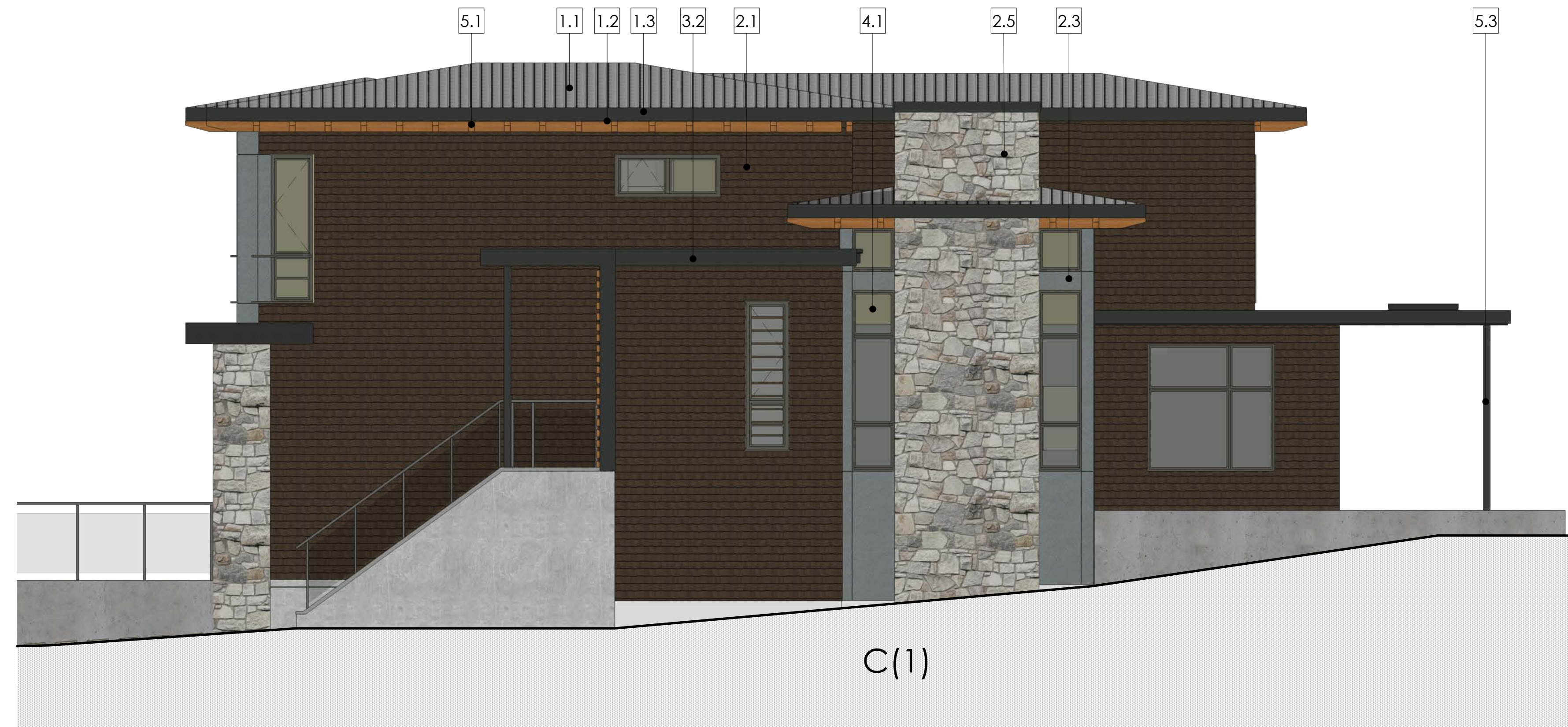


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT C

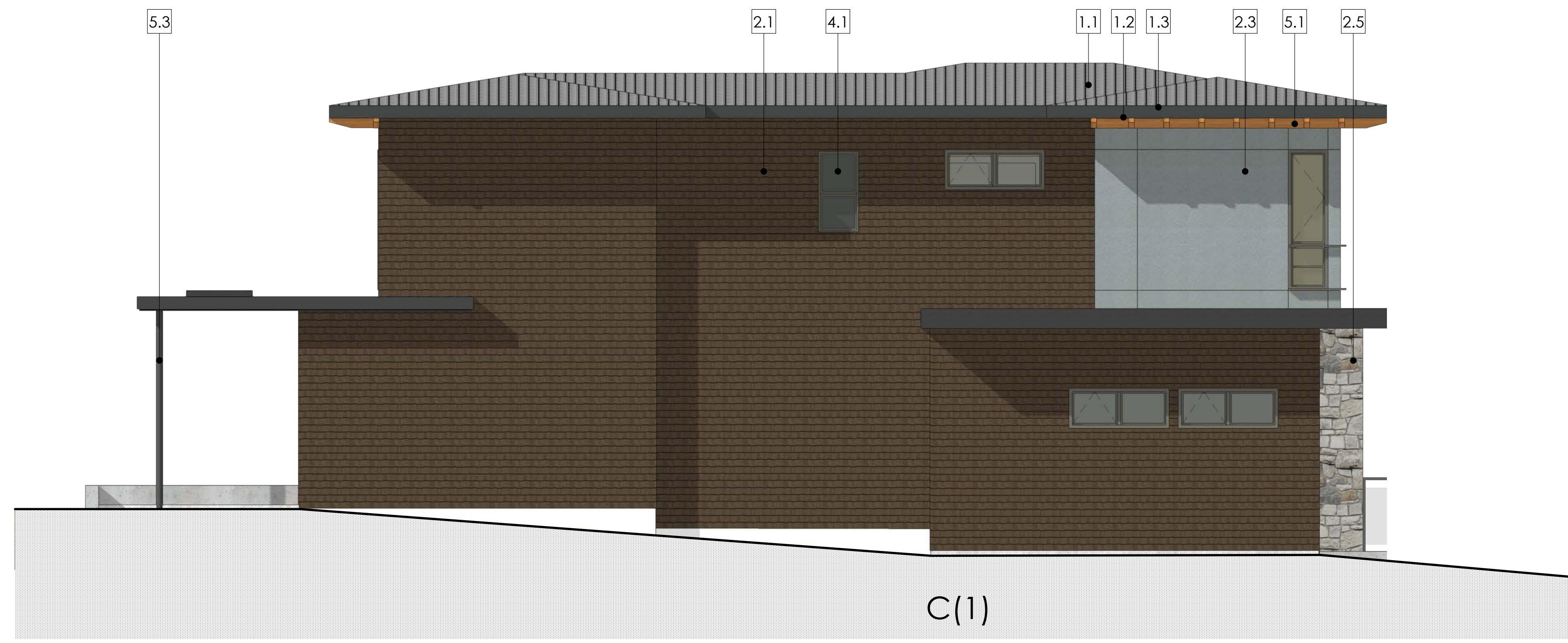
DRAWING
**FRONT & BACK
ELEVATIONS**

PROJECT#	8030	SHEET	AC-4 .03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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SOUTH ELEVATION
UNIT C



NORTH ELEVATION
UNIT C

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT C

DRAWING
SOUTH & NORTH ELEVATIONS

PROJECT#	8030	SHEET	AC-4 .04
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



FRONT ELEVATION - CAMERA VIEW
UNIT C



SIDE ELEVATION - CAMERA VIEW
UNIT C



BACK ELEVATION - CAMERA VIEW
UNIT C



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT C

DRAWING
FRONT, BACK &
SIDE ELEVATIONS
- CAMERA VIEW

PROJECT#	SHEET	
8030	AC-4 .05	
SCALE		N.T.S.
DATE		OCT 1, 2023

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REVISIONS

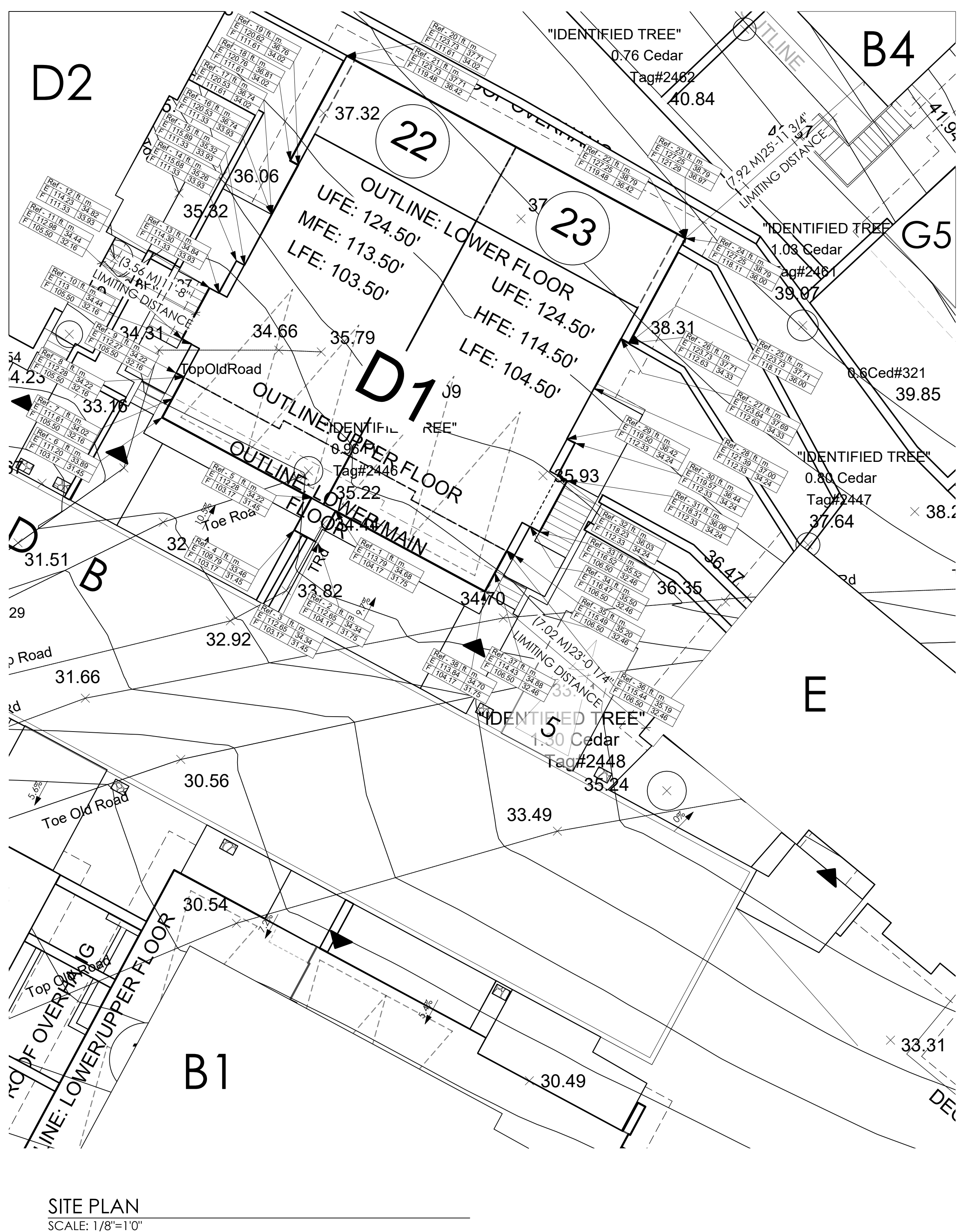
Issued for DP/Rezoning	Aug 31, 2021
DRG/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

D1 - AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	104.07	2	104.17	104.12	4.00	416.48
2	104.17	3	103.17	103.67	0.00	0.00
3	103.17	4	103.17	103.17	3.00	309.51
4	103.17	5	103.17	103.17	4.00	412.68
5	103.17	6	103.17	103.17	18.50	1908.65
6	103.17	7	105.50	104.34	2.33	243.41
7	105.50	8	105.50	105.50	2.67	281.37
8	105.50	9	105.50	105.50	1.00	105.50
9	105.50	10	105.50	105.50	3.55	374.74
10	105.50	11	105.50	105.50	1.17	123.12
11	105.50	12	111.33	108.42	6.37	690.06
12	111.33	13	111.33	111.33	1.17	129.92
13	111.33	14	111.33	111.33	4.00	445.32
14	111.33	15	111.33	111.33	1.00	111.33
15	111.33	16	111.33	111.33	6.25	695.81
16	111.33	17	111.61	111.47	0.00	0.00
17	111.61	18	111.61	111.61	6.13	683.61
18	111.61	19	111.61	111.61	1.00	111.61
19	111.61	20	111.61	111.61	13.00	1450.93
20	111.61	21	119.48	115.55	0.00	0.00
21	119.48	22	119.48	119.48	42.00	5018.16
22	119.48	23	121.29	120.39	0.00	0.00
23	121.29	24	118.11	119.70	0.00	0.00
24	118.11	25	118.11	118.11	13.00	1535.43
25	118.11	26	112.63	115.37	0.00	0.00
26	112.63	27	112.63	112.63	1.00	112.63
27	112.63	28	112.33	112.48	6.13	689.94
28	112.33	29	112.33	112.33	6.25	702.06
29	112.33	30	112.33	112.33	1.00	112.33
30	112.33	31	112.33	112.33	4.00	449.32
31	112.33	32	112.33	112.33	1.17	131.09
32	112.33	33	106.50	109.42	6.37	696.43
33	106.50	34	106.50	106.50	1.17	124.29
34	106.50	35	106.50	106.50	3.55	378.29
35	106.50	36	106.50	106.50	1.00	106.50
36	106.50	37	106.50	106.50	2.67	284.04
37	106.50	38	113.84	110.17	2.33	257.03
38	113.84	1	104.07	108.96	18.50	2015.67
Total					189.25	21106.24
AVG Finish Grade						111.52
Max. Bldg Height (Ft):	29.85					141.37

D1 - AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	113.79	2	112.65	113.22	4.00	452.88
2	112.65	3	112.65	112.65	0.00	0.00
3	112.65	4	109.79	111.22	3.00	333.66
4	109.79	5	112.28	111.04	4.00	444.14
5	112.28	6	111.20	111.74	18.50	2067.19
6	111.20	7	111.61	111.41	2.33	259.91
7	111.61	8	112.28	111.95	2.67	293.56
8	112.28	9	112.27	112.28	1.00	112.28
9	112.27	10	113.00	112.64	3.55	400.08
10	113.00	11	112.98	112.99	1.17	131.86
11	112.98	12	114.23	113.61	6.37	723.10
12	114.23	13	114.30	114.27	1.17	133.35
13	114.30	14	115.68	114.99	4.00	459.96
14	115.68	15	115.89	115.79	1.00	115.79
15	115.89	16	120.53	118.21	6.25	738.81
16	120.53	17	120.53	120.53	0.00	0.00
17	120.53	18	120.76	120.65	6.13	738.95
18	120.76	19	120.62	120.69	1.00	120.69
19	120.62	20	123.73	122.18	13.00	1588.28
20	123.73	21	123.73	123.73	0.00	0.00
21	123.73	22	127.25	125.49	42.00	5270.58
22	127.25	23	127.25	127.25	0.00	0.00
23	127.25	24	127.25	127.25	0.00	0.00
24	127.25	25	123.73	125.49	13.00	1631.37
25	123.73	26	123.73	123.73	0.00	0.00
26	123.73	27	123.64	123.69	1.00	123.69
27	123.64	28	121.39	122.52	6.13	750.40
28	121.39	29	119.50	120.45	6.25	752.78
29	119.50	30	119.57	119.54	1.00	119.54
30	119.57	31	118.23	118.90	4.00	475.60
31	118.23	32	118.31	118.27	1.17	138.02
32	118.31	33	116.52	117.42	6.37	747.35
33	116.52	34	116.47	116.50	1.17	135.95
34	116.47	35	115.49	115.98	3.55	411.96
35	115.49	36	115.44	115.47	1.00	115.47
36	115.44	37	114.43	114.94	2.67	306.53
37	114.43	38	113.84	114.14	2.33	266.28
38	113.84	1	113.79	113.82	18.50	2105.58
Total					189.25	22470.55
AVG Existing Grade						118.73
Max. Bldg Height (Ft):	29.85					148.58

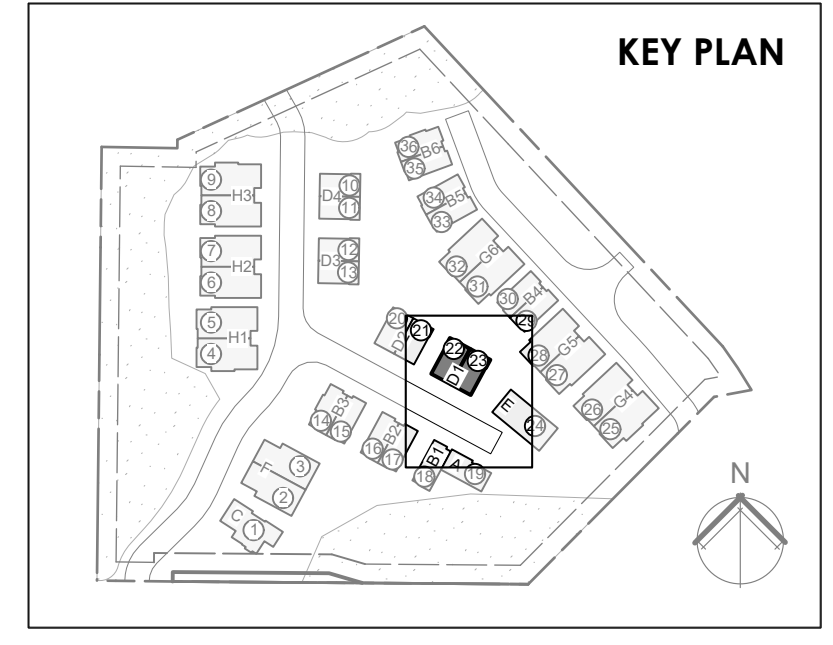


TOP OF FINISH FLOOR - D1 (22)

Lower	Main	Upper
31.55 m 103.50'	34.59 m 113.50'	37.95 m 124.50'

TOP OF FINISH FLOOR - D1 (23)

Lower	Main	Upper
31.85 m 104.50'	34.90 m 114.50'	37.95 m 124.50'



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D1

DRAWING
SITE PLAN

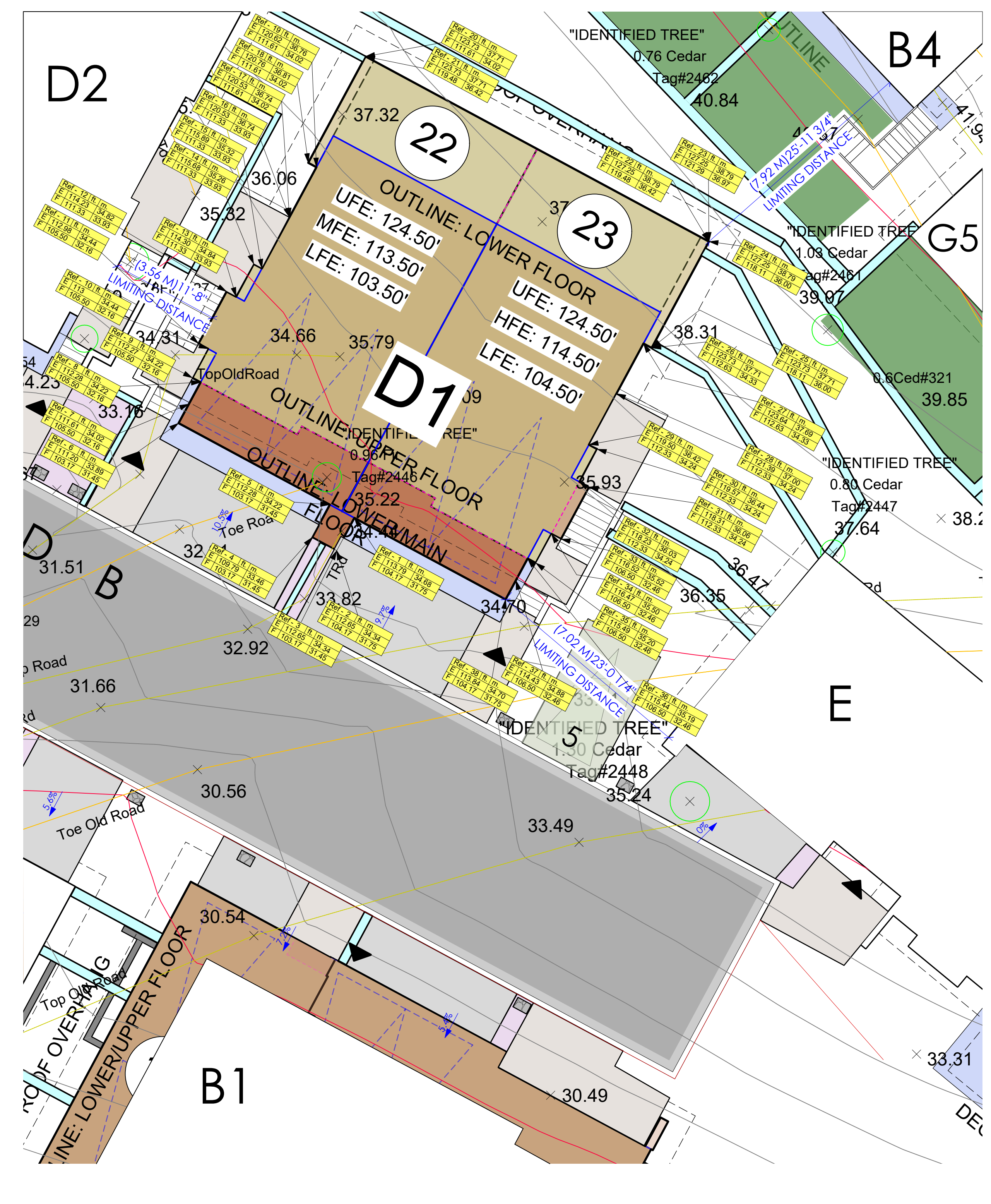
PROJECT# 8030
SCALE 1/8"=1'-0"
DATE OCT 1, 2023
SHEET **AD1-1.01**

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

D1 - AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	104.07	2	104.17	104.12	4.00	416.48
2	104.17	3	103.17	103.67	0.00	0.00
3	103.17	4	103.17	103.17	3.00	309.51
4	103.17	5	103.17	103.17	4.00	412.68
5	103.17	6	103.17	103.17	18.50	1908.65
6	103.17	7	105.50	104.34	2.33	243.41
7	105.50	8	105.50	105.50	2.67	281.37
8	105.50	9	105.50	105.50	1.00	105.50
9	105.50	10	105.50	105.50	3.55	374.74
10	105.50	11	105.50	105.50	1.17	123.12
11	105.50	12	111.33	108.42	6.37	690.06
12	111.33	13	111.33	111.33	1.17	129.92
13	111.33	14	111.33	111.33	4.00	445.32
14	111.33	15	111.33	111.33	1.00	111.33
15	111.33	16	111.33	111.33	6.25	695.81
16	111.33	17	111.61	111.47	0.00	0.00
17	111.61	18	111.61	111.61	6.13	683.61
18	111.61	19	111.61	111.61	1.00	111.61
19	111.61	20	111.61	111.61	13.00	1450.93
20	111.61	21	119.48	115.55	0.00	0.00
21	119.48	22	119.48	119.48	42.00	5018.16
22	119.48	23	121.29	120.39	0.00	0.00
23	121.29	24	118.11	119.70	0.00	0.00
24	118.11	25	118.11	118.11	13.00	1535.43
25	118.11	26	112.63	115.37	0.00	0.00
26	112.63	27	112.63	112.63	1.00	112.63
27	112.63	28	112.33	112.48	6.13	689.94
28	112.33	29	112.33	112.33	6.25	702.06
29	112.33	30	112.33	112.33	1.00	112.33
30	112.33	31	112.33	112.33	4.00	449.32
31	112.33	32	112.33	112.33	1.17	131.09
32	112.33	33	106.50	109.42	6.37	696.43
33	106.50	34	106.50	106.50	1.17	124.29
34	106.50	35	106.50	106.50	3.55	378.29
35	106.50	36	106.50	106.50	1.00	106.50
36	106.50	37	106.50	106.50	2.67	284.04
37	106.50	38	113.84	110.17	2.33	257.03
38	113.84	1	104.07	108.96	18.50	2015.67
Total					189.25	21106.24
AVG Finish Grade						111.52
Max. Bldg Height (Ft):				29.85		141.37

