



District of West Vancouver Development Permit No. 20-007

CURRENT OWNER: MAGED SHEHATA

THIS DEVELOPMENT PERMIT APPLIES TO:

CIVIC ADDRESS: 2950 ROSEBERY AVENUE

LEGAL DESCRIPTION: PID 007-504-527
LOT A BLOCKS 116 AND 117 DISTRICT LOT 556 PLAN
16392
(the 'Lands')

1. This Development Permit:
 - a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan as Development Permit Area to ensure that detached secondary suites meet a high quality of building and landscape design, and are compatible both with the principal dwelling on the lot, and the built form character of the local neighbourhood and subject to Guidelines BF-B 3.1 specified in the Official Community Plan;
 - b) is issued subject to the Owner's compliance with all of the Bylaws of the District applicable to the Lands, except as varied or supplemented by this Permit.
2. The following requirements and conditions shall apply to the Lands:
 - a) Building, structures, and site development shall take place in accordance with the attached **Schedule A**.
 - b) Landscaping must adhere to **Schedule B**.
 - c) Tree protection, removal, and replacement shall take place in accordance with **Schedule C**.
3. Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner shall:
 - a) provide and implement a plan for traffic management during construction, to the satisfaction of the District's Manager of Land Development; and
 - b) install tree, vegetation and/or hedge protection measures as required to the satisfaction of the District's Environmental Protection Officer; and

- c) submit a "Sediment and Erosion Control Plan" to the District's Environmental Protection Officer for approval, and the owner shall be responsible for maintaining, repairing and implementing the Sediment Control Measures.
4. Prior to Building Permit application and as security for the due and proper completion of the measures to protect development and landscaping set forth in Section 2 of this Development Permit (the "Tree Protection Measures"), the Owner shall:
 - (a) provide security in the amount of \$5,000.00 to the District in the form of cheque; and
 - (b) maintain the security until completion of the work, and not prior to the date on which the District Environmental Protection Officer authorizes in writing the release of the security.
5. In the event that the landscaping is not completed or trees retained as provided for in this Permit, the District may, at its option, enter upon, carry out and complete the landscaping or tree replacement so as to satisfy the terms of the Development Permit, and recover the costs of doing so from the security deposited, including the costs of administration and supervision.
6. This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES APPROVED THIS DEVELOPMENT PERMIT ON July 21, 2021



Jim Bailey, Director of Planning and Development Services

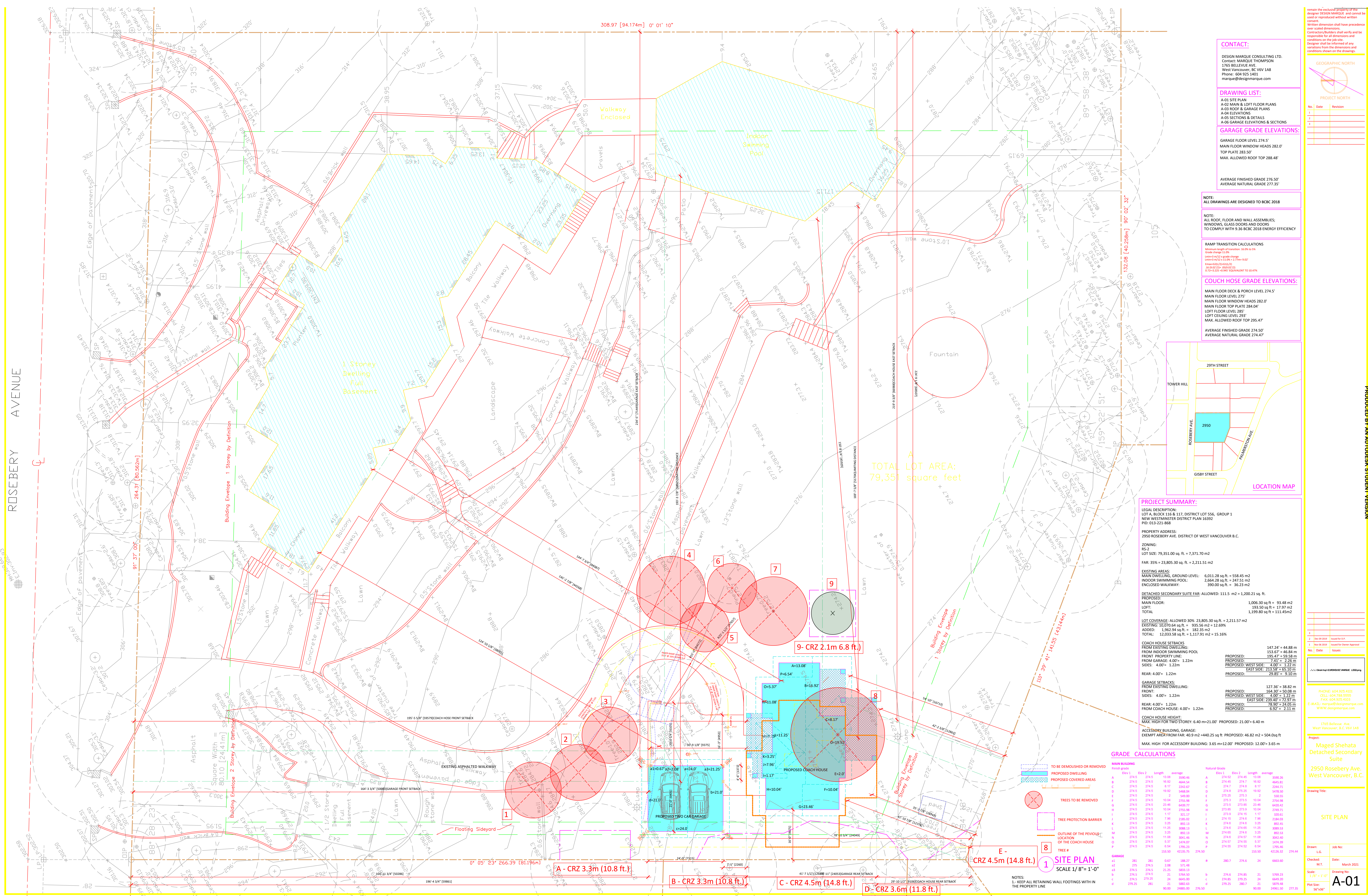
THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO BY THE CURRENT OWNER. IT IS UNDERSTOOD:

- THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION; AND
- THE DEVELOPMENT MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFIED AT THE BUILDING PERMIT STAGE.

FOR THE PURPOSES OF SECTION 6, THIS PERMIT IS ISSUED ON July 21, 2021.

Schedules:

- A – Proposed Development Plans, prepared by Design Marque Consulting Ltd., date received July 19, 2021
- B – Landscape Plan, prepared by Design Marque Consulting Ltd., date received June 17, 2021
- C – Arborist Report, prepared by uTree Environmental Consultants, date received April 13, 2021



CONTACT:

DESIGN MARQUE CONSULTING LTD.
 Contact: MARQUE THOMPSON
 2765 RELEVUE AVE.
 West Vancouver, BC V6V 1A8
 Phone: 604 925 1401
 marque@designmarque.com

DRAWING LIST:

- A-01 SITE PLAN
- A-02 MAIN & LOFT FLOOR PLANS
- A-03 ROOF & GARAGE PLANS
- A-04 ELEVATIONS
- A-05 SECTIONS & DETAILS
- A-06 GARAGE ELEVATIONS & SECTIONS

GARAGE GRADE ELEVATIONS:

GARAGE FLOOR LEVEL 274.5'
 MAIN FLOOR WINDOW HEADS 282.0'
 TOP PLATE 283.50'
 MAX. ALLOWED ROOF TOP 288.48'
 AVERAGE FINISHED GRADE 276.50'
 AVERAGE NATURAL GRADE 277.35'

NOTE:

ALL DRAWINGS ARE DESIGNED TO CBC 2018
 NOTE: ALL ROOF, FLOOR AND WALL ASSEMBLIES; WINDOWS, GLASS DOORS AND DOORS TO COMPLY WITH 9.36 CBC 2018 ENERGY EFFICIENCY

RAMP TRANSITION CALCULATIONS:

Maximum length of transition: 50.0% to 5%
 Slope: 1:12.5 (8.33%)
 Length: 10.0m (32.81 ft)
 Elevation: 274.50' to 276.50'
 Elevation: 276.50' to 277.35'
 Slope: 0.75% to 0.94% EQUIVALENT TO 10.4%

COUCH HOSE GRADE ELEVATIONS:

MAIN FLOOR DECK & PORCH LEVEL 274.5'
 MAIN FLOOR LEVEL 275'
 MAIN FLOOR WINDOW HEADS 282.0'
 MAIN FLOOR TOP PLATE 283.50'
 LOFT FLOOR LEVEL 285'
 LOFT CEILING LEVEL 291'
 MAX. ALLOWED ROOF TOP 295.47'
 AVERAGE FINISHED GRADE 274.50'
 AVERAGE NATURAL GRADE 274.47'

PROJECT SUMMARY:

LEGAL DESCRIPTION:
 LOT 1A, BLOCK 116 & 117, DISTRICT LOT 556, GROUP 1
 NEW WESTMINSTER DISTRICT PLAN 36392
 PID: 013-231-868

PROPERTY ADDRESS:
 2950 ROSEBERRY AVE., DISTRICT OF WEST VANCOUVER B.C.

