

COUNCIL AGENDA

Date: _____ Item: _____



DISTRICT OF WEST VANCOUVER
750 17TH STREET, WEST VANCOUVER BC V7V 3T3

COUNCIL REPORT

Date:	February 28, 2024
From:	Lisa Berg, Senior Community Planner
Subject:	Official Community Plan Amendment, Rezoning, and Development Permit for Lots C and D Daffodil Drive
File:	1010-20-21-131

RECOMMENDATION

THAT opportunities for consultation on the proposed Official Community Plan amendment, with persons, organizations, and authorities, as outlined in the report dated February 28, 2024, be endorsed as sufficient consultation for purposes of section 475 of the *Local Government Act*.

RECOMMENDATION

THAT proposed “Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5292, 2024” be read a first time.

RECOMMENDATION

THAT proposed “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5293, 2024” be read a first time.

RECOMMENDATION

THAT proposed “Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5292, 2024” and proposed “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5293, 2024” be presented at a public hearing on April 22, 2024, at 7 p.m. in the Municipal Hall Council Chamber and via electronic communication facilities (WebEx video conferencing software), and that notice be given of the scheduled public hearing.

RECOMMENDATION

THAT proposed Development Permit No. 21-131 be presented at a public meeting scheduled for April 22, 2024, at 7 p.m. in the Municipal Hall, to be held concurrently with the public hearing scheduled for April 22, 2024, at 7 p.m. and that notice be given of the scheduled public meeting.

1.0 Purpose

To present to Council a proposed development application to rezone Lots C and D Daffodil Drive (**Appendix A**) to allow for a 36-unit residential development (see “Project Profile” – **Appendix B**). Presented as part of the development are:

- bylaws serving to amend the Official Community Plan and Zoning Bylaw; and

- a development permit (**Appendix E**) to regulate the form and character of the development proposal and to ensure that difficult terrain guidelines are met.

2.0 Legislation/Bylaw/Policy

Provincial Legislation

The *Local Government Act* requires that a Public Hearing be held on the proposed zoning and OCP amendment bylaws, in accordance with sections 464 through 470. Lot C is exempted from being considered a 'restricted zone'¹ under section 481.4(1)(e) as it is greater than 4,050 m² in area. Lot D does not meet the definition as a 'restricted zone' under section 481.3 of the LGA due to the existing zoning provisions (see below).

Official Community Plan Bylaw

An incidental amendment to the Official Community Plan (OCP) is required to establish a Development Permit Area (DPA) and associated guidelines and to place the site within that DPA (**Appendix C**).

Zoning Bylaw

The subject site, consisting of two legal lots, is zoned RS10. RS10 allows for single-family uses [one single-family dwelling, one secondary suite, and one detached secondary suite (coach house), i.e., 3 units per lot]. The minimum lot area is 975 m². A rezoning is required to accommodate the proposal (**Appendix D**).

3.0 Council Strategic Objective(s)/Official Community Plan

2024 – 2025 Council's Strategic Plan

Applicable strategic goals and objectives:

Strategic Goal: Expand a diverse housing supply.

Objective 2.1: Work towards new targets and deliverables mandated by the Province under the *Housing Supply Act*.

Official Community Plan

The OCP provides direction to guide development proposals to expand "ground-oriented" housing (e.g., triplex, townhouse, mixed-use) options.

¹ Legislative changes in December 2023 introduced "Small-Scale, Multi-Unit Housing (SSMUH)" provisions that define a "restricted zone" where residential use is restricted to single family development with either a secondary suite or a coach house (i.e., 2 units per lot).

OCP Policy 2.1.4 encourages the increase of “missing middle” housing options with ground-oriented multi-family on appropriate sites along the Marine Drive Transit Corridor by:

- a. Considering proposals for sites adjacent to and across the road from “neighbourhood hubs” such as schools, places of worship, parks, recreational facilities, local commercial nodes, and existing multi-family uses;
- b. Reviewing designs in relation to site characteristics (e.g., site area, configuration, access) and compatibility with neighbourhood context and character; and
- c. Considering a range of housing types including duplexes, triplexes, fourplexes, rowhouses, and townhouses to maximum of three storeys.

OCP Policy 2.1.7 enables the consideration of proposals within neighbourhoods for site-specific zoning changes that are not otherwise supported by policies in the OCP only in limited circumstances by:

- a. Reporting to Council after preliminary application review to allow an early opportunity for public input;
- b. Considering sites or assemblies that present a degree of physical separation from adjoining single-family dwellings (e.g., adjacent to a green belt, grade change, park, school, or existing multi-family site);
- c. Requiring demonstration of minimal impact to access, traffic, parking and public views in the neighbourhood;
- d. Restricting to one or more a range of low-rise housing types including duplexes, triplexes, rowhouses, townhouses, seniors, rental and apartment buildings to a maximum of three storeys;
- e. Reviewing form and character to support siting and designs that respond and contribute to neighbourhood context and character; and
- f. Ensuring information meetings with public notification prior to formal Council consideration in accordance with District procedures.

As there are watercourses and a wetland, areas of steep slopes on the site, and wildfire hazard considerations, a development permit subject to the following OCP policies and guidelines is required for the development proposal prior to issuance of a building permit:

- NE1: Wildfire Hazard
- NE6: Sites with Difficult Terrain (Steep Slopes)
- NE13: Watercourse Protection

Council has delegated the issuance of these development permits to staff, however, as there are more than three new lots proposed, the development permit for steep slopes is bundled with the form and character development for Council consideration. Should this development permit be approved, staff will subsequently consider a separate development permit for wildfire hazard and watercourse protection.

4.0 Financial Implications

New developments in the community where rezoning is proposed are expected to deliver community amenities related to the impacts of new development. The value of the amenity is typically proportional to the increased potential of land use under the proposal compared with existing zoning and development rights. District policy defines a broad range of appropriate amenities, including housing affordability and diversity, childcare, community facilities, and public spaces.

District staff have reviewed the applicant's proforma, with confirmation from a third-party financial consultant. Based on this review, the proposed rezoning will not create an increase in the overall land value of the subject site. Therefore, the proposed rezoning does not support a community amenity contribution based on an increase in land value. If the development application was approved, the applicant would be required to pay for all required servicing upgrades necessary for the project and for transportation improvements detailed by the applicant's transportation consultant. As well, the applicant would be required to pay applicable Development Cost Charges (DCCs) at the building permit stage. DCCs fund upgrades or provision of infrastructure services resulting from development.

5.0 Background

5.1 Previous Decisions

Preliminary Development Proposal

Council considered a preliminary development proposal for the site on November 16, 2020. Council deferred consideration of the proposal until the applicant had the opportunity to share the proposal with the community, to receive feedback, and to consider revisions to respond to community feedback.

The applicant then hosted a public consultation meeting on December 10, 2020. Council considered the results of the public consultation meeting on February 8, 2021. Council received the report for information.

5.2 History

10-Lot Subdivision Approval

The site has an approved development permit that would permit a 10-lot subdivision under existing zoning. On October 2, 2017, Council approved a development permit that enabled the subdivision, specifically to address development on sloping sites, protect the natural environment on difficult terrain, minimize site disturbance, and protect and enhance watercourses and wetlands. The development permit varied the zoning bylaw to allow for alternative site widths on three of the lots and varied the front yard setbacks on four of the lots. Lastly, the subdivision would deliver parkland dedication and tree protection. The applicant is pursuing completion of the subdivision to achieve the 10-lot layout and would proceed with the subdivision if the proposed rezoning and development permit application are not approved by Council.

Under existing the RS10 zone a potential of up to 30 units could be built on the site (one principle house, one secondary suite and one coach house on each lot), subject to compliance with District regulations and applicable development permit guidelines.

6.0 Analysis

6.1 Discussion

Site and Context

The subject site is located on Daffodil Drive, is zoned RS10, and is comprised of two lots:

- a) Lot C: 15,700 m² in area and located adjacent to Westport Road. The lot is located directly south of a residential lot (5665 Daffodil Drive), with the BC Rail corridor to the east, residential lots to the south, and Lot D to the west. Eagle Creek flows along its southern boundary and an unnamed tributary runs along its northern boundary.
- b) Lot D: 2,358 m² in area and located adjacent to Daffodil Drive. The lot is directly east of Lot C, with 5665 Daffodil Drive to the north, and residential lots to the west (zoned RS4) and south (zoned RS10).

In aggregate, the subject site is 18,000 m² (4.46 acres) in area. Eagle Creek originates from Eagle Lake and flows through the southern portion of the site on its way to Eagle Harbour. Two driveway crossings currently access the site, one from Daffodil Drive and one from Westport Road. The site is forested and contains a wetland near the Daffodil Drive entrance. No buildings are located on the site.

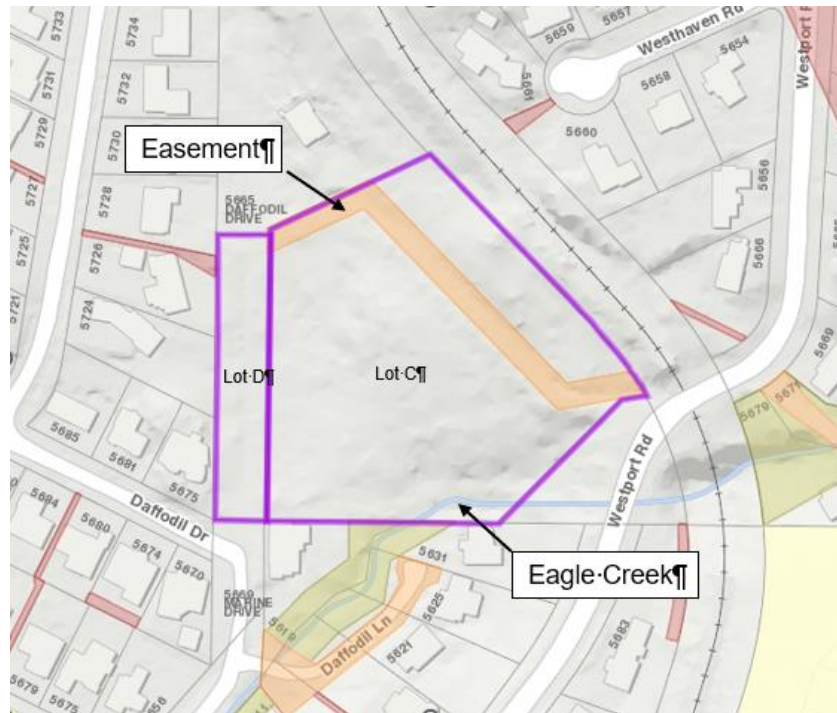


Figure 1: Subject Site (shown outlined)

The Proposal

The applicant proposes to rezone the site and develop it with 36 residential units, consisting of:

- 0.38 FAR;
- 21% Site Coverage;
- Unit composition:
 - 34 duplex units (in 17 buildings); and
 - 2 single family dwellings;
- 82 on-site parking spaces (including 10 visitor spaces);
- Level 2 EV charging; and
- Sustainable features including achievement of Step 5 of the BC Energy Step Code.

See **Appendix E** for the proposed Development Permit. A rendering of the proposed development is shown in Figure 2.



Figure 2: Proposed development (view from Daffodil Drive)

Project Evaluation

1. Overall

The proposal aligns with the policies and objectives of the OCP. It will contribute to the housing targets for West Vancouver by delivering new homes suited for ground-oriented housing within an established neighbourhood along with other improvements including pedestrian connections, landscaping, parkland dedication, and creek protection.

2. Building Design

The applicant is proposing a mix of unit types and forms that respond to the site topography and the surrounding neighbourhood character. A variety of architectural styles are proposed that are cohesive yet provide individuality and interest across the site. While all the proposed dwellings are unique, they share common design features, materials, and colours.

Each dwelling incorporates low-pitched roofs with deep eaves and vertical planes, exposed beams, rafter tails, clerestory windows, and stone siding scaled with massing that fits within the surrounding forest setting of the neighbourhood.

The applicant worked with the community to refine the designs of three buildings that back onto the properties located on Cranley Drive. To respond to resident concerns, the applicant revised those units by reducing their size, massing and number of storeys.

3. Pedestrian Connections & Natural Features

When the previous 10-lot subdivision was considered, residents expressed interest in securing access through the site from Westport Road to Daffodil Drive. As part of the 10-lot approval, an easement was registered to enable access from Westport Road to the cul-de-sac at the end of the new public road.

To accommodate the proposed development proposal and to provide public access through the site, the applicant proposes to create a new pathway along the southern edge of the property that will allow for public access from Westport Road to Daffodil Drive. The applicant proposes to dedicate the riparian area at the south end of the site to the District as parkland and construct a trail through it that will connect Westport Road to the entrance of the proposed strata road, which connects to Daffodil Drive.

The subject property also contains a wetland area and unnamed tributaries on the west and north sides of the site. The proposed development is located beyond the 15-metre riparian area setback for environmental protection. The construction of the public path, protection of the wetland area, creek protection, and tree cutting will be fully evaluated under the companion environmental development permit to be considered by staff and protected by covenant where applicable.

4. Housing

The development proposes to deliver a variety of housing options with unit styles and mix that would be geared toward a range of owners from young families to empty nesters. The primary housing form is duplex and provides a mix of three-to-four-bedroom units ranging from 2,170 sq. ft. to 4,073 sq. ft. in size. The proposal intends to add “ground-oriented” housing options with a landscape design that includes areas for pedestrian connections and interactions.

The interiors of the units feature an open-concept main living area with expansive glazing to allow for as much natural light as possible with terracing and landscaping to prevent privacy and overlook issues to existing adjacent dwellings. To provide for aging-in-place, several of the units are designed to accommodate an elevator. No secondary suites are proposed.

The proposed site plan is shown in Figure 3.