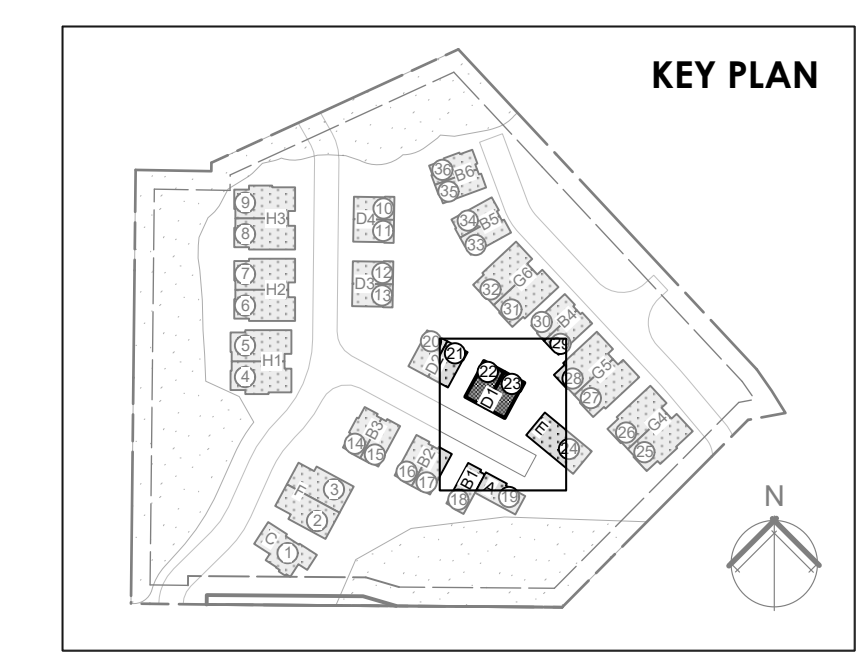
D1 - AVERAGE EXISTING GRADE CALCULATION						
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1	113.79	2	112.65	113.22	4.00	452.88
2	112.65	3	112.65	112.65	0.00	0.00
3	112.65	4	109.79	111.22	3.00	333.66
4	109.79	5	112.28	111.04	4.00	444.14
5	112.28	6	111.20	111.74	18.50	2067.19
6	111.20	7	111.61	111.41	2.33	259.91
7	111.61	8	112.28	111.95	2.67	293.56
8	112.28	9	112.27	112.28	1.00	112.28
9	112.27	10	113.00	112.64	3.55	400.08
10	113.00	11	112.98	112.99	1.17	131.86
11	112.98	12	114.23	113.61	6.37	723.10
12	114.23	13	114.30	114.27	1.17	133.35
13	114.30	14	115.68	114.99	4.00	459.96
14	115.68	15	115.89	115.79	1.00	115.79
15	115.89	16	120.53	118.21	6.25	738.81
16	120.53	17	120.53	120.53	0.00	0.00
17	120.53	18	120.76	120.65	6.13	738.95
18	120.76	19	120.62	120.69	1.00	120.69
19	120.62	20	123.73	122.18	13.00	1588.28
20	123.73	21	123.73	123.73	0.00	0.00
21	123.73	22	127.25	125.49	42.00	5270.58
22	127.25	23	127.25	127.25	0.00	0.00
23	127.25	24	127.25	127.25	0.00	0.00
24	127.25	25	123.73	125.49	13.00	1631.37
25	123.73	26	123.73	123.73	0.00	0.00
26	123.73	27	123.64	123.69	1.00	123.69
27	123.64	28	121.39	122.52	6.13	750.40
28	121.39	29	119.50	120.45	6.25	752.78
29	119.50	30	119.57	119.54	1.00	119.54
30	119.57	31	118.23	118.90	4.00	475.60
31	118.23	32	118.31	118.27	1.17	138.02
32	118.31	33	116.52	117.42	6.37	747.35
33	116.52	34	116.47	116.50	1.17	135.95
34	116.47	35	115.49	115.98	3.55	411.96
35	115.49	36	115.44	115.47	1.00	115.47
36	115.44	37	114.43	114.94	2.67	306.53
37	114.43	38	113.84	114.14	2.33	266.28
38	113.84	1	113.79	113.82	18.50	2105.58
Total					189.25	22470.55
AVG Existing Grade						118.73
Max. Bldg Height (Ft):				29.85		148.58



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - D1 (22)		
Lower	Main	Upper
31.55 m 103.50'	34.59 m 113.50'	37.95 m 124.50'

TOP OF FINISH FLOOR - D1 (23)		
Lower	Main	Upper
31.85 m 104.50'	34.90 m 114.50'	37.95 m 124.50'



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

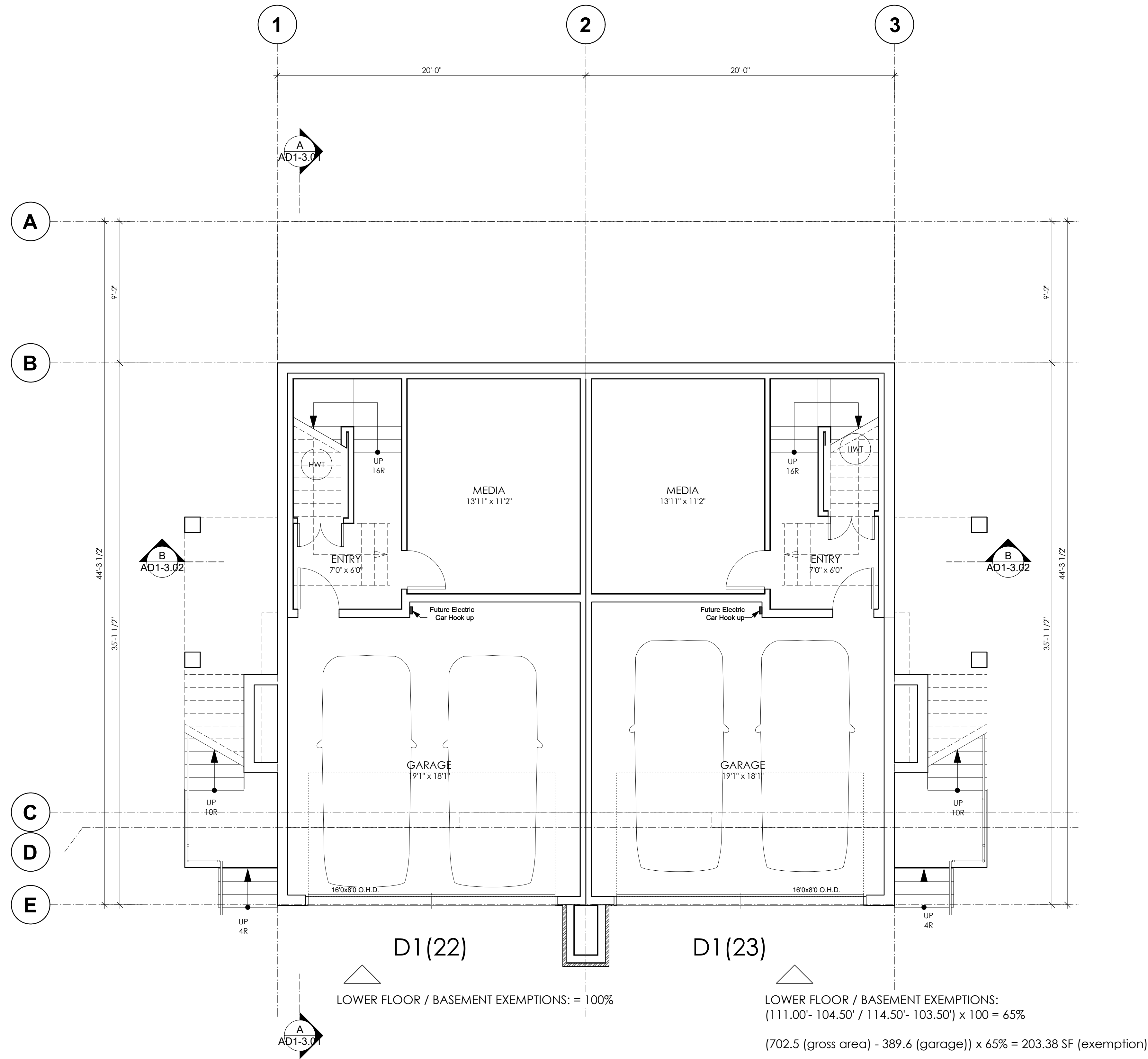
UNIT D1

DRAWING
SITE PLAN

PROJECT#	8030	SHEET AD1-1.01
SCALE	1/8" = 1'-0"	
DATE	OCT 1, 2023	

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



LOWER / ENTRY FLOOR PLAN
UNIT D1

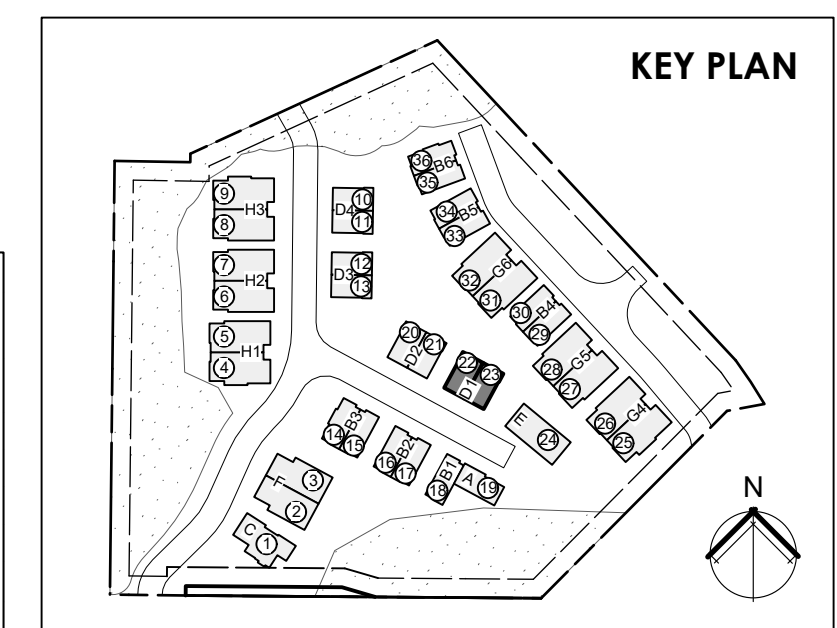
LOWER FLOOR / BASEMENT EXEMPTIONS: = 100%

LOWER FLOOR / BASEMENT EXEMPTIONS:
(111.00' - 104.50' / 114.50' - 103.50') x 100 = 65%
(702.5 (gross area) - 389.6 (garage)) x 65% = 203.38 SF (exemption)



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D1

DRAWING
LOWER FLOOR PLAN



UNIT 22 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.6 SF	804.6 SF	1596.2 SF

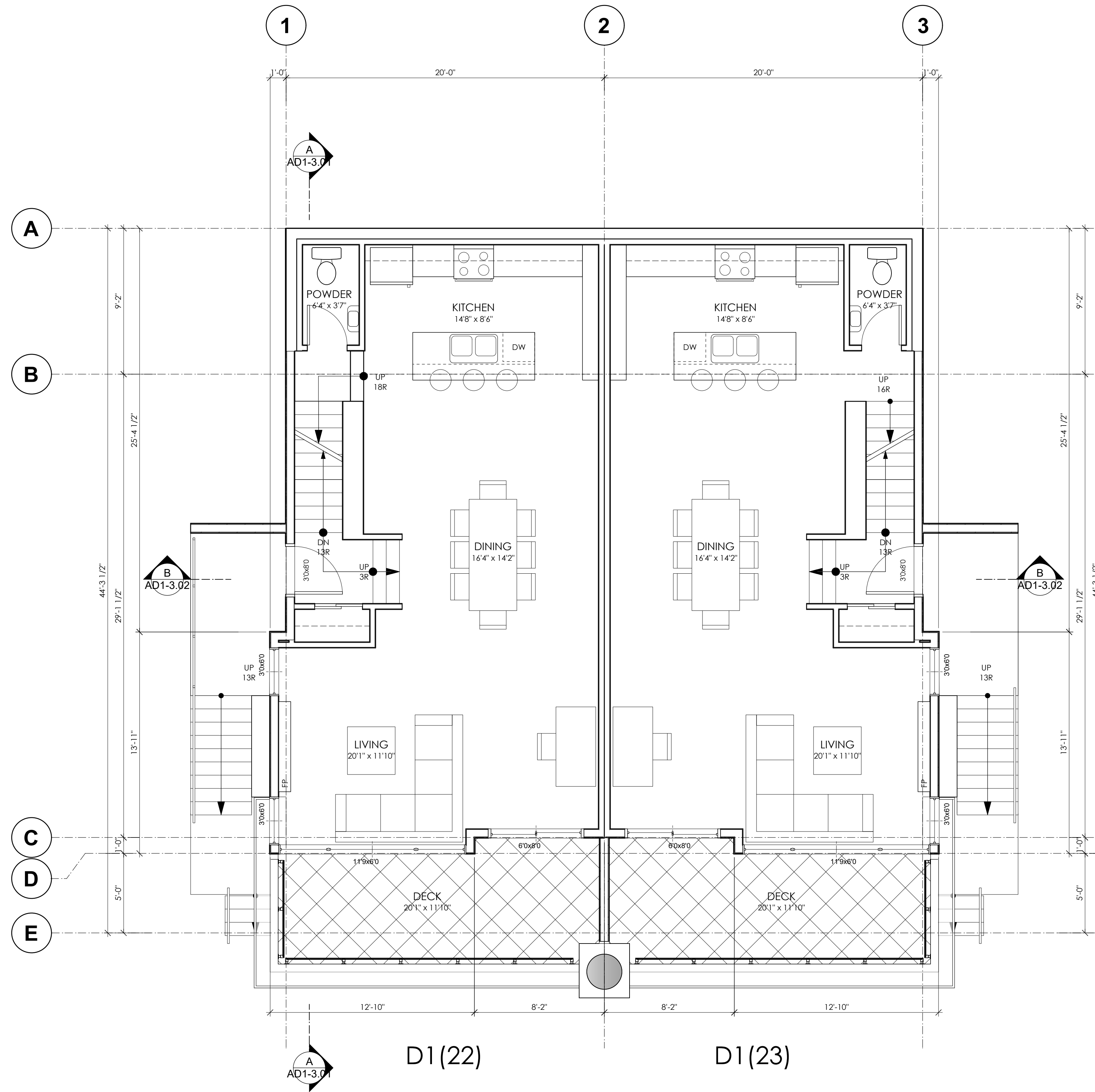
UNIT 22 FLOOR AREAS METRIC	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	73.5 SM	74.7 SM	213.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	73.5 SM	74.7 SM	148.3 SM

UNIT 23 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 65%	203.4 SF	0.0 SF	0.0 SF	203.4 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	109.5 SF	791.6 SF	804.6 SF	1705.7 SF

UNIT 23 FLOOR AREAS METRIC	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	73.5 SM	74.7 SM	213.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 65%	18.9 SM	0.0 SM	0.0 SM	18.9 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	10.2 SM	73.5 SM	74.7 SM	158.5 SM

PROJECT#	8030	SHEET	AD1-2.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

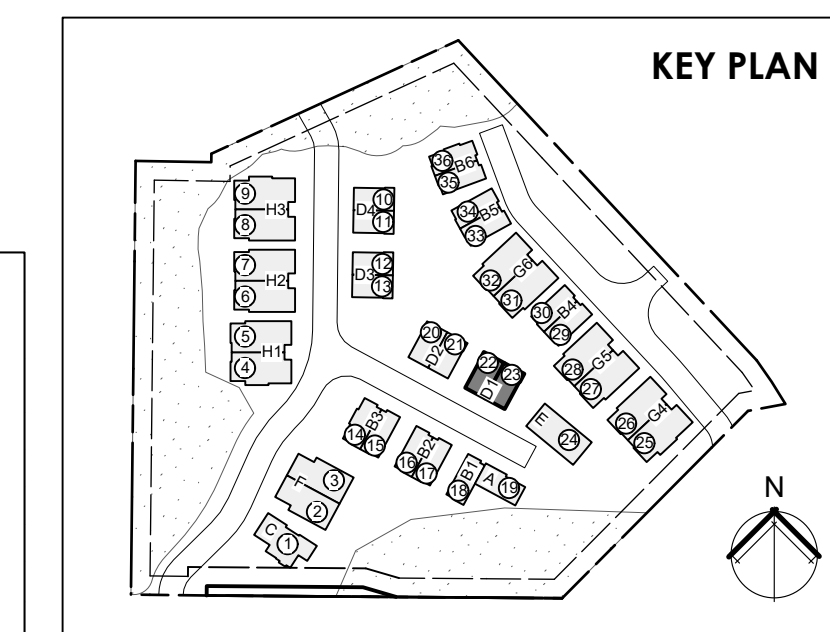


MAIN FLOOR PLAN
UNIT D1



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D1

DRAWING
MAIN FLOOR PLAN



UNIT 22 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.6 SF	804.6 SF	1596.2 SF

UNIT 22 FLOOR AREAS METRIC	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	73.5 SM	74.7 SM	213.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	73.5 SM	74.7 SM	148.3 SM

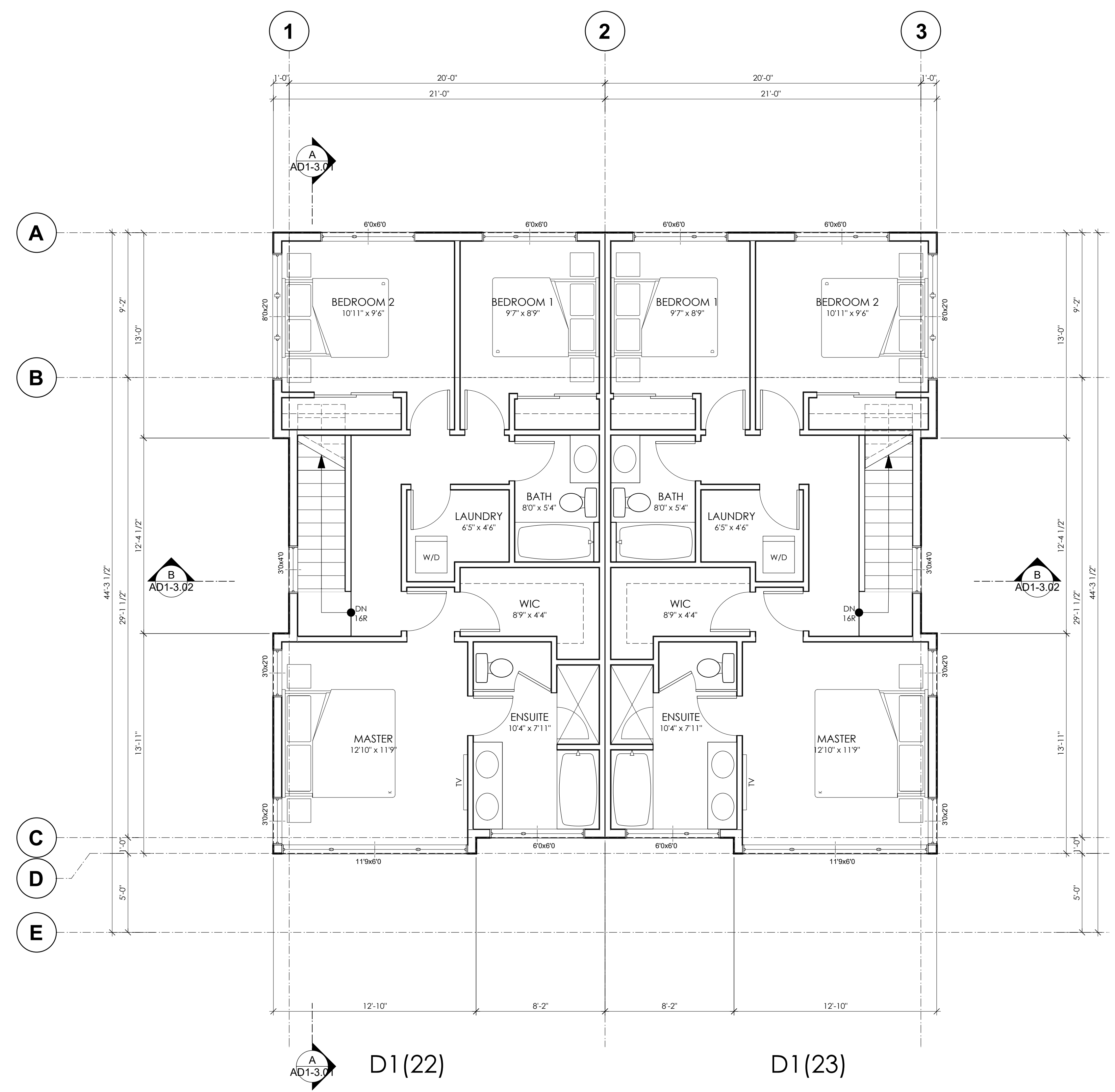
UNIT 23 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 65%	203.4 SF	0.0 SF	0.0 SF	203.4 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	109.5 SF	791.6 SF	804.6 SF	1705.7 SF

UNIT 23 FLOOR AREAS METRIC	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	73.5 SM	74.7 SM	213.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 65%	18.9 SM	0.0 SM	0.0 SM	18.9 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	10.2 SM	73.5 SM	74.7 SM	158.5 SM

PROJECT#	SHEET
8030	AD1-2.02
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

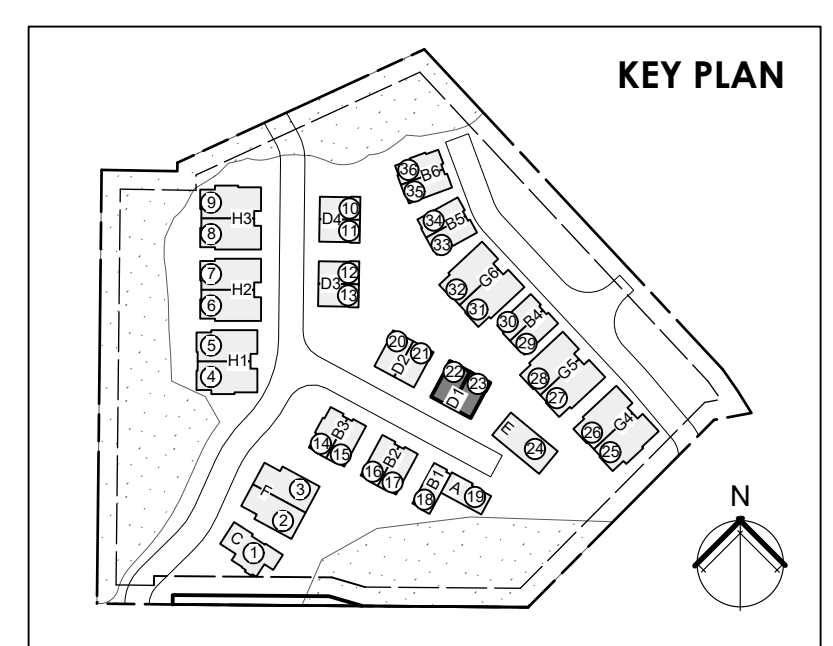


UPPER FLOOR PLAN
UNIT D1



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D1

DRAWING
UPPER FLOOR PLAN



UNIT 22 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.6 SF	804.6 SF	1596.2 SF

UNIT 22 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	73.5 SM	74.7 SM	213.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	73.5 SM	74.7 SM	148.3 SM

UNIT 23 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 65%	203.4 SF	0.0 SF	0.0 SF	203.4 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	109.5 SF	791.6 SF	804.6 SF	1705.7 SF

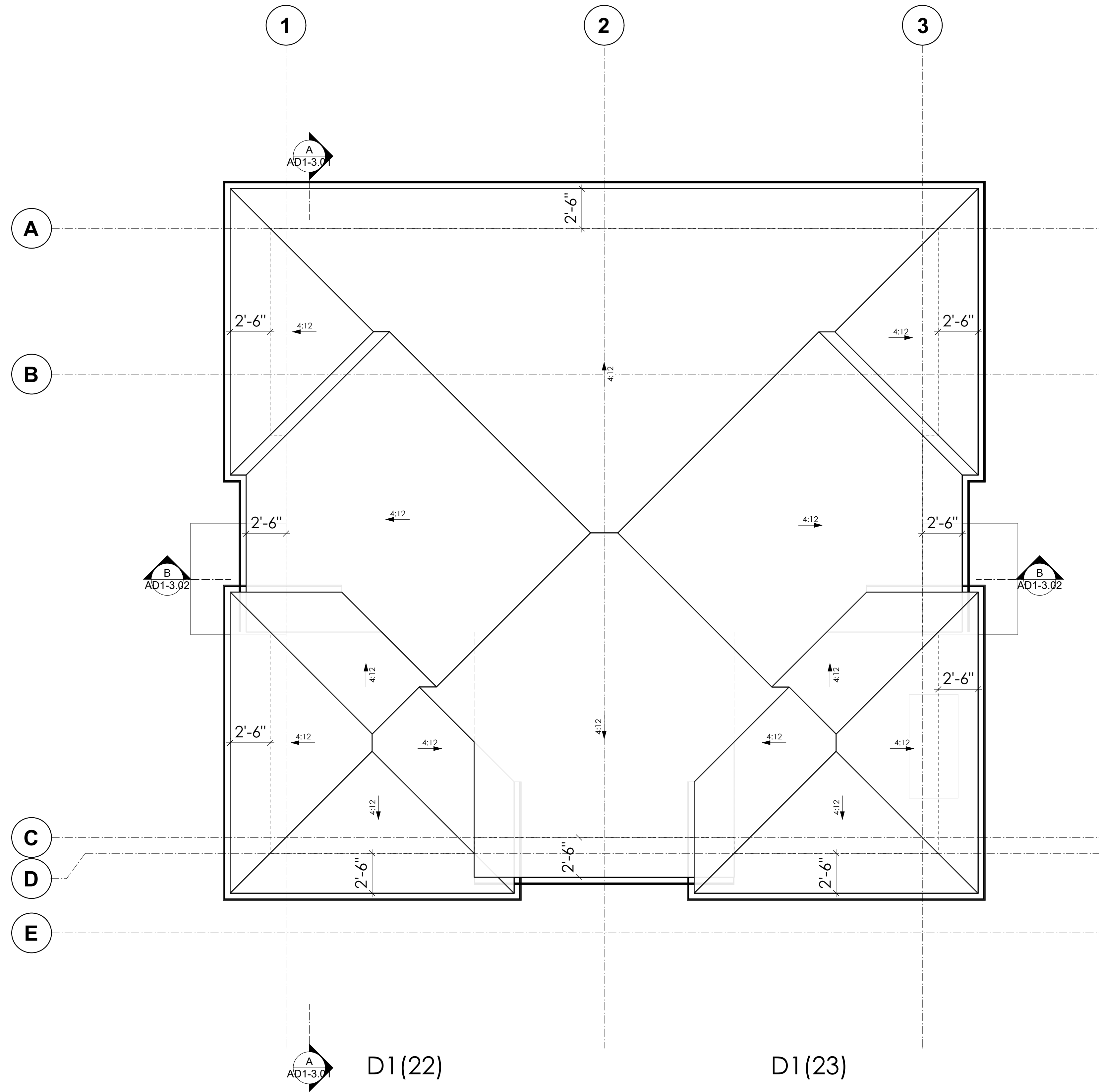
UNIT 23 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	73.5 SM	74.7 SM	213.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 65%	18.9 SM	0.0 SM	0.0 SM	18.9 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	10.2 SM	73.5 SM	74.7 SM	158.5 SM