ZONING:
 RS-2
 LOT SIZE: 79,351.00 sq. ft. = 7,371.70 m²
 FAR: 35% = 23,805.30 sq. ft. = 2,211.51 m²

EXISTING AREAS:
 MAX. OVERLIEING GROUND LEVEL: 6,011.28 sq. ft. = 558.45 m²
 INDOOR SWIMMING POOL: 2,664.28 sq. ft. = 247.51 m²
 ENCLOSED WALKWAY: 390.00 sq. ft. = 36.23 m²

DETACHED SECONDARY SUITE FAR: ALLOWED: 111.5 m² = 1,200.21 sq. ft.
 MAIN FLOOR: 1,006.30 sq. ft. = 93.48 m²
 LOFT: 193.50 sq. ft. = 17.97 m²
 TOTAL: 1,199.80 sq. ft. = 111.45 m²

LOT COVERAGE: ALLOWED 30% 23,805.30 sq. ft. = 2,211.57 m²
 EXISTING 30,070.64 sq. ft. = 2,789.56 m²
 ADDED: 1,862.64 sq. ft. = 172.85 m²
 TOTAL: 32,933.28 sq. ft. = 3,062.41 m²

COACH HOUSE SETBACKS:
 FROM EXISTING DWELLING: 147.24' = 44.88 m
 FROM INDOOR SWIMMING POOL: 153.67' = 46.84 m
 FROM PROPERTY LINE: 195.47' = 59.58 m
 FROM GARAGE: 4.00' = 1.22 m
 PROPOSED: WEST SIDE: 4.00' = 1.22 m
 EAST SIDE: 11.5' = 3.51 m
 REAR: 4.00' = 1.22 m
 PROPOSED: EAST SIDE: 25.85' = 7.87 m

GARAGE SETBACKS:
 FROM EXISTING DWELLING: 127.36' = 38.82 m
 FROM GARAGE: 4.00' = 1.22 m
 PROPOSED: WEST SIDE: 4.00' = 1.22 m
 EAST SIDE: 23.50' = 7.16 m
 REAR: 4.00' = 1.22 m
 PROPOSED: WEST SIDE: 78.90' = 24.05 m
 EAST SIDE: 6.92' = 2.11 m

COACH HOUSE HEIGHT:
 MAX. HIGH FOR TWO-STORY: 6.40 m = 21.00' PROPOSED: 21.00' = 6.40 m
 ACCESSORY BUILDING, GARAGE:
 EXEMPT AREA FROM FAR: 40.9 m² = 440.25 sq. ft. PROPOSED: 46.82 m² = 504.04 sq. ft.
 MAX. HIGH FOR ACCESSORY BUILDING: 3.65 m = 12.00' PROPOSED: 12.00' = 3.65 m

GRADE CALCULATIONS

Point	Elev 1	Elev 2	Length	Average	Natural Grade	Proposed Grade
A	274.5	274.5	10.00	274.50	274.50	274.50
B	274.5	274.5	10.00	274.50	274.50	274.50
C	274.5	274.5	10.00	274.50	274.50	274.50
D	274.5	274.5	10.00	274.50	274.50	274.50
E	274.5	274.5	10.00	274.50	274.50	274.50
F	274.5	274.5	10.00	274.50	274.50	274.50
G	274.5	274.5	10.00	274.50	274.50	274.50
H	274.5	274.5	10.00	274.50	274.50	274.50
I	274.5	274.5	10.00	274.50	274.50	274.50
J	274.5	274.5	10.00	274.50	274.50	274.50
K	274.5	274.5	10.00	274.50	274.50	274.50
L	274.5	274.5	10.00	274.50	274.50	274.50
M	274.5	274.5	10.00	274.50	274.50	274.50
N	274.5	274.5	10.00	274.50	274.50	274.50
O	274.5	274.5	10.00	274.50	274.50	274.50
P	274.5	274.5	10.00	274.50	274.50	274.50

TREES TO BE REMOVED

Tree #	Species	Height	DBH	Condition
1	Tree	10.00	10.00	Good
2	Tree	10.00	10.00	Good
3	Tree	10.00	10.00	Good
4	Tree	10.00	10.00	Good
5	Tree	10.00	10.00	Good
6	Tree	10.00	10.00	Good
7	Tree	10.00	10.00	Good
8	Tree	10.00	10.00	Good
9	Tree	10.00	10.00	Good

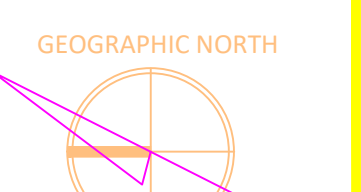
LEGEND

- TO BE DEMOLISHED OR REMOVED
- PROPOSED DWELLING
- PROPOSED COVERED AREAS
- TREES TO BE REMOVED
- TREE PROTECTION BARRIER
- OUTLINE OF THE PREVIOUS LOCATION OF THE COACH HOUSE
- TREE #

1 SITE PLAN SCALE 1/8" = 1'-0"

NOTES:
 1. KEEP ALL RETAINING WALL FOOTINGS WITH IN THE PROPERTY LINE

retain the exclusive property of the designer. No part of this drawing shall be used or reproduced without written consent. Written dimension shall have precedence over verbal dimensions. Contractor/Builder shall verify and be responsible for all dimensions and conditions on the job-site. Designer shall be responsible for any variations from the dimensions and conditions shown on the drawings.



No.	Date	Revision
1		
2		
3		
4		
5		
6		
7		
8		
9		



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 WWW: designmarque.com

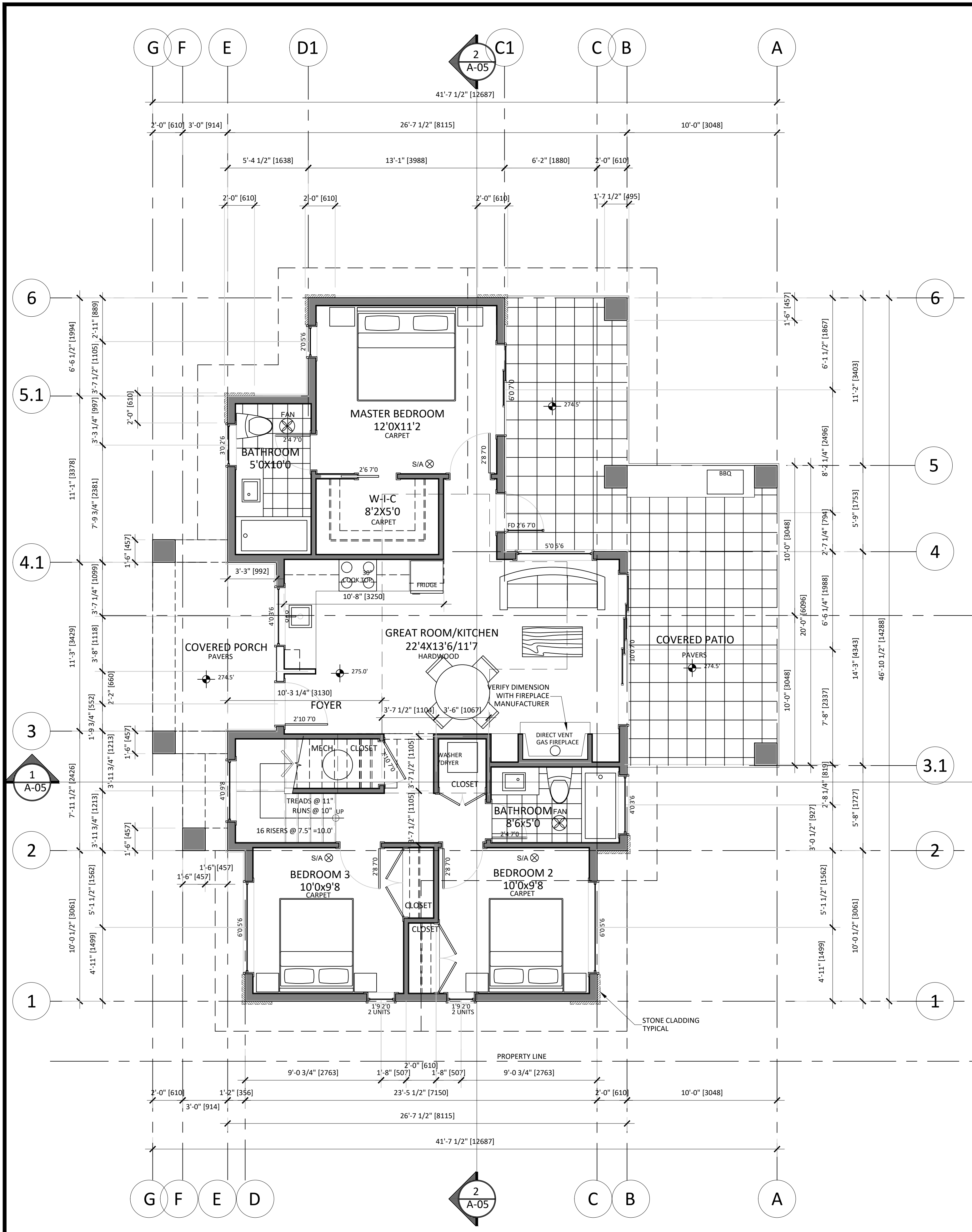
1715 Bellevue Ave
 West Vancouver, B.C. V6V 1A8

Project:
 Maged Shehata
 Detached Secondary Suite
 2950 Rosebery Ave.
 West Vancouver, B.C.