Figure 3: Site Plan

5. Design Review Committee

The Design Review Committee (DRC) considered the proposal at its February 16, 2023 meeting and recommended support of the application, subject to further design development with staff on specified items. The applicant worked to address the comments of the DRC and staff is satisfied with the responses.

6. Transportation

The applicant provided a traffic study for District review. Given the low density proposed, the focus of the report was on examining the vehicle sightlines and road safety design at Westport Road and Daffodil Drive. The report recommended mitigation measures such as shrubbery removal, improved speed-limit signage, street lighting, a delivery vehicle layby and a three-way stop at Daffodil Drive to be implemented.

To further improve overall neighbourhood safety as part of the development proposal, the applicant will be responsible for costs associated with installing flashing pedestrian crossing lights (rectangular rapid flashing beacons) at the Marine Drive and Cranley Drive intersection to support access to the beach and bus stops. The District has accepted the findings of the study.

Vehicle parking is provided within private attached garages to each dwelling unit (2 per unit) plus 10 visitor parking spaces distributed around the site for a total of 82 spaces. Additional parking could also be accommodated within individual driveways. Two bicycle parking/storage spaces are required per unit, which are provided within the unit garages. The proposed parking complies with the zoning bylaw.

7. Sustainability

The proposal aligns with the District's expectations for high-performance buildings, including the requirements of the BC Energy Step Code stipulated by the Building Bylaw.

The applicant has committed to reviewing all aspects of sustainability and providing building systems in line with industry best practices and the District's climate emergency goals, including achieving Step 5 of the Step Code. This approach aligns with Council's Sustainable Buildings Policy that requires that rezoning applications exceed the Step Code applicable at the time of application.

8. Servicing

The District analysed the on-and off-site servicing requirements in conjunction with system modelling (at the applicant's expense) to identify if any upgrades to District infrastructure will be required to service the proposed development. The modelling analysis revealed that while no upgrades to the existing sewer system are required, upgrades to the existing water connections will be required.

All required servicing upgrades and public realm improvements will be paid for by the applicant and secured through a development covenant to be finalized prior to consideration of adoption of the proposed amending bylaws or approval of the development permit.

7.0 Implementing the Project

7.1 Public Engagement and Outreach

Public Information Meetings

Prior to submission of the formal application, and in compliance with District public engagement requirements, the applicant completed two Preliminary Public Information Meetings on July 27, 2020 and December 10, 2020 prior to formal submission.

Following formal submission of the development application the applicant hosted another public information meeting on April 11, 2023.

Summaries of the applicant's public information meetings are attached as **Appendix F**.

Signage

Should the proposal advance, the applicant will be required to install a development information sign with particulars about the public hearing.

Public Hearing and Notification

A public hearing must be held to consider the proposed bylaws. The recommendation herein projects the public hearing be held on April 22, 2024. Notice of the public hearing and consideration of the development permit will be given in accordance with District procedures.

Website

In alignment with current practise, a description of the proposal, applicable dates and architectural drawings have been placed on the District website. The website will be updated should the proposal advance.

7.2 Conditions Precedent to Adoption

Prior to adoption of the bylaws and approval of the development permit, the following requirement must be met:

- registration of a development covenant².

7.3 Other Communication, Consultation, and Research

Planning staff has consulted with District staff from various departments on the review of the development application. The applicant has worked to address each department's noted comments and staff are satisfied with the proposal, subject to further detailing at the building permit phase, if approved.

8.0 Options

8.1 Recommended Option

Council give first reading to the proposed bylaws and set a date for a public hearing and concurrent public meeting.

8.2 Considered Options

- a) give first reading to the proposed bylaws and set an alternative date (to be specified) for a public hearing and concurrent public meeting; or
- b) defer consideration of the proposal pending the receipt of additional information (to be specified) to assist in the consideration of the application; or
- c) reject the application.

9.0 Conclusion

Staff assessment of this application has concluded that the proposal is appropriate and supportable based on relevant OCP policy. Specifically, the proposal meets the intent of OCP policies 2.1.4 and 2.1.7, which encourage the increase of “ground-oriented” housing options with ground-oriented housing. The proposal would deliver public realm improvements and provide for protection of the natural environment through wetland and parkland dedication and enhancement of riparian areas.

Author:



Lisa Berg, Senior Community Planner

Concurrence



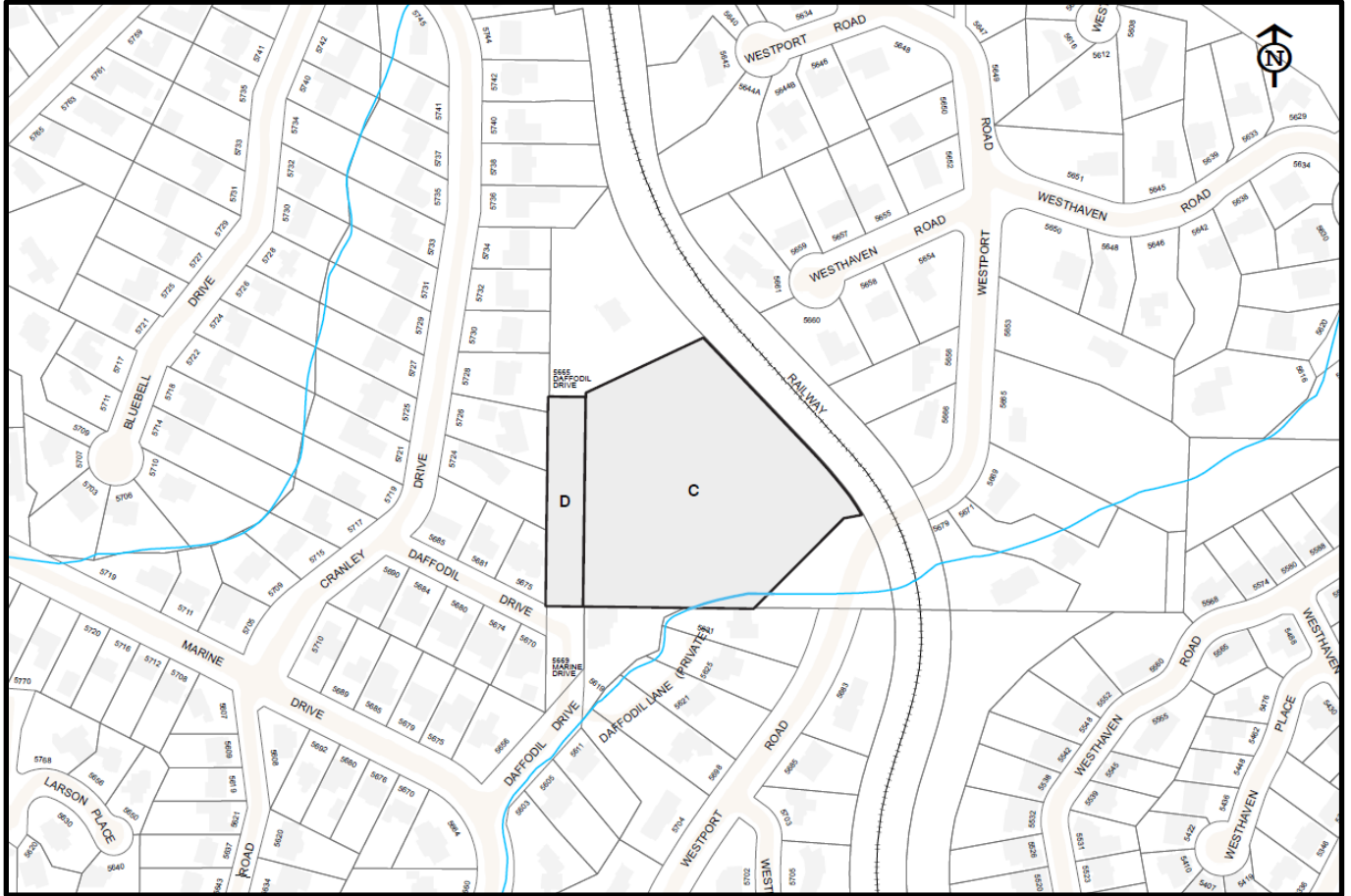
Michelle McGuire, Senior Manager of Current Planning and Urban Design

Appendices:

- A. Context Map
- B. Project Profile
- C. Official Community Plan No. 4985, 2018, Amendment Bylaw No. 5292, 2024
- D. Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5293, 2024
- E. Development Permit No. 21-131 (with attached Schedule A)
- F. Public Consultation Summary

² The development covenant will secure public realm improvements and for the provision of a development servicing agreement that would secure payment/construction of all required upgrades that would be determined through technical review at the building permit stage.

APPENDIX A – CONTEXT MAP



APPENDIX B – PROJECT PROFILE

Project:	Lots C + D Daffodil Drive (Aquila)
Application:	Development Permit No. 21-131
Applicant:	Stirling Pacific Developments (Dave Harper & Jamie Harper)
Architect:	Formwerks Architectural
Landscape Architect:	Loci Landscape Architecture and Urban Design
Property Address:	Not assigned
Legal Description:	Lot C (Reference Plan 3355) Group 1 New Westminster District Except Part in Reference Plan 11716 District Lot 1374
PID:	010-068-775
Legal Description:	Lot D (Reference Plan 3355) District Lot 1374 Group 1 New Westminster District
PID:	015-934-586
OCP Policies:	Missing Middle 2.1.4 and 2.1.7
Guidelines:	Form & Character (TBD), NE1 (Wildfire Hazard), NE6 (Sites with Difficult Terrain), and NE13 (Watercourse Protection)
Zoning (Existing):	RS10
Zoning (Proposed):	CD84
Proposal:	Total 36 units: 2 single family dwellings and 17 duplex buildings (34 units), with access from Daffodil Drive and Westport Road. Parking provided in double-car garages, and 10-visitor parking spaces.

Bylaw Analysis:

Provision	RS10	Proposed (CD)	Notes
FAR	0.35	0.38	Rezoning
Site Area	1,115 sq m	18,030 sq m	Existing
# Lots/Units	10 SFDs (secondary suites and coach houses permitted)	2 SFD + 17 Duplexes (total 36 units)	
Site Coverage	30%	21%	
Building Height	7.62 m	9.1 m	
Number of Storeys	2 + bsmt	2 + bsmt	
Setbacks:			
Front	9.1 m	See CD84	
Rear	9.1 m	See CD84	
Sides	1.52 m	See CD84	
LUC/DAA Area	No		
DP Area	Existing: Wildfire Hazard, Sites with Difficult Terrain, Environmentally Sensitive Area Proposed: All of the above, plus Form and Character (based on the proposal)		
Heritage	Not listed		

APPENDIX B – PROJECT PROFILE

(continued)

Parking:			
# of spaces	1 per dwelling	2 per dwelling, plus visitor	72 spaces within enclosed garages, plus 10 visitor parking spaces
Secured Bicycles	2 per dwelling	2 per dwelling	Within private garages
Short Term Bicycles	Not required	None	Not proposed

APPENDIX C - OCP AMENDMENT



District of West Vancouver

Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5292, 2024

(Lots C and D Daffodil Drive)

Effective Date:

**Official Community Plan Bylaw No. 4985, 2018,
Amendment Bylaw No. 5292, 2024**

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District of West Vancouver

Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5292, 2024

A bylaw to amend the Official Community Plan to allow for a housing development to address the missing middle within a development permit area.

Previous Amendments: Amendment bylaws 5008, 5045, 5054, 5057, 5064, 5074, 5076, 5120, 5135, 5128, 5172, 5321, and 5222.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an amendment to the Official Community Plan to allow for the redevelopment of lands at Lots C and D Daffodil Drive;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5292, 2024.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Amends Schedule ii Area-Specific Policies & Guidelines

- 3.1 Schedule ii Area-Specific Policies & Guidelines to Official Community Plan Bylaw No. 4985, 2018 is amended as follows:
 - 3.1.1 By amending the key map of Residential Area Delegations by adding “Ground-Oriented Infill Housing” to the map legend and

identifying the location of the Development Permit Area on the map.

3.1.2 By adding “Policy BF-B16” as follows:

(a) “Promote the siting and design of ground-oriented infill housing in West Vancouver that integrates with the neighbourhood context and meets a high quality of building and landscape design to create an attractive, residential streetscape.”

3.1.3 By adding “Policy BF-B16.1” as follows:

(a) “The lots shown on map BF-B16 that are bounded by Daffodil Drive and Westport Road may be considered for rezoning to enable ground-oriented infill housing types that may include single family dwellings, duplexes, townhouses, rowhouses, and/or combinations thereof to address the missing middle.”

3.1.4 By adding “Ground-Oriented Infill Housing Development Permit Area Designation BF-B16” as illustrated by the map in **Schedule A** attached to this bylaw.

Part 4 Adds Development Permit Guidelines for Ground-Oriented Infill Housing

4.1 Schedule ii Area Specific Policies & Guidelines to the Official Community Plan Bylaw No. 4985, 2018 is further amended as follows:

4.1.1 By adding “Guidelines BF-B16” for ground-oriented infill housing, as described in **Schedule B** as attached to this bylaw.

Part 5 Table of Contents

5.1 Schedule ii to the Official Community Plan Bylaw No. 4985, 2018 is further amended by including “BF-B16 Ground-Oriented Infill Housing” in sequential order in the table of contents for Area-Specific Policies & Guidelines.

Schedules

Schedule A – Development Permit Area Designation BF-B16

Schedule B – Built Form Guidelines BF-B16

READ A FIRST TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on [Date]

PUBLICATION OF NOTICE OF PUBLIC HEARING on [Date]

PUBLIC HEARING HELD on [Date]

READ A SECOND TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on [Date]

READ A THIRD TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on [Date]

ADOPTED by the Council (MAJORITY VOTE IN THE AFFIRMATIVE) on [Date].