PROJECT#	8030	SHEET	AD1-2.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

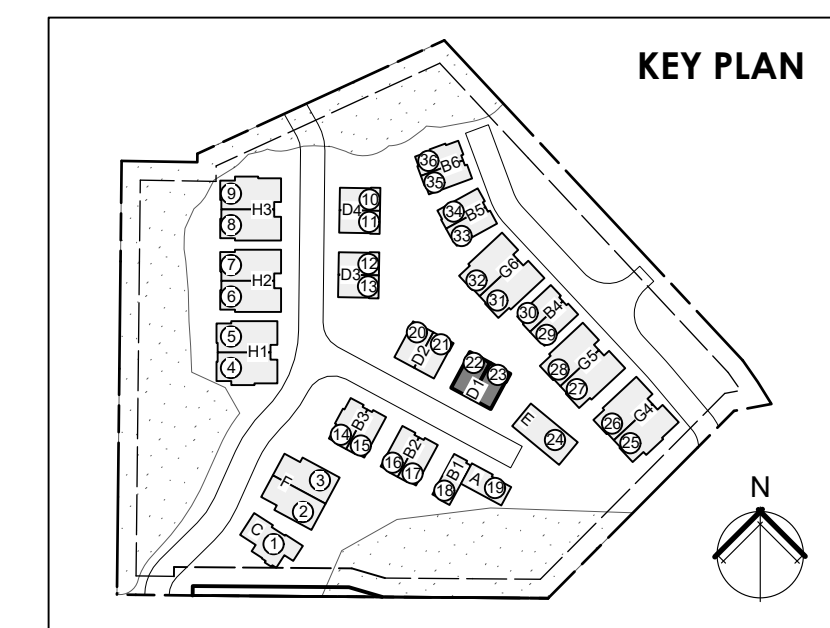


ROOF PLAN
UNIT D1



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D1

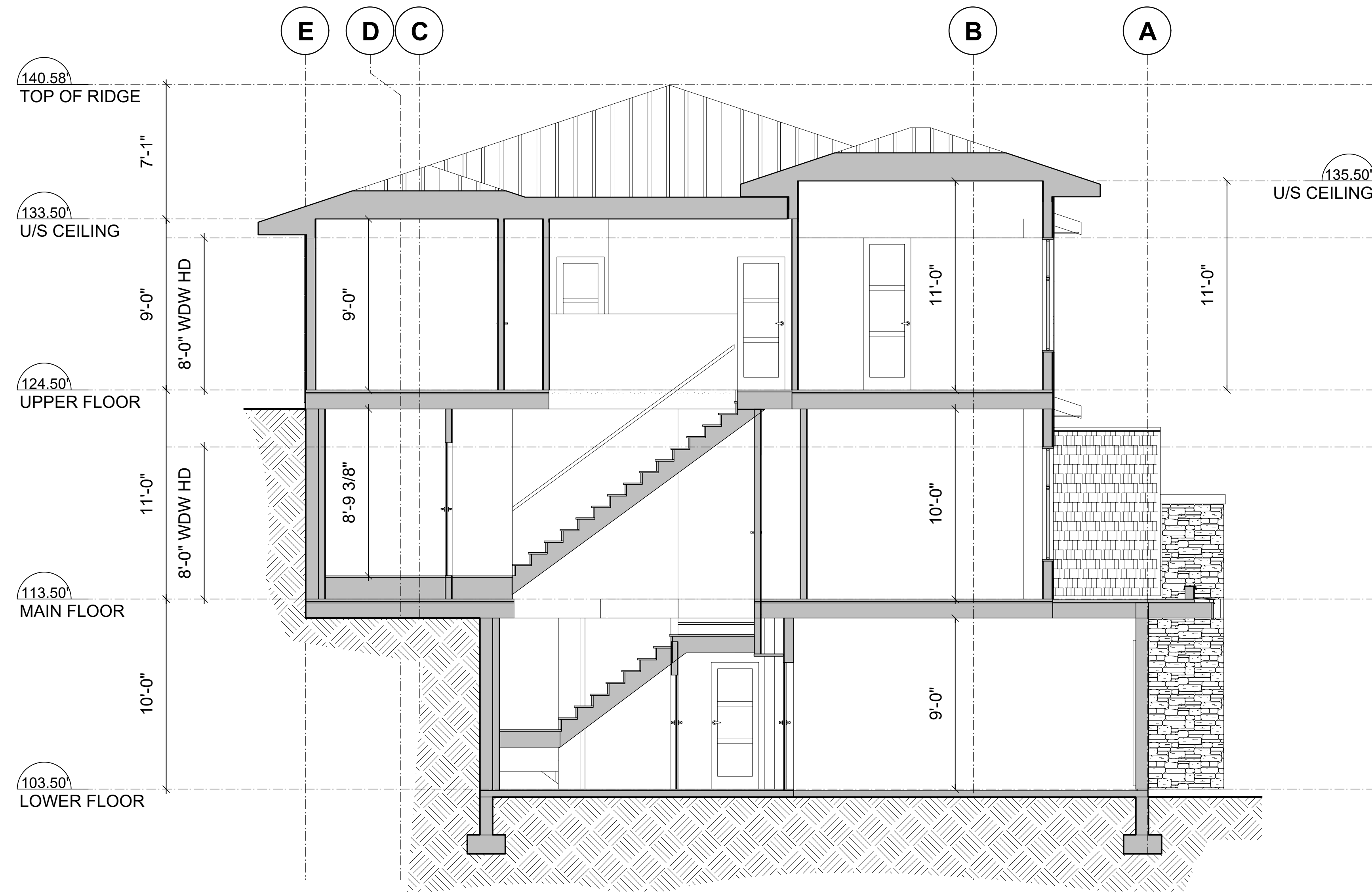
DRAWING
ROOF PLAN



PROJECT#	SHEET
8030	AD1-2.04
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



A SECTION A
Scale: 1/4" = 1'-0"



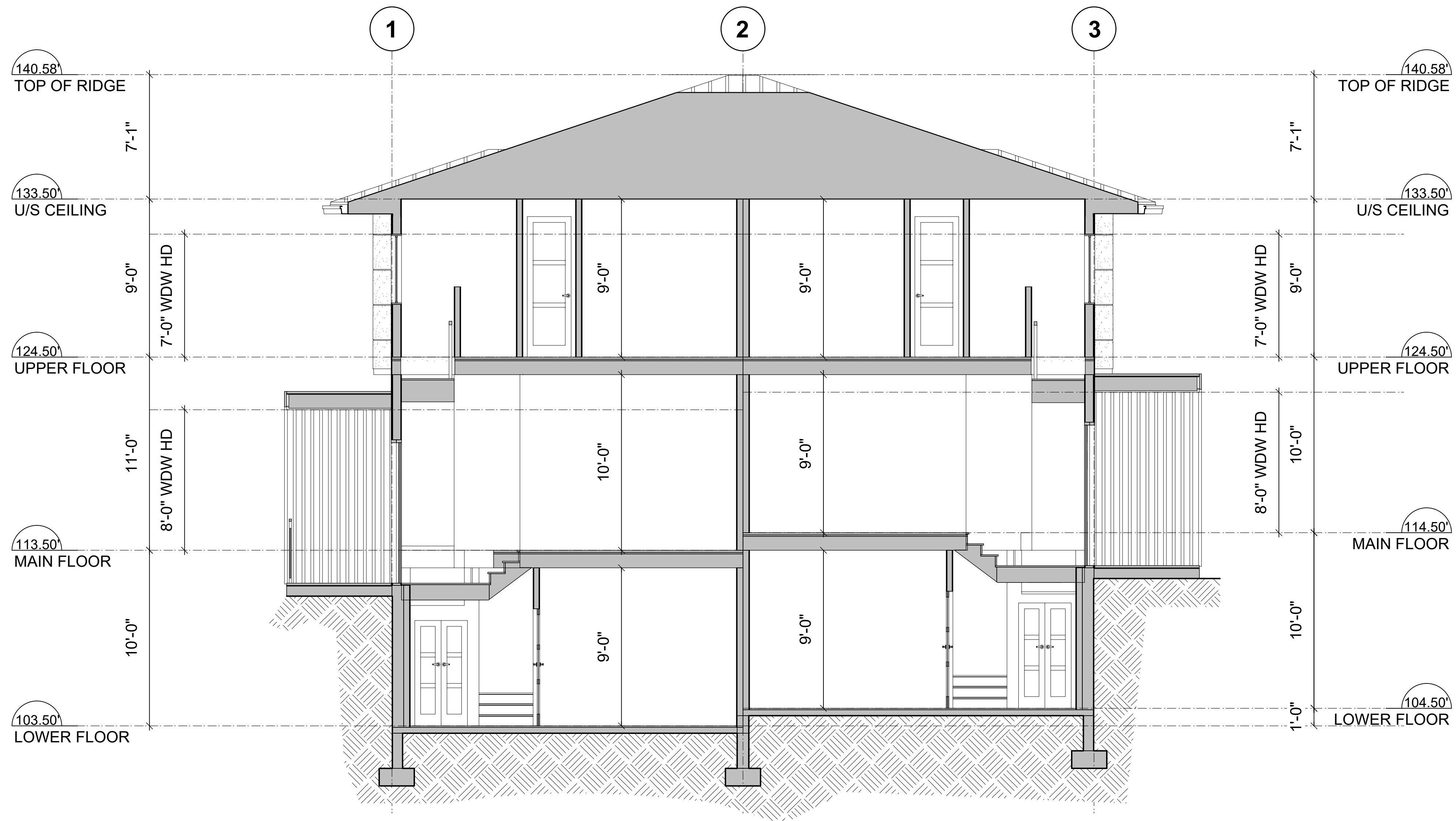
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D1

DRAWING
SECTION A-A

PROJECT#	SHEET
8030	AD1-3.01
SCALE 1/4" = 1'-0"	
DATE OCT 1, 2023	

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



B Section B
Scale: 1/4" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D1

DRAWING
SECTION B-B

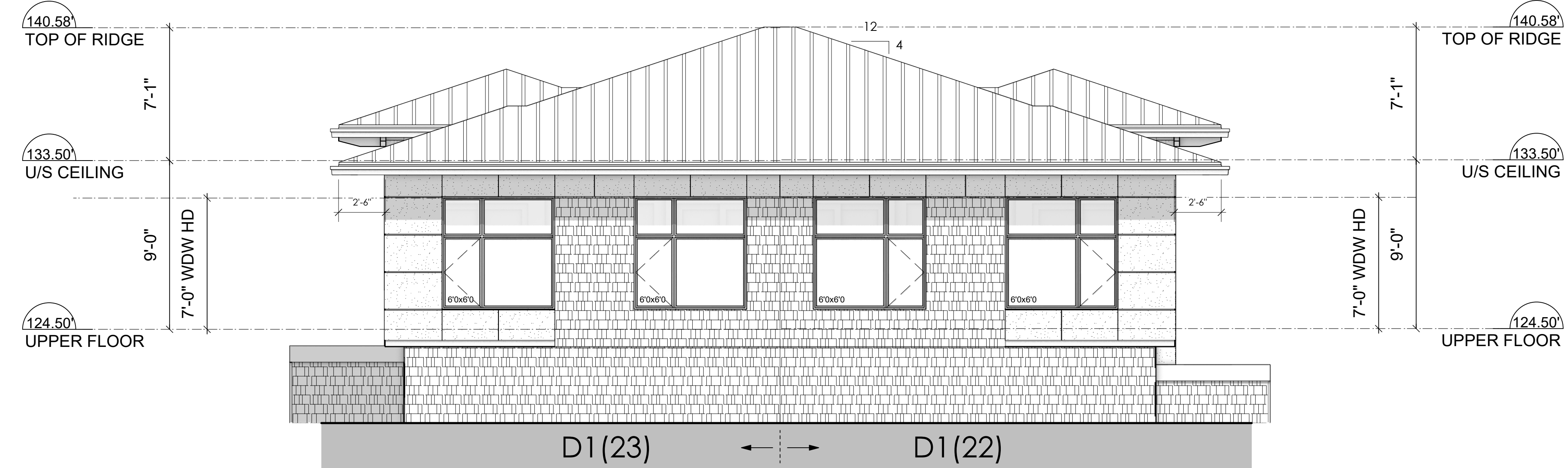
PROJECT#	SHEET
8030	AD1-3.02
SCALE 1/4" = 1'-0"	
DATE OCT 1, 2023	



FRONT ELEVATION
UNIT D1

LOWER FLOOR / BASEMENT EXEMPTIONS: = 100%

LOWER FLOOR / BASEMENT EXEMPTIONS:
(111.00' - 104.50' / 114.50' - 103.50') x 100 = 65%
(702.5 (gross area) - 389.6 (garage)) x 65% = 203.38 SF (exemption)



BACK ELEVATION
UNIT D1

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



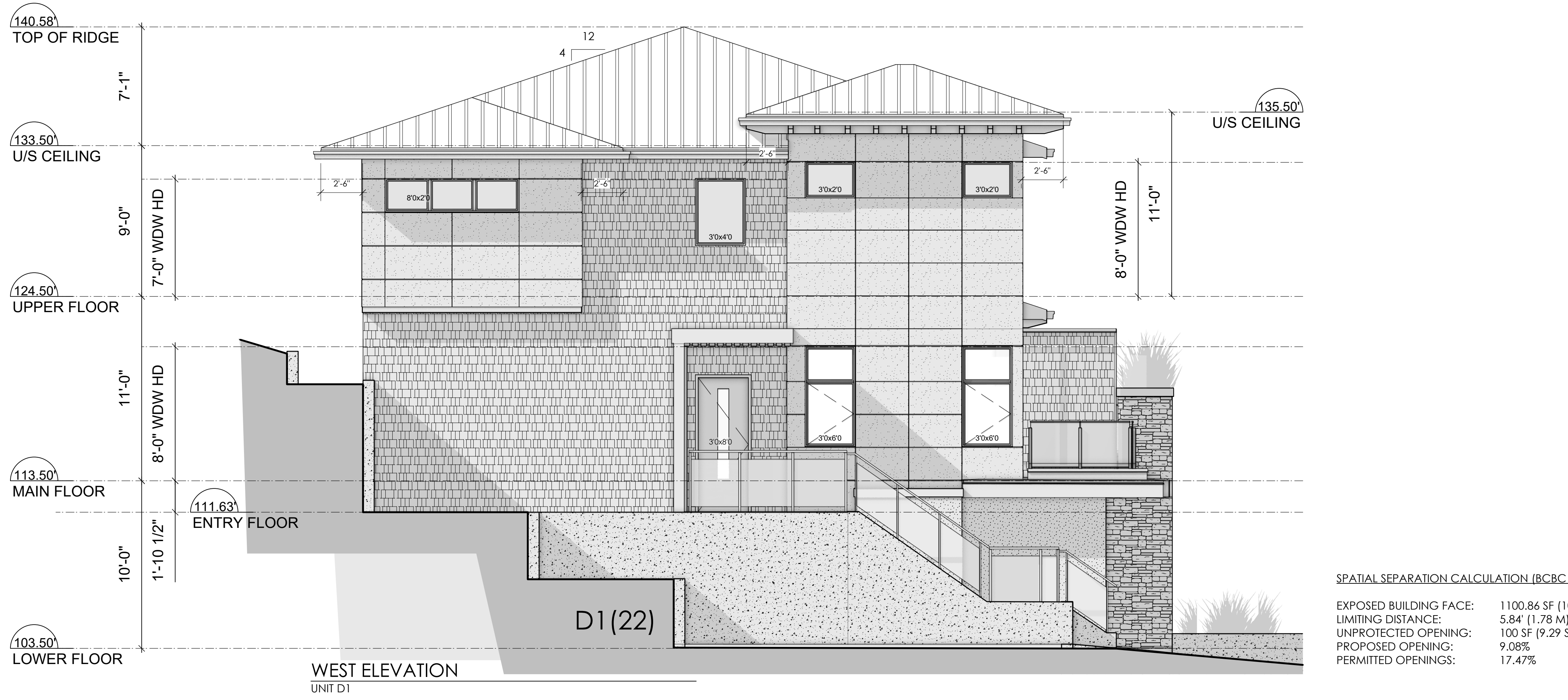
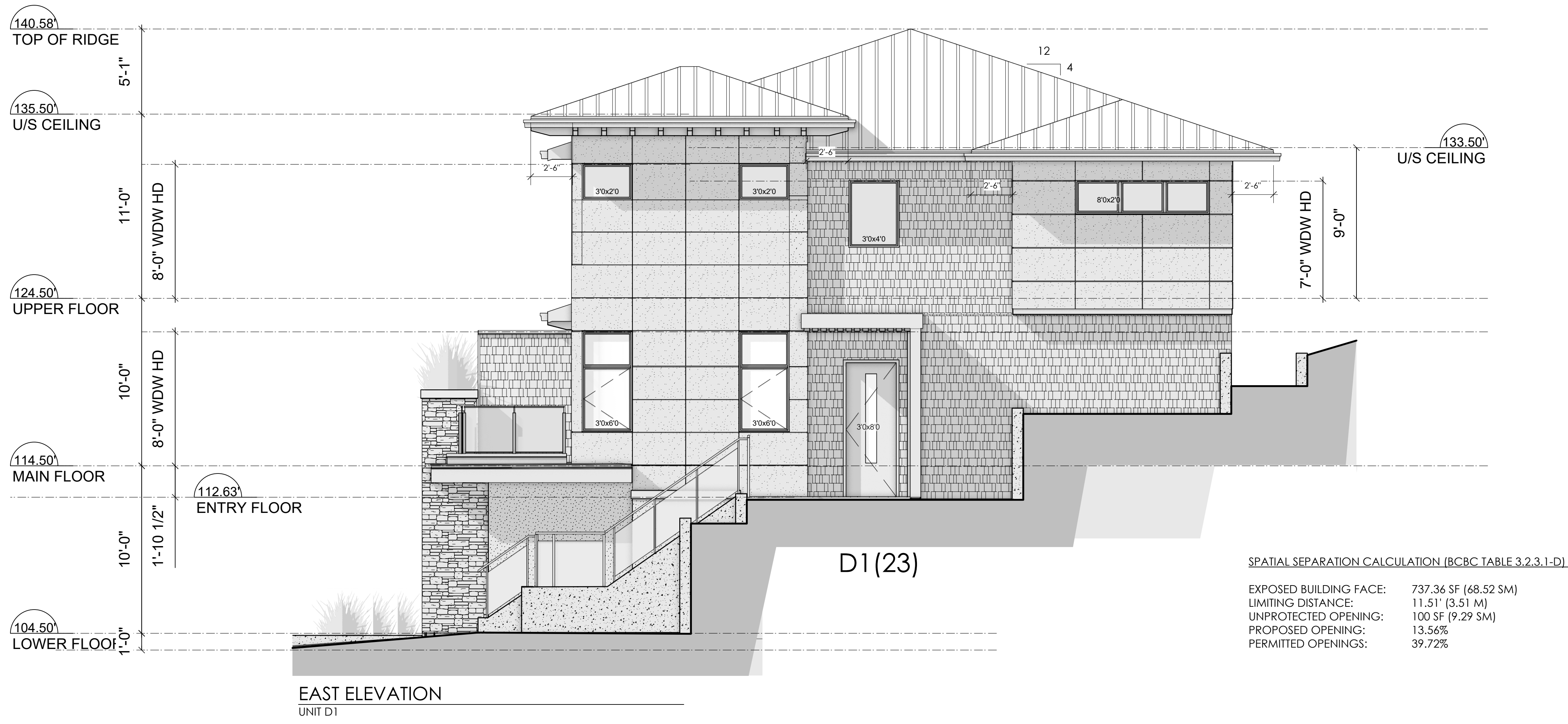
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D1

DRAWING
FRONT & BACK ELEVATIONS B/W

PROJECT#	8030	SHEET	AD1-4.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



PROJECT

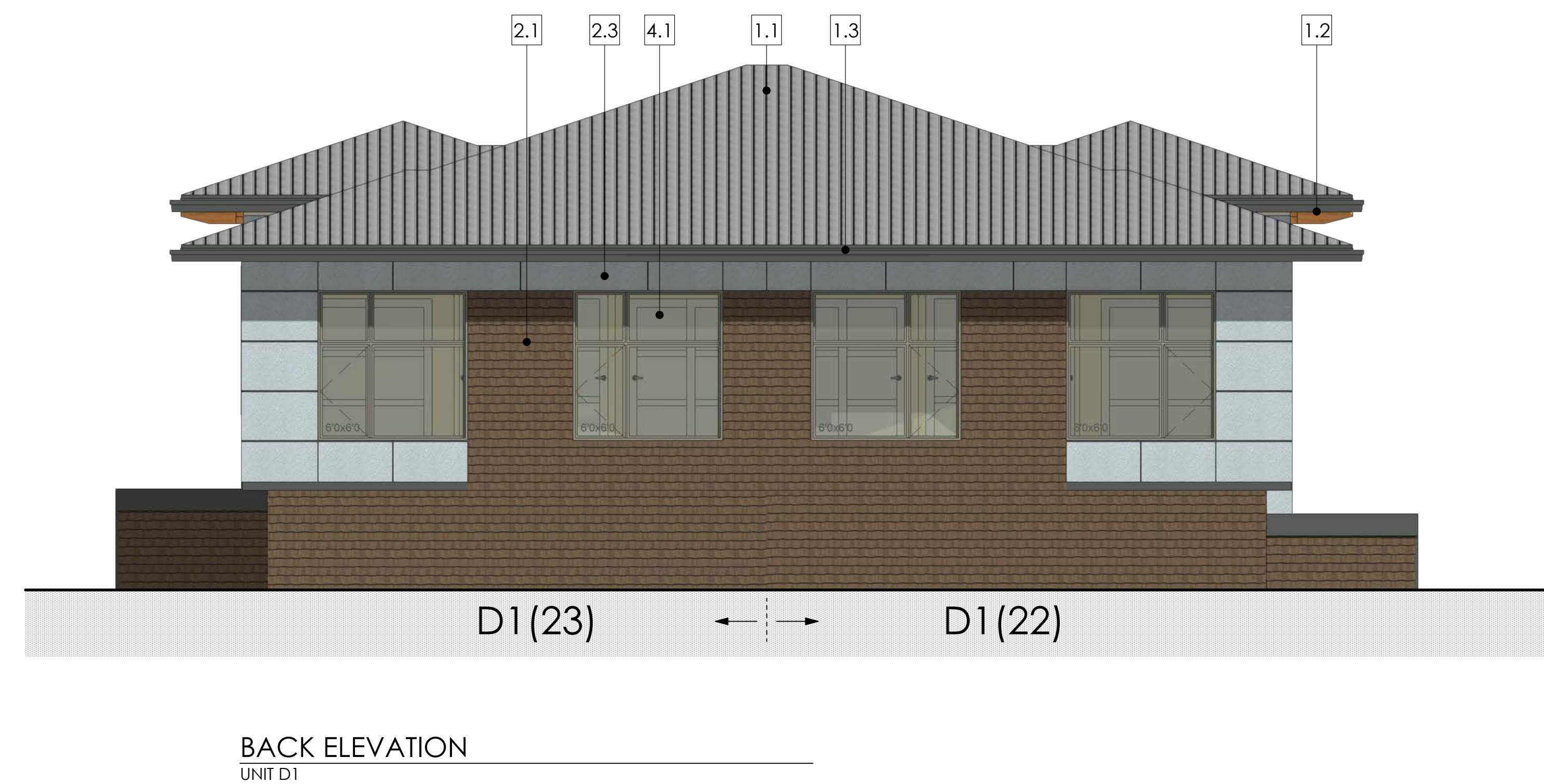
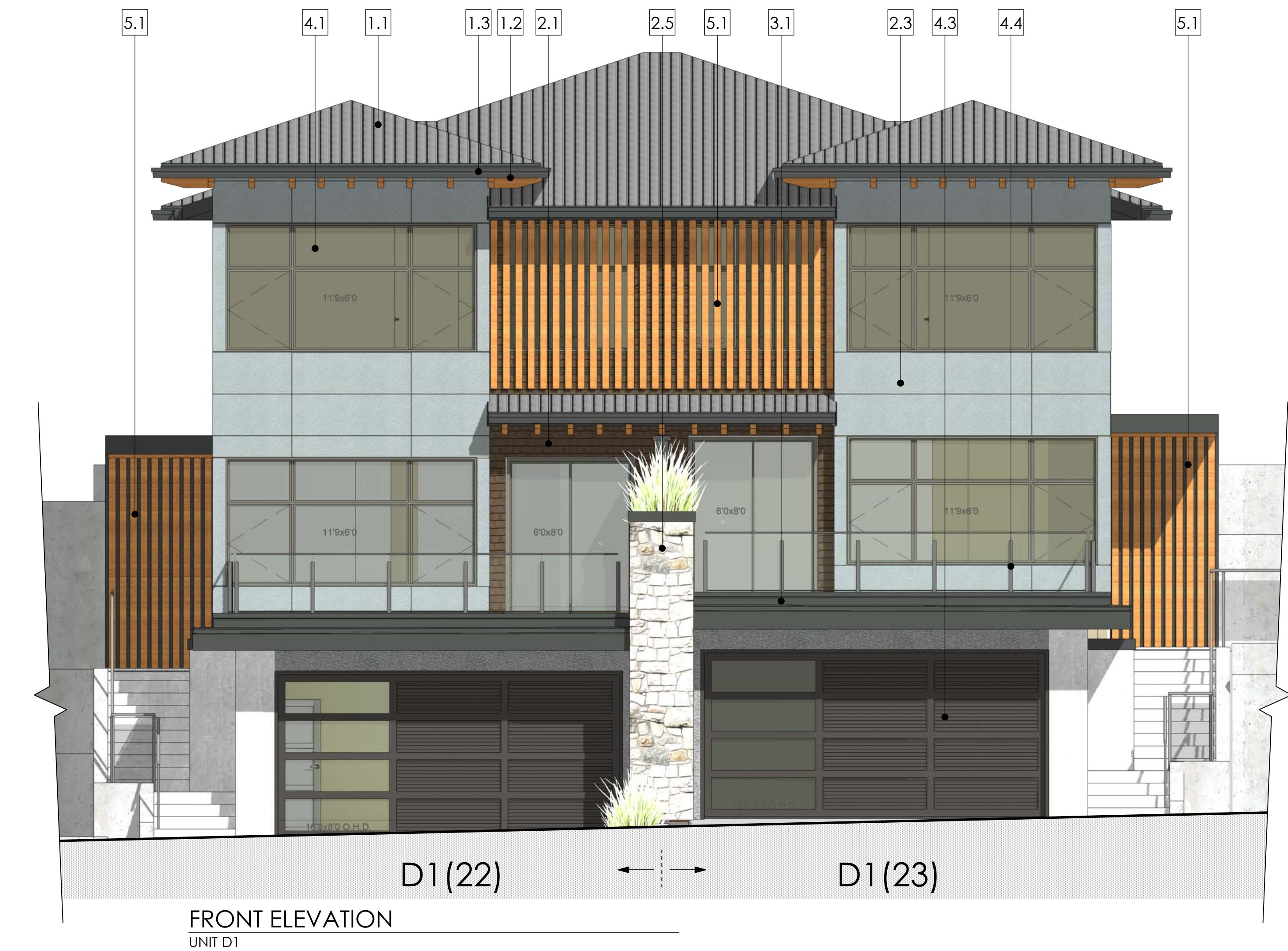
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT D1