Drawing Title:
 SITE PLAN

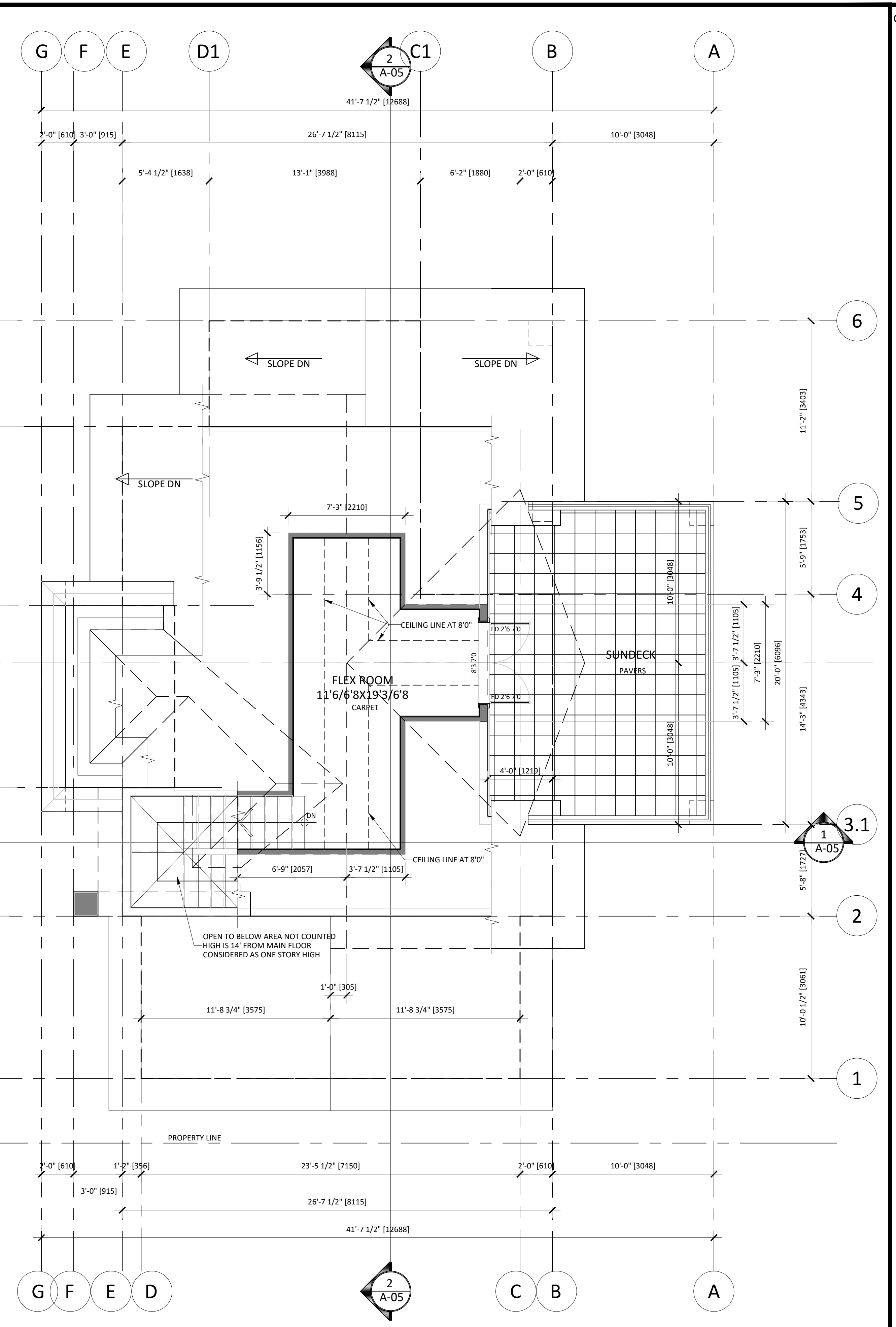
Drawn: L.G. Job No:
 Checked: M.T. Date: March 2023
 Scale: 1/8" = 1'-0"
 Plot Size: 56"x36"

A-01



1 MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"

AREA 1,006.30 SQ. FT. = 93.48 m²,
TOTAL AREA 1,199.80 SQ. FT. = 111.46 m²,

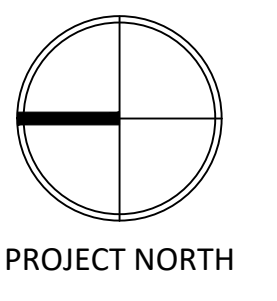


2 LOFT FLOOR PLAN
SCALE 1/4" = 1'-0" AREA 193.50 SQ. FT. = 17.97 m²,

NOTE:
DRAWINGS DONE TO BCBC 2018

0' 1' 3' 5' 10' 15'

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Written dimension shall have precedence over scaled dimensions.
Contractors/builders shall verify and be responsible for all dimensions and conditions on the job-site.
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No.	Date	Revision
1		

No.	Date	Issues:
3		
2	Nov 25 2019	Issued for D.P.
1	Nov 06 2019	Issued for Owner Approval



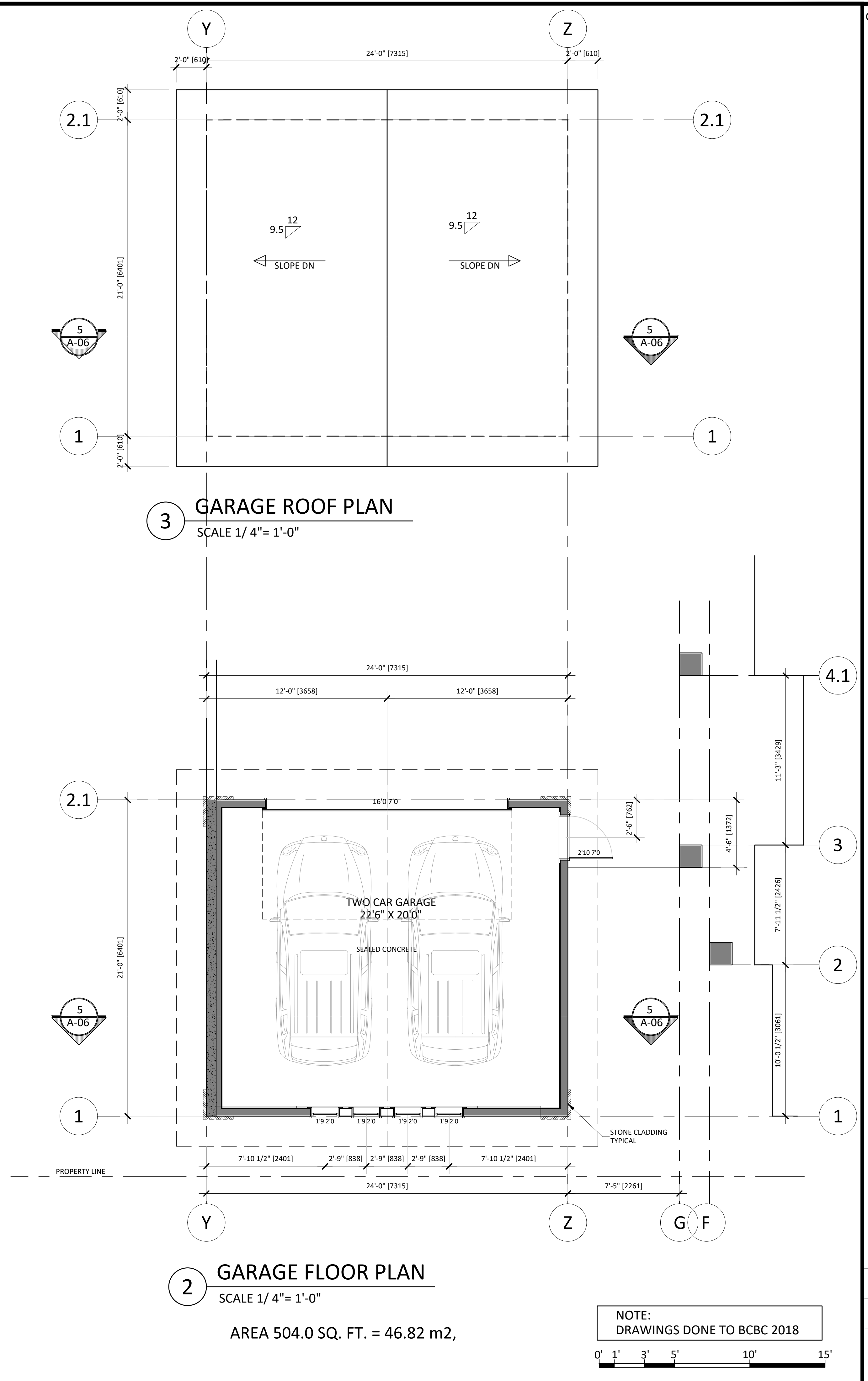
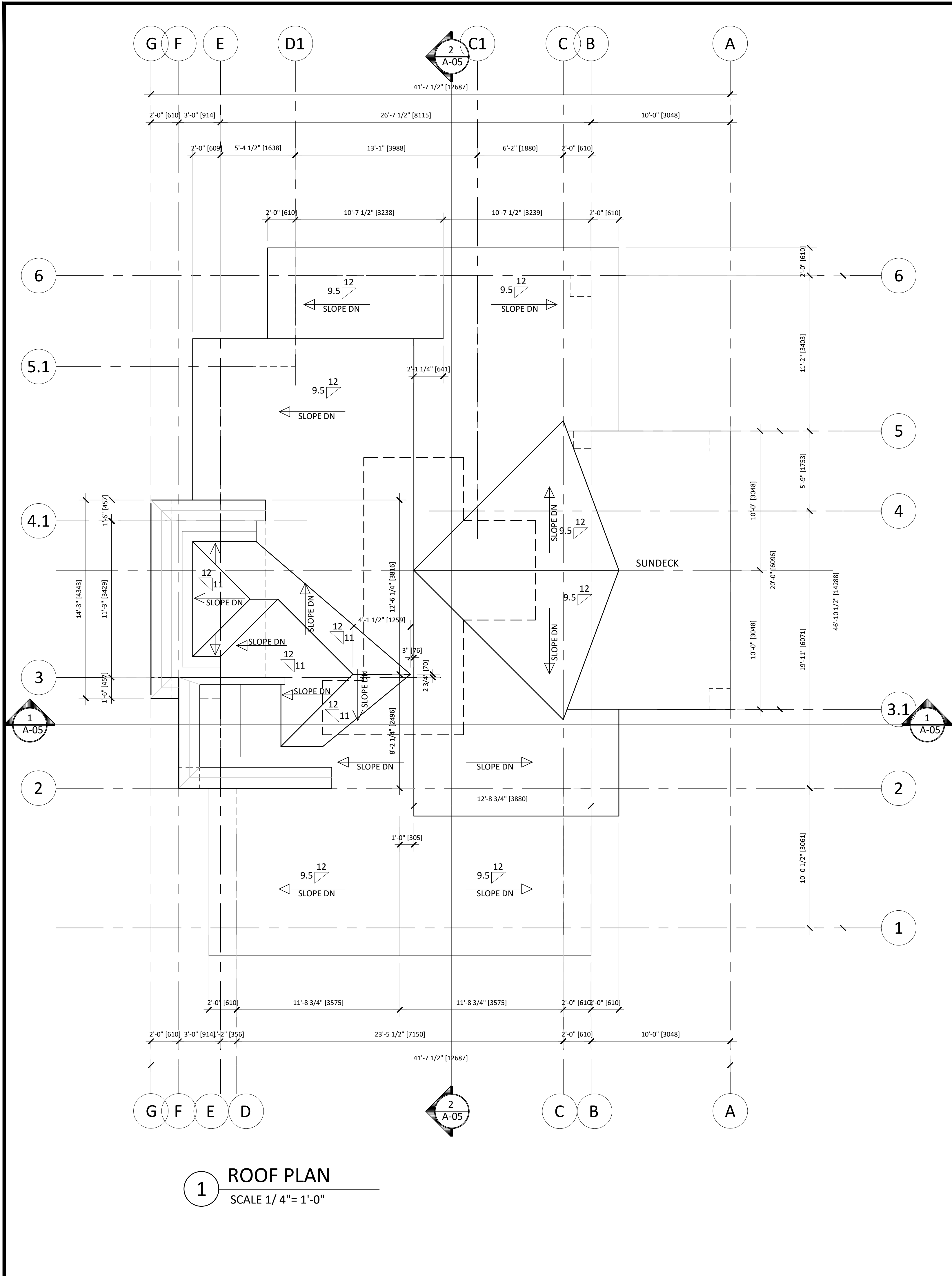
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E-MAIL: marquee@designmarque.com
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1765 Bellevue Ave.
West Vancouver, B.C. V6V 1A8