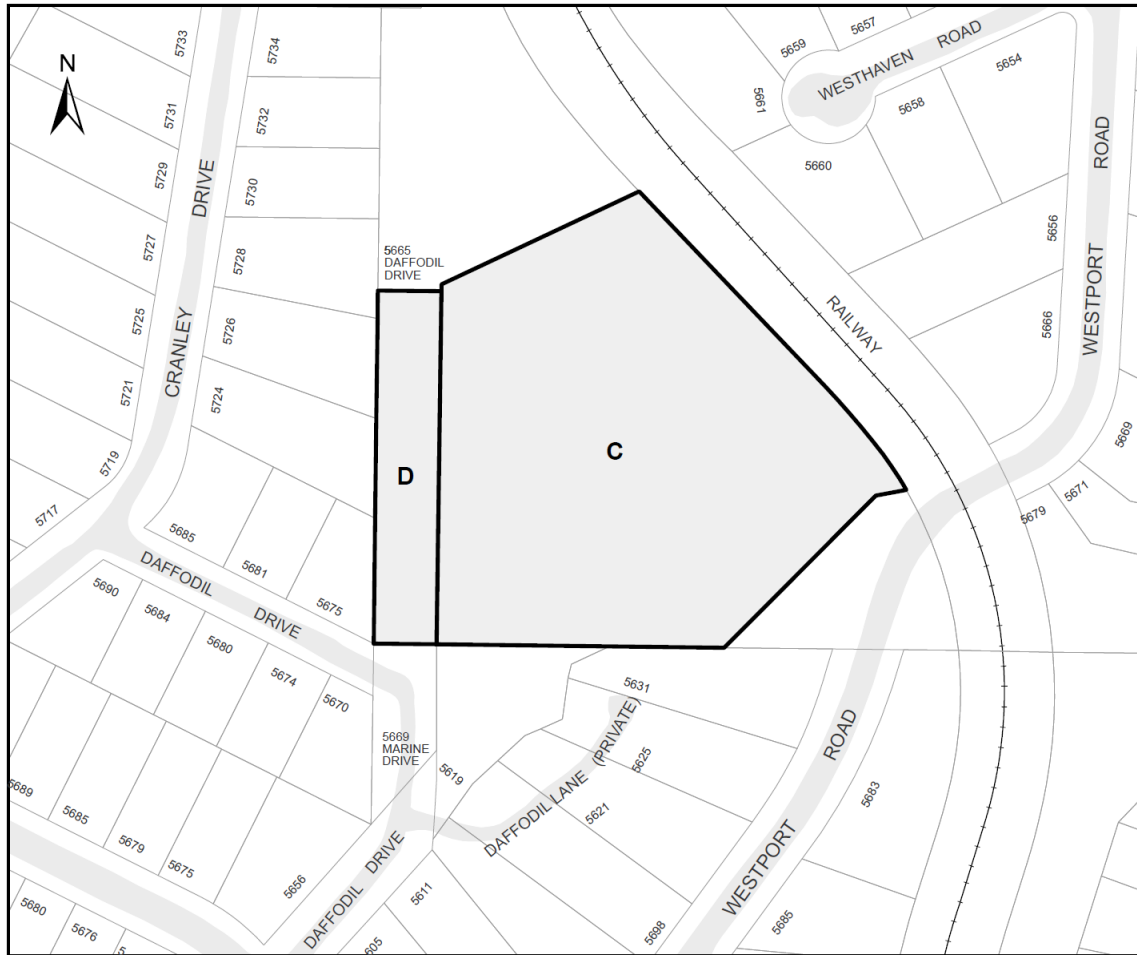
Mayor

Corporate Officer

Schedule A – Development Permit Designation BF-B16

Amendment to Official Community Plan Bylaw No. 4985, 2018, Schedule A, Schedule ii, Area-Specific Policies & Guidelines.

The area shown shaded on the map below is designated as the Development Permit Area BF-B16.



Category:	Local Government Act s. 488(1)(e), (h), (i), and (j)
Conditions:	The Development Permit Area designation is warranted to provide for the compatibility of ground-oriented infill housing units to address the missing middle.
Objectives:	<ul style="list-style-type: none"> • To integrate intensive residential development with existing site features, and the built form and character of the surrounding area; • To promote a high standard of design, construction and landscaping; and • To promote energy and water conservation and the reduction of greenhouse gas emissions.
Guidelines Schedule:	Guidelines BF-B16 shall apply.

<p>Exemption: Development may be exempt from the requirement for a Development Permit if the proposal:</p>	<ul style="list-style-type: none">i. is for the construction or renovation of or small addition to a dwelling unit; orii. is for a renovation or small addition that is considered to have no material change to the external appearance of the premises, meets all the requirements of the Zoning Bylaw, and conforms to Guidelines BF-B16.
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Schedule B – Built Form Guidelines BF-B16

I. CONTEXT AND CHARACTER

- a. New development should respect the pattern, scale, and height of existing buildings, and the established landscape character of the neighbourhood.

II. BUILDING DESIGN

- a. Buildings and structures should demonstrate variety in terms of form and character, architecture massing and roof forms while maintaining a cohesive approach to the overall design.
- b. Roof forms should be designed to reduce the appearance of height, such as varied forms, large overhangs, or integrated with roof slope.
- c. Finishing materials should be varied and of natural materials to provide interest and texture.
- d. Creating a single ‘building wall’ along property lines should be avoided through a combination of design, setbacks, heights measured from grade, and the retention of mature trees and landscaping where possible.
- e. Balconies and decks should be screened and located to provide privacy and minimize overlook onto neighbouring properties.
- f. Design strategies and building details such as natural cross-ventilation, energy efficient fixtures and high-performance materials should be used to create buildings that meet or exceed District sustainability targets.
- g. All dwelling units should have access to adequate indoor storage areas, including convenient and secure bicycle storage.

III. LANDSCAPE DESIGN

- a. Each unit should be provided with private outdoor space.
- b. Common private gathering areas should be connected to the neighbourhood and encourage socializing through the installation of landscape features such as gardening boxes, garden furniture or other common outdoor amenities or activities.
- c. Exposed concrete walls or parkades should be faced with natural stone to blend them into the landscape.
- d. The area between a public street and private space should be designed as a transitional area that is visually interesting to pedestrians while clearly privately owned rather than walled or fenced off from public view.

- e. Plant materials should create a lush natural garden environment with some ornamental character, however, should promote sustainability overall through the use of native and drought tolerant plants and the integration of storm water management strategies such as a rain garden.
- f. The landscape design should enhance the neighbourhood, compliment the development and reduce the apparent mass of buildings.
- g. Healthy trees and landscaping should be retained and protected where appropriate. Opportunities for transplanting existing landscaping materials and integrating them into the new design is encouraged.
- h. Special attention should be taken along property lines where possible to address screening and maximize tree retention between adjacent properties. Additional screening and landscaping should be supplemented where required to provide additional privacy to adjacent residents.
- i. Glare and light spill of exterior or ground level lighting to surrounding properties should be minimized.

IV. CIRCULATION AND PARKING

- a. All required parking shall be located within attached garages designed to have a minimal presence on the streetscape.
- b. Street-oriented units should have principal pedestrian access from the street.
- c. Interior-oriented units should have principal pedestrian access from a shared connection through the site to the street.
- d. Areas for the storage of garbage and recycling should be located and screened to minimize their visibility from the street.

APPENDIX D - REZONING BYLAW



District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5293, 2024

(Lots C and D Daffodil Drive)

Effective Date:

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5293, 2024

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District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5293, 2024

A bylaw to rezone property at Lots C and D Daffodil Drive for a housing development to address the missing middle.

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, 4767, 4787, 4788, 4784, 4772, 4791, 4805, 4809, 4828, 4854, 4873, 4866, 4895, 4839, 4898, 4927, 4944, 4905, 4974, 4967, 4982, 4962, 4928, 4992, 5001, 5021, 5024, 5009, 4938, 5044, 5055, 5051, 5068, 5065, 5087, 5069, 5110, 5106, 5132, 5161, 5155, 5160, 5013, 5122, 5155, 5169, 5192, 5175, 5171, 5201, 5230, 5081, and 5223.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an amendment to the Zoning Bylaw;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Zoning Bylaw No. 4462, 2010, Amendment Bylaw No. 5293, 2024.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Adds the CD84 Zone & Rezones the Site

- 3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 600 (Comprehensive Development or site specific zones) is hereby amended by adding Section

684 as the CD84 - Comprehensive Development Zone 84 (Lots C and D Daffodil Drive), as set out in **Schedule A** attached to this bylaw.

- 3.2 The Lands shown shaded on the map attached as **Schedule B** to this bylaw are rezoned from RS10 – Single Family Dwelling Zone 10 to Comprehensive Development Zone 84 (Lots C and D Daffodil Drive), as set out in **Schedule A** attached to this bylaw.

Part 4 Amends the Table of Contents

- 4.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 100 Table of Contents is amended accordingly.

Part 5 Amends the Zoning Maps

- 5.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2 Zoning Maps is hereby amended by changing the zoning of the Lands as shown shaded on the map in Schedule B attached to this bylaw,

FROM: RS10 – Single Family Dwelling Zone 10

TO: CD84 – Comprehensive Development Zone 84 (Lots C and D Daffodil Drive)

Schedules

Schedule A – CD84 – Comprehensive Development Zone 84 (Lots C and D Daffodil Drive)

Schedule B – Amendment to Zoning Maps

READ A FIRST TIME on [Date]

PUBLICATION OF NOTICE OF PUBLIC HEARING on [Date]

PUBLIC HEARING HELD on [Date]

READ A SECOND TIME on [Date]

READ A THIRD TIME on [Date]

ADOPTED by the Council on [Date].

Mayor

Corporate Officer

Schedule A – CD84 – Comprehensive Development Zone 84 (Lots C and D Daffodil Drive)

684 CD84 (Lots C and D Daffodil Drive)

AMENDING
BYLAW

SECTION REGULATION

684.01 Permitted Uses

- (1) accessory buildings and uses
- (2) child care
- (3) community care
- (4) ground-oriented dwellings
- (5) home based businesses

684.02 Floor Area Ratio

- (1) Maximum: 0.38 FAR
- (2) For the purposes of calculating FAR the site size is 18,030 square metres prior to any required dedications

684.03 Conditions of Use

- (1) Maximum number of units: 36
- (2) Land in the CD84 zone may be consolidated but must not be subdivided unless the owner registers a covenant under section 219 of the *Land Title Act* allocating the total number of dwelling units permitted in the zone among the parcels to be created by the subdivision.

684.04 Setbacks

Minimum:

- (1) Minimum for all buildings:
 - (i) North / West: 4.5 m
 - (ii) North / East: 4.5 m
 - (iii) South / East: 6 m
 - (iv) South: 6 m
 - (v) West: 6 m

684.05 Building Height

(1) Maximum: 9.1 metres

684.06 Number of Storeys

(1) Maximum: 2 + basement

684.07 Site Coverage

(1) Maximum: 21%

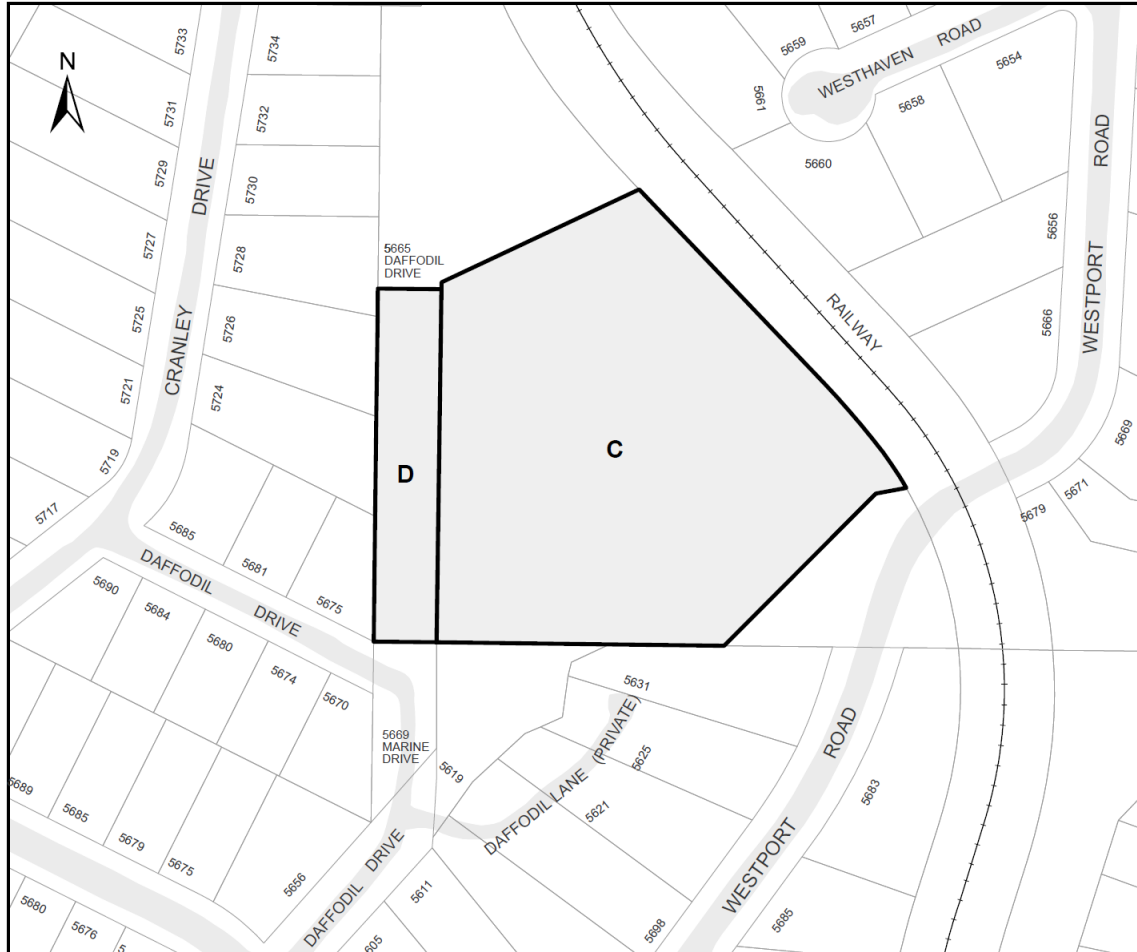
684.08 Off-Street Parking

(1) Parking shall be in accordance with Section 144 of this bylaw

Schedule B – Amendment to Zoning Maps

Amendment to Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2, Zoning Maps.