DRAWING

EAST & WEST ELEVATIONS B/W

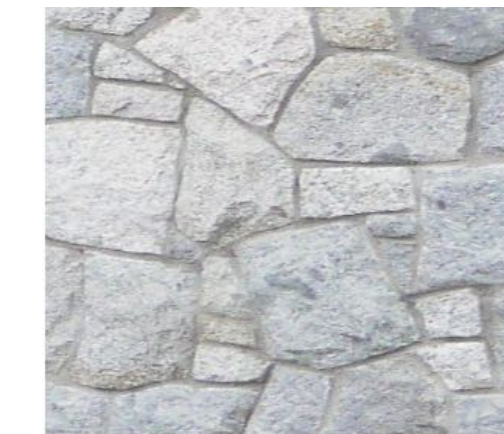
PROJECT#	8030	SHEET	AD1-4.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		



HARDY PANEL



FIBRE CEMENT SHINGLES - WOODTONE RUSTIC SERIES CARBON TRAILS



STONE CLADDING



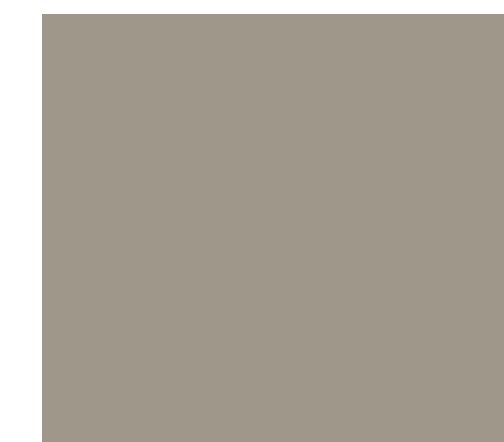
METAL ROOF - CHARCOAL GRAY



ENTRY DOOR STILEWOOD - OLD MASTER GEL STAIN C/W CLEAR TOP COAT - SPECIAL WALNUT



WINDOW / FASCIA / BARGE BOARDS & UPSTAND - CHARCOAL GRAY



SOFFIT - ROCKPORT GRAY BM - HC - 105



BALCONY - WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS		
Issued for DP/Rezoning	Aug 31, 2021	
DRC/ Public Comment Revisions	MAY 12, 2023	
G1, G2, G3 Revisions	JULY 31, 2023	
H unit additions	Oct 1, 2023	

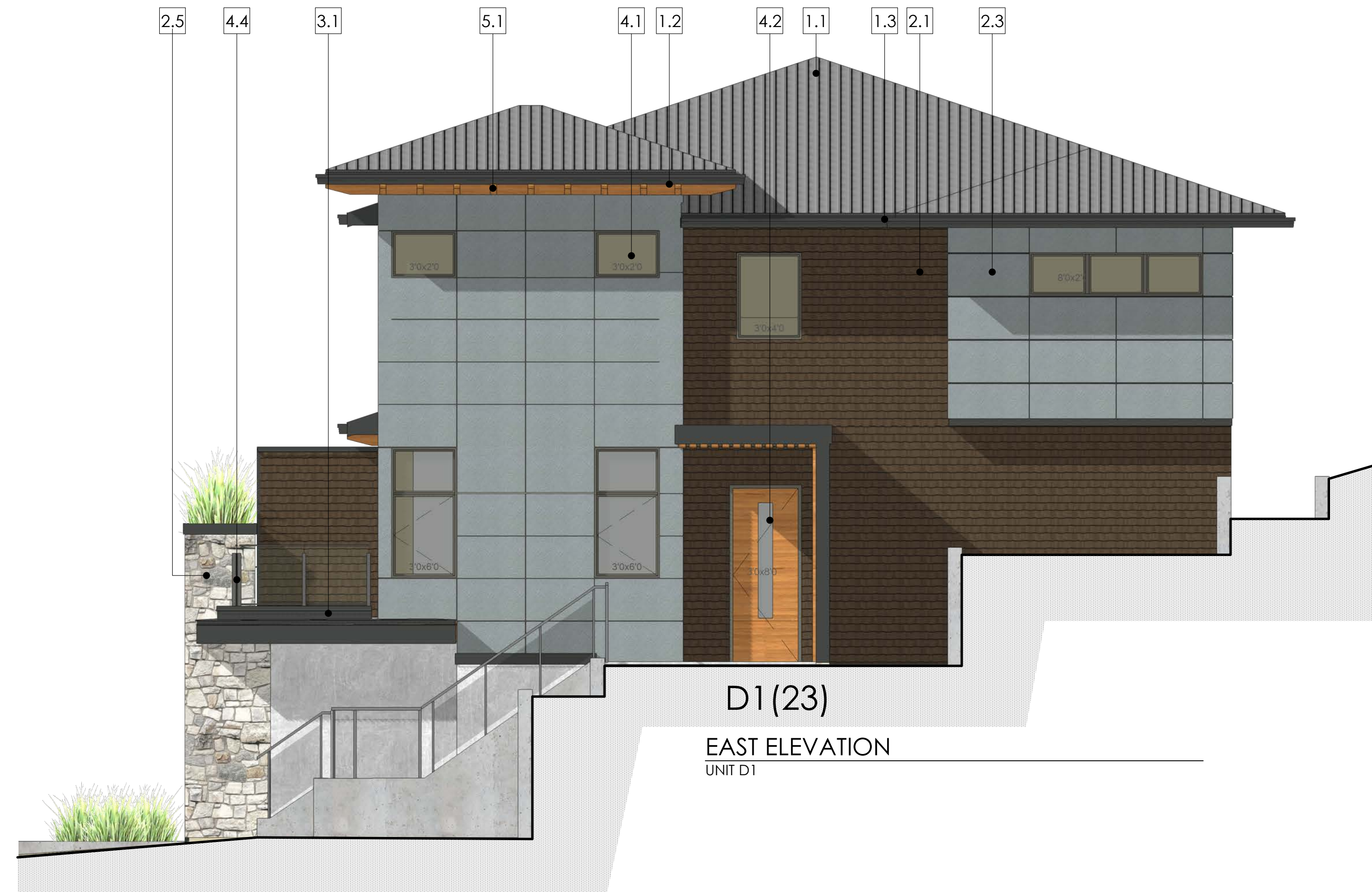


PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT D1

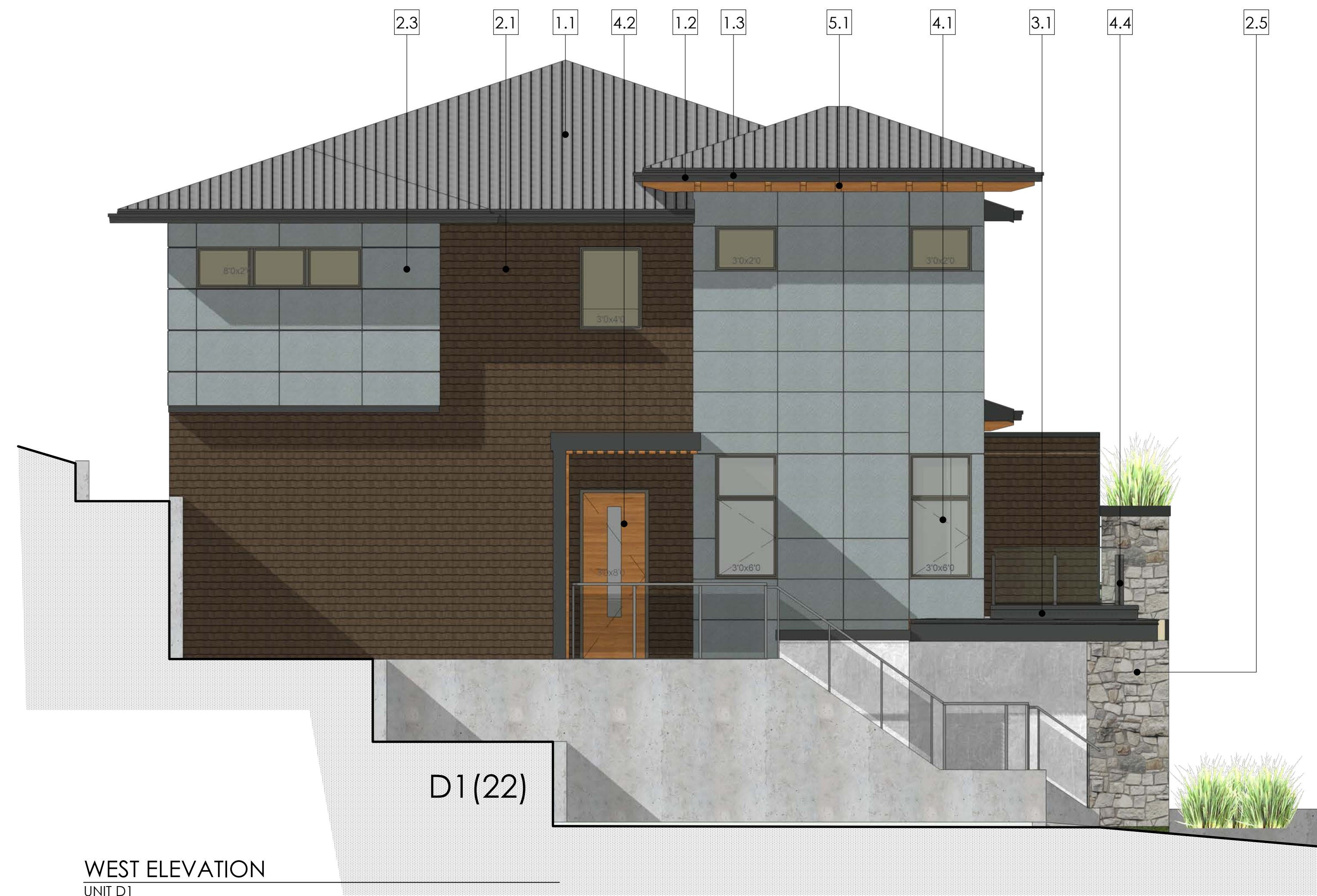
DRAWING
FRONT & BACK ELEVATIONS

PROJECT#	8030	SHEET	AD1-4.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS		
Issued for DP/Rezoning		Aug 31, 2021
DRC/ Public Comment Revisions		MAY 12, 2023
G1, G2, G3 Revisions		JULY 31, 2023
H unit additions		Oct 1, 2023



D1 (23)
EAST ELEVATION
UNIT D1



WEST ELEVATION
UNIT D1

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D1

DRAWING
**EAST & WEST
ELEVATIONS**

PROJECT#	8030	SHEET	AD1- 4.04
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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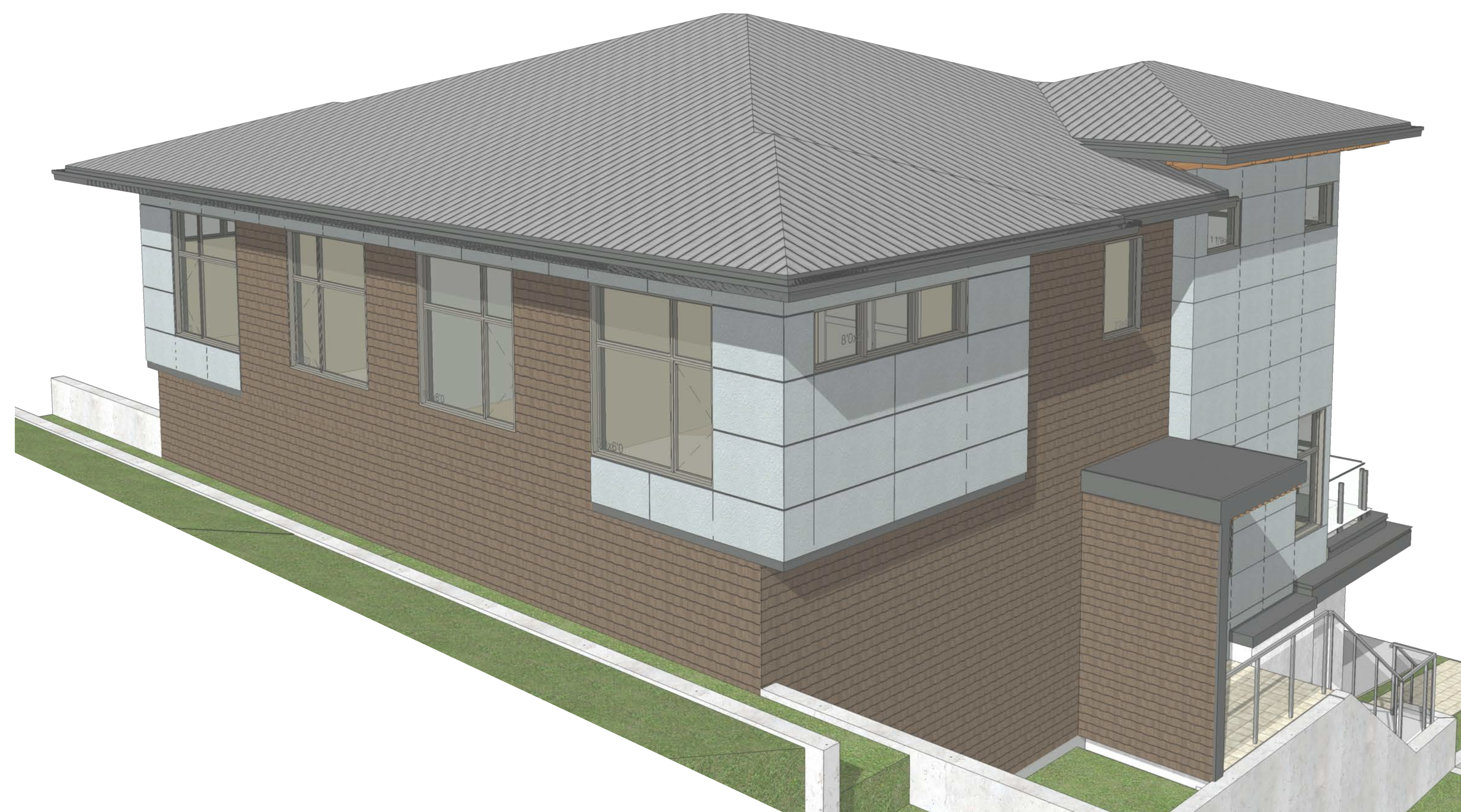
REVISIONS
Issued for DP/Rezoning Aug 31, 2021
DRC/ Public Comment Revisions MAY 12, 2023
G1, G2, G3 Revisions JULY 31, 2023
H unit additions Oct 1, 2023



FRONT ELEVATION - CAMERA VIEW
UNIT D1



SIDE ELEVATION - CAMERA VIEW
UNIT D1



BACK ELEVATION - CAMERA VIEW
UNIT D1



SIDE ELEVATION - CAMERA VIEW
UNIT D1



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D1

DRAWING
**FRONT, BACK
SIDE ELEVATIONS**

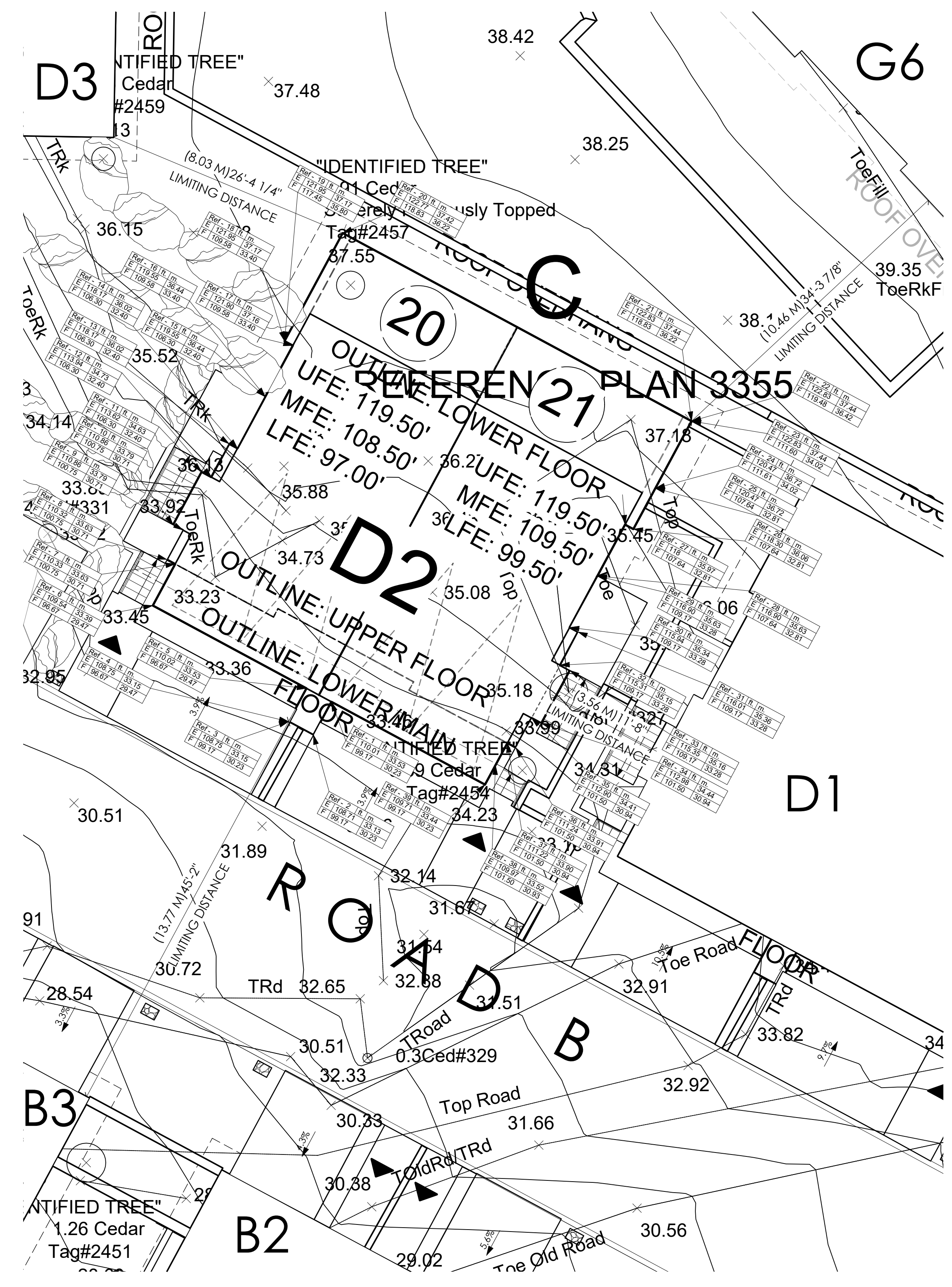
PROJECT#	8030	SHEET	AD1- 4.05
SCALE	N.T.S.		
DATE	OCT 1, 2023		

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REVISIONS
 Issued for DP/Rezoning Aug 31, 2021
 DRC/ Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023
 H unit additions Oct 1, 2023

D2 - AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	99.17	2	99.17	99.17	4.00	396.68
2	99.17	3	99.17	99.17	3.00	297.51
3	99.17	4	96.67	97.92	0.00	0.00
4	96.67	5	96.67	96.67	4.00	386.68
5	96.67	6	96.67	96.67	18.50	1788.40
6	96.67	7	100.75	98.71	5.00	493.55
7	100.75	8	100.75	100.75	1.00	100.75
8	100.75	9	100.75	100.75	3.55	357.86
9	100.75	10	100.75	100.75	1.17	117.58
10	100.75	11	106.30	103.53	6.37	658.94
11	106.30	12	106.30	106.30	1.17	124.05
12	106.30	13	106.30	106.30	4.00	425.20
13	106.30	14	106.30	106.30	1.00	106.30
14	106.30	15	106.30	106.30	6.21	659.91
15	106.30	16	109.58	107.94	0.00	0.00
16	109.58	17	109.58	109.58	6.17	675.78
17	109.58	18	109.58	109.58	1.00	109.58
18	109.58	19	117.45	113.52	0.00	0.00
19	117.45	20	118.83	118.14	13.00	1535.82
20	118.83	21	118.83	118.83	42.00	4990.86
21	118.83	22	119.48	119.16	0.00	0.00
22	119.48	23	111.60	115.54	0.00	0.00
23	111.60	24	111.61	111.61	8.09	902.44
24	111.61	25	107.64	109.63	0.00	0.00
25	107.64	26	107.64	107.64	4.91	528.94
26	107.64	27	107.64	107.64	1.00	107.64
27	107.64	28	107.64	107.64	6.19	665.97
28	107.64	29	109.17	108.41	0.00	0.00
29	109.17	30	109.17	109.17	6.19	675.43
30	109.17	31	109.17	109.17	1.00	109.17
31	109.17	32	109.17	109.17	4.00	436.68
32	109.17	33	109.17	109.17	5.17	527.40
33	109.17	34	101.50	105.34	6.37	670.46
34	101.50	35	101.50	101.50	1.17	118.45
35	101.50	36	101.50	101.50	3.55	360.53
36	101.50	37	101.50	101.50	1.00	101.50
37	101.50	38	101.50	101.50	2.50	253.75
38	101.50	39	99.17	100.34	2.50	250.84
39	99.17	1	99.17	99.17	18.50	1834.65
Total					189.25	20369.29
AVG Finish Grade						107.63
Max. Bldg Height (Ft):				29.85		137.48

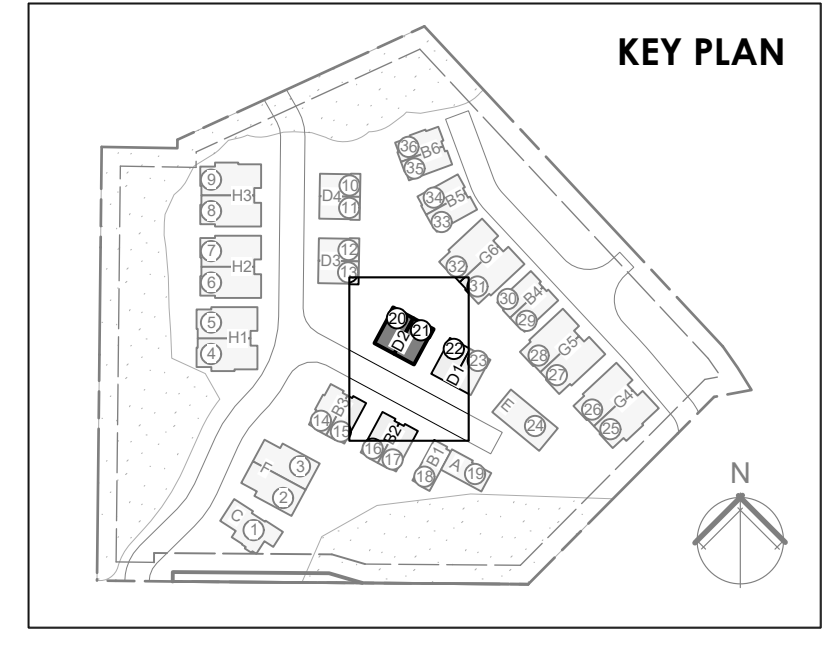
D2 - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	110.01	2	108.71	109.36	4.00	437.44
2	108.71	3	108.75	108.73	3.00	326.19
3	108.75	4	108.75	108.75	0.00	0.00
4	108.75	5	110.02	109.39	4.00	437.54
5	110.02	6	109.54	109.78	18.50	2030.93
6	109.54	7	110.33	109.94	5.00	549.68
7	110.33	8	110.32	110.33	1.00	110.33
8	110.32	9	110.86	110.59	3.55	392.82
9	110.86	10	110.86	110.86	4.17	429.37
10	110.86	11	113.62	112.24	6.37	714.41
11	113.62	12	113.94	113.78	1.17	132.78
12	113.94	13	118.17	116.06	4.00	464.22
13	118.17	14	118.17	118.17	1.00	118.17
14	118.17	15	119.55	118.86	6.21	737.88
15	119.55	16	119.55	119.55	0.00	0.00
16	119.55	17	121.90	120.73	6.17	744.51
17	121.90	18	121.95	121.93	1.00	121.93
18	121.95	19	121.95	121.95	0.00	0.00
19	121.95	20	122.77	122.36	13.00	1590.68
20	122.77	21	122.83	122.80	42.00	5157.60
21	122.83	22	122.83	122.83	0.00	0.00
22	122.83	23	122.83	122.83	0.00	0.00
23	122.83	24	120.47	121.65	8.09	983.66
24	120.47	25	120.47	120.47	0.00	0.00
25	120.47	26	118.30	119.39	4.91	586.66
26	118.30	27	118.00	118.15	1.00	118.15
27	118.00	28	116.90	117.45	6.19	726.66
28	116.90	29	116.90	116.90	0.00	0.00
29	116.90	30	115.94	116.42	6.19	720.29
30	115.94	31	116.01	115.98	1.00	115.98
31	116.01	32	115.31	115.66	4.00	462.64
32	115.31	33	115.35	115.33	1.17	134.59
33	115.35	34	112.98	114.17	6.37	726.66
34	112.98	35	112.90	112.94	1.17	131.80
35	112.90	36	111.24	112.07	3.55	398.07
36	111.24	37	111.22	111.23	1.00	111.23
37	111.22	38	109.97	110.60	2.50	276.49
38	109.97	39	109.71	109.84	2.50	274.60
39	109.71	1	110.01	109.86	18.50	2032.41
Total					189.25	21996.36
AVG Existing Grade						116.23
Max. Bldg Height (Ft):				29.85		146.08