Project:
**Maged Shehata
Detached Secondary
Suite**
2950 Rosebery Ave.
West Vancouver, B.C.

Drawing Title:
**MAIN & LOFT
FLOOR PLANS**

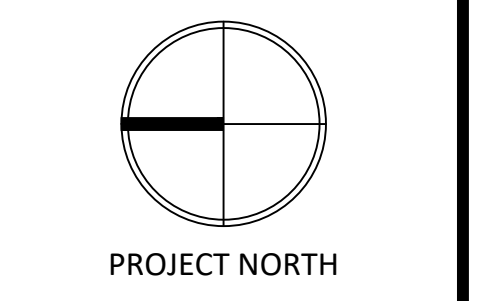
Drawn: L.G.	Job No:
Checked: M.T.	Date: October 2019
Scale: 1/4" = 1'-0"	Drawing No: A-02
Plot Size: 36" x 24"	



NOTE:
DRAWINGS DONE TO BCBC 2018

0' 1' 3' 5' 10' 15'

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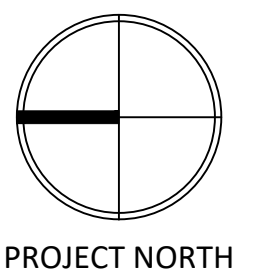
Project:
**Maged Shehata
Detached Secondary
Suite**
2950 Rosebery Ave.
West Vancouver, B.C.

Drawing Title:
**ROOF PLAN
COACH HOUSE
GARAGE PLANS**

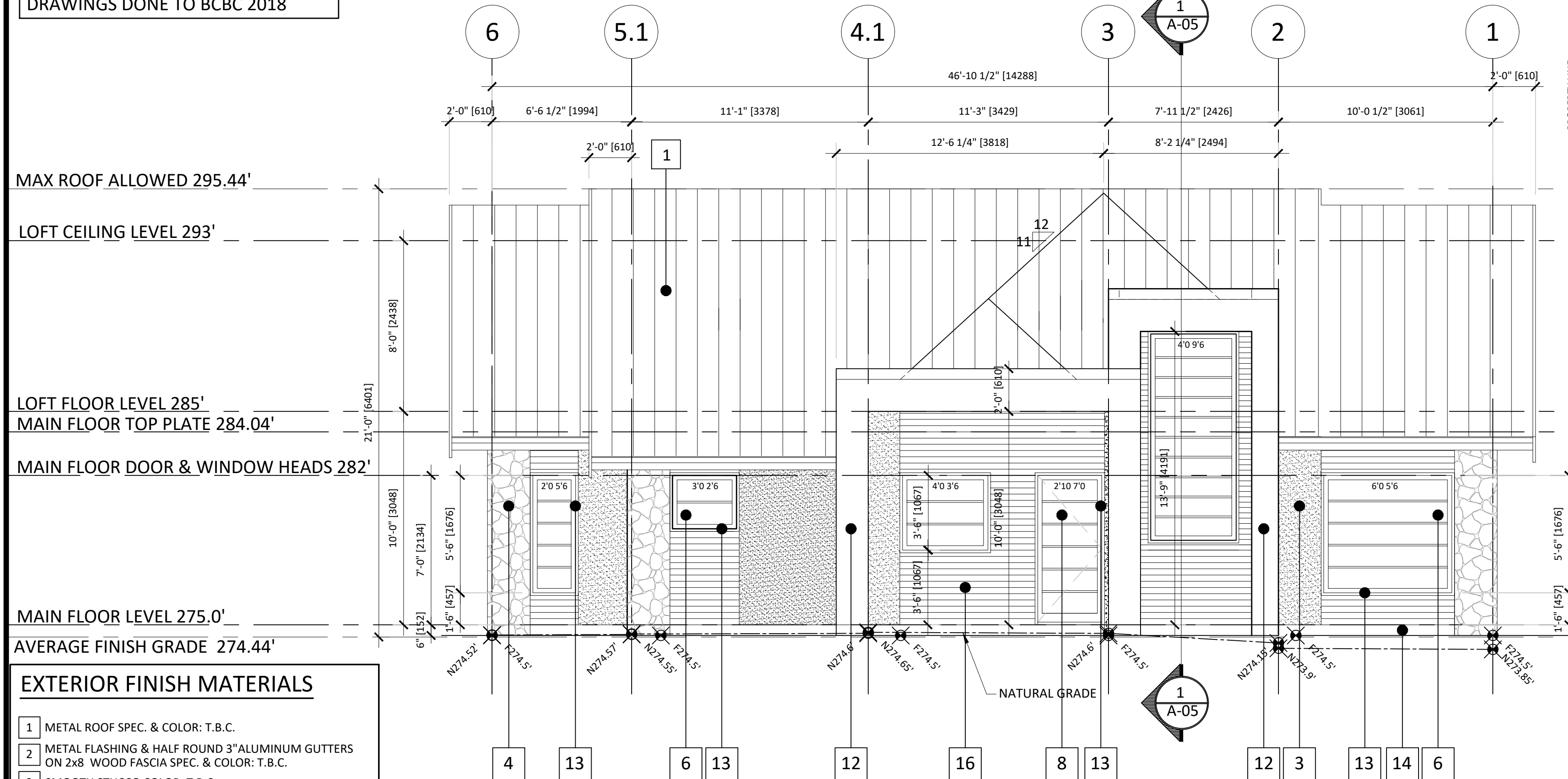
Drawn: L.G.	Job No:
Checked: M.T.	Date: October 2019
Scale: AS NOTED	Drawing No: A-03
Plot Size: 36" x 24"	