Sketch plan showing the area to be rezoned for CD84:





District of West Vancouver
Proposed
Development Permit No. 21-131

CURRENT OWNER: STIRLING PACIFIC DEVELOPMENTS

THIS DEVELOPMENT PERMIT APPLIES TO: Lots C and D, Daffodil Drive

CIVIC ADDRESS: Unassigned

LEGAL DESCRIPTION: 010-068-775
LOT C (REFERENCE PLAN 3355), GROUP 1 NEW
WESTMINSTER DISTRICT EXCEPT PART IN REFERENCE
PLAN 11716 DISTRICT LOT 1374

AND

015-934-586
LOT D (REFERENCE PLAN 3355) DISTRICT LOT 1374
GROUP 1 NEW WESTMINSTER DISTRICT

(the 'LANDS')

1.0 This Development Permit:

- (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan as the:
 - a. Ground-Oriented Infill Housing Development Permit Area to promote the siting and design of ground-oriented infill housing in West Vancouver that integrates with the neighbourhood context and meets a high quality of building and landscape design to create an attractive, residential streetscape subject to Guidelines BF-B16 specified in the Official Community Plan; and
 - b. Sites with Difficult Terrain Development Permit Area to guide development that avoids hazardous conditions, ensures greater environmental compatibility of development on sloping sites, protects the natural environment on difficult terrain, and minimizes site disturbance and blasting during construction subject to Guidelines NE-6 in the Official Community Plan; and
- (b) is issued subject to the Owner's compliance with all of the Bylaws of the District applicable to the Lands, except as varied or supplemented by this Permit.

2.0 The following requirements and conditions shall apply to the Lands:

- 2.1 Building, structures, on-site parking, driveways, and site development shall take place in accordance with the attached **Schedules A**.
- 2.2 Servicing and site layout for subdivision shall generally take place in accordance with **Schedules A and B**.
- 2.3 Buildings shall be sited and road access designed to accommodate fire fighting vehicles and equipment.
- 2.4 Sprinklers must be installed in all areas as required under the Fire Protection and Emergency Response Bylaw No. 4366, 2004.
- 2.5 On-site landscaping shall be installed at the cost of the Owner in accordance with the attached **Schedule B**.
- 2.6 Sustainability measures and commitments shall take place in accordance with the attached **Schedules A and B**.
- 2.7 All balconies decks and patios are to remain fully open and unenclosed and the weather wall must remain intact.
- 2.8 Where provided for on **Schedule A**, balconies, decks and patios may be provided with external glass weather protection devices, but in any case, the weather wall must remain intact.

3.0 Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner must:

- 3.1 Provide and implement a plan for traffic management during construction to the satisfaction of the District's Manager of Development Engineering.
- 3.2 Install tree, vegetation and/or hedge protection measures as required to the satisfaction of the District's Environmental Protection Officer.
- 3.3 Submit a "Sediment and Erosion Plan" to the District's Environmental Protection Officer for approval, which the Owner shall comply with and be responsible for maintaining, repairing and implementing the sediment control measures.
- 3.4 Provide an assessment from a qualified geotechnical engineer on the rockfall hazard and slope stability of cut slopes, recommendations for permanent and temporary slope batters, potential blasting requirements, retaining walls, fill placement, compaction, and pavement recommendations. Assessment shall also consider hazards associated with rockfall from excavation or existing sources that may be increased as a result of construction activities or naturally including changes in groundwater, erosion, freeze-thaw, weathering, root growth or leverage of roots moving in high winds, and tree removal.

4.0 Prior to Building Permit issuance:

- 4.1 Provide engineering civil drawings detailing works, and enter into a Works and Servicing agreement, including but not limited to:
 - (a) storm water management measures;

- (b) site service connections;
- (c) new boulevard plan along the frontage of the site including curbs, sidewalk, lighting, and grading plan;
- (d) repaving along the frontage of the Lands,
- (e) signalization of the pedestrian crossing at Marine Drive & Cranley Drive
- (f) on and off site utility upgrades (water, storm and sanitary) as required for this development,

which must be submitted for acceptance, and security provided for the due and property completion of the engineering works, all to the satisfaction of the District's Manager of Land Development.

- 4.2 Register a right-of-way permitting public pedestrian access over, through, and on the lands. Specifications for delivery of the public pathway design/improvements to be confirmed subject to satisfaction of condition 4.1.
- 4.3 Register a right-of-way permitting access and utility services to 5665 Daffodil Lane through the lands to be confirmed subject to satisfaction of condition 4.1.

5.0 Prior to Occupancy Permit issuance:

- 5.1 Prior to final occupancy the applicant must submit documentation demonstrating that the "as-built" development complies with all requirements of this development permit. Any variations must be clearly identified with a rationale and explanation noting that planning staff review and approval may be needed for variations prior to final occupancy.

6.0 Security for Landscaping

- 6.1 Prior to building permit issuance, security for the due and proper completion of the landscaping set forth in section 2.0 of this Development Permit (the "Landscaping Works") shall be provided in the amount of \$250,000.00 (the "Landscape Deposit") to the District in the form of cash or unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union.
- 6.2 Release of the Landscape Deposit:
 - (a) Following installation of the Landscaping Works and upon receipt of a certified letter or report by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects to the District stating that:
 - a. the Landscaping Works have been installed substantially in accordance with **Schedule B**; and
 - b. any variations that may have been undertaken to the Landscaping Works are clearly identified, including but not limited to:
 - i. any adjustments to retaining walls,
 - ii. changes to the mixture or sizes of any plant materials or trees,

- iii. completion of any off-site or boulevard works,
- iv. any areas that received alternative treatment,
- v. any paving changes, or
- vi. any other additional or omitted plantings or alterations,

together with a clear rationale and explanation thereof and stating

- c. that a final review with the landscape contractor or consultant of record has been completed, including provision of the date when this final review was completed on,
- d. whether there are any outstanding Landscape Works which are outstanding or which need attention, and
- e. notwithstanding outstanding works in 5.2(a)(d) above, that the Landscaping Works are complete,

then District will release 75% of the initial value of the Landscape Deposit. The remaining 25% of the initial value of the Landscape Deposit shall be retained by the District as a warranty deposit (the "Warranty Deposit") to ensure successful installation of the Landscaping Works.

- (b) After a one-year period following certification that the Landscaping Works have been completed, and upon final certification by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects that the Landscaping Works are successful, the District will release the Warranty Deposit.

6.3 Additional Landscape Security

- (a) No occupancy shall be issued nor will any other final approvals be given for any individual building site identified as a "Parcel" on attached **Schedule A**, until:
 - a. all of the Landscaping Works are completed, or
 - b. the Owner provides security in addition to and separate from the Landscape Deposit, and in the amount of 110% of the value of the uncompleted Landscaping Works for that specific Parcel only (the "Additional Security Deposit") for the due and proper completion of the uncompleted or deficient Landscape Works for that specific Parcel only, as determined and certified by the consultant of record; and
 - c. the Additional Security Deposit will be released upon final certification by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects following certification that all of the Landscaping Works on the Parcel have been completed.

7.0 This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON [INSERT DATE] .

MAYOR

CORPORATE OFFICER

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO BY THE CURRENT OWNER. IT IS UNDERSTOOD:

- THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION; AND
- THE DEVELOPMENT MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFIED AT THE BUILDING PERMIT STAGE.

FOR THE PURPOSES OF SECTION 7.0 THIS PERMIT IS ISSUED ON [INSERT DATE] .
(Report to Council dated February 28, 2024 eDoc#5605748)

Schedules:

- A. Architectural Plans
- B. Landscape Plans
- C. Geotechnical Report

AQUILA

DAFFODIL DRIVE, WEST VANCOUVER, BC



These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for DP/Re zoning Aug 31, 2021
GRD Public Comment Revisions MAY 12, 2023
G1, G2, G3 Revisions JULY 31, 2023



PROJECT

AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING

COVER SHEET

PROJECT#	SHEET
8000	
SCALE	A0.00
1/75	
DATE	
MAY 12, 2023	

Aquila Lower Road View



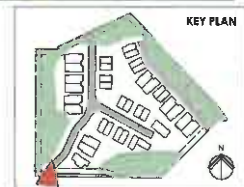
These plans remain the ownership of Sterling Pacific

REVISIONS	DATE
Issued for DR/Permitting	Aug 31, 2021
DR/ Public Comment Response	MAY 13, 2023
01, 02, 03 Revisions	JUL 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
R1



PROJECTS	SHEET
NOO	A1.09
SCALE	1/8"=1'-0"
DATE	MAY 13, 2023

Aquila left view



These plans remain the ownership of Sterling Pacific

REVISIONS	
Based for DP/Marketing	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	MAY 31, 2023



PROJECT
AQUILA
 AFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
 R2

PROJECT#	SHEET
8000	A1.10
SCALE	1/8"=1'-0"
DATE	MAY 12, 2023

Aquila right view



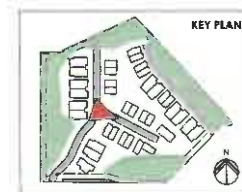
These plans remain the ownership of Sterling Pacific

REVISIONS	
Revised for DP/REZONING	AUG 31, 2021
ORCID Public Comment Revisions	MAY 17, 2023
01, 02, 03 Revisions	JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
R3



PROJECTS	SHEET
8000	A1.11
SCALE	1/8"=1'-0"
DATE	MAY 17, 2023

Aquila Upper Road View



These plans remain the ownership of Sterling Pacific

REVISIONS
Based for DP/Marketing Aug 31, 2021
DRD/ Public Comment Revisions MAY 12, 2022
G1, G2, G3 Revisions JULY 31, 2023

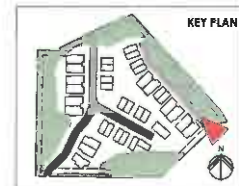


PROJECT

AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING

R4



PROJECTS	SHEET
0000	A1.12
SCALE 1/8" = 1'-0"	
DATE MAY 12, 2022	

These plans remain the
ownership of Sterling Pacific



View from 5726 Cranley
With Existing Trees



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING

PROJECT 1009	SHEET
SCALE 1" = 32'	
DATE	

These plans remain the
ownership of Sterling Pacific



From from 5726 Cranley
With Proposed Trees



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING

PROJECT	SHEET
1009	
DATE	DATE
BY	BY

These plans remain the
ownership of Sterling Pacific



PROJECT:
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

Singular View of Home
Facing Cranley



DATE: _____
PROJECT: 1009 SHEET _____
DATE: 11-17

These plans remain the
ownership of Sterling Pacific



View From North-West Corner



PROJECT

AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING

PROJECT
1009

SHEET

DATE
30-11-17

These plans remain the
ownership of Sterling Pacific



Internal Streetscape of Homes



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING

PROJECT 1009	SHEET
SCALE	
DATE	11-13-11

Overlook Analysis



These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DR/RAZON/10 Aug. 31, 2021
 DR/1 Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
 R5

PROJECT#	6000	SHEET	A1.13
SCALE	1/8"=1'-0"		
DATE	MAY 12, 2023		

Scale Model

To View, please email info@Aquilaliving.com
Located at #10 636 Clyde Ave West Vancouver



These plans remain the ownership of Sterling Pacific

REVISIONS	
Model for DR/Planning	Aug. 31, 2021
CRD/ Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING

R6

PROJECT#	SHEET
8006	
SCALE	
1/8" = 1'-0"	A1.14
DATE	MAY 12, 2023

Scale Model

To View, please email info@Aquilaliving.com
Located at #10 636 Clyde Ave West Vancouver



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REVISIONS
Issued for OP/Marketing Aug 31, 2021
DRG/ Public Comment Revisions MAY 12, 2022
01, 02, 03 Revisions JULY 31, 2023



PROJECT

AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING

R7

PROJECT#	SHEET
6000	
SCALE	1/8" = 1'-0"
DATE	MAY 12, 2022

A1.15

Scale Model

To View, please email info@Aquilaliving.com
Located at #10 636 Clyde Ave West Vancouver



These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for CP/Working Aug 31, 2021
DRCP Public Comment Response MAY 12, 2022
01, 02, 03 Revisions JULY 31, 2022



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING

R8

PROJECT#	SHEET
8090	
SCALE	A1.16
DATE	MAY 12, 2022



DESIGN RATIONALE

Housing and Liveability

A variety of 3 & 4 bedroom homes are being proposed ranging from 2170 to 4030 square feet to accommodate diverse housing needs and preferences. To ensure that the homes can indeed be used to age in place a number of homes have been designed to accommodate an elevator. All the homes have open concept main living areas with expansive glazing to allow for as much natural light as possible. In addition, due to the meticulous terracing of the site the views from all homes will not be impeded by homes across the street.

As Aquila is in a community with so many natural amenities (beaches, forests, lakes) the ability for all homes to have a connection with the outdoors was paramount. Accordingly, all homes have large decks and numerous indoor/outdoor connections that link the homes to their surroundings. The site is located near bus and bike routes for easy car-free commuting. Numerous natural amenities such as White Lake, Eagle Harbour Beach and Seaview Trail are all located within an easy walk.