SITE PLAN
 SCALE: 1/8"=1'0"

TOP OF FINISH FLOOR - D2 (20)		
Lower	Main	Upper
29.57 m 97.00'	33.07 m 108.50'	36.42 m 119.50'

TOP OF FINISH FLOOR - D2 (21)		
Lower	Main	Upper
30.33 m 99.50'	33.38 m 109.50'	36.42 m 119.50'



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT D2

DRAWING

SITE PLAN

PROJECT# 8030
 SCALE 1/8" = 1'0"
 DATE OCT 1, 2023
 SHEET
AD2-1.01

These plans remain the ownership of Sterling Pacific

REVISIONS

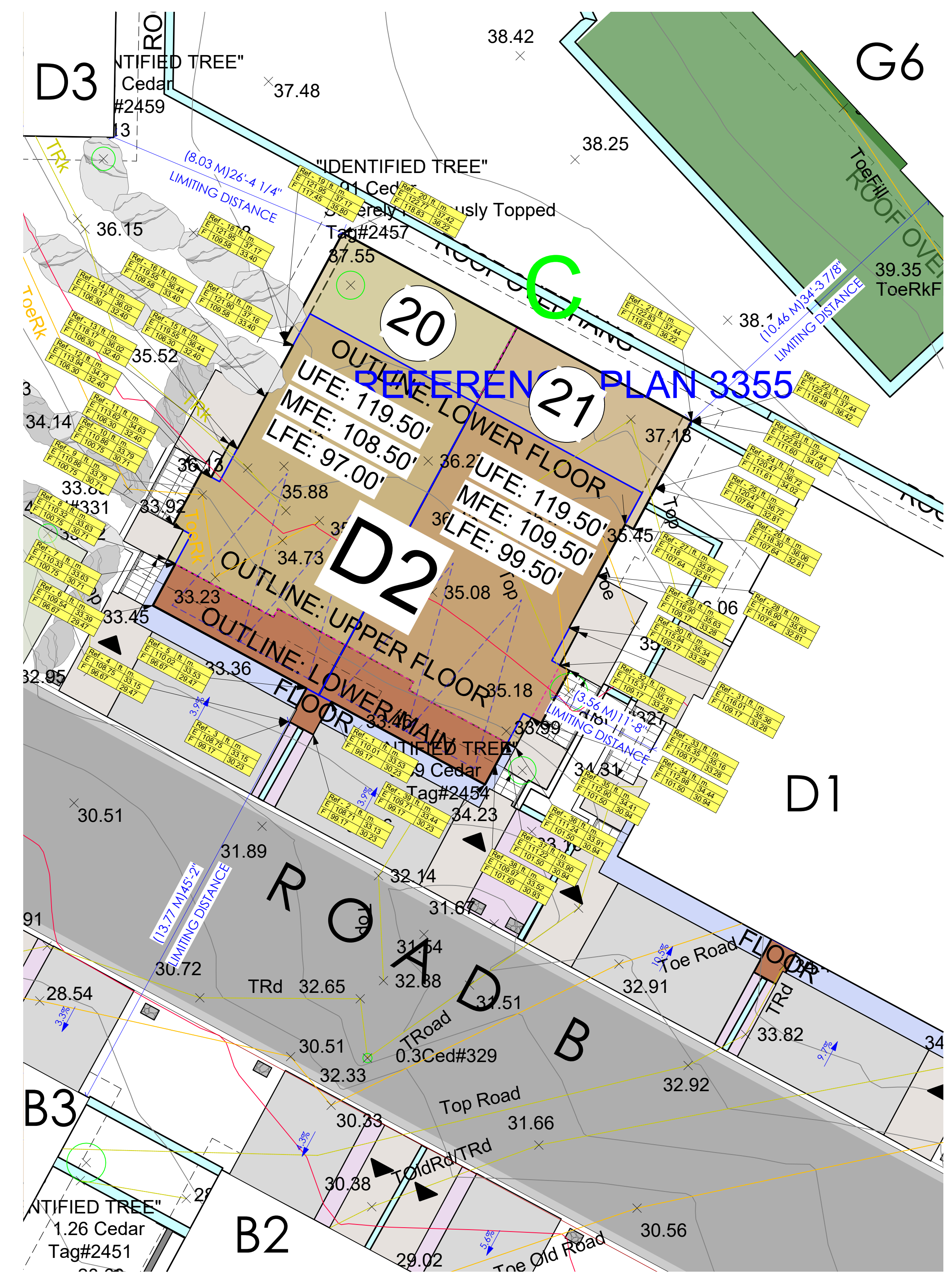
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

D2 - AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	99.17	2	99.17	99.17	4.00	396.68
2	99.17	3	99.17	99.17	3.00	297.51
3	99.17	4	96.67	97.92	0.00	0.00
4	96.67	5	96.67	96.67	4.00	386.68
5	96.67	6	96.67	96.67	18.50	1788.40
6	96.67	7	100.75	98.71	5.00	493.55
7	100.75	8	100.75	100.75	1.00	100.75
8	100.75	9	100.75	100.75	3.55	357.86
9	100.75	10	100.75	100.75	1.17	117.58
10	100.75	11	106.30	103.53	6.37	658.94
11	106.30	12	106.30	106.30	1.17	124.05
12	106.30	13	106.30	106.30	4.00	425.20
13	106.30	14	106.30	106.30	1.00	106.30
14	106.30	15	106.30	106.30	6.21	659.91
15	106.30	16	109.58	107.94	0.00	0.00
16	109.58	17	109.58	109.58	6.17	675.78
17	109.58	18	109.58	109.58	1.00	109.58
18	109.58	19	117.45	113.52	0.00	0.00
19	117.45	20	118.83	118.14	13.00	1535.82
20	118.83	21	118.83	118.83	42.00	4990.86
21	118.83	22	119.48	119.16	0.00	0.00
22	119.48	23	111.60	115.54	0.00	0.00
23	111.60	24	111.61	111.61	8.09	902.44
24	111.61	25	107.64	109.63	0.00	0.00
25	107.64	26	107.64	107.64	4.91	528.94
26	107.64	27	107.64	107.64	1.00	107.64
27	107.64	28	107.64	107.64	6.19	665.97
28	107.64	29	109.17	108.41	0.00	0.00
29	109.17	30	109.17	109.17	6.19	675.43
30	109.17	31	109.17	109.17	1.00	109.17
31	109.17	32	109.17	109.17	4.00	436.68
32	109.17	33	109.17	109.17	1.17	127.40
33	109.17	34	101.50	105.34	6.37	670.46
34	101.50	35	101.50	101.50	1.17	118.45
35	101.50	36	101.50	101.50	3.55	360.53
36	101.50	37	101.50	101.50	1.00	101.50
37	101.50	38	101.50	101.50	2.50	253.75
38	101.50	39	99.17	100.34	2.50	250.84
39	99.17	1	99.17	99.17	18.50	1834.65
Total					189.25	20369.29
AVG Finish Grade						107.63
Max. Bldg Height (Ft):	29.85					137.48

D2 - AVERAGE EXISTING GRADE CALCULATION

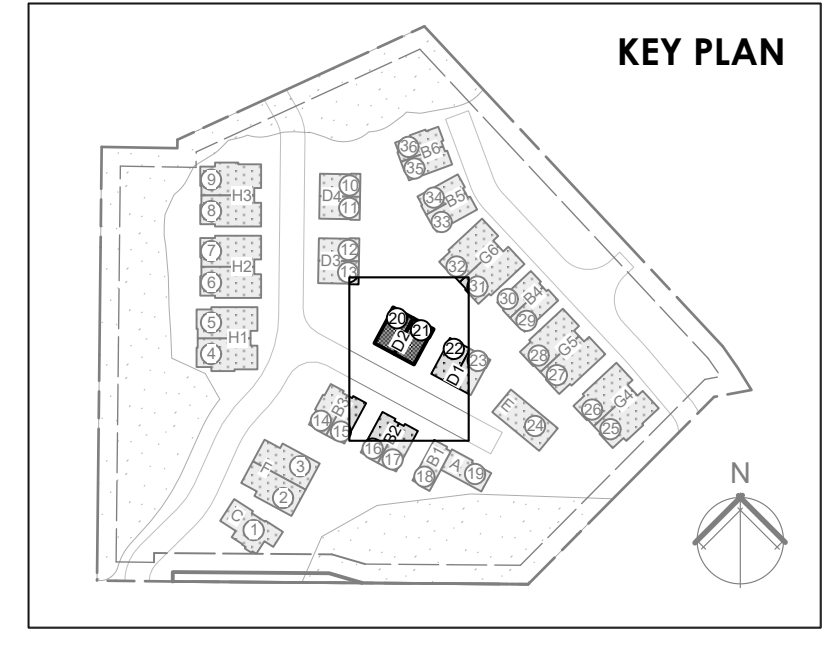
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	110.01	2	108.71	109.36	4.00	437.44
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3	108.75	4	108.75	108.75	0.00	0.00
4	108.75	5	110.02	109.39	4.00	437.54
5	110.02	6	109.54	109.78	18.50	2030.93
6	109.54	7	110.33	109.94	5.00	549.68
7	110.33	8	110.32	110.33	1.00	110.33
8	110.32	9	110.86	110.59	3.55	392.82
9	110.86	10	110.86	110.86	4.17	425.37
10	110.86	11	113.62	112.24	6.37	714.41
11	113.62	12	113.94	113.78	1.17	137.78
12	113.94	13	118.17	116.06	4.00	464.22
13	118.17	14	118.17	118.17	1.00	118.17
14	118.17	15	119.55	118.86	6.21	737.88
15	119.55	16	119.55	119.55	0.00	0.00
16	119.55	17	121.90	120.73	6.17	744.51
17	121.90	18	121.95	121.93	1.00	121.93
18	121.95	19	121.95	121.95	0.00	0.00
19	121.95	20	122.77	122.36	13.00	1590.68
20	122.77	21	122.83	122.80	42.00	5157.60
21	122.83	22	122.83	122.83	0.00	0.00
22	122.83	23	122.83	122.83	0.00	0.00
23	122.83	24	120.47	121.65	8.09	983.66
24	120.47	25	120.47	120.47	0.00	0.00
25	120.47	26	118.30	119.39	4.91	586.66
26	118.30	27	118.00	118.15	1.00	118.15
27	118.00	28	116.90	117.45	6.19	726.66
28	116.90	29	116.90	116.90	0.00	0.00
29	116.90	30	115.94	116.42	6.19	720.29
30	115.94	31	116.01	115.98	1.00	115.98
31	116.01	32	115.31	115.66	4.00	462.64
32	115.31	33	115.35	115.33	1.17	134.59
33	115.35	34	112.98	114.17	6.37	726.66
34	112.98	35	112.90	112.94	1.17	131.80
35	112.90	36	111.24	112.07	3.55	398.07
36	111.24	37	111.22	111.23	1.00	111.23
37	111.22	38	109.97	110.60	2.50	276.49
38	109.97	39	109.71	109.84	2.50	274.60
39	109.71	1	110.01	109.86	18.50	2032.41
Total					189.25	21996.36
AVG Existing Grade						116.23
Max. Bldg Height (Ft):	29.85					146.08



SITE PLAN
SCALE: 1/8"=1'0"

TOP OF FINISH FLOOR - D2 (20)		
Lower	Main	Upper
29.57 m 97.00'	33.07 m 108.50'	36.42 m 119.50'

TOP OF FINISH FLOOR - D2 (21)		
Lower	Main	Upper
30.33 m 99.50'	33.38 m 109.50'	36.42 m 119.50'



PROJECT

AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT D2

DRAWING

SITE PLAN

PROJECT# 8030

SCALE 1/8" = 1'0"

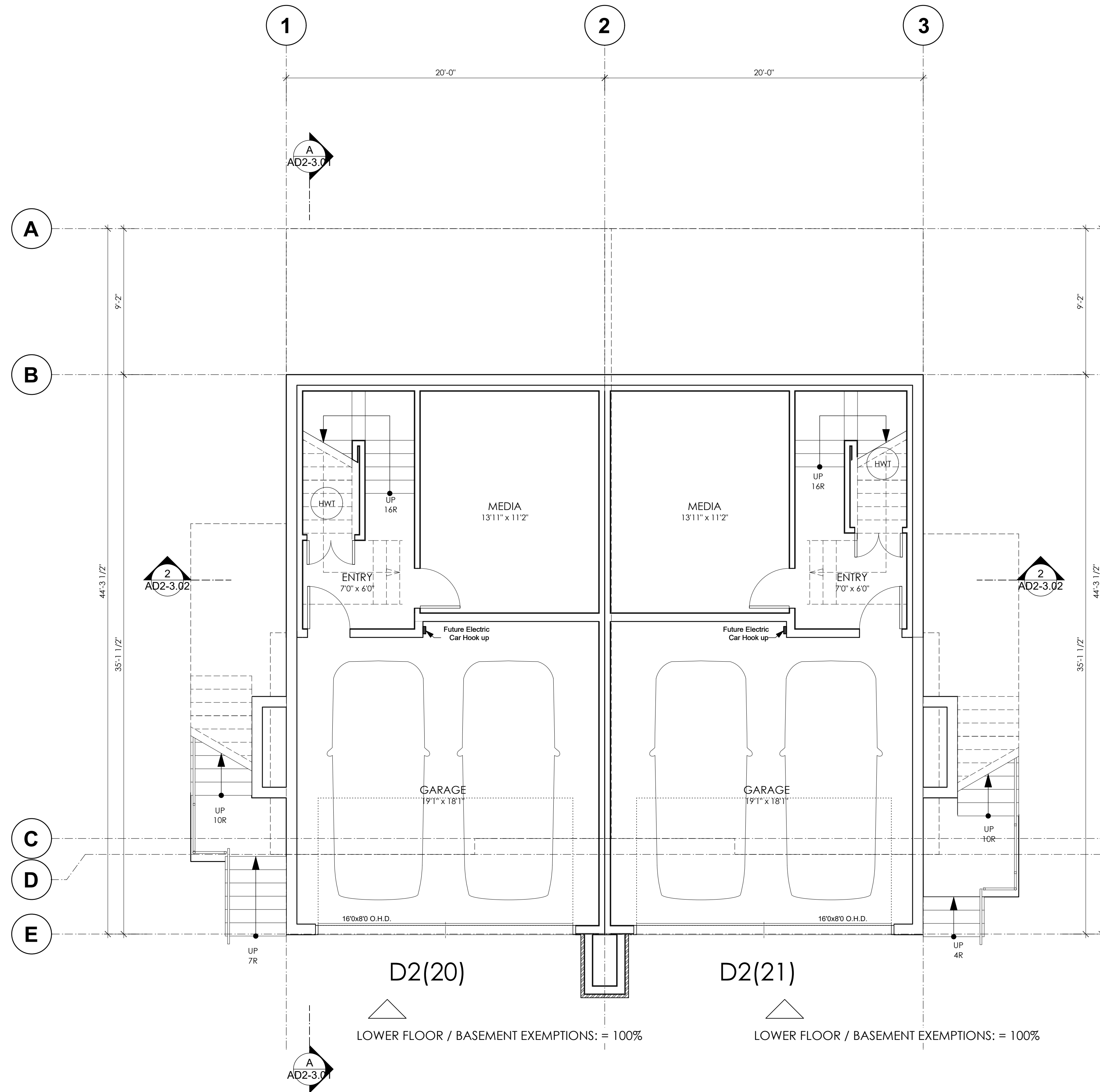
DATE OCT 1, 2023

SHEET **AD2-1.01**

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REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



LOWER / ENTRY FLOOR PLAN
UNIT D2

LOWER FLOOR / BASEMENT EXEMPTIONS: = 100%

UNIT 20 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	797.3 SF	810.3 SF	2310.1 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.3 SF	810.3 SF	1607.6 SF

UNIT 20 FLOOR AREAS METRIC

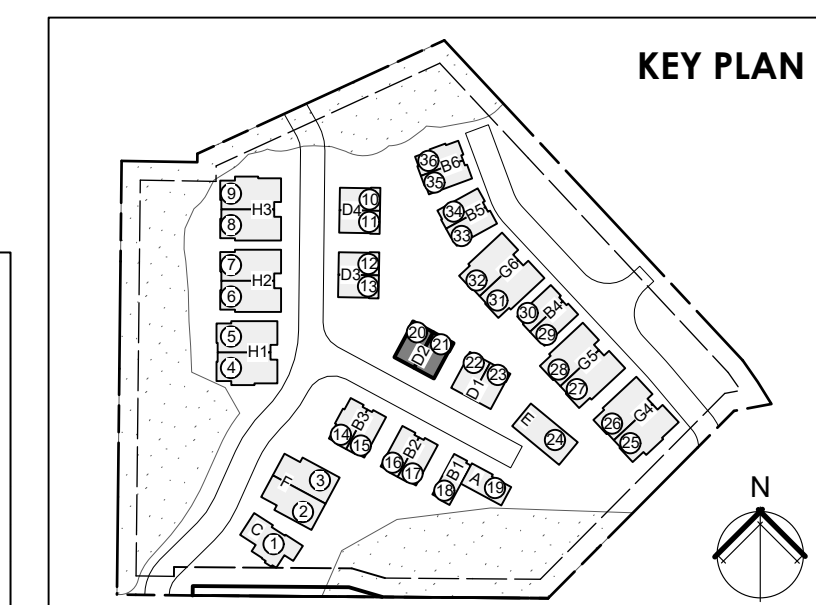
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	74.1 SM	75.3 SM	214.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	74.1 SM	75.3 SM	149.3 SM

UNIT 21 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.6 SF	804.6 SF	1596.2 SF

UNIT 21 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	73.5 SM	74.7 SM	213.5 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	73.5 SM	74.7 SM	148.2 SM

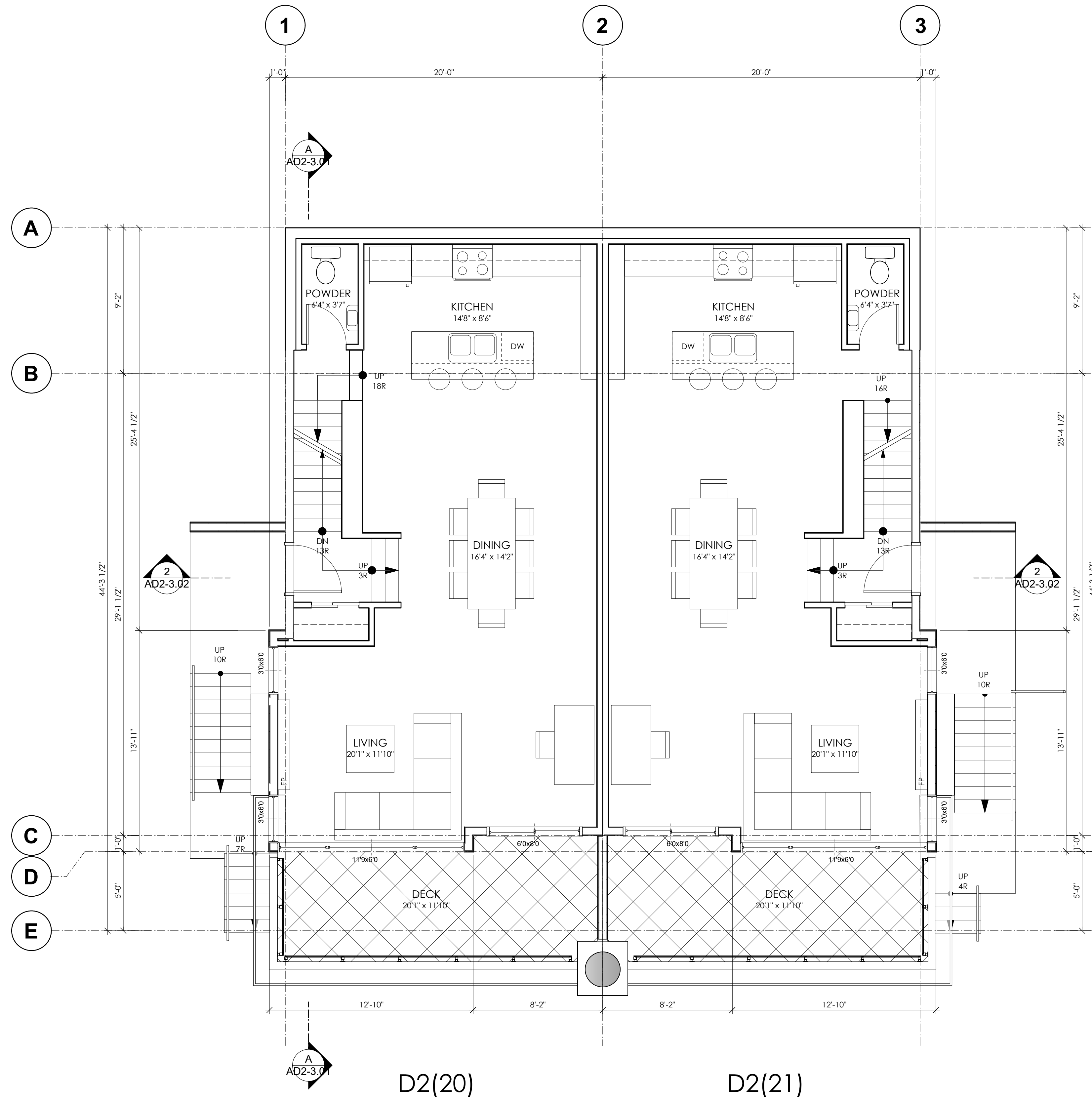


PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D2

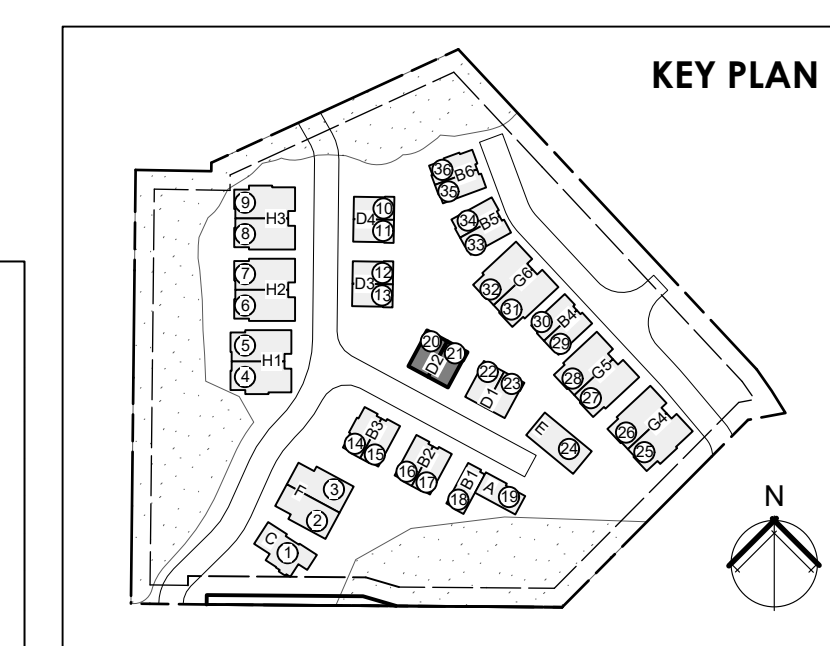
DRAWING
LOWER FLOOR PLAN

PROJECT# 8030
SCALE 1/4" = 1'-0"
DATE OCT 1, 2023
SHEET **AD2-2.01**

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



MAIN FLOOR PLAN
UNIT D2



UNIT 20 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	797.3 SF	810.3 SF	2310.1 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.3 SF	810.3 SF	1607.6 SF

UNIT 20 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	74.1 SM	75.3 SM	214.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	74.1 SM	75.3 SM	149.3 SM

UNIT 21 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.6 SF	804.6 SF	1596.2 SF

UNIT 21 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	73.5 SM	74.7 SM	213.5 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	73.5 SM	74.7 SM	148.2 SM