NOTE:
DRAWINGS DONE TO BCBC 2018

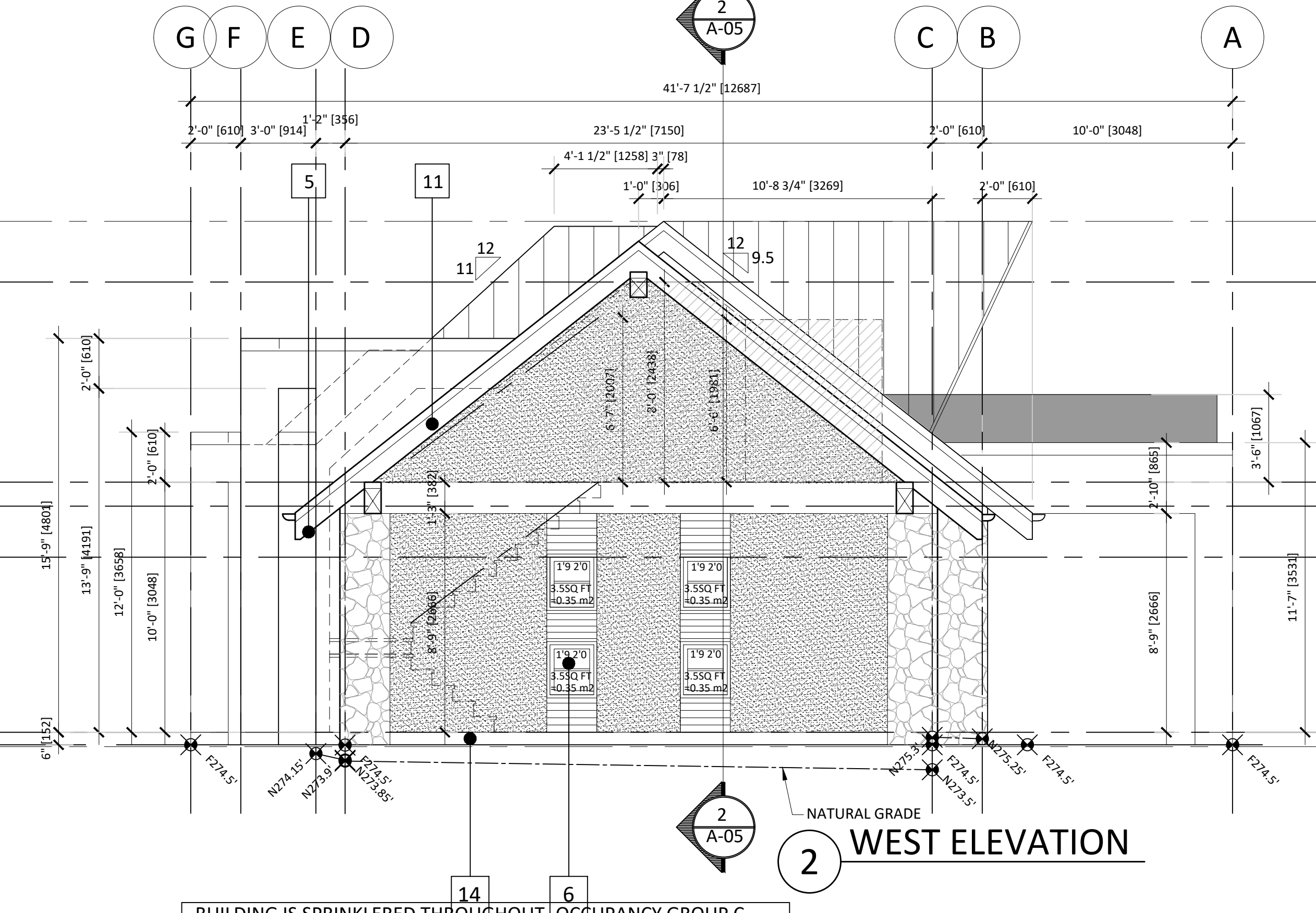
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No.	Date	Revision
1		



1 NORTH ELEVATION

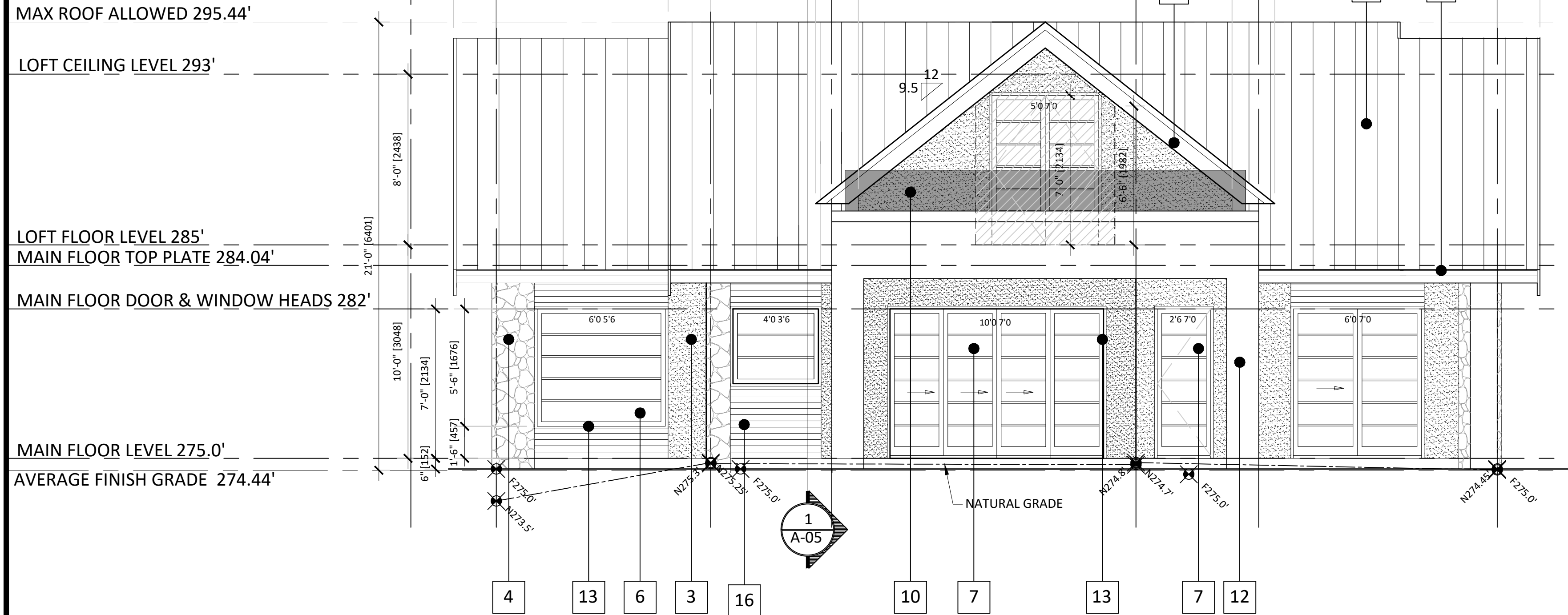


2 WEST ELEVATION

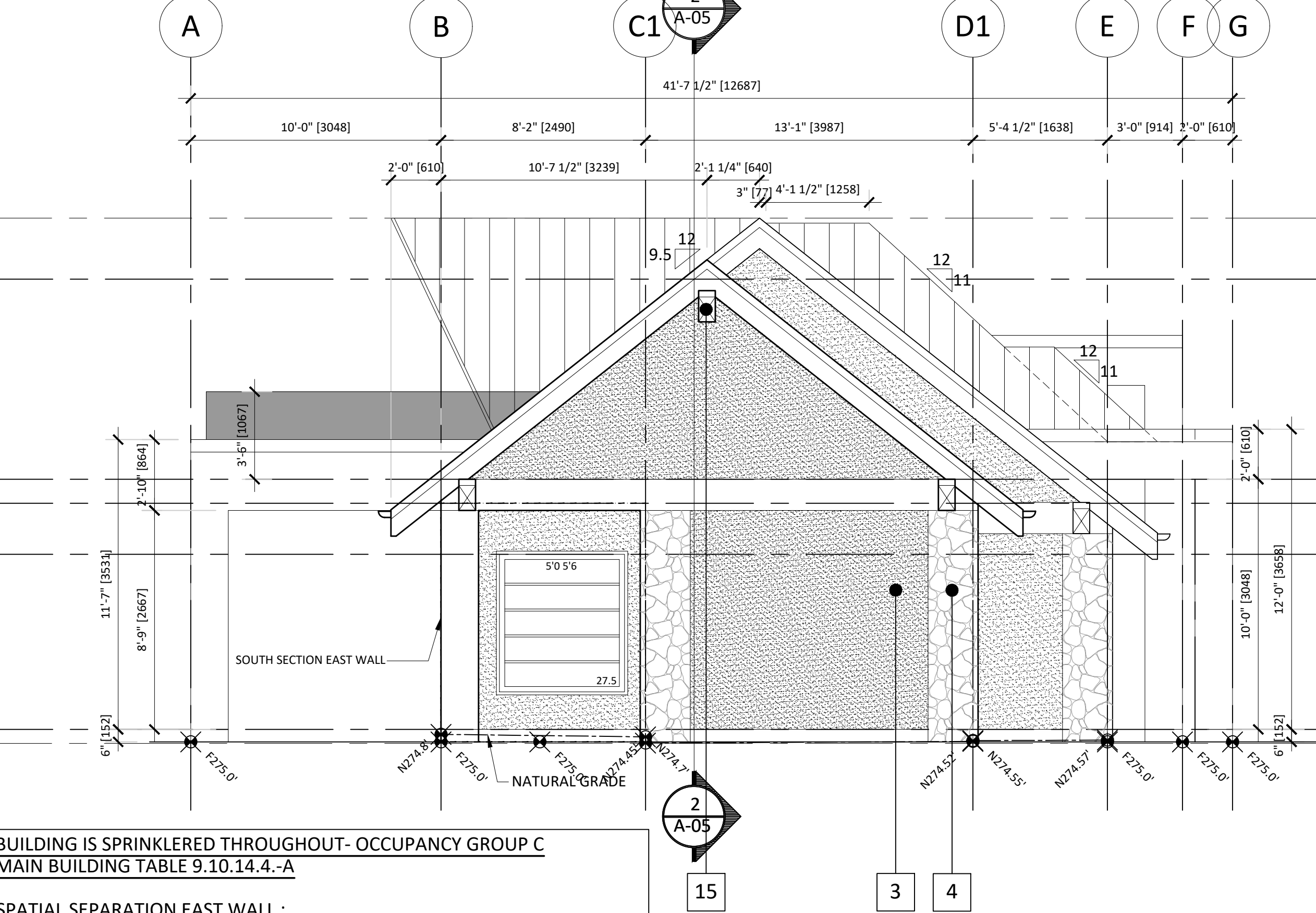
BUILDING IS SPRINKLERED THROUGHOUT- OCCUPANCY GROUP C
MAIN BUILDING TABLE 3.10.14.4.-B

SPATIAL SEPARATION WEST WALL:
LIMITING DISTANCE: 4.00 ft = 1.22 m
MAXIMUM AREA OF INDIVIDUAL UNPROTECTED OPENING FOR 1.2 m
LIMITING DISTANCE IS 0.35 m2
PROPOSED: 4 UNITS OF 3.5 SQ.SF. =0.35 m2