Aquila will be developed in accordance with West Van's Sustainable Building Policy. Sustainable design is obtained through providing a variety of housing choices near public transit, amenities and services. The compact design of the duplex and single-family homes allow for a more sustainable development than the approved 10 lot mega home subdivision. Aquila maintains environmental protection measures through tree protection, parkland dedication and enhancing existing watercourses and wetland.

The developer of Aquila, Sterling Pacific Developments, is a leader in developing energy efficient homes utilizing the latest technology and reducing the carbon footprint of its homes. It recently developed the first duplex in West Vancouver utilizing an air to water heat pump that was not heated using Fossil Fuel.

The homes of Aquila will be developed to a Step 5 energy code and will consume 70% less GHG's per year compared to the 10 home development. (9.7 tonne GHG decrease)

Architectural Style

As Aquila is a unique large undeveloped site, we strove to ensure that the architectural style would also be unique. This goal of uniqueness combined with the homes being geared towards a broad range of owners from young families to empty nesters and everything in between, meant that the one style fit all approach was not something we wanted to explore. Thus, we have created 7 different architectural styles and floorplans. Furthermore, due to site characteristics these home styles have been further tweaked and refined to fit seamlessly on each property. While all of the homes are unique, they do share common design features, materials and colours. This has been done so they all complement one another resulting in a cohesive development.

West Vancouver is well known for its Westcoast Modern architecture. Our designs and plans pull from these timeless and classic styles through the use of natural materials and simple lines. Each home incorporates low pitched roofs with deep eaves combined with soaring vertical planes reminiscent of west coast rock faces. Blending into the natural landscape, the exterior elevations include exposed beams, rather than, clerestory windows and stone siding scaled down in the massing to fit into the natural forest setting. The interior spaces are open plan in the design and incorporate the classic simple lines also found in mid-century approach modern architecture that is as relevant today as it was 60 years ago.

An example of an inspiration taken from the west coast architecture movement is the small roof accentuating the entry of the B units. This was inspired by the roof on the Woyal-Bowie's Building designed by Fred Hoffmaworth and Barry Downs. Another example is the slatted wooden screen which has been used to provide privacy to the master bath on the "D" units but also to provide a dramatic architectural element as seen on some of the current westcoast architecture modern designs.

The exterior material palette includes a combination of wood, stone and concrete. These materials have been used in different locations on the homes to ensure the design is not repetitive. In addition, the wood used is a mixture of bevel siding, board and batten and shake all used in a way to compliment the westcoast design aesthetic but functioning to create a cohesive community.

All of the finishes as well as the colours have been chosen to allow the homes to blend into the environment and not stand out. This is also why the larger facades on some of the homes have been finished in a consistent material and colour rather than using a variety of materials.

Eagle Harbour is a community that has a mixture of architectural styles with everything from Lewis port and beams to suburban split levels. Aquila's 7 distinct architectural styles will blend seamlessly into the neighbourhood. It should be noted that the homes will be developed utilizing non-combustible materials so where we have slated wood siding it will be fibre cement siding developed by Fisher Coatings in Squamish whereby it has a wood grain and stain to mimic real wood siding. This siding is not only non-combustible but it has much less impact on the environment and it also has a much longer life span than conventional stains and paints.

These plans remain the ownership of Sterling Pacific

REVISIONS	
Noted for DP/Revised	AUG 31, 2021
URCU Public Comment Response	MAY 12, 2022
01, 02, 03 Response	JULY 31, 2022



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
DESIGN RATIONALE

PROJECT	SHEET
4800	A0.02
SCALE	ITS
DATE	.1
MAY 12, 2022	



DESIGN RATIONALE

Location, Transportation, and Community Context

Aquila is a unique site in that it encompasses over 194,000 square feet and is one of the largest sites in West Vancouver below the Highway that has yet to be developed. The site is in the Eagle Harbour neighbourhood which is comprised of an eclectic mix of varying styles of single-family homes. The site is located near Caulfield Shopping Center along with Gleneagles and Eagle Harbour Elementary and Rockridge High School. In addition, the Gleneagles community center and golf course, numerous marinas and a plethora of outdoor amenities including beaches and hiking trails are in close proximity. Finally, the site is along the Marine Drive transit/cycling corridor, making it easily accessible via public transit and bicycle.

Recently the site was approved to be subdivided into 10 large single-family home lots to accommodate a subdivision of what are commonly referred to as monster homes. However, since this was done West Vancouver residents and council, through the new Official Community Plan (OCP), have stated that they do not want more monster homes but rather want more diverse housing options particularly those in the "missing middle" segment: homes for young families, empty nesters, and essential service providers which have an increasing demand for accessibility, close proximity to community amenities and at a price point lower than what is and has been available in West Vancouver.

Aquila's design reflects the importance of these factors along with the OCP as well as the context of incorporating a design that seamlessly transitions into the existing single-family neighbourhood.

Site Development

Aquila's site is in a location where it has large degrees of separation from the surrounding homes by natural boundaries and buffers which will not only be maintained but enhanced by the development. Eagle Creek, on the south which will be protected by a 15-meter setback, on the east by a forested ravine backing onto Westport Road, on the north by Canadian National Railway along with a tree buffer separating it from Aquila and along the western boundary by an environmental protection area of over 25 meters wide. This environmental area will be improved by removing the invasive plants and developing fish spawning ponds along with permanent protection through an environmental protection covenant.

The site is currently accessed from Daffodil Dr on the south and Westport Rd on the north. One can currently travel through the site exiting on Daffodil Dr or Westport Rd. In designing Aquila one of the key site development objectives was to ensure that the roads would not become feeder roads for the Eagle Harbour neighbourhood and its popular beaches and marinas. That is allowing vehicles to travel through Aquila would not only be detrimental to developing a strong neighbour feel for Aquila but it would also be detrimental to the existing Eagle Harbour neighbourhood by significantly increasing the traffic going through it thus Aquila has been developed using a road system of cul-de-sacs.

A public walkway has been provided through the property so that the residents of the Westport Road neighbourhood will have easier access to public transportation on the Marine Dr transit corridor as well as the parks and beaches of Eagle Harbour. In addition, Eagle Harbour residents will be able to walk to some of West Van's most coveted lakes and trails on Black Mountain.

As Aquila slopes from the north (Westport Rd) to the south (Daffodil Dr) the roads have been developed utilizing the natural terrain and therefore have been done in such a way to allow homes on one side of the road to drop below the road and on the other side to be built above the road. This way the site can have a much more open feel with building massing being developed to minimize the overall look as the homes are built "into" the natural topography and to allow natural light to flow to all homes.

Building Form and Placement

In developing the building form for Aquila, unlike so many recent multifamily developments, the goal has not been to maximize density and the number of units but rather to create a development that is transitional between what West Van residents expect in the OCP and the surrounding single-family homes. That is, no large buildings are proposed, rather a development that weaves into the existing neighbourhood context by creating buildings similar in scale and massing to the existing homes. To accomplish this a mixture of 17 semi-detached buildings and 2 single family homes have been used.

The Floor Area Ratio (FAR) of the approved 10 lot subdivision is 35% and the proposed FSR for Aquila is 37.8%. A mere 2.8% greater.

Ensuring that these homes can be integrated onto the site in a sensitive way ensuring openness and natural light is paramount and without infringing on the environmental and natural buffers. In fact the greenbelt in Aquila has been enlarged by 9,230 sqft when compared to the 10 lot subdivision.

Positioning the buildings on the site has also been done to ensure that there are outdoor amenity areas where the residents of Aquila and the surrounding community can enjoy. This further creates a connection between Aquila and its neighbours.

These plans remain the ownership of Sterling Pacific

REVISIONS	
Build for DP/Resolving	Aug 31, 2021
SRD Public Consult Reviews	MAY 12, 2023
G1, G2, G3 Reviews	JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
**DESIGN
RATIONALE**

PROJECT#	SHEET
#9020	A0.02
SCALE	
DATE	

MAY 12, 2023

OFFICIAL COMMUNITY PLAN

2.1 Existing Neighbourhoods

2.1 In recognition of the very limited availability of housing forms such as duplex, triplex, and townhomes, the development seeks to increase the variety of housing options available in West Vancouver. A variety of single family and duplex homes are provided with a mix of 3 to 4 bedrooms ranging from 2,170 SF to 4,073 SF in size. The proposal regenerates the single-family neighbourhood with "missing middle" housing options orientated around thoughtful site and landscape design encouraging opportunities for social interaction and connectedness within the community.

2.1.4 Increase "missing middle" housing options with ground oriented multi-family on appropriate sites along the marine drive transit corridor by:

2.1.4

a. The proposals close proximity to the Eagle Harbour Elementary School and the existing commercial use along Marine Drive make it an ideal site for expanding the "missing middle" housing options with ground-oriented multi-family housing. (Refer to Map 2. Marine Drive Transit Corridor).

b. Homes are oriented in relation to the steep slope of the site as well as the surrounding creeks and wetlands. Access is provided both off Daffodil Drive and Westport Road creating 2 separate access points and reducing the traffic to the adjacent streets. A traffic study has been completed and provided with the submission. The two sections are linked together through pedestrian paths both for the proposed community and the neighbourhood.

c. The proposed height of the duplexes are kept to a maximum of three storeys with careful terracing to the faces fronting the public realm. The majority of the homes appear as a single storey from the street.

2.1.6 Prioritize community use and/or housing objectives when considering redevelopment proposals of institutional, public assembly or community sites, district-wide that provide an existing community or public use function by:

2.1.6

b. The development seeks to provide the neighbourhood with walking paths linking Daffodil Drive and Westport Road. These trails also provide the community with a connection to the surrounding creek and wetlands on the site.

2.1.7 Consider proposals within neighbourhoods for site-specific zoning changes that are not otherwise supported by policies in this plan only in limited circumstances by:

2.1.7

a. Public open house and community outreach has been completed prior to submission.

b. The proposed site is separated from the neighbouring single family context by a surrounding greenbelt which will be retained. On the North side of the site are the existing CPR tracks.

c. A traffic study has been completed and provided to demonstrate the minimal impact to local traffic.

d. The proposed height of the duplexes are kept to a maximum of three storeys with careful terracing to the faces fronting the public realm. The majority of the homes appear as a single storey from the street.

e. Eagle Harbour is a family oriented neighbourhood where close proximity to schools and recreational facilities is important. Aquila will add to the community feel by adding a public walking paths within the development to further connect the neighbouring homes to the property.

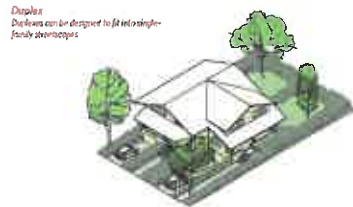
f. Feedback from the public was considered and implemented in the proposal.



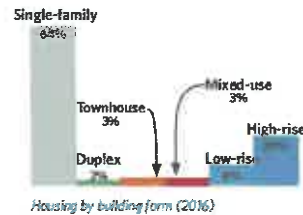
Retained Greenbelt Surrounding the Site



MAP 2. MARINE DRIVE TRANSIT CORRIDOR



DISTRICT OF WEST VANCOUVER OFFICIAL COMMUNITY PLAN 25



These plans remain the ownership of Sterling Pacific

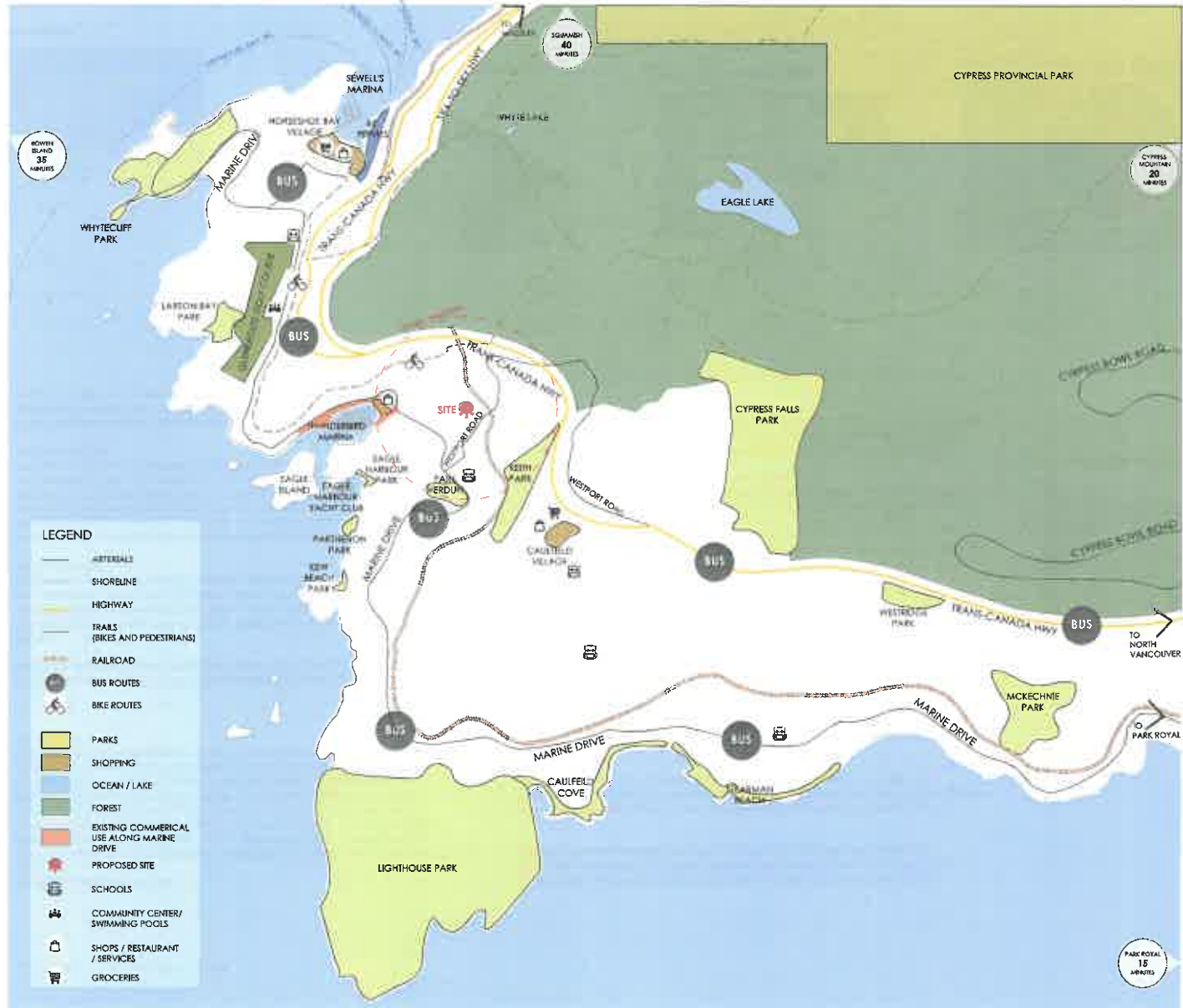
REVISIONS	
Issued for OPA/Reconing	Aug 31, 2021
DRSP Public Comment Response	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
OFFICIAL COMMUNITY PLAN COMPLIANCE