PROJECT

AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D2

DRAWING

MAIN FLOOR
PLAN

PROJECT#

SHEET

8030

SCALE

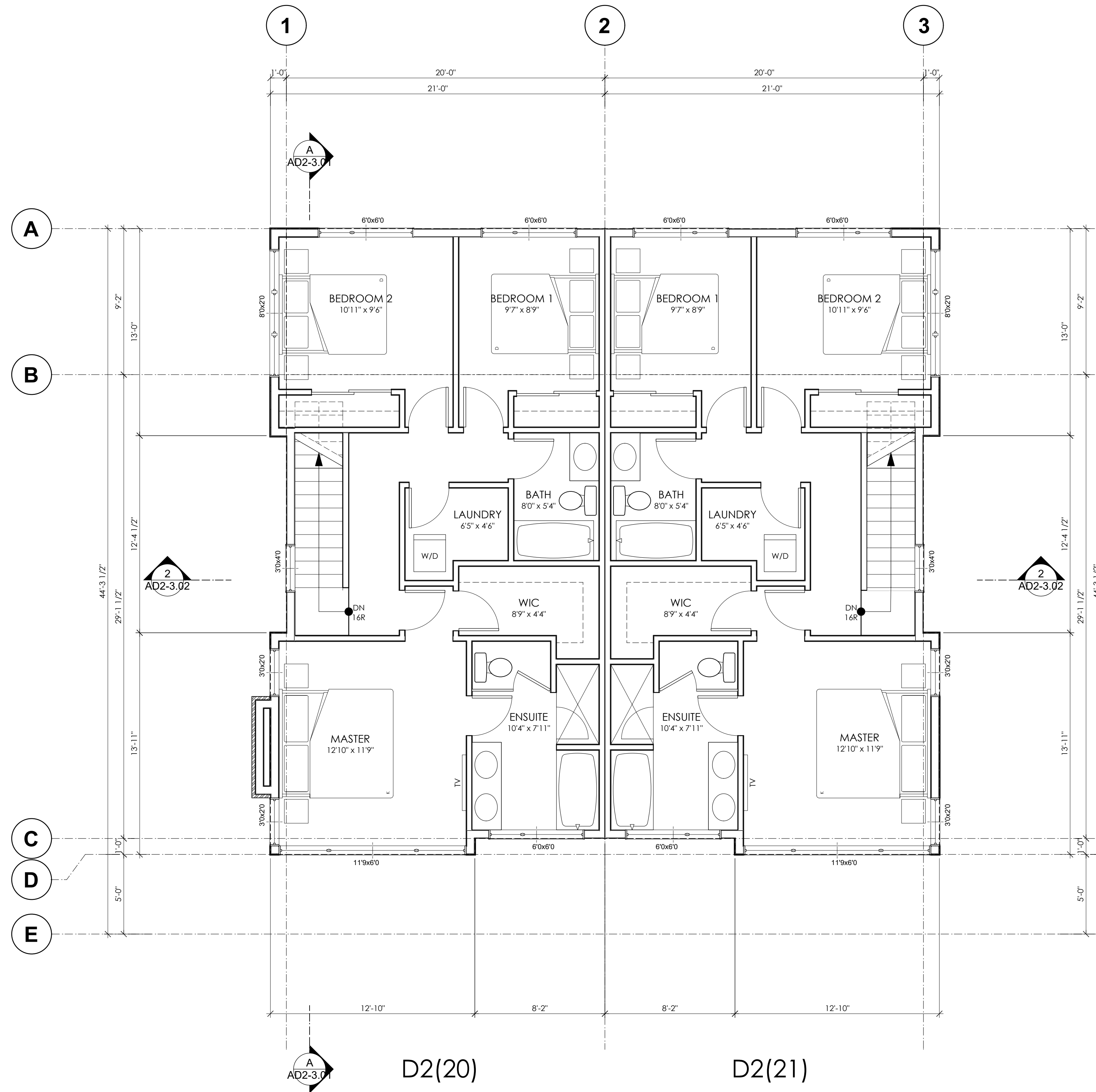
**AD2-
2.02**

DATE

OCT 1, 2023

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



UPPER FLOOR PLAN
UNIT D2

UNIT 20 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	797.3 SF	810.3 SF	2310.1 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.3 SF	810.3 SF	1607.6 SF

UNIT 20 FLOOR AREAS METRIC

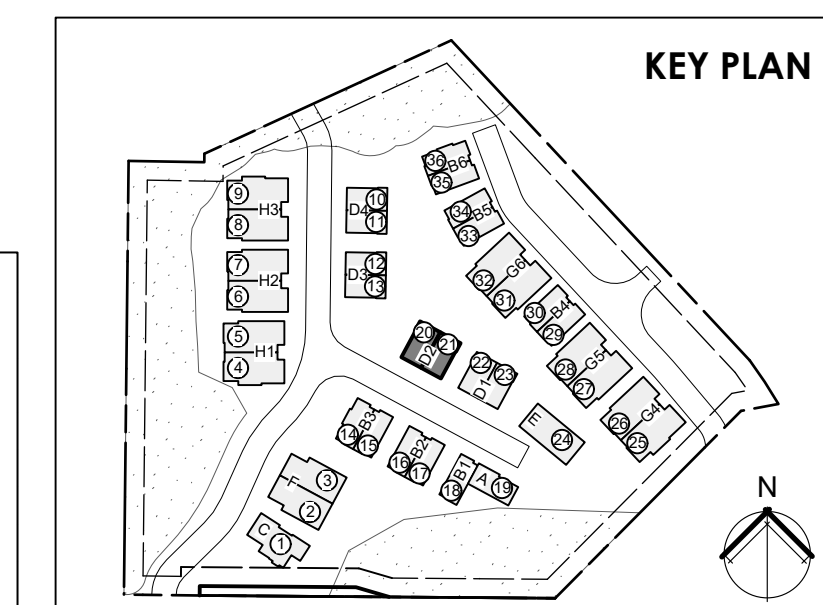
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	74.1 SM	75.3 SM	214.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	74.1 SM	75.3 SM	149.3 SM

UNIT 21 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.6 SF	804.6 SF	1596.2 SF

UNIT 21 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	73.5 SM	74.7 SM	213.5 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	73.5 SM	74.7 SM	148.2 SM



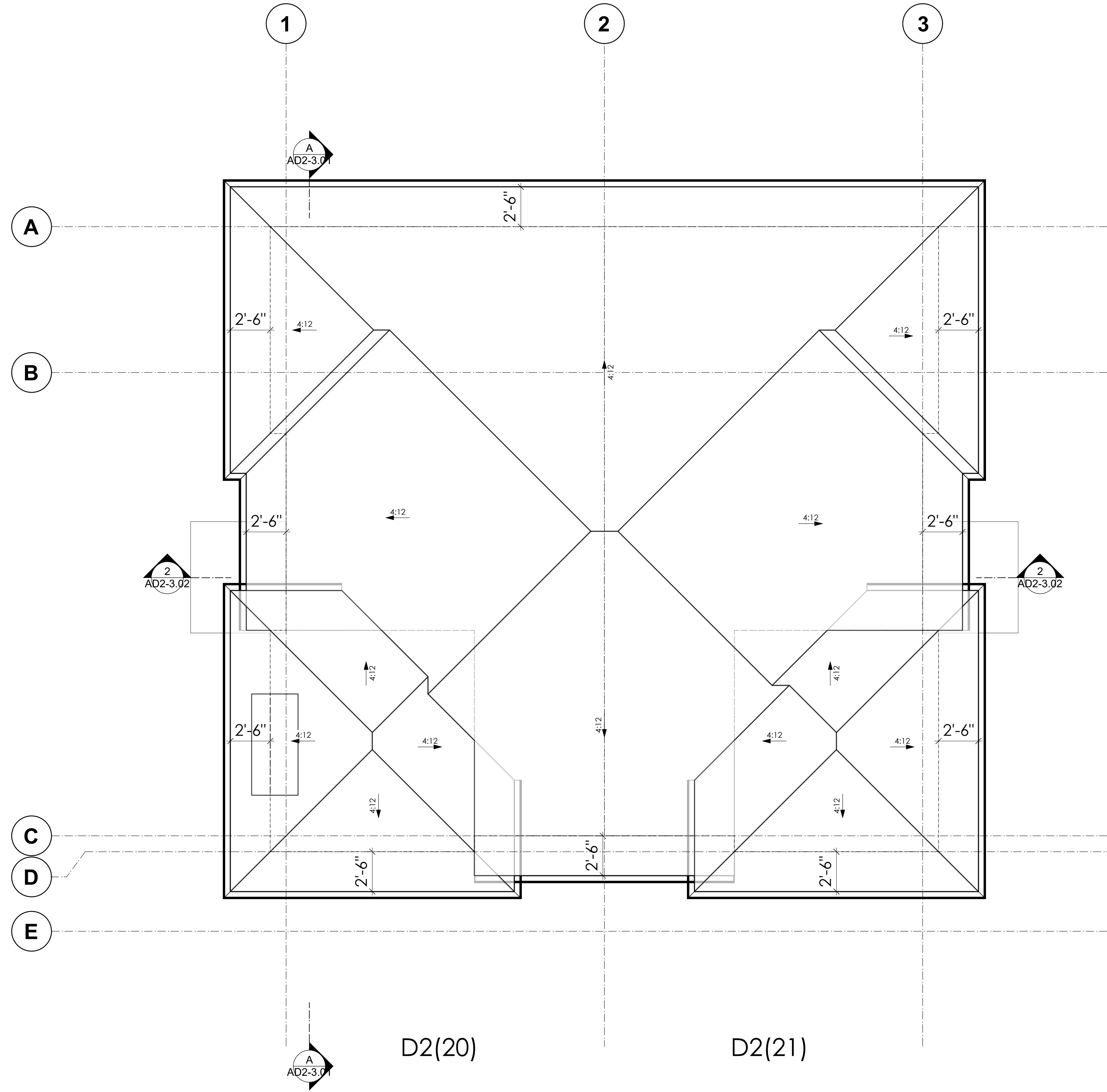
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D2

DRAWING
UPPER FLOOR PLAN

PROJECT#	8030	SHEET	AD2-2.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

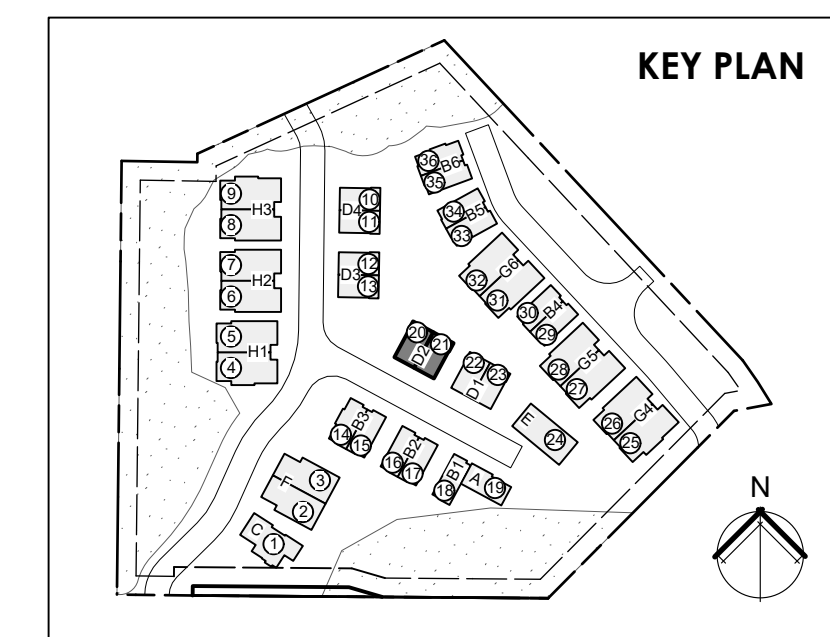


ROOF PLAN
UNIT D2



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D2

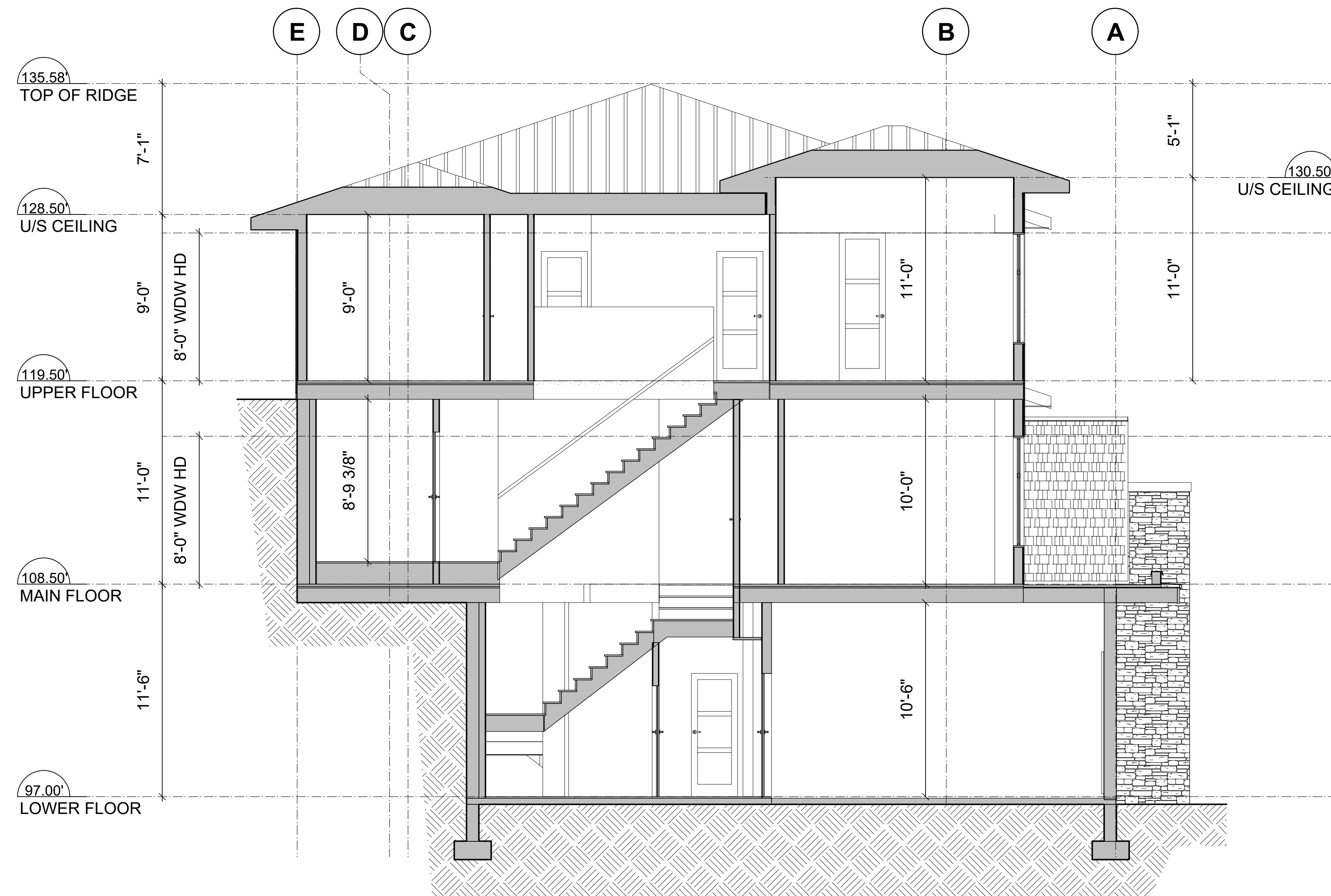
DRAWING
ROOF PLAN



PROJECT#	SHEET
8030	AD2-2.04
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



A SECTION A
Scale: 1/4" = 1'-0"



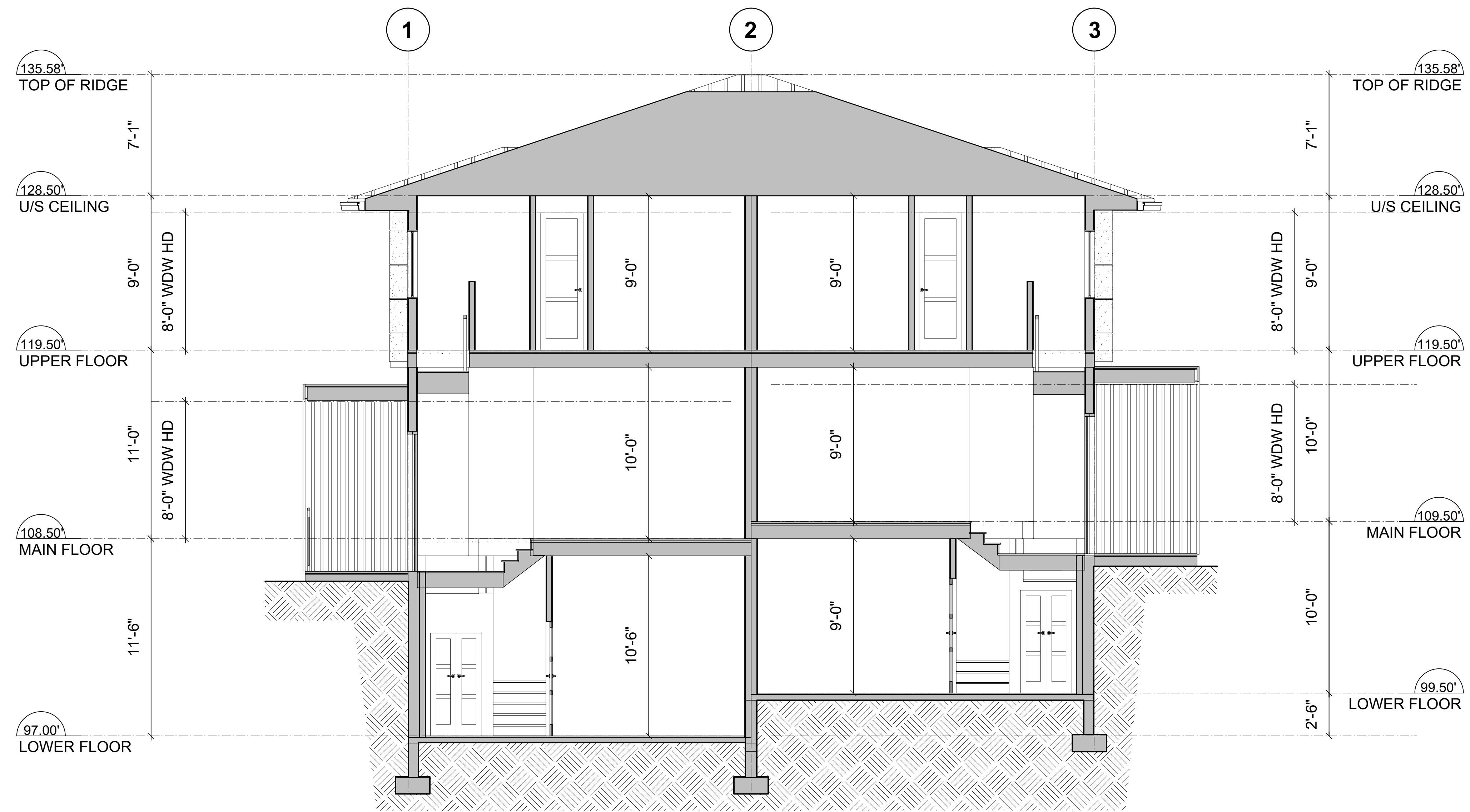
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D2

DRAWING
SECTION A-A

PROJECT#	SHEET
8030	AD2- 3.01
SCALE 1/4" = 1'-0"	
DATE OCT 1, 2023	

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



2 Section B
Scale: 1/4" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D2

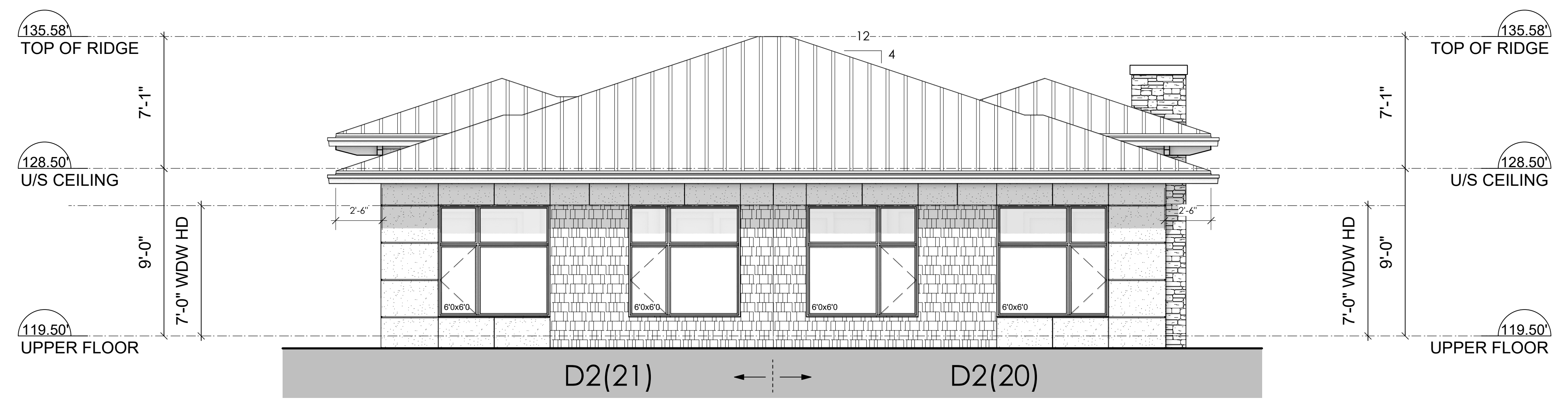
DRAWING
SECTION B-B

PROJECT#	8030	AD2-3.02
SCALE	1/4" = 1'-0"	
DATE	OCT 1, 2023	

These plans remain the ownership of Sterling Pacific



FRONT ELEVATION
UNIT D2



BACK ELEVATION
UNIT D2

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	407.61 SF (37.87 SM)
LIMITING DISTANCE:	17.16' (5.22 M)
UNPROTECTED OPENING:	144.00 SF (13.37SM)
PROPOSED OPENING:	35.33%
PERMITTED OPENINGS:	100%

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

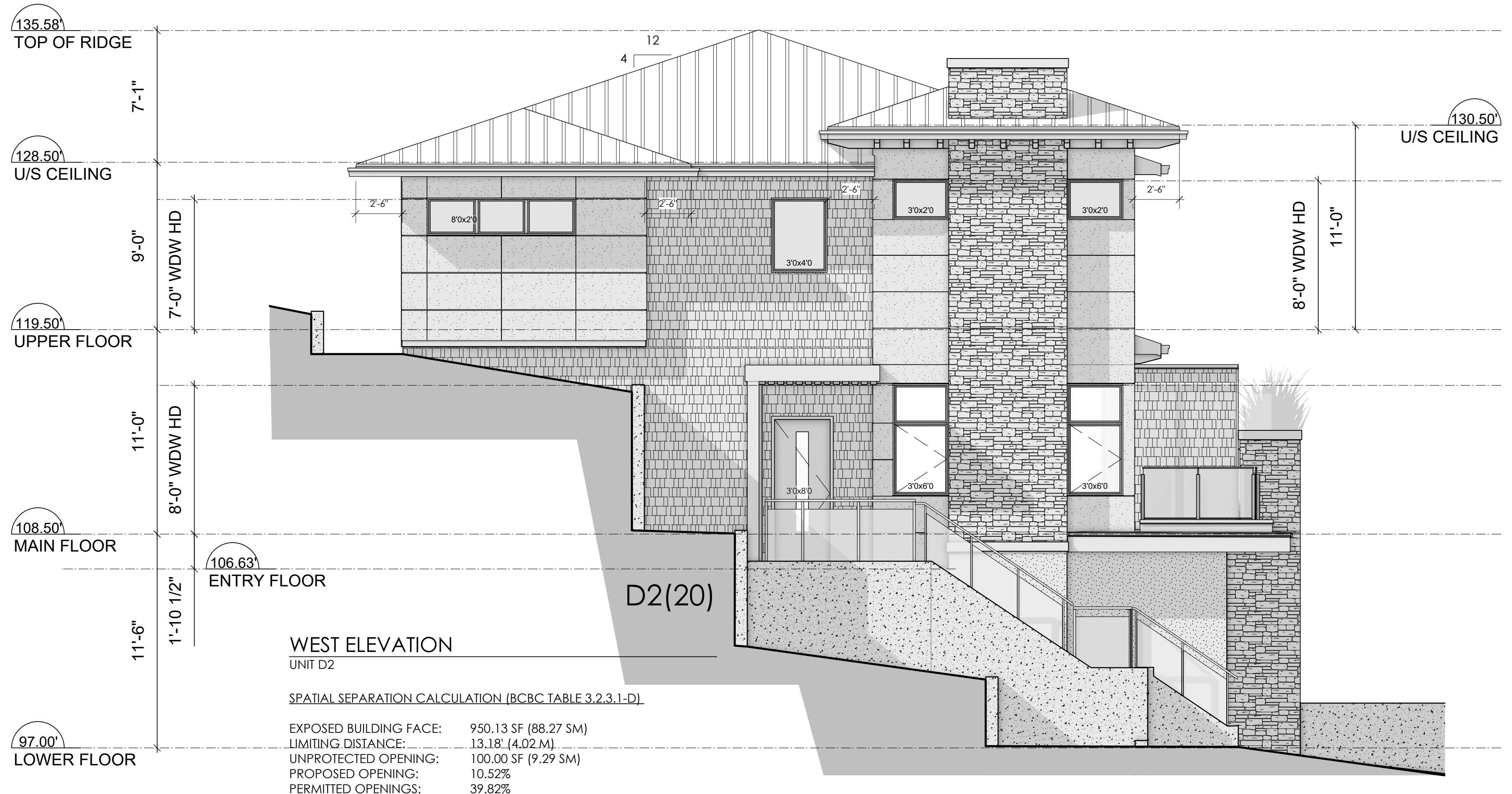


PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D2

DRAWING
FRONT & BACK ELEVATIONS

PROJECT#	8030	SHEET	AD2-4.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



PROJECT

AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT D2

DRAWING

EAST & WEST ELEVATIONS

PROJECT#	8030	SHEET	AD2-4.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		



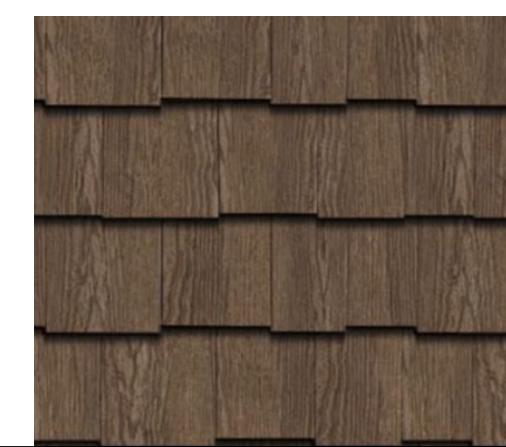
FRONT ELEVATION
UNIT D2



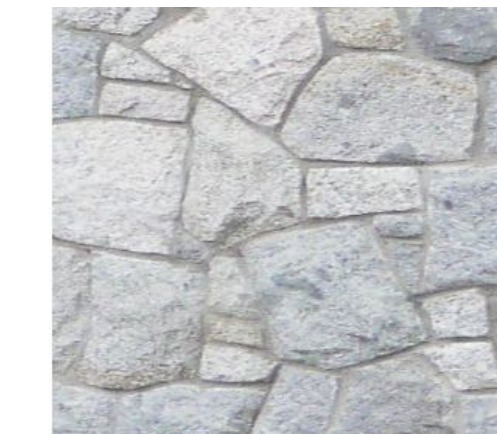
BACK ELEVATION
UNIT D2



HARDY PANEL



FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS		
Issued for DP/Rezoning	Aug 31, 2021	
DRC/ Public Comment Revisions	MAY 12, 2023	
G1, G2, G3 Revisions	JULY 31, 2023	
H unit additions	Oct 1, 2023	