- EXTERIOR FINISH MATERIALS**
- 1 METAL ROOF SPEC. & COLOR: T.B.C.
 - 2 METAL FLASHING & HALF ROUND 3" ALUMINUM GUTTERS ON 2x8 WOOD FASCIA SPEC. & COLOR: T.B.C.
 - 3 SMOOTH STUCCO COLOR: T.B.C.
 - 4 1" BEDROCK STONE VENEER SPEC. & COLOUR: T.B.C.
 - 5 WOOD SOFFIT W/ CONTINUOUS VENT UNDER
 - 6 THERMALLY BROKEN DOUBLE GLAZED LOW E WINDOW
 - 7 THERMALLY BROKEN DOUBLE GLAZED LOW E FRENCH DOOR
 - 8 MAIN ENTRANCE GLASS DOOR SPEC. & COLOR: T.B.C.
 - 9 INSULATED GARAGE DOOR
 - 10 SAFETY SEAMLESS GLASS
 - 11 2x8 WOOD FASCIA SPEC. & COLOR: T.B.C.
 - 12 PAINTED CREZONE PANEL
 - 13 2"x6" PAINTED WOOD TRIM
 - 14 2"x10" PRECAST BASE, PAINTED, COLOR: TBD
 - 15 WOOD BRACKET, COLOR: TBD
 - 16 4" BEVELED CEDAR SIDING



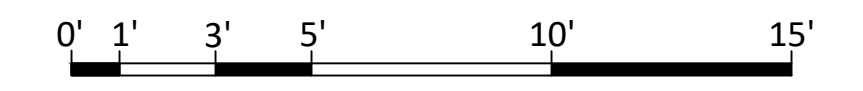
3 SOUTH ELEVATION



4 EAST ELEVATION

BUILDING IS SPRINKLERED THROUGHOUT- OCCUPANCY GROUP C
MAIN BUILDING TABLE 9.10.14.4.-A

SPATIAL SEPARATION EAST WALL:
LIMITING DISTANCE: 87.30 ft = 26.61 m (HALF DISTANCE BETWEEN POOL HOUSE AND COACH HOUSE)
EXPOSED BUILDING FACE: 254.04 sq ft = 23.60 m2
ALLOWED AREA OF UNPROTECTED OPENINGS: 100% = 23.60 m2
PROPOSED AREA OF UNPROTECTED OPENINGS: 27.5 sq ft 2.55 m2 = 10.8%



No.	Date	Issues:
3		
2	Nov 25 2019	Issued for D.P.
1	Nov 06 2019	Issued for Owner Approval



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Project:
Maged Shehata
Detached Secondary Suite
2950 Rosebery Ave.
West Vancouver, B.C.

Drawing Title:

ELEVATIONS

Drawn:	L.G.	Job No:	
Checked:	M.T.	Date:	October 2019
Scale:	1/4" = 1'-0"	Drawing No:	A-04
Plot Size:	36" x 24"		

NOTE:
ALL DRAWINGS ARE DESIGNED TO BCBC 2018

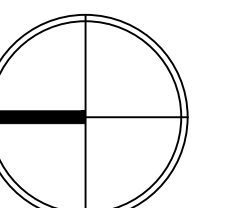
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- 3 SMOOTH STUCCO COLOR: T.B.C.
- 4 1" BEDROCK STONE VENEER SPEC. & COLOUR: T.B.C.
- 5 WOOD SOFFIT W/ CONTINUOUS VENT UNDER
- 6 THERMALLY BROKEN DOUBLE GLAZED LOW E WINDOW
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- 9 INSULATED GARAGE DOOR
- 10 SAFETY SEAMLESS GLASS
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- 13 2"x6" PAINTED WOOD TRIM
- 14 2"x10" PRECAST BASE, PAINTED, COLOR: TBD
- 15 WOOD BRACKET, COLOR: TBD
- 16 4" BEVELED CEDAR SIDING

CONSTRUCTION ASSEMBLIES

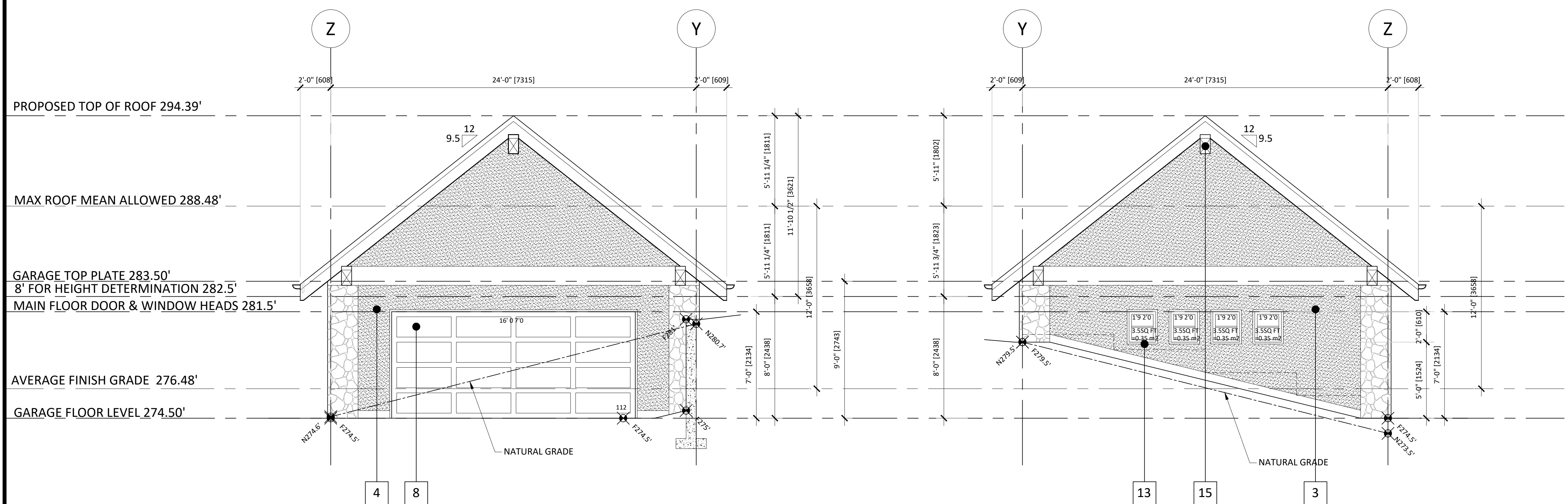
- R1a ROOF TRUSS SYSTEM**
METAL STANDING SEAM ROOF
15 LB. FELT UNDERLAYMENT
1/2" PLYWOOD SHEATHING W/ H-CLIPS
ROOF TRUSSES AS PER ENGINEERING DWGS.
R-50 BATT INSULATION
6 mil VAPOUR BARRIER
1/2" GYPSUM BOARD
PAINT
- F1b CONC. FLOOR SLAB (GARAGE)**
SEALED CONCRETE FINISH
RADIANT HEATING PIPES ON WIRE MESH
4" CONC. FLOOR SLAB
6 mil VAPOUR BARRIER (MIN. 4" LAP @ JOINTS)
R12 RIGID INSULATION
5" (MIN.) COMPACTED GRAVEL
SOLID BEARING
- W1a BELOW GRADE WALL (insulated)**
2 COATS OF BITUMINOUS DAMPROOFING
8" CONCRETE WALL
2"x4" WOOD STUDS @ 16" O.C. w/ R-28 BATT
1/2" GYPSUM BOARD
PAINT
- W2a TYP. ABOVE GRADE WALL (insulated)**
STUCCO OR NATURAL STONE VENEER
VENTED AIR SPACE (RAINSCREEN)
BUILDING WRAP
1/2" EXT. GRADE PLYWOOD
2"x6" WOOD STUDS @ 16" O.C. w/ R-24 HD BATT
6 mil POLY. VAPOUR BARRIER
1/2" GYPSUM BOARD
PAINT

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PROJECT NORTH

No.	Date	Revision
1		



1 EAST ELEVATION

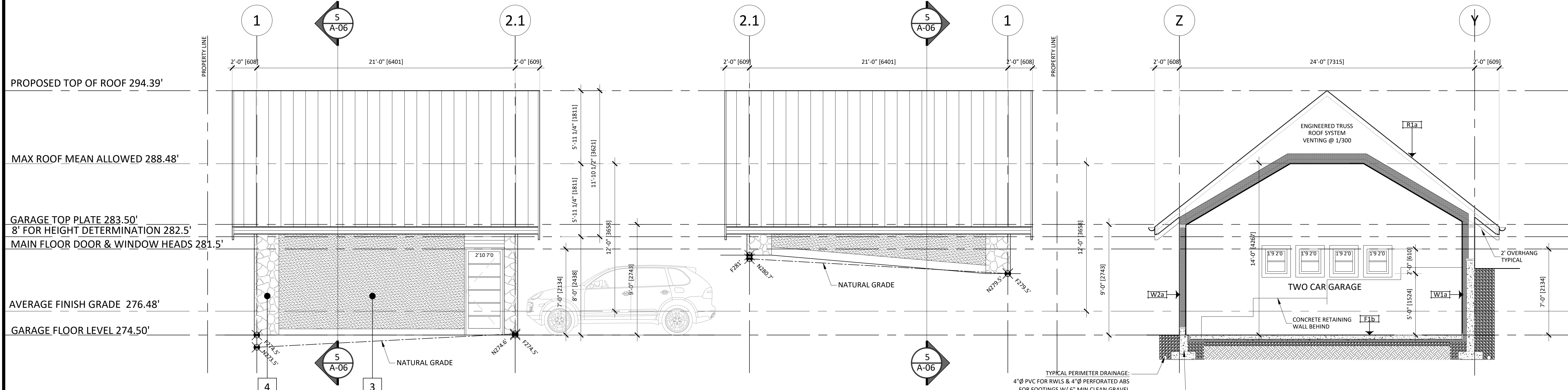
2 WEST ELEVATION

BUILDING IS SPRINKLERED THROUGHOUT- OCCUPANCY GROUP C
MAIN BUILDING TABLE 9.10.14.4.-A

SPATIAL SEPARATION WEST WALL:
LIMITING DISTANCE: 193.30 ft = 58.92 m
EXPOSED BUILDING FACE: 215.96 sq ft = 20.06 m²
ALLOWED AREA OF UNPROTECTED OPENINGS: 100.0% = 20.06 m²
PROPOSED AREA OF UNPROTECTED OPENINGS: 112.0 sq ft 10.40 m² = 51.86%