PROJECT#	SHEET
88030	A0.03
SCALE	N/A
DATE	MAY 12, 2023



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REVISIONS	
Revised for DP Planning	Aug 31, 2021
DRG Public Comment Revisions	MAY 12, 2023
D1, D2, D3 Revisions	JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
CONTEXT AND ANALYSIS

PROJECT #	SHEET
#8000	A0.04
SCALE	NTS
DATE	MAY 12, 2023





LEGEND

- BUS STOP
- SHOPS/ RESTAURANTS / SERVICES
- BIKE ROUTES

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REVISIONS

Issued for DR/Revised	Aug 31, 2021
DR/ Public Comment Review	MAY 12, 2023
G1, G2, G3 Review	JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
AERIAL

PROJECT#	SHEET
SCALE	#020
DATE	NTS A0.05
	MAY 12, 2023



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REVISION B
 Issued for DR/Reviewing Aug 31, 2024
 DR/ Public Comment Reviews MAY 12, 2023
 01, 02, 03 Reviews JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
CONTEXT PLAN

PROJECT#	SHEET
SCALE	#800
DATE	MAY 12, 2023
A0.06	



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Ⓐ VIEW OF DAFFODIL DRIVE



Ⓑ VIEW OF SITE FROM WESTPORT



REVISION 8
Issued for EDP/Responing Aug 31, 2021
CBC/ Public Comment Reviews MAY 17, 2023
01, 02, 03 Reviews JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
**EXISTING
STREETSCAPES**

PROJECT#	88070	SHEET
SCALE	HTS	A0.07
DATE	MAY 12, 2023	

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© VIEW OF DAFFODIL DR. STREETSCAPE



© DAFFODIL LANE STREETSCAPE



REVISIONS

Issued for DP/Resubmit	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
Q1, Q2, Q3 Revisions	JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
**EXISTING
STREETSCAPES**

PROJECT #	SHEET
SCALE	HTS
DATE	MAY 12, 2023

A0.08

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REVISIONS	
Issued for OPR/Permitting	AUG 31, 2021
DRS/PUBLIC CONSULTATION REVISIONS	MAY 12, 2023
01, 02, 03 REVISIONS	JULY 31, 2023



VIEW ALONG ROAD A
3D MASSING



VIEW ALONG ROAD A
3D MASSING



VIEW ALONG ROAD B
3D MASSING



VIEW ALONG ROAD C
3D MASSING



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
3D MASSING

PROJECT#	SHEET
8020	A0.09
SCALE	
NIS	
DATE	MAY 12, 2023



5611 DAFFODIL DRIVE



5675 DAFFODIL DRIVE



5619 DAFFODIL DRIVE



5685 WESPORT ROAD



5730 CRANLEY DRIVE



5605 DAFFODIL DRIVE



5736 CRANLEY DRIVE



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REVISIONS	
Issued for DR/Working	Aug 31, 2023
DR/ Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
 CONTEXT
 PHOTOS

PROJECT	SHEET
4900	A0.10
SCALE	N/D
DATE	MAY 12, 2023



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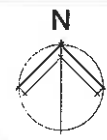
REVISIONS
 Moved for DP/Reboring Aug 23, 2021
 DRP Public Consultation Review MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
**PRECEDENT
 PHOTOS**

PROJECT#	#9000	A0.11
SCALE	NTS	
DATE	MAY 12, 2023	



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REVISIONS	
Based for CP Planning	Aug 31, 2024
DSD Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023



JUNE - 10:00 AM



JUNE - 12:00 PM



JUNE - 2:00 PM



JUNE - 4:00 PM



MARCH/SEPTEMBER - 10:00 AM



MARCH/SEPTEMBER - 12:00 PM



MARCH/SEPTEMBER - 2:00 PM



MARCH/SEPTEMBER - 4:00 PM



DECEMBER - 10:00 AM



DECEMBER - 12:00 PM



DECEMBER - 2:00 PM



DECEMBER - 4:00 PM



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
**SHADOW
ANALYSIS**

PROJECT#	SHEET
9030	A0.12
SCALE	
DATE	

MAY 12, 2023



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REVISION	Aug 21, 2021
Issue No 01/Revised	MAY 13, 2020
2021 Public Comment Revisions	JULY 21, 2020
6/1, 6/2, 6/3 Revisions	Oct 1, 2020
Final Address	

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
**OVERALL SITE
 PLAN**

LEGEND

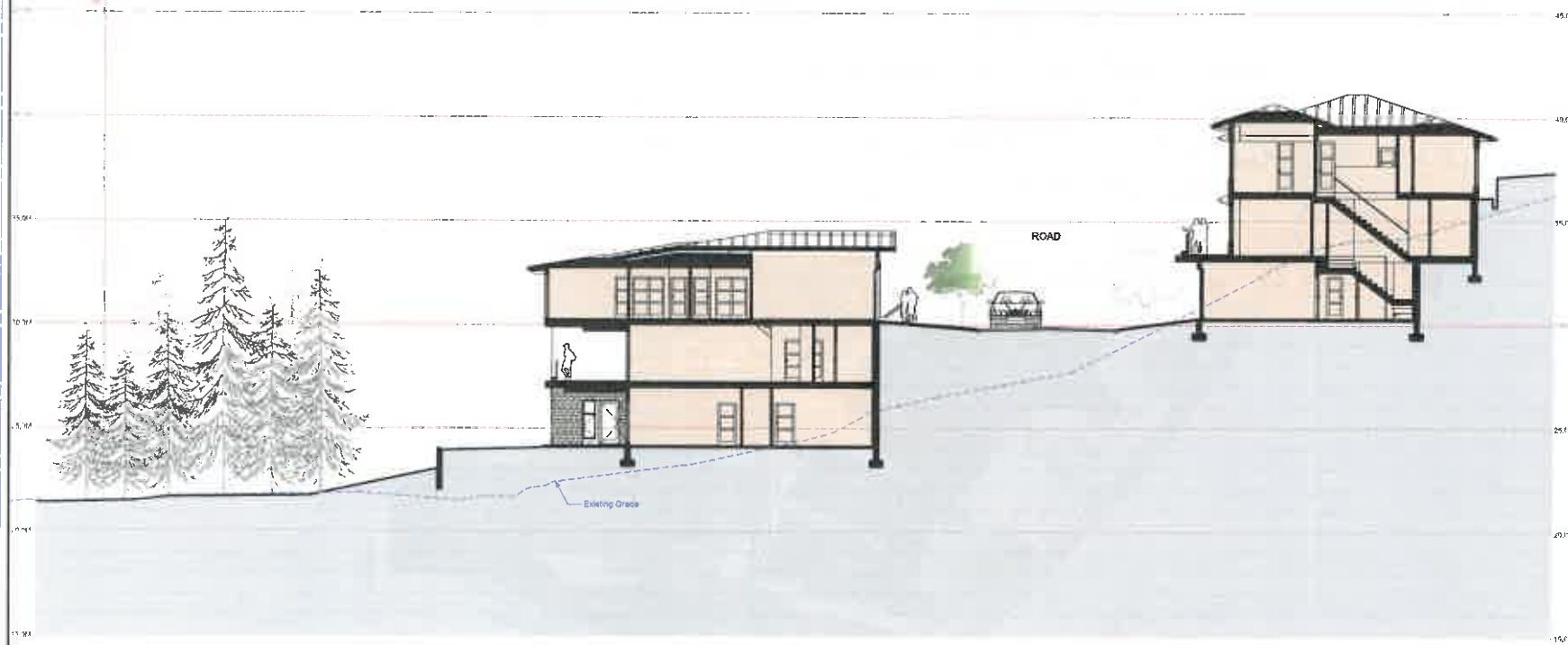
	COVERED PARKING
	10 VISITOR PARKING

PROJECT	2021	SHEET	A1.00
SCALE	1/8" = 1'-0"		
DATE	OCT 1, 2020		

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REVISION
Issued for DP/Screening Aug 31, 2021
DRP/ Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023

PROPERTY LINE

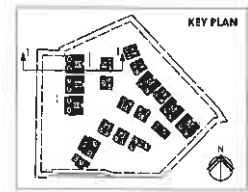


1 SECTION G3 (8) & D4 (11)
Scale: 1/8" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

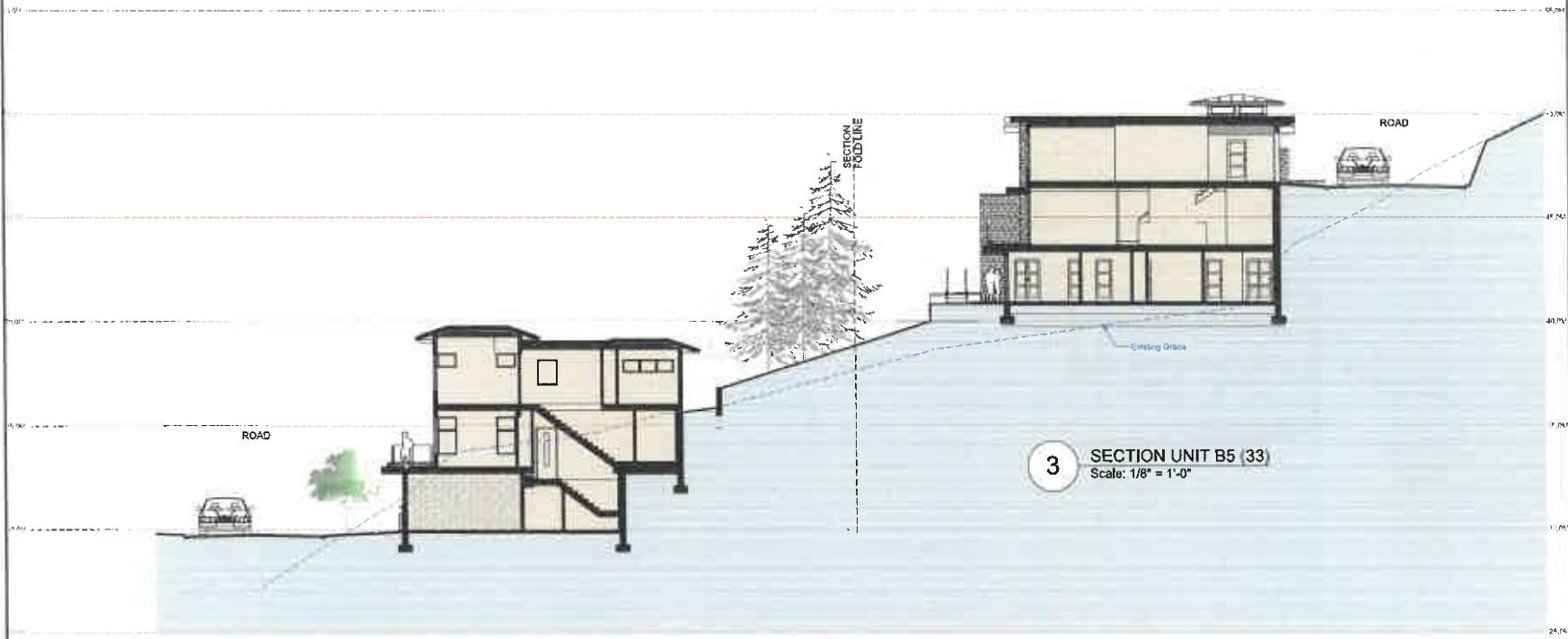
DRAWING
SITE SECTIONS



PROJECT#	8000	SHEET
SCALE	1/8" = 1'-0"	A1.02
DATE	MAY 12, 2023	

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REVISIONS	
Issued for CIP/Permitting	Aug 31, 2023
DRCP Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



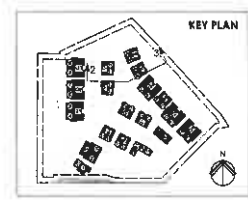
2 SECTION UNIT D3 (12)
Scale: 1/8" = 1'-0"