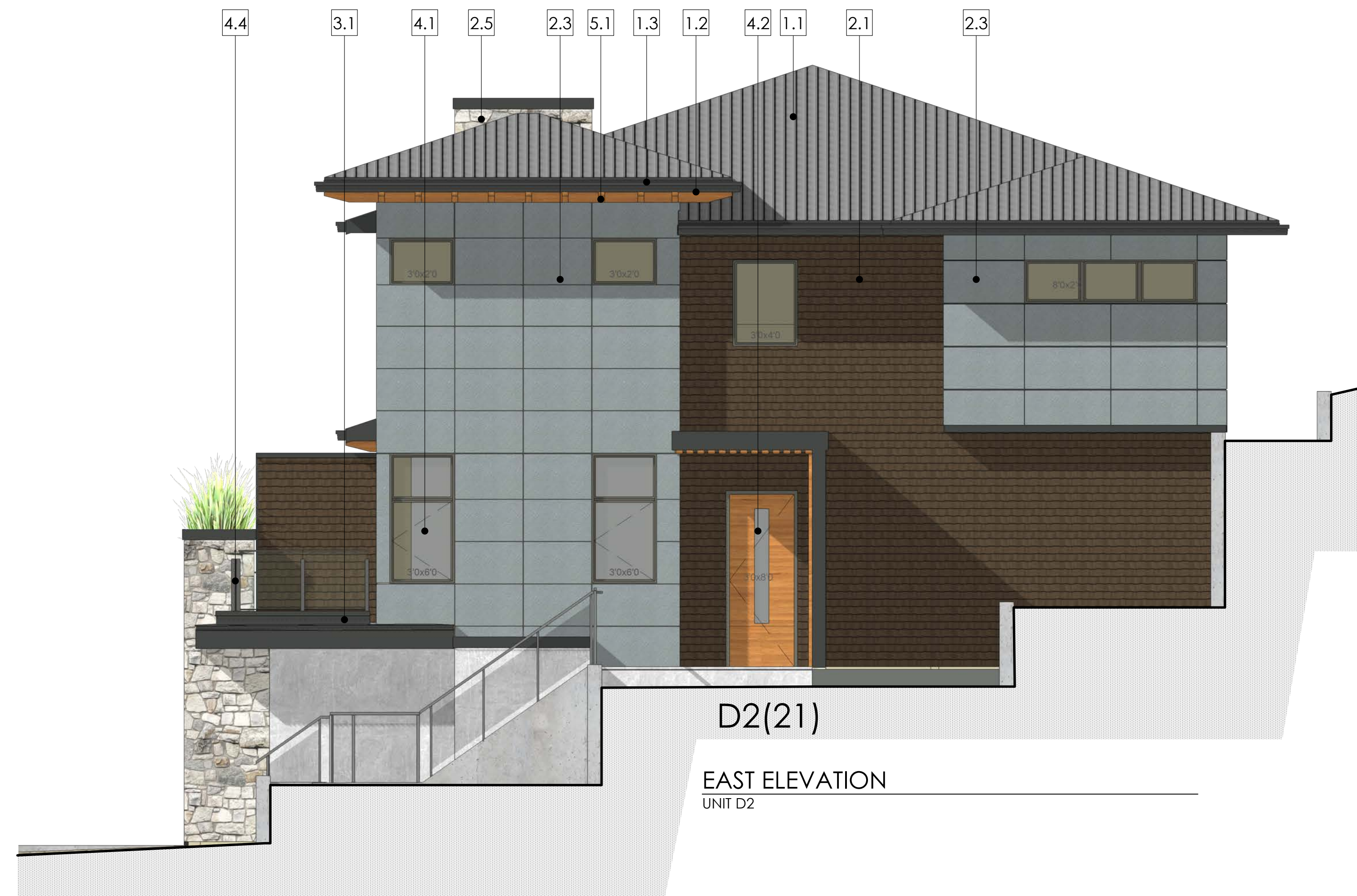


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D2

DRAWING
**FRONT & BACK
ELEVATIONS**

PROJECT#	8030	SHEET	AD2- 4.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
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2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors	Charcoal Gray
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5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D2

DRAWING
EAST & WEST ELEVATIONS

PROJECT#	8030	SHEET	AD2-4.04
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

These plans remain the ownership of Sterling Pacific

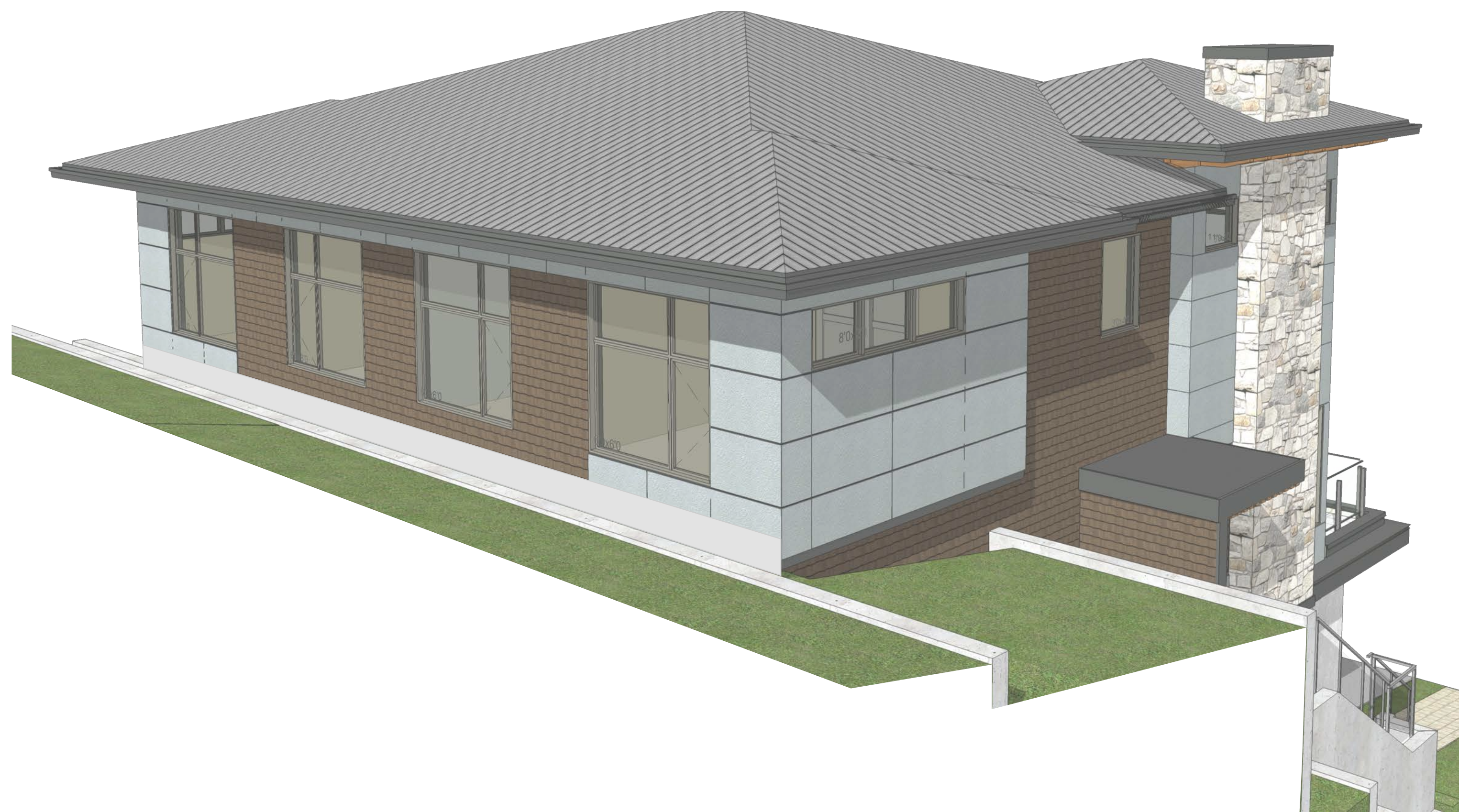
REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



FRONT ELEVATION - CAMERA VIEW
UNIT D2



SIDE ELEVATION - CAMERA VIEW
UNIT D2



BACK ELEVATION - CAMERA VIEW
UNIT D2



SIDE ELEVATION - CAMERA VIEW
UNIT D2



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D2

DRAWING
**FRONT, BACK &
SIDE ELEVATIONS**

PROJECT#	SHEET	
8030	AD2- 4.05	
SCALE		N.T.S.
DATE		OCT 1, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS

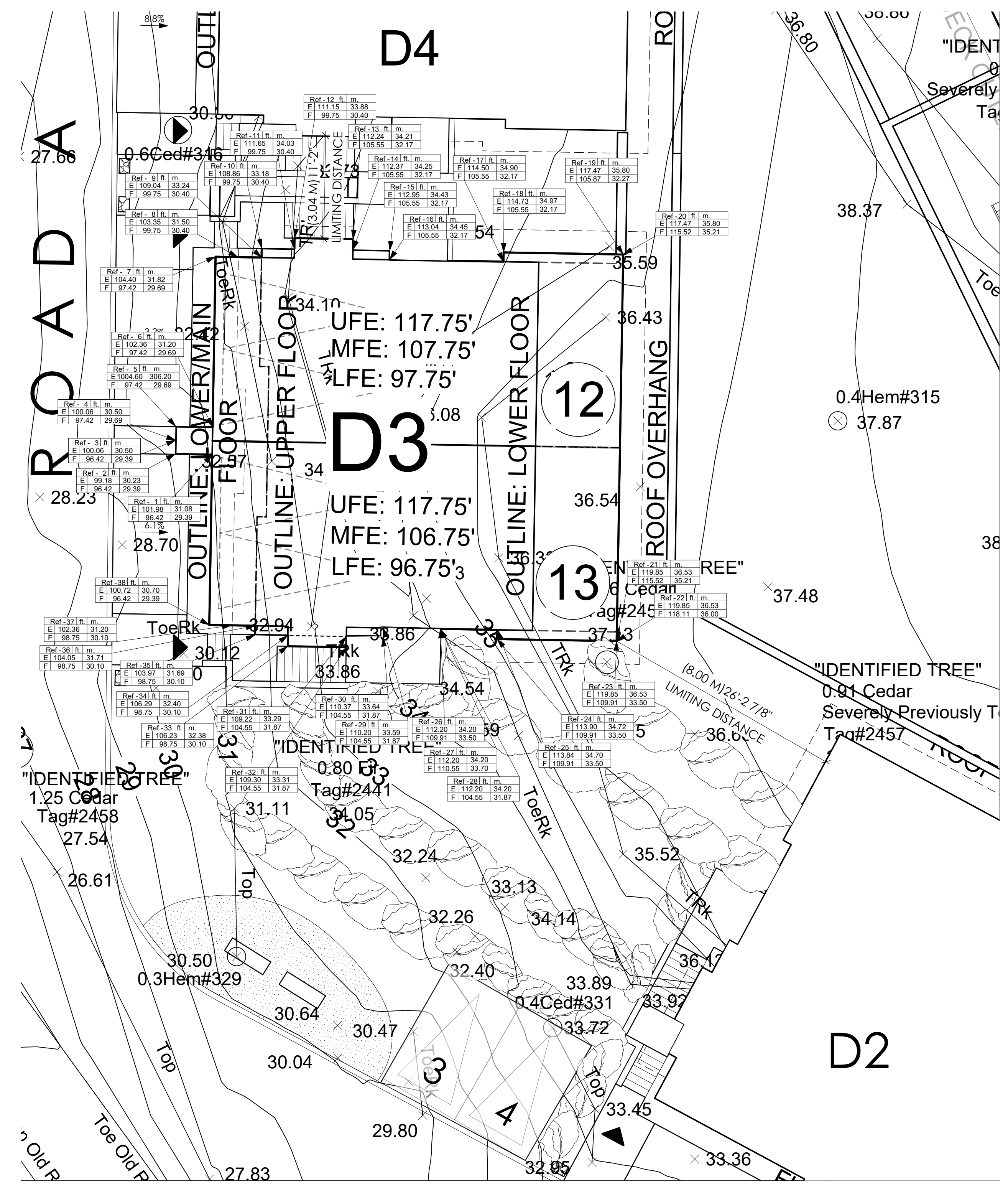
Issued for DP/Rezoning	Aug 31, 2021
DRG/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	101.98	2	99.18	100.58	4.00	402.32
2	99.18	3	100.06	99.62	1.50	149.43
3	100.06	4	100.06	100.06	0.00	0.00
4	100.06	5	104.60	102.33	1.50	153.50
5	104.60	6	102.36	103.48	4.00	413.92
6	102.36	7	104.40	103.38	18.50	1912.53
7	104.40	8	103.35	103.88	2.42	251.07
8	103.35	9	109.04	106.20	2.58	274.30
9	109.04	10	108.86	108.95	1.00	108.95
10	108.86	11	111.15	110.01	3.55	390.74
11	111.15	12	111.65	111.40	1.17	130.00
12	111.65	13	112.24	111.95	6.37	712.53
13	112.24	14	112.37	112.31	1.17	131.06
14	112.37	15	112.95	112.66	4.00	450.64
15	112.95	16	113.04	113.00	1.00	113.00
16	113.04	17	114.50	113.77	12.38	1407.90
17	114.50	18	114.73	114.62	1.00	114.62
18	114.73	19	117.47	116.10	13.00	1509.30
19	117.47	20	117.47	117.47	0.00	0.00
20	117.47	21	119.85	118.66	42.00	4983.72
21	119.85	22	119.85	119.85	0.00	0.00
22	119.85	23	119.85	119.85	0.00	0.00
23	119.85	24	113.84	116.85	13.00	1518.99
24	113.84	25	113.90	113.87	1.00	113.87
25	113.90	26	112.20	113.05	6.17	697.18
26	112.20	27	112.20	112.20	0.00	0.00
27	112.20	28	112.20	112.20	0.00	0.00
28	112.20	29	110.20	111.20	6.21	690.33
29	110.20	30	110.37	110.29	1.00	110.29
30	110.37	31	109.22	109.80	4.00	439.18
31	109.22	32	109.30	109.26	1.17	127.51
32	109.30	33	106.23	107.77	6.37	685.92
33	106.23	34	106.29	106.26	1.17	124.01
34	106.29	35	103.97	105.13	3.55	373.42
35	103.97	36	104.05	104.01	1.00	104.01
36	104.05	37	102.36	103.21	2.58	266.58
37	102.36	38	100.72	101.54	2.42	245.42
38	100.72	1	101.98	101.35	18.50	1874.98
Total					189.25	20981.19
AVG Existing Grade						110.86
Max. Bldg Height (Ft):	29.85					140.71

AVERAGE FINISHED GRADE CALCULATION

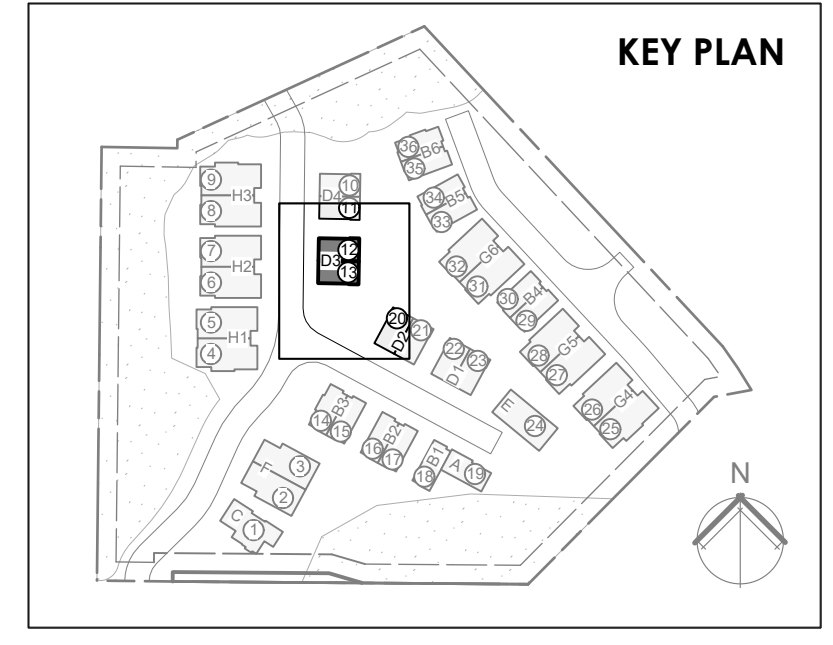
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	96.42	2	96.42	96.42	4.00	385.68
2	96.42	3	96.42	96.42	1.50	144.63
3	96.42	4	97.42	96.92	0.00	0.00
4	97.42	5	97.42	97.42	1.50	146.13
5	97.42	6	97.42	97.42	4.00	389.68
6	97.42	7	97.42	97.42	18.50	1802.27
7	97.42	8	99.75	98.59	2.42	238.28
8	99.75	9	99.75	99.75	2.58	257.65
9	99.75	10	99.75	99.75	1.00	99.75
10	99.75	11	99.75	99.75	3.55	354.31
11	99.75	12	99.75	99.75	1.17	116.41
12	99.75	13	105.55	102.65	6.37	653.37
13	105.55	14	105.55	105.55	1.17	123.18
14	105.55	15	105.55	105.55	4.00	422.20
15	105.55	16	105.55	105.55	1.00	105.55
16	105.55	17	105.55	105.55	12.38	1306.18
17	105.55	18	105.55	105.55	1.00	105.55
18	105.55	19	105.87	105.71	13.00	1374.23
19	105.87	20	115.52	110.70	0.00	0.00
20	115.52	21	115.52	115.52	42.00	4851.84
21	115.52	22	118.11	116.82	0.00	0.00
22	118.11	23	109.91	114.01	0.00	0.00
23	109.91	24	109.91	109.91	13.00	1428.83
24	109.91	25	109.91	109.91	1.00	109.91
25	109.91	26	109.91	109.91	6.17	677.81
26	109.91	27	110.55	110.23	0.00	0.00
27	110.55	28	104.55	107.55	0.00	0.00
28	104.55	29	104.55	104.55	6.21	649.05
29	104.55	30	104.55	104.55	1.00	104.55
30	104.55	31	104.55	104.55	4.00	418.20
31	104.55	32	104.55	104.55	1.17	122.01
32	104.55	33	98.75	101.65	6.37	647.00
33	98.75	34	98.75	98.75	1.17	115.24
34	98.75	35	98.75	98.75	3.55	350.75
35	98.75	36	98.75	98.75	1.00	98.75
36	98.75	37	98.75	98.75	2.58	255.07
37	98.75	38	96.42	97.59	2.42	235.86
38	96.42	1	96.42	96.42	18.50	1783.77
Total					189.25	19873.71
AVG Finish Grade						105.01
Max. Bldg Height (Ft):	29.85					134.86



SITE PLAN
SCALE: 1/8"=1'0"

TOP OF FINISH FLOOR - D3 (12)		
Lower	Main	Upper
29.79 m 97.75'	32.84 m 107.75'	35.89 m 117.75'

TOP OF FINISH FLOOR - D3 (13)		
Lower	Main	Upper
29.49 m 96.75'	32.54 m 106.75'	35.89 m 117.75'



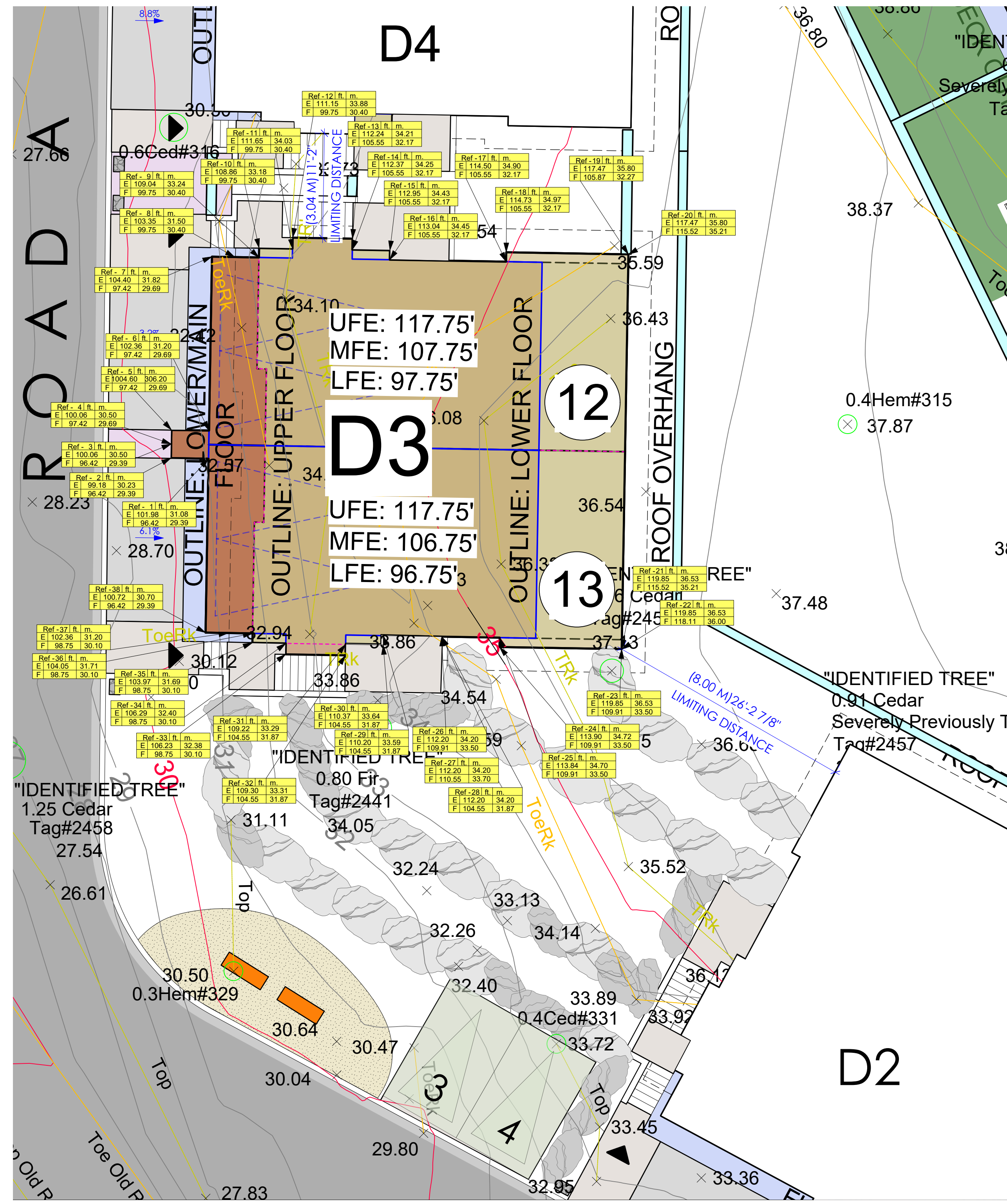
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D3

DRAWING
SITE PLAN

PROJECT# 8030
SCALE 1/8"=1'-0"
DATE OCT 1, 2023
SHEET
AD3-1.01

AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	101.98	2	99.18	100.58	4.00	402.32
2	99.18	3	100.06	99.62	1.50	149.43
3	100.06	4	100.06	100.06	0.00	0.00
4	100.06	5	104.60	102.33	1.50	153.50
5	104.60	6	102.36	103.48	4.00	413.92
6	102.36	7	104.40	103.38	18.50	1912.53
7	104.40	8	103.35	103.88	2.42	251.07
8	103.35	9	109.04	106.20	2.58	274.30
9	109.04	10	108.88	108.95	1.00	108.95
10	108.88	11	111.15	110.01	3.55	390.74
11	111.15	12	111.65	111.40	1.17	130.00
12	111.65	13	112.24	111.95	6.37	712.53
13	112.24	14	112.37	112.31	1.17	131.06
14	112.37	15	112.95	112.66	4.00	450.64
15	112.95	16	113.04	113.00	1.00	113.00
16	113.04	17	114.50	113.77	12.38	1407.90
17	114.50	18	114.73	114.62	1.00	114.62
18	114.73	19	117.47	116.10	13.00	1509.30
19	117.47	20	117.47	117.47	0.00	0.00
20	117.47	21	119.85	118.66	42.00	4983.72
21	119.85	22	119.85	119.85	0.00	0.00
22	119.85	23	119.85	119.85	0.00	0.00
23	119.85	24	113.84	116.85	13.00	1518.99
24	113.84	25	113.90	113.87	1.00	113.87
25	113.90	26	112.20	113.05	6.17	697.18
26	112.20	27	112.20	112.20	0.00	0.00
27	112.20	28	112.20	112.20	0.00	0.00
28	112.20	29	110.20	111.20	6.21	690.33
29	110.20	30	110.37	110.29	1.00	110.29
30	110.37	31	109.22	109.80	4.00	439.18
31	109.22	32	109.30	109.26	1.17	127.51
32	109.30	33	106.23	107.77	6.37	685.92
33	106.23	34	106.29	106.26	1.17	124.01
34	106.29	35	103.97	105.13	3.55	373.42
35	103.97	36	104.05	104.01	1.00	104.01
36	104.05	37	102.36	103.21	2.58	266.58
37	102.36	38	100.72	101.54	2.42	245.42
38	100.72	1	101.98	101.35	18.50	1874.98
Total					189.25	20981.19
AVG Existing Grade						110.86
Max. Bldg Height (Ft):				29.85		140.71