BUILDING IS SPRINKLERED THROUGHOUT- OCCUPANCY GROUP C
MAIN BUILDING TABLE 3.10.14.4.-B

SPATIAL SEPARATION WEST WALL:
LIMITING DISTANCE: 4.00 ft = 1.22 m
MAXIMUM AREA OF INDIVIDUAL UNPROTECTED OPENING FOR 1.2 m
LIMITING DISTANCE IS 0.35 m²
PROPOSED: 4 UNITS OF 3.5 SQ.SF. = 0.35 m²



3 SOUTH ELEVATION

4 NORTH ELEVATION

5 SECTION
A-06 A-02 A-03

TYPICAL PERIMETER DRAINAGE:
4" Ø PVC FOR RWLS & 4" Ø PERFORATED ABS FOR FOOTINGS W/ 6" MIN CLEAN GRAVEL COVER C/W CLEAN OUTS. CONFIRM REQUIREMENTS FOR SEPARATE SUMPS FOR SURFACE AND FOOTING DRAINAGE.

TYP. CONCRETE STRIP FOOTING AS PER STRUCTURAL ENGINEER

No.	Date	Issues:
3		
2	Nov 25 2019	Issued for D.P.
1	Nov 06 2019	Issued for Owner Approval



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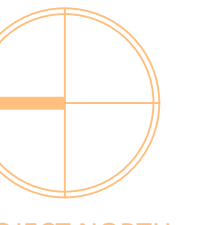
1765 Bellevue Ave.
West Vancouver, B.C. V6V 1A8

Project:
Maged Shehata
Detached Secondary Suite
2950 Rosebery Ave.
West Vancouver, B.C.

Drawing Title:
GARAGE ELEVATIONS AND SECTION

Drawn: L.G.	Job No:
Checked: M.T.	Date: October 2019
Scale: 1/4" = 1'-0"	Drawing No: A-06
Plot Size: 36" x 24"	

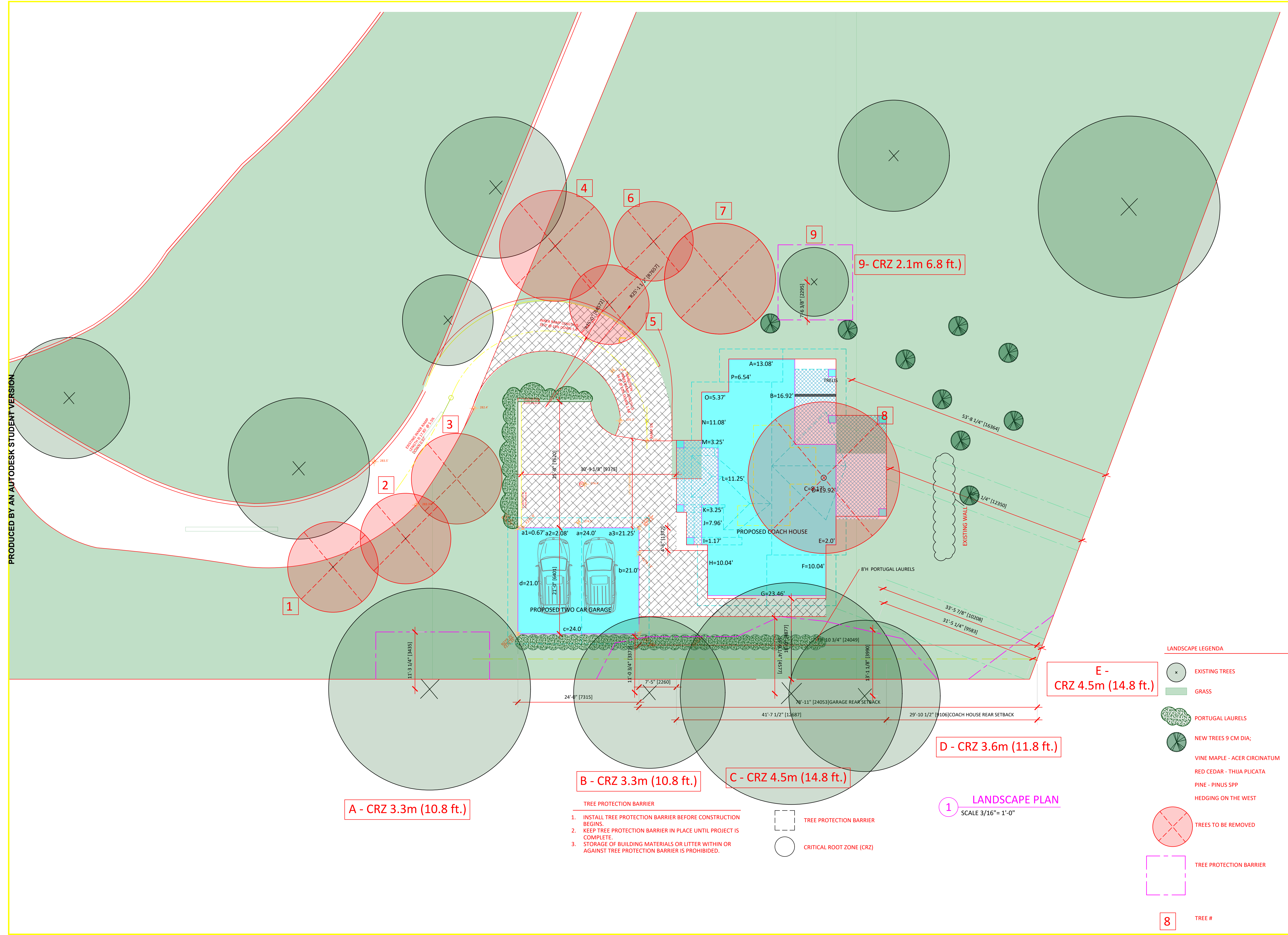
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Contractors/Builders shall verify and be responsible for all dimensions and conditions on the job-site.
Designer shall be informed of any variations from the dimensions and conditions shown on the drawings.



No.	Date	Revision
1		

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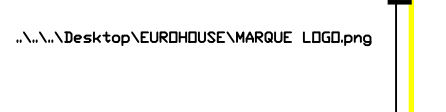


- TREE PROTECTION BARRIER**
1. INSTALL TREE PROTECTION BARRIER BEFORE CONSTRUCTION BEGINS.
 2. KEEP TREE PROTECTION BARRIER IN PLACE UNTIL PROJECT IS COMPLETE.
 3. STORAGE OF BUILDING MATERIALS OR LITTER WITHIN OR AGAINST TREE PROTECTION BARRIER IS PROHIBITED.



1 LANDSCAPE PLAN
SCALE 3/16" = 1'-0"

- LANDSCAPE LEGENDA**
- ⊗ EXISTING TREES
 - GRASS
 - PORTUGAL LAURELS
 - NEW TREES 9 CM DIA;
 - VINE MAPLE - ACER CIRCINATUM
 - RED CEDAR - THUJA PLICATA
 - PINE - PINUS SPP
 - HEDGING ON THE WEST
 - ⊗ TREES TO BE REMOVED
 - TREE PROTECTION BARRIER
 - 8 TREE #



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1765 Bellevue Ave.
West Vancouver, B.C. V6V 1A8

Project:
**Maged Shehata
Detached Secondary
Suite**
2950 Rosebery Ave.
West Vancouver, B.C.

Drawing Title:
LANDSCAPE

Drawn: L.G.	Job No:
Checked: M.T.	Date: March 2021
Scale: AS NOTED	Drawing No: L-01
Plot Size: 36" x 24"	

District of West Vancouver
Community Planning and Development



Arborist Report

March 25, 2021

Re: 2950 Rosebery Avenue

Introduction

The owner is proposing development of the property with a new Coach House. An Arborists assessment of the trees is required to ensure tree management for the project complies with the District of West Vancouver's "Tree Bylaw". This report has been written in support of the application.

Existing Condition

The property is large (7353.65 m²) and has a moderate slope from north to south. The property was initially developed in 1932, then updated in 2006. The site has a single family dwelling, an indoor swimming pool and an accessory building. The accessory building has been demolished but it's foundation remains.

Cedar trees form a screen along the east, west property boundaries and on the boulevard. Most of the cedars are off-site. On-site there are a mixture of native cedar and ornamental deciduous trees.

In anticipation of development, minimal effort has dedicated to the mainance of the existing landscape. Generally both the hard and soft landscaping are in fair to poor condition.

Inspection

A site inspection was made by uTree Environmental Consultants, May 13, 2020. The assessment was limited to a ground based visual inspection. No invasive techniques were used.

Discussion and Recommendations

The property is large; the proposed development is confined to the south-west corner of the site. Eight trees on-site are proposed to be removed; the largest being 36.6cm in diametre. These trees are not significant and are not protected by the "Tree Bylaw"; a tree permit is not required.

Table 1 – On-site, south-west corner of the property.