3 SECTION UNIT B5 (33)
Scale: 1/8" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

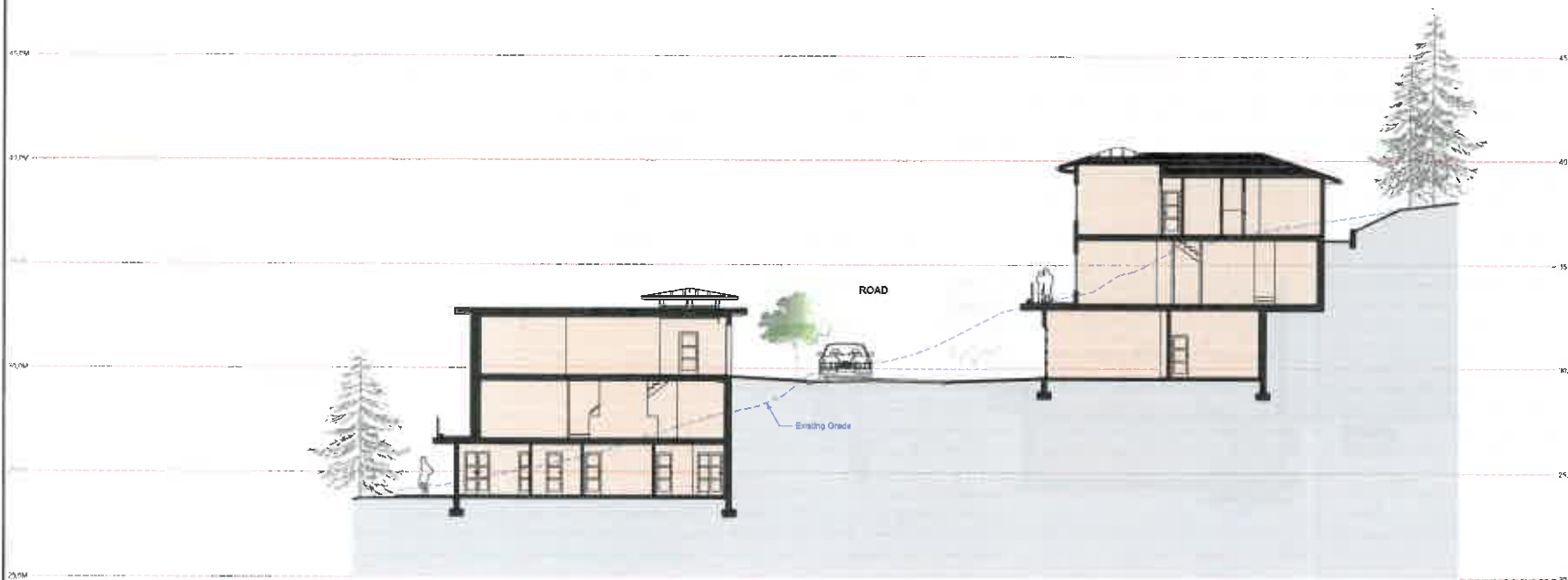
DRAWING
SITE SECTIONS



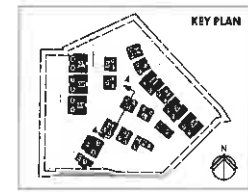
PROJECT#	SHEET
8000	
SCALE	A1.03
1/8" = 1'-0"	
DATE	MAY 12, 2023

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REVISIONS
Issued for EIR/Response Aug 31, 2021
DRCP Public Comment Revisions MAY 12, 2023
01, 03, 03 Revisions JULY 31, 2023



4 SECTION UNIT B3 (15) & D2 (20)
Scale: 1/8" = 1'-0"



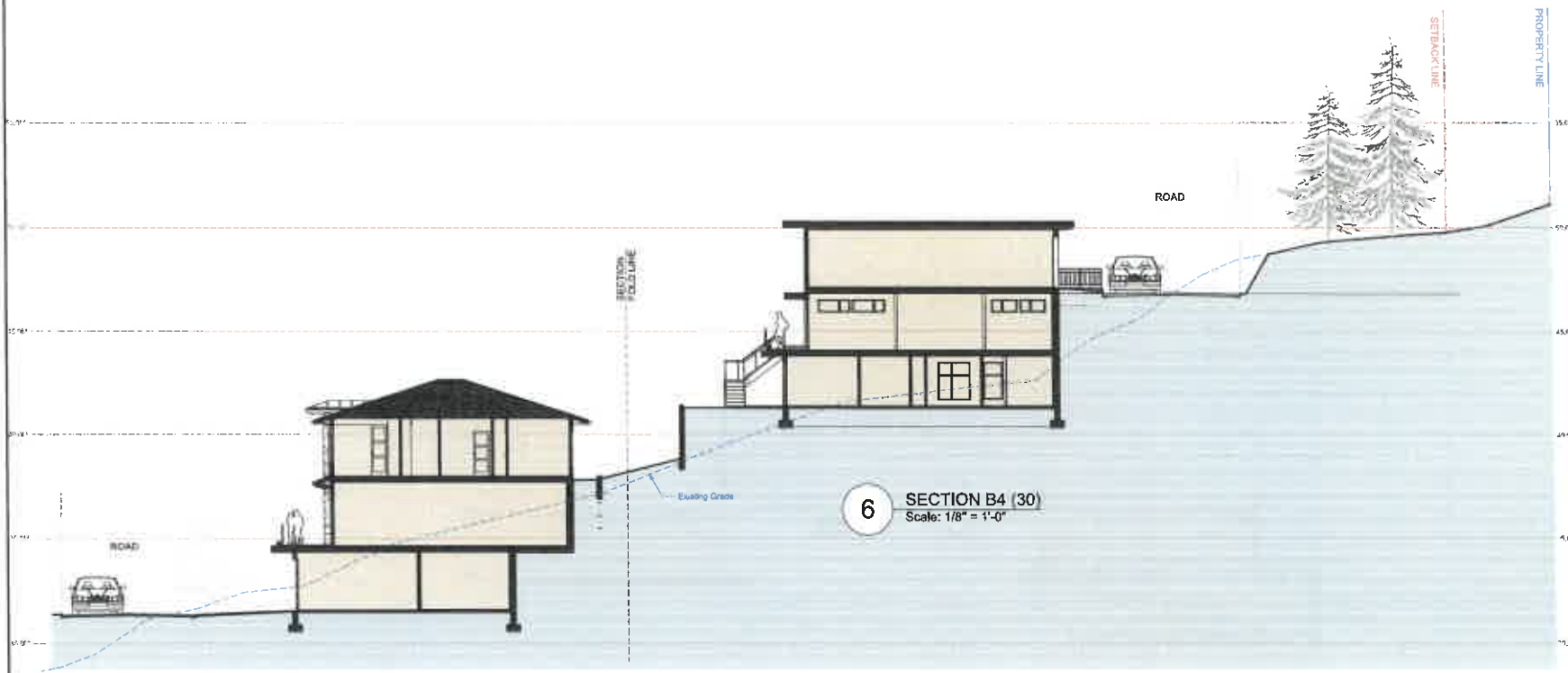
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
SITE SECTIONS

PROJECTS	SHEET
8000	A1.04
SCALE 1/8" = 1'-0"	
DATE MAY 12, 2023	

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REVISIONS	
Issued for DP/Resubmit	AUG 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
GL, GLS Revisions	JULY 31, 2023



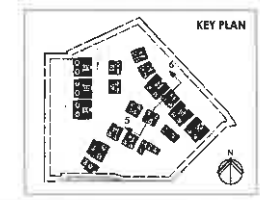
5 SECTION UNIT D1 (22)
Scale: 1/8" = 1'-0"

6 SECTION B4 (30)
Scale: 1/8" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

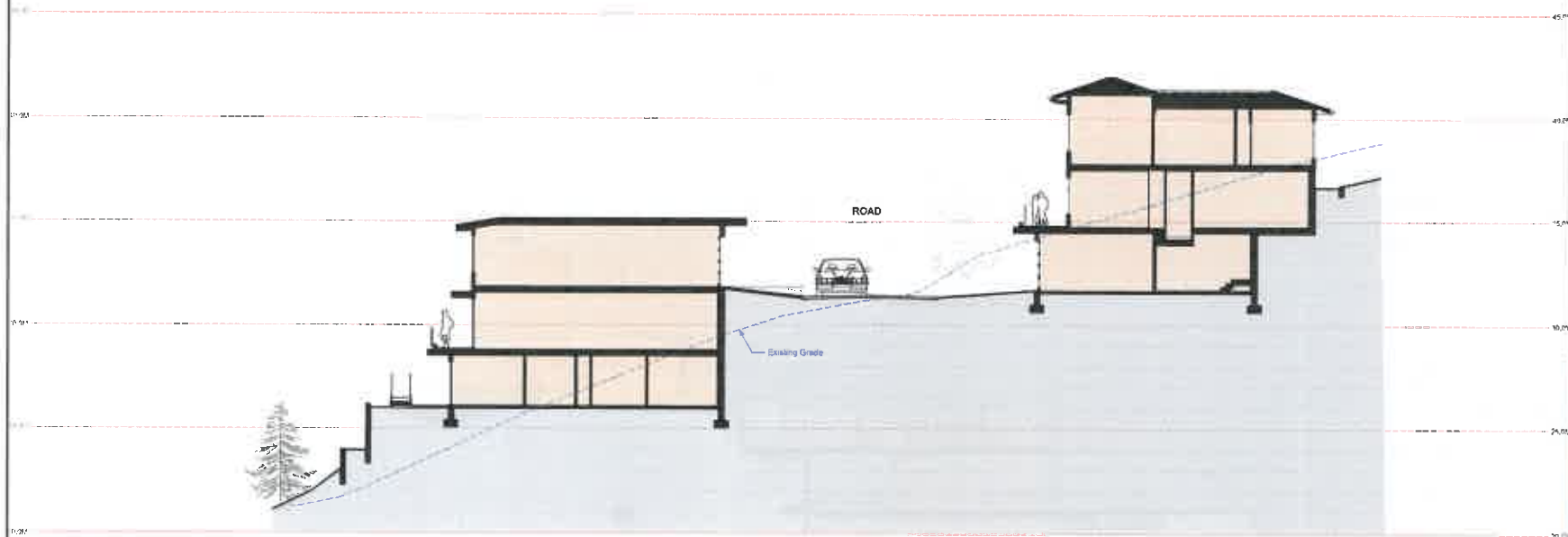
DRAWING
SITE SECTIONS



PROJECT#	8000	SHEET
SCALE	1/8" = 1'-0"	A1.05
DATE	MAY 12, 2023	

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REVISIONS	
Issued for OPR/Planning	AUG 31, 2021
ORCA Public Comment Revisions	MAY 13, 2023
01, 02, 03 Revisions	JUL 31, 2023

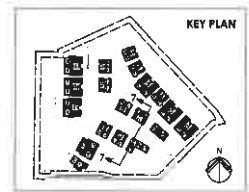


7 SECTION UNIT B1 (18) & D1 (23)
Scale: 1/8" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

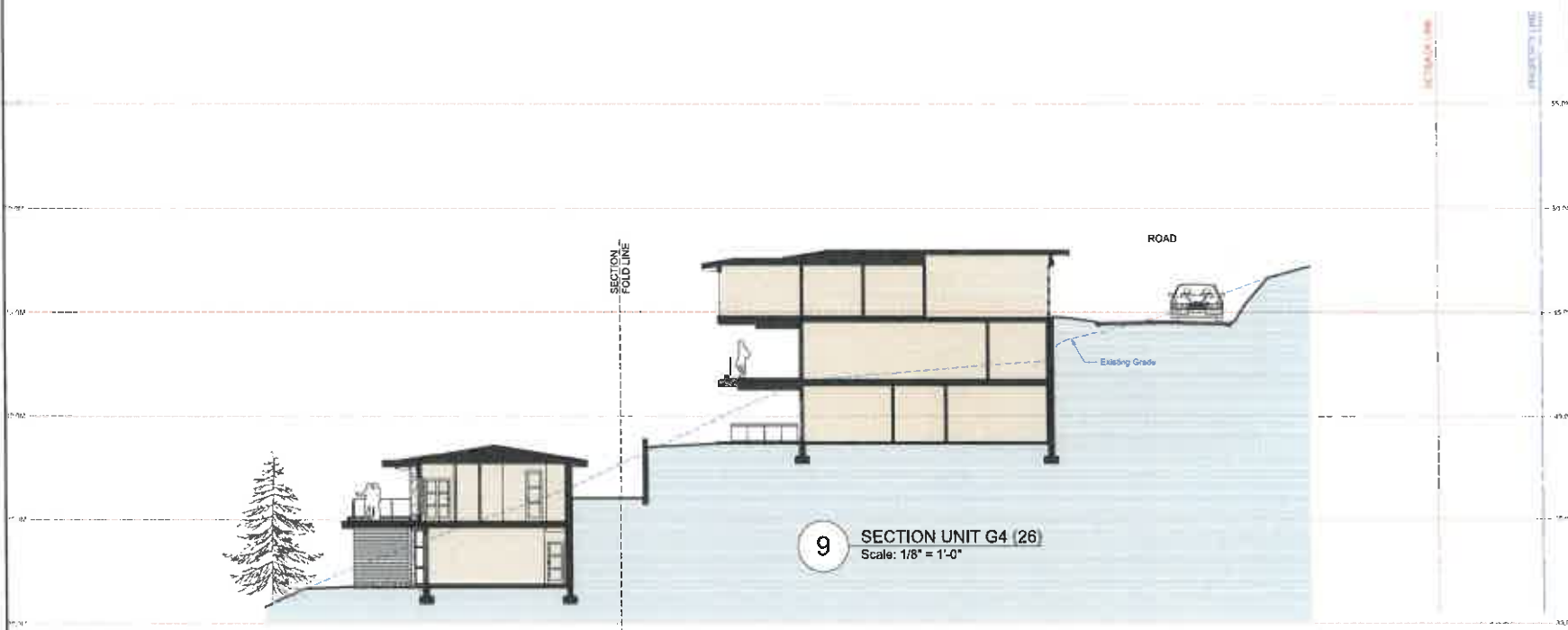
DRAWING
SITE SECTIONS



PROJECT#	SHEET
8030	A1.06
SCALE	1/8" = 1'-0"
DATE	MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS	DATE
Based for OPR Review	AUG 31, 2021
DRCP Public Comment Revisions	MAY 12, 2023
01.02.03 Revisions	JULY 31, 2023