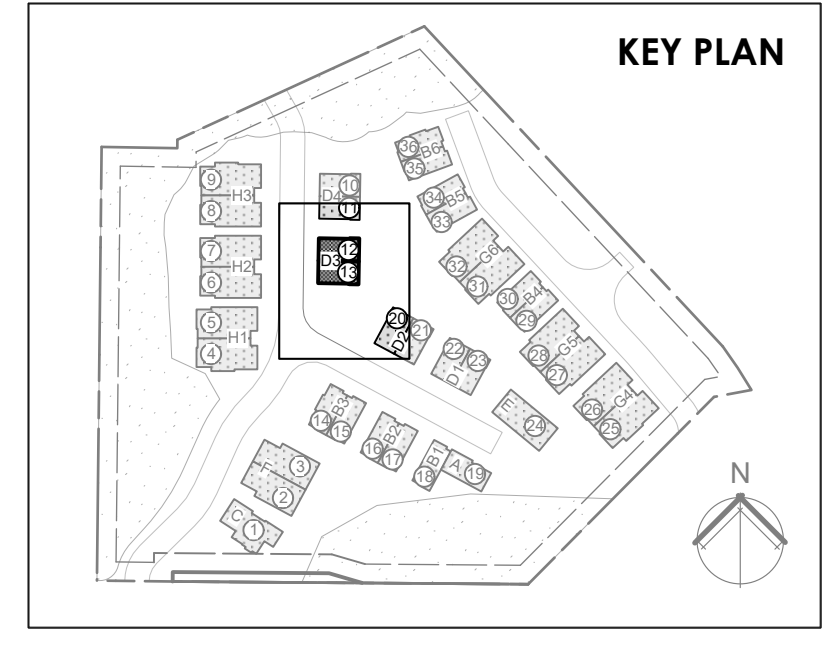
AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	96.42	2	96.42	96.42	4.00	385.68
2	96.42	3	96.42	96.42	1.50	144.63
3	96.42	4	97.42	96.92	0.00	0.00
4	97.42	5	97.42	97.42	1.50	146.13
5	97.42	6	97.42	97.42	4.00	389.68
6	97.42	7	97.42	97.42	18.50	1802.27
7	97.42	8	99.75	98.59	2.42	238.28
8	99.75	9	99.75	99.75	2.58	257.65
9	99.75	10	99.75	99.75	1.00	99.75
10	99.75	11	99.75	99.75	3.55	354.31
11	99.75	12	99.75	99.75	1.17	116.41
12	99.75	13	105.55	102.65	6.37	653.37
13	105.55	14	105.55	105.55	1.17	123.18
14	105.55	15	105.55	105.55	4.00	422.20
15	105.55	16	105.55	105.55	1.00	105.55
16	105.55	17	105.55	105.55	12.38	1306.18
17	105.55	18	105.55	105.55	1.00	105.55
18	105.55	19	105.87	105.71	13.00	1374.23
19	105.87	20	115.52	110.70	0.00	0.00
20	115.52	21	115.52	115.52	42.00	4851.84
21	115.52	22	118.11	116.82	0.00	0.00
22	118.11	23	109.91	114.01	0.00	0.00
23	109.91	24	109.91	109.91	13.00	1428.83
24	109.91	25	109.91	109.91	1.00	109.91
25	109.91	26	109.91	109.91	6.17	677.81
26	109.91	27	110.55	110.23	0.00	0.00
27	110.55	28	104.55	107.55	0.00	0.00
28	104.55	29	104.55	104.55	6.21	649.05
29	104.55	30	104.55	104.55	1.00	104.55
30	104.55	31	104.55	104.55	4.00	418.20
31	104.55	32	104.55	104.55	1.17	122.01
32	104.55	33	98.75	101.65	6.37	647.00
33	98.75	34	98.75	98.75	1.17	115.24
34	98.75	35	98.75	98.75	3.55	350.76
35	98.75	36	98.75	98.75	1.00	98.75
36	98.75	37	98.75	98.75	2.58	255.07
37	98.75	38	96.42	97.50	2.42	235.86
38	96.42	1	96.42	96.42	18.50	1783.77
Total					189.25	19873.71
AVG Finish Grade						105.01
Max. Bldg Height (Ft):				29.85		134.86



SITE PLAN
SCALE: 1/8"=1'0"

TOP OF FINISH FLOOR - D3 (12)		
Lower	Main	Upper
29.79 m 97.75'	32.84 m 107.75'	35.89 m 117.75'

TOP OF FINISH FLOOR - D3 (13)		
Lower	Main	Upper
29.49 m 96.75'	32.54 m 106.75'	35.89 m 117.75'



These plans remain the ownership of Sterling Pacific

REVISIONS		
Issued for DP/Rezoning		Aug 31, 2021
DRG/ Public Comment Revisions		MAY 12, 2023
G1, G2, G3 Revisions		JULY 31, 2023
H unit additions		Oct 1, 2023



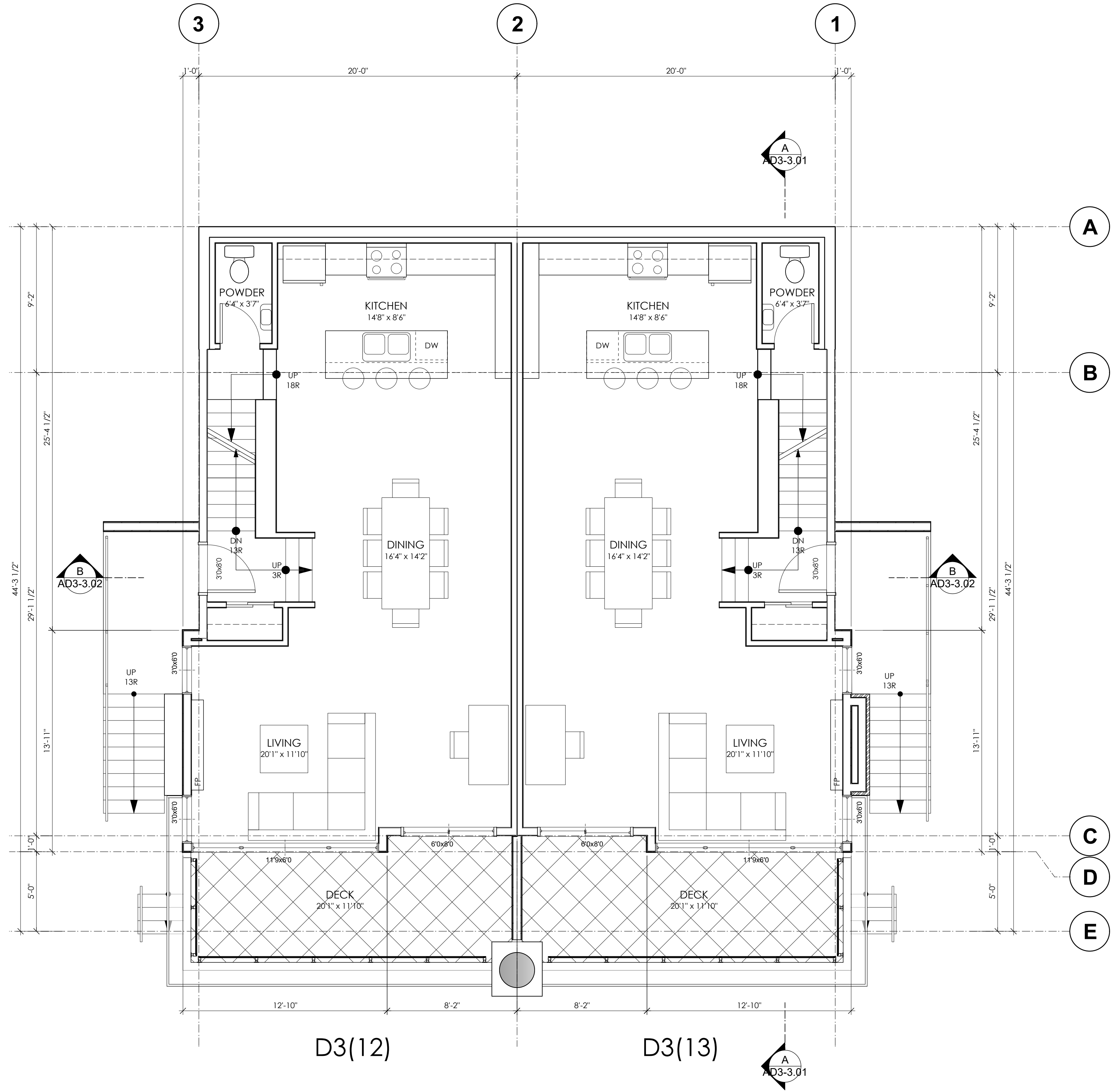
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D3

DRAWING
SITE PLAN

PROJECT#	SHEET
8030	AD3-1.01
SCALE	1/8"=1'-0"
DATE	OCT 1, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

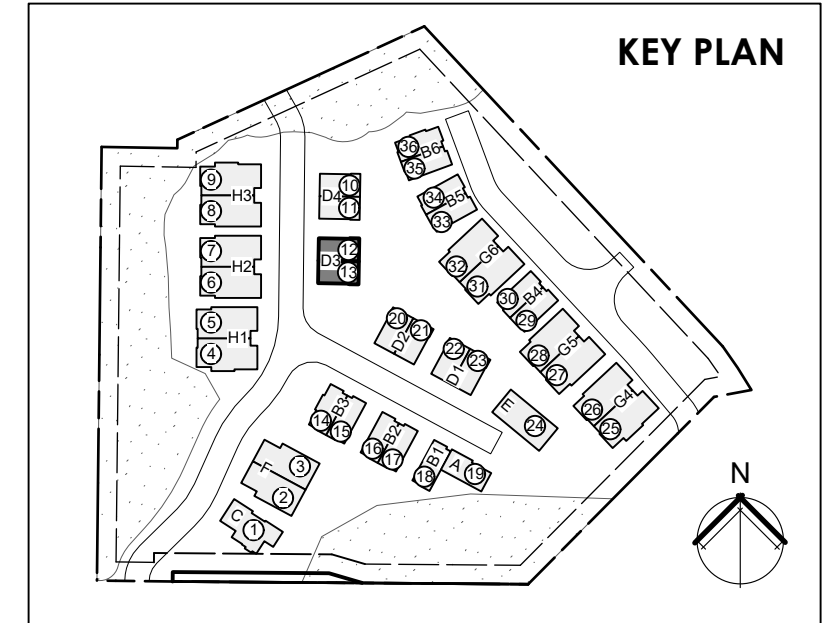


MAIN FLOOR PLAN
UNIT D3



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D3

DRAWING
MAIN FLOOR PLAN



UNIT 12 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.6 SF	804.6 SF	1596.2 SF

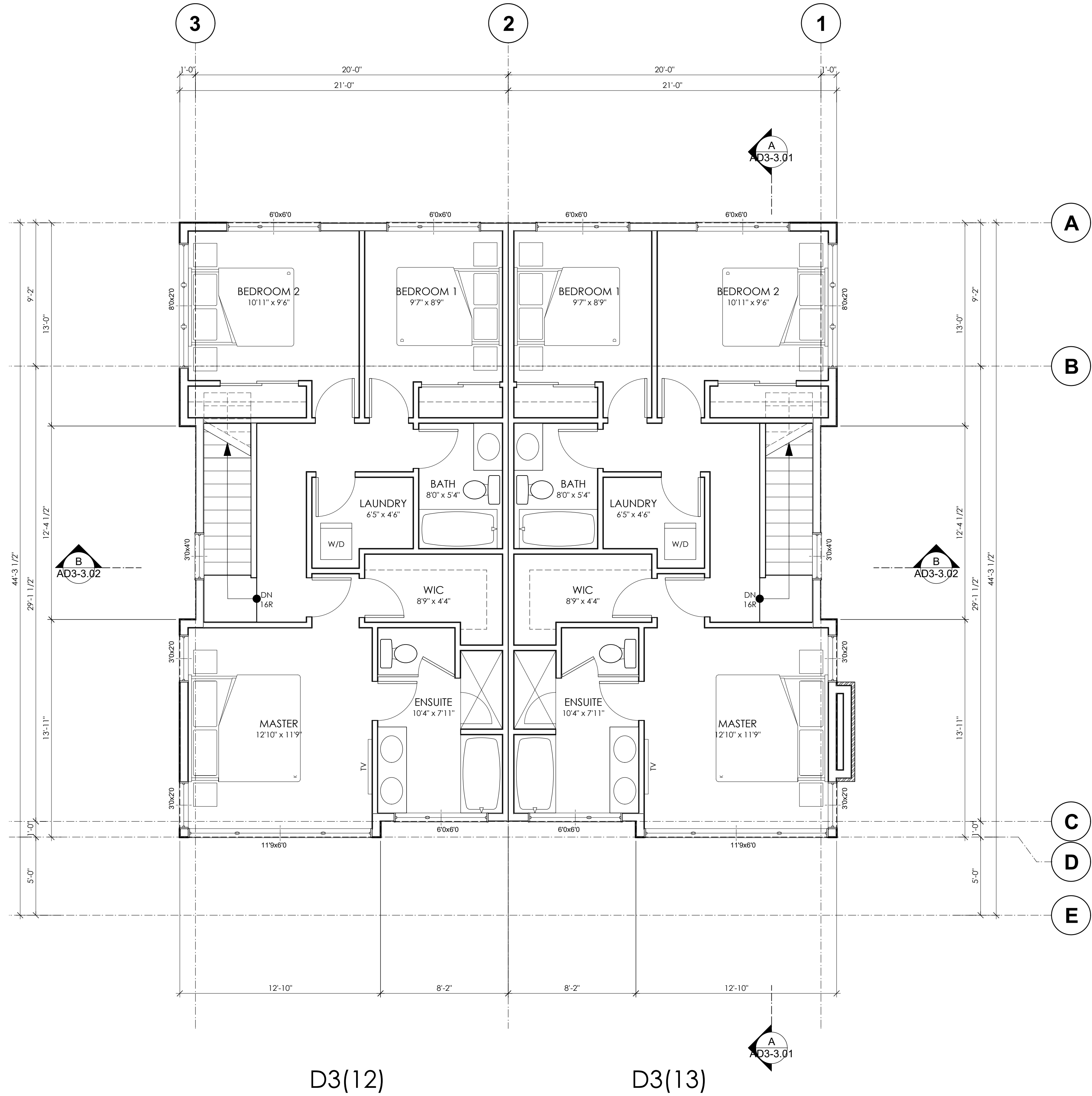
UNIT 12 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	73.5 SM	74.7 SM	213.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	73.5 SM	74.7 SM	148.3 SM

UNIT 13 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	797.3 SF	810.3 SF	2310.1 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.3 SF	810.3 SF	1607.6 SF

UNIT 13 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	74.1 SM	75.3 SM	214.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	74.1 SM	75.3 SM	149.3 SM

PROJECT#	8030	SHEET	AD3-2.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



D3(12) D3(13)

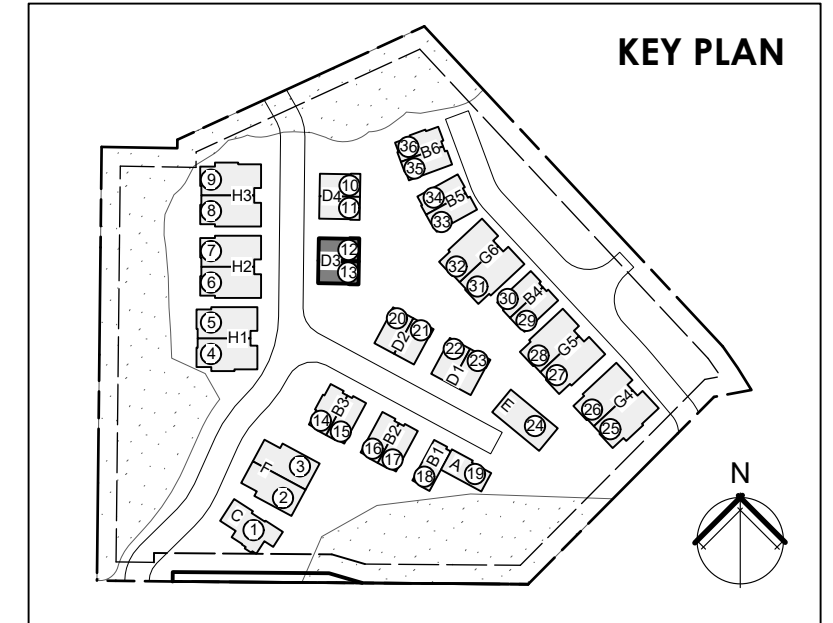
UPPER FLOOR PLAN
UNIT D3

UNIT 12 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.6 SF	804.6 SF	1596.2 SF

UNIT 12 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	73.5 SM	74.7 SM	213.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	73.5 SM	74.7 SM	148.3 SM

UNIT 13 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	797.3 SF	810.3 SF	2310.1 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.3 SF	810.3 SF	1607.6 SF

UNIT 13 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	74.1 SM	75.3 SM	214.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	74.1 SM	75.3 SM	149.3 SM

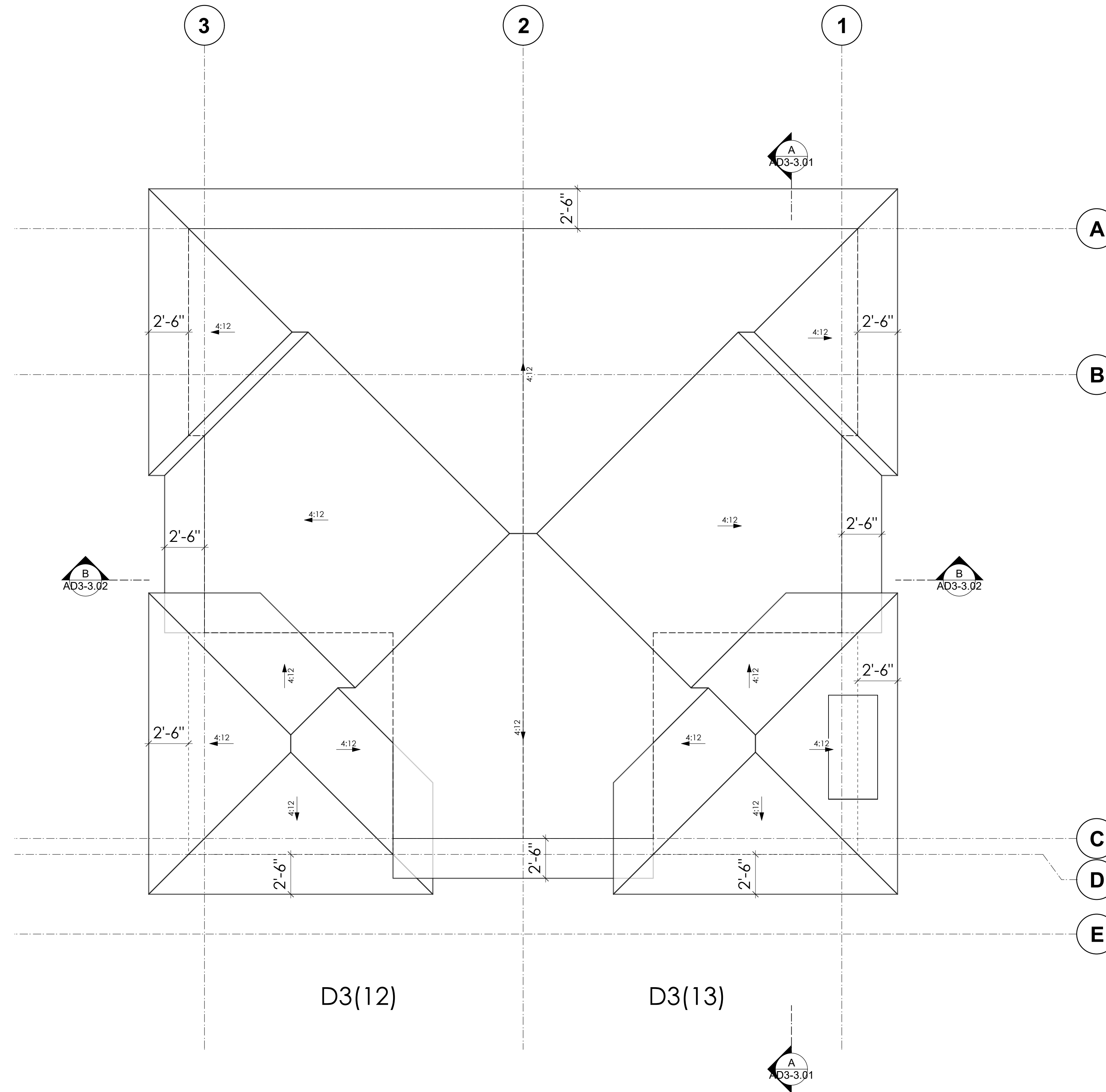


PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D3

DRAWING
UPPER FLOOR PLAN

PROJECT#	8030	SHEET	AD3-2.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

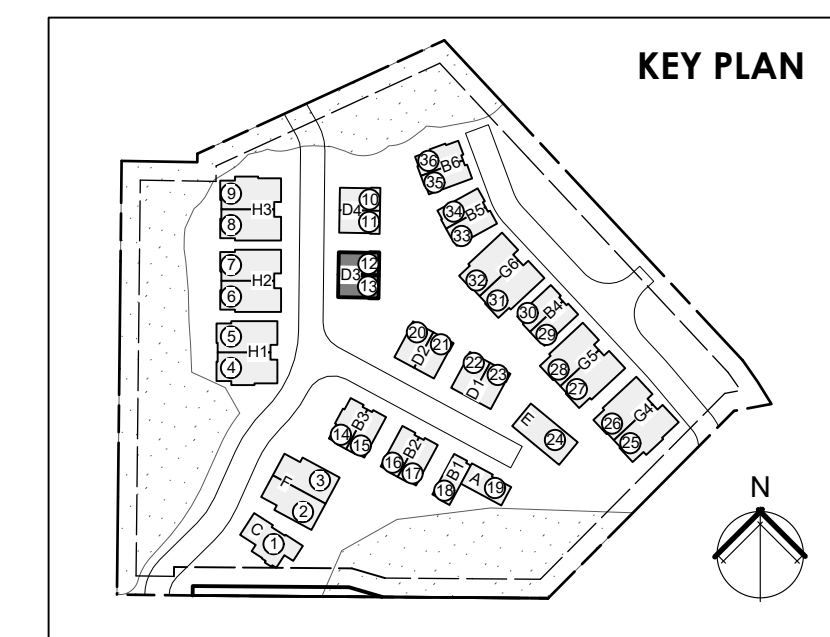


ROOF PLAN
UNIT D3



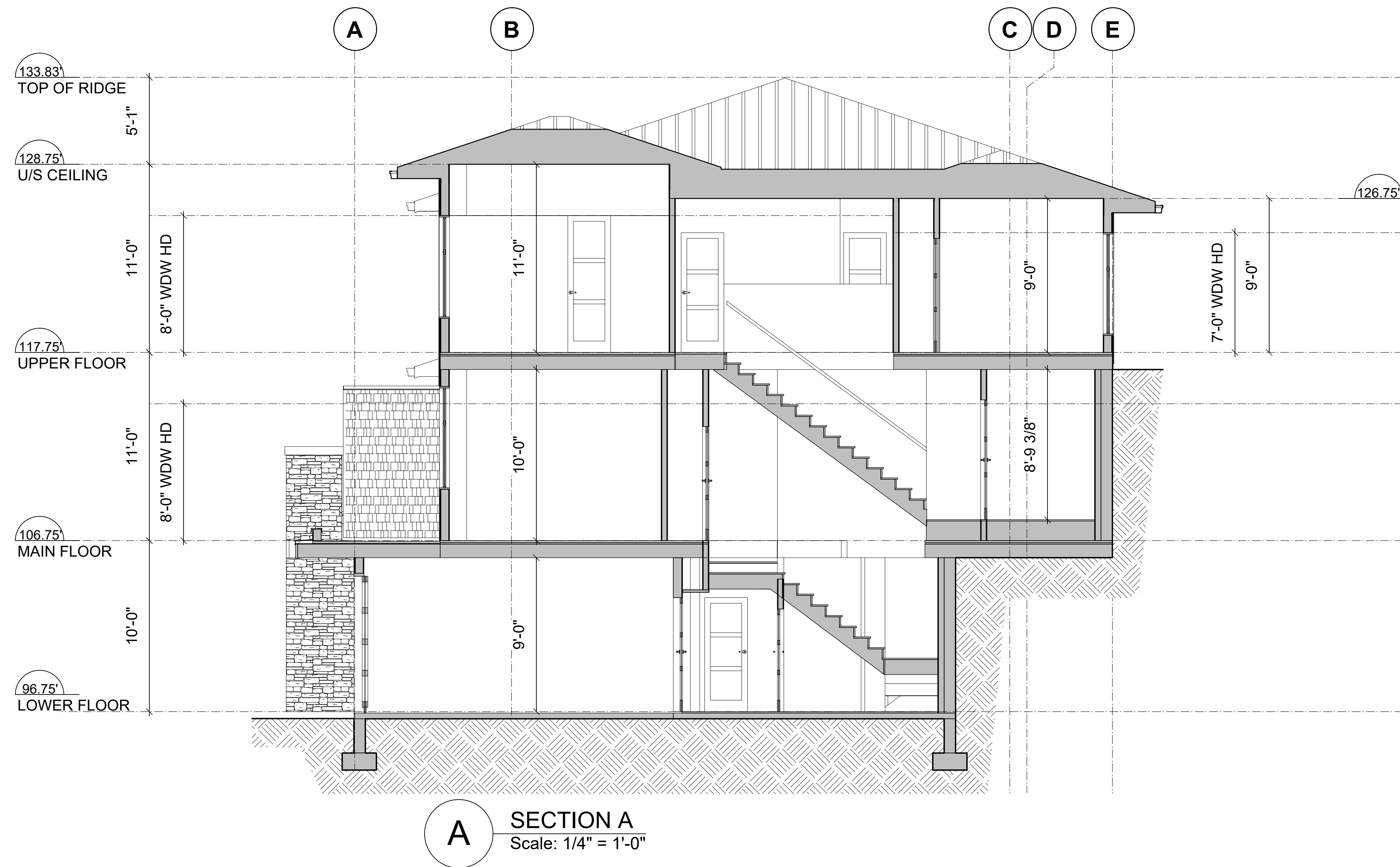
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D3

DRAWING
ROOF PLAN



PROJECT#	SHEET
8030	AD3-2.04
SCALE 1/4" = 1'-0"	
DATE OCT 1, 2023	

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D3

DRAWING
SECTION A-A

PROJECT#	8030	SHEET AD3-3.01
SCALE	1/4" = 1'-0"	
DATE	OCT 1, 2023	