Tree#	Species	Diameter cm	Tree Protection CRZ	General Condition - Recommendations'
1, 2, 3, and 4	Small ornamental trees	10 - 15	n/a	Repeated pruning Fair to poor health Some with decay on limbs and trunk See Photo 1 Remove
5	Red Cedar <i>Thuja plicata</i>	36.6	n/a	Good Health and Vigour Pistol grip growth form Remove for the new driveway
6	Pine <i>Pinus</i> spp.	21.3	n/a	Poor condition Remove for the new driveway
7	Paper Birch <i>Betula papyrifera</i>	22.9	n/a	Fair condition Repeated pruning Decay in the stem and branch unions Remove for the new driveway
8	Vine maple <i>Acer circinatum</i>	33.5	n/a	Good Health and Vigour Some included bark at the base Tree is too close to the work area. Remove for the new Coach House
9	Vine maple <i>Acer circinatum</i>	30.5	2.1m	Good Health and Vigour Some included bark at the base See Photo #2 Tree protection required

No off-site trees are proposed to be removed. The existing screen created by the mature trees outside the west property boundary will be retained. There are 5 trees that are near the work zone, labeled A to E (Table 2 and Tree Management Plan). Tree protection and monitoring during excavation is proposed to ensure the trees health is not impacted by the development.

Table 2 – Off-site, outside west property line

Tree#	Species	Diametre cm	Critical Root Zone	General Condition - Recommendations
A	Red Cedar <i>Thuja plicata</i>	54.9	3.3	Located on neighbours property Good Health and Vigour Tree has been topped at least two time – Multi-leader Tree protection is required.
B	Red Cedar <i>Thuja plicata</i>	54.9	3.3	Located on neighbours property Good Health and Vigour Trunk - sweep from the base Tree has been topped at least two time – Multi-leader Tree protection and monitoring during excavation is required.
C	Red Cedar <i>Thuja plicata</i>	73.2	4.5	Located on neighbours property Poor Health and Vigour Tree has been topped at least two time – Multi-leader Tree protection and monitoring during excavation is required.
D	Western Hemlock Tsuga heterophylla	61.0	3.6	Located on neighbours property Very Poor Health and Vigour Tree has been topped – Multi-leader Tree protection and monitoring during excavation is required.

E	Western Hemlock Tsuga heterophylla	75cm	4.5	Located on neighbours property Fair Health and Vigour Neighbouring tree has been removed, deadwood on the north side is exposed. Ivy infestation Tree protection is required.
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Tree Protection

Tree protection measures can be seen in the attached “Tree Management Plan”.

To comply with Schedule A of the ‘Tree Bylaw’, excavation and installation of a hedge on the west side of the development, near trees B, C and D, must be done under the direction of a certified Arborist. The Arborist must:

- ensure minimal damage to existing roots
- be on-site to monitor excavation
- be on-site to monitor installation of hedge
- root prune exposed roots at the edge of the excavation
- ensure tree protection fencing is in place after the excavation is complete.

Limitations

It is my policy to attach the following clause regarding limitations. We do this to ensure that the client is aware of what is technically and professionally realistic in retaining trees.

The assessment of the trees presented in this report has been made using accepted arboricultural techniques. These include a visual examination of all the above ground parts of the tree for structural defects, scars, external indications of decay such as fungal fruiting bodies, evidence of attack by insects, discoloured foliage, the condition of any visible root structures, the degree and direction of lean (if any), the general condition of the trees and the surrounding site, and the proximity of property and people. Except where specifically noted, the trees were not cored, probed or climbed and there was no detailed inspection of the root crowns involving excavations.

Notwithstanding the recommendations and conclusions made in this report, it must be recognized that trees are living organisms, and their health and vigour constantly change over time. They are not immune to changes in site conditions or seasonal variations in the weather conditions. While reasonable efforts have been made to ensure that the subject trees are healthy, no guarantees are offered, or implied, that these trees or any of their parts will remain

standing. It is both professionally and practically impossible to predict with absolute certainty the behaviour of any single tree or its component parts under all circumstances. Inevitably, a standing tree will always pose some level of risk.

Most trees have the potential for failure under adverse weather conditions, and the risk can only be eliminated if the tree is removed. Although every effort has been made to ensure that this assessment is reasonably accurate, the trees should be re-assessed periodically. The assessment presented in this report is valid at the time of inspection.

Closure

We trust this report provides the information you currently require. If you have any questions regarding this report, please feel free to contact me.

Sincerely,

A handwritten signature in black ink that reads "AVanderHelm". The signature is written in a cursive, flowing style.

Andrew Vander Helm, RPBio, ISA Arborist

Appendix A – Site Photos



Photo 1 - Tree (3)



Photo 2 - Tree (9) To be retained



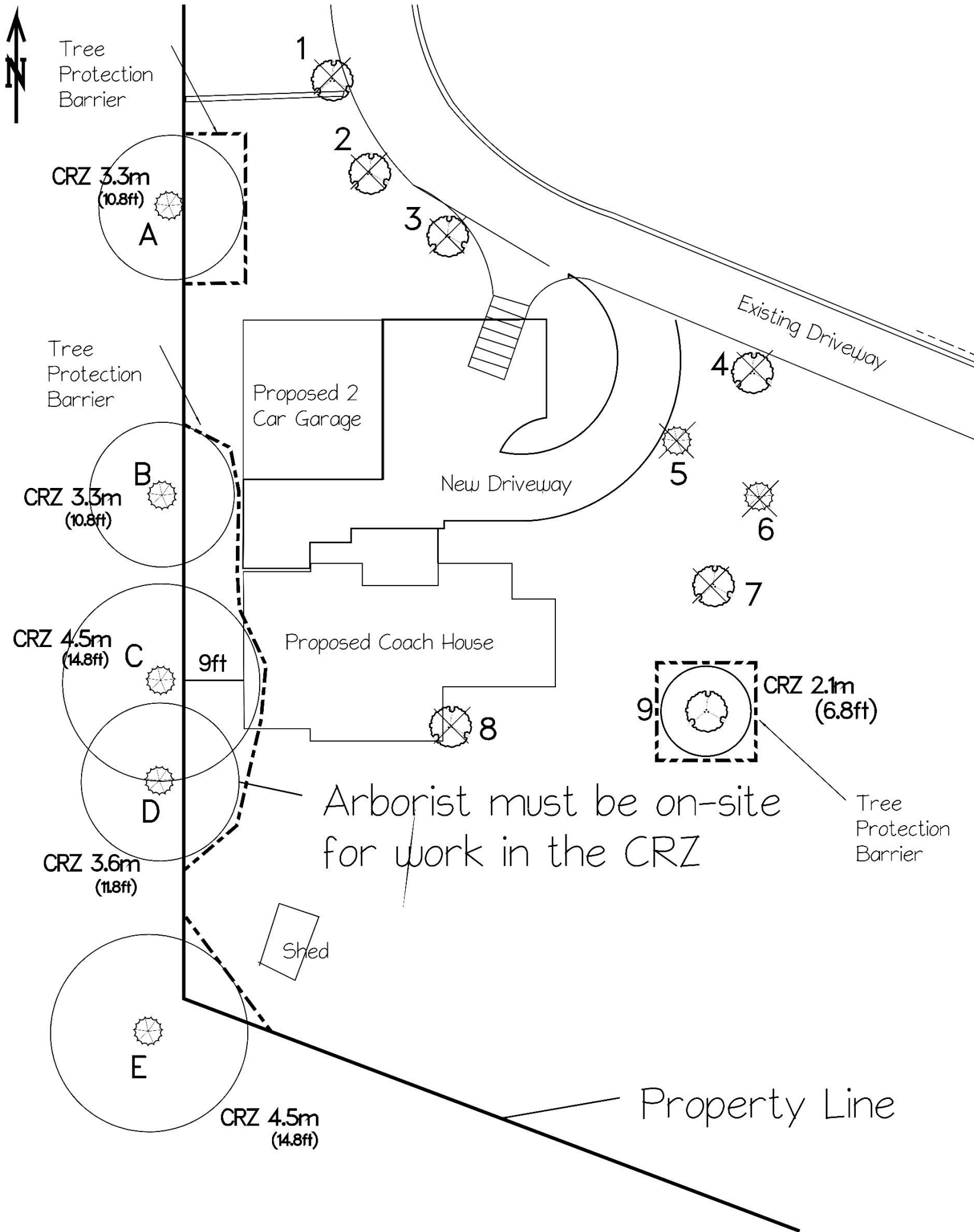
Photo 3 - (Tree D) Topped Hemlock



Photo 4 – (Tree C) Topped Cedar



Photo 5 – (Tree A) Topped Cedar



Special Notes

A Certified Arborist must be on site during excavation within the Critical Root Zone (CRZ)

- To advise
- To monitor

Damage to roots within the CRZ must be minimized

Work in the CRZ must be done under the direction of a certified Arborist

Roots exposed by excavation in the CRZ must be pruned according to ANSI A300 standards

Client

Magedex International Investments (Coulfield) Corporation
 2950 Rosebery Ave.
 West Vancouver, BC.

2950 Rosebery Ave
 Tree Management Plan



uTree Environmental Consultants Ltd
 t. 604-328-0614
 e. avanderhelm1@gmail.com

Date
 Mar 24, 2021

Scale
 1" = 10'

Project No.
 20-107

Key

✕ Trees to be Removed

▭ Tree Protection Barrier

1. Install tree protection barrier before construction begins
2. Keep tree protection barrier in place until project is complete.
3. Storage of building materials or litter within or against tree protection barrier is prohibited.

○ Critical Root Zone (CRZ)

Tree Protection Barrier Specifications

- 4 ft in height
- 2x4 wood framing (vertical posts, top and bottom rails)
- Plastic mesh screening