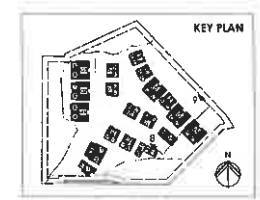
8 SECTION UNIT E (24)
Scale: 1/8" = 1'-0"

9 SECTION UNIT G4 (26)
Scale: 1/8" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, B.C.

DRAWING
SITE SECTIONS



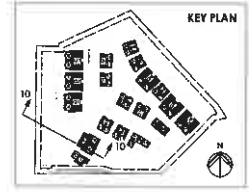
PROJECT	SHEET
8030	A1.07
SCALE	1/8" = 1'-0"
DATE	MAY 12, 2023

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REVISIONS	
Issued for DR/Reviewing	AUG 31, 2021
DRM/Permit/Client Revisions	MAY 12, 2023
02-03 Revisions	JULY 31, 2023



10 Section Unit F2 (10)
Scale: 1/8" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
SITE SECTIONS

PROJECT#	8030	SHEET	
SCALE	1/8"=1'-0"	A1.08	
DATE	MAY 12, 2023		

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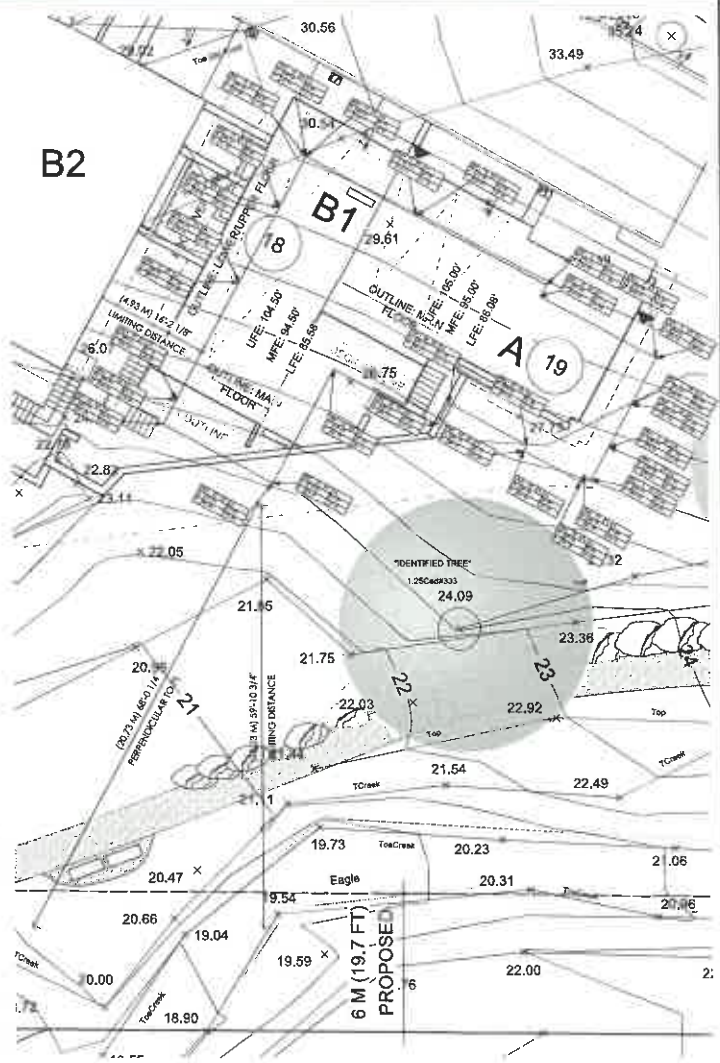
REVISIONS
 Issued for Offsetting Aug 31, 2021
 0407/Plan/Comments/Revised MAY 12, 2023
 04, 02, 03 Revisions JULY 31, 2023

H1 - AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation (F)	Area (A)	Elevation (F)	Area (A)	Distance
1	88.71	2	90.30	89.80	488.84
2	90.30	4	83.63	87.36	604.16
4	83.63	1	90.99	90.99	0.00
6	90.99	1	90.99	90.99	0.00
7	90.99	1	90.99	90.99	0.00
8	90.99	1	90.99	90.99	0.00
9	90.99	1	90.99	90.99	0.00
10	90.99	1	90.99	90.99	0.00
11	90.99	1	90.99	90.99	0.00
12	90.99	1	90.99	90.99	0.00
13	90.99	1	90.99	90.99	0.00
14	90.99	1	90.99	90.99	0.00
15	90.99	1	90.99	90.99	0.00
16	90.99	1	90.99	90.99	0.00
17	90.99	1	90.99	90.99	0.00
18	90.99	1	90.99	90.99	0.00
19	90.99	1	90.99	90.99	0.00
20	90.99	1	90.99	90.99	0.00
21	90.99	1	90.99	90.99	0.00
22	90.99	1	90.99	90.99	0.00
23	90.99	1	90.99	90.99	0.00
24	90.99	1	90.99	90.99	0.00
25	90.99	1	90.99	90.99	0.00
26	90.99	1	90.99	90.99	0.00
27	90.99	1	90.99	90.99	0.00
28	90.99	1	90.99	90.99	0.00
29	90.99	1	90.99	90.99	0.00
30	90.99	1	90.99	90.99	0.00
31	90.99	1	90.99	90.99	0.00
Total					18264.11
Avg Existing Grade					90.21
Max. Existing Grade					120.06

H1 - AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation (F)	Area (A)	Elevation (F)	Area (A)	Distance
1	85	2	83.88	85.34	462.00
2	83.88	4	81.88	80.32	600.00
4	81.88	4	80.14	82.50	647.39
6	80.14	20	80.42	80.78	6.00
8	80.42	1	80.42	80.42	0.00
9	80.42	1	80.42	80.42	0.00
10	80.42	1	80.42	80.42	0.00
11	80.42	1	80.42	80.42	0.00
12	80.42	1	80.42	80.42	0.00
13	80.42	1	80.42	80.42	0.00
14	80.42	1	80.42	80.42	0.00
15	80.42	1	80.42	80.42	0.00
16	80.42	1	80.42	80.42	0.00
17	80.42	1	80.42	80.42	0.00
18	80.42	1	80.42	80.42	0.00
19	80.42	1	80.42	80.42	0.00
20	80.42	1	80.42	80.42	0.00
21	80.42	1	80.42	80.42	0.00
22	80.42	1	80.42	80.42	0.00
23	80.42	1	80.42	80.42	0.00
24	80.42	1	80.42	80.42	0.00
25	80.42	1	80.42	80.42	0.00
26	80.42	1	80.42	80.42	0.00
27	80.42	1	80.42	80.42	0.00
28	80.42	1	80.42	80.42	0.00
29	80.42	1	80.42	80.42	0.00
30	80.42	1	80.42	80.42	0.00
31	80.42	1	80.42	80.42	0.00
Total					18784.04
Avg Finish Grade					82.32
Max. Finish Grade					122.17



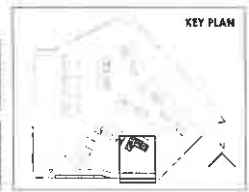
SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - B1 (18)

Lower	Main	Upper
28.08 m	28.80 m	31.88 m
85.98'	94.90'	104.57'

TOP OF FINISH FLOOR - A (19)

Lower	Main	Upper
28.24 m	28.95 m	32.00 m
86.05'	95.00'	105.00'



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
SITE PLAN A / B1

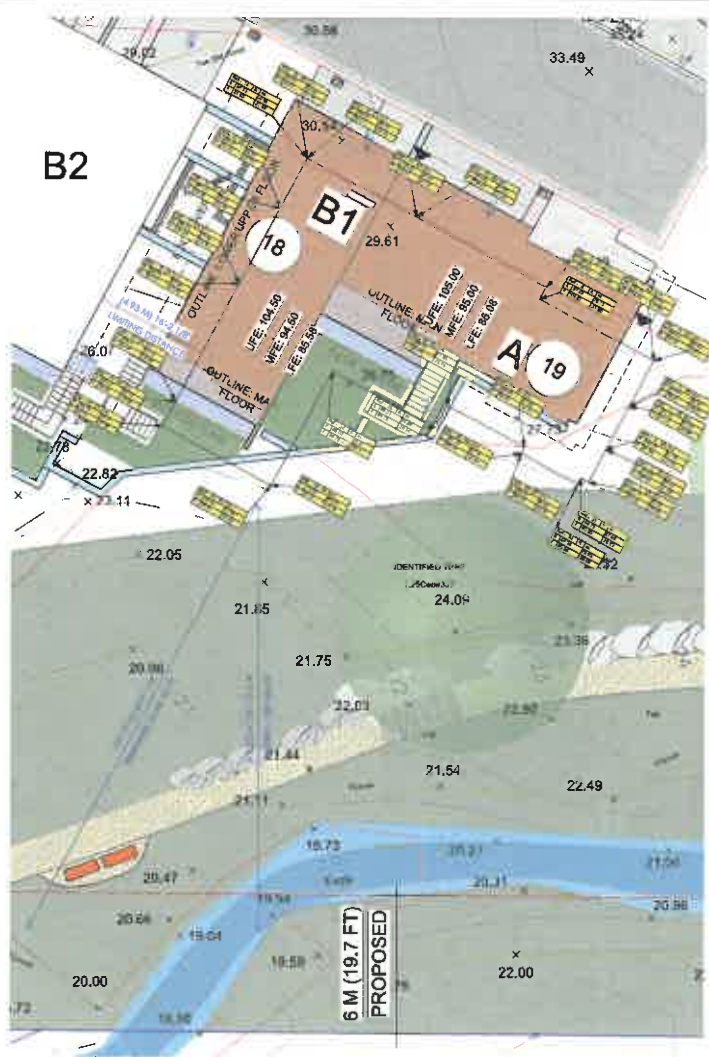
PROJECT# 9000 SHEET
 SCALE 1/8" = 1'-0" **AB1-1.01**
 DATE MAY 12, 2023

AVG - AVERAGE EXISTING GRADE CALCULATION

Ref #	PI	PI	Elevation	Elevation	x Distance
1	84.71	3	90.84	89	486.84
2	80.36	3	90.64	90.80	0
3	90.36	4	81.43	87.20	8
4	83.63	5	83	83.83	0
5	83.63	6	89.5	90.09	7
6	89.5	7	89.5	89.5	0
7	95.35	8	87.4	87.03	15.8
8	87.4	9	86	87.25	1
9	89.22	10	88	89.24	21
10	88.26	11	88.25	88.24	0
11	88.25	11	88.55	88.43	17.8
12	88.55	11	88.55	88.56	0
13	88.58	11	88.58	88.58	0
14	88.58	11	88.54	87.82	786.74
15	85.04	11	85.35	84.45	88
16	85.3	1	90.55	82.50	12.21
17	85.3	1	85.56	86.26	0
18	86.2	1	82.41	86.48	19.03
19	82.41	21	82.41	82.41	0
20	82.41	21	82.74	81.58	4
21	80.7	22	79.03	79.8	17.87
22	79	24	79.03	79.03	0
23	79	24	83.65	83.83	19.66
24	84.02	24	83.23	84.13	15.0
25	84.21	24	89.78	83	3
26	86.7	28	85.75	87.75	3
27	86.7	28	85.75	86.75	1
28	85.11	29	85.35	85.53	0
29	85	30	85.38	85.83	5.1
30	85.38	31	84	86.58	1
31	86.78	1	86.71	86.78	1.21
Total					19
AVG	Grade				86.21
Max	Min				128.05

AVG - AVERAGE FINISHED GRADE CALCULATION

Ref #	PI	PI	Elevation	Elevation	x Distance
1	86.54	86.54	8	452	
2	87.94	90.22	6.27	847	
3	87	87.2	0	0	
4	85.14	86.42	86.73	0	
5	86.4	86.42	86.6	2	
6	84.42	104.67	101.63	7	
7	104.67	104.67	104.67	18.83	
8	104	104.67	104.67	1.82	
9	104.67	104.67	104.67	21.02	
10	104.67	104.67	104.67	0	
11	104.1	104.17	104.17	17.8	
12	104.1	1	89.51	101.84	0
13	89.51	14	81.63	91.53	0
14	81.63	11	81.63	81.63	0
15	81.63	16	89.58	90.83	0
16	89.58	17	89.58	88	12.21
17	88	18	83.92	87.44	0
18	83.92	19	85.30	80	11
19	85	20	85.21	86.58	0
20	85.21	21	85.25	86.23	4
21	85.25	22	85.2	85.89	17.8
22	85.2	23	85.7	85.55	0
23	85.7	24	86.7	86.78	1
24	86.7	25	86.7	86.78	16.8
25	86.7	26	86.7	86.78	3
26	86.7	2	86.7	86.78	12
27	86.7	2	86.75	86.75	1
28	86.7	2	86.7	86.50	1
29	86.30	3	86.30	86.30	9.1
30	86.30	31	86.30	85.90	1
31	86.3	1	86.30	85.90	1.21
Total					203
AVG Finished Grade					86.30
Max	Min				122.1



SITE PLAN
SCALE: 1/8"=10'

TOP OF FINISH FLOOR - B1 (16)

Lower	Main	Upper
28.80 m	28.80 m	31.85 m
85.58'	84.50'	104.50'

TOP OF FINISH FLOOR - A (19)

Lower	Main	Upper
24.24 m	24.85 m	32.00 m
68.08'	95.06'	105.00'



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REVISIONS
Based for CP/Resolving
DRG Public Comment Revisions
01, 02, 03 Revisions

Aug 31, 2023
MAY 12, 2023
JULY 31, 2023



AQUILA
GAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
SITE PLAN A / B1

PROJECT: 8030
SCALE: 1/8"=10'
DATE: MAY 12, 2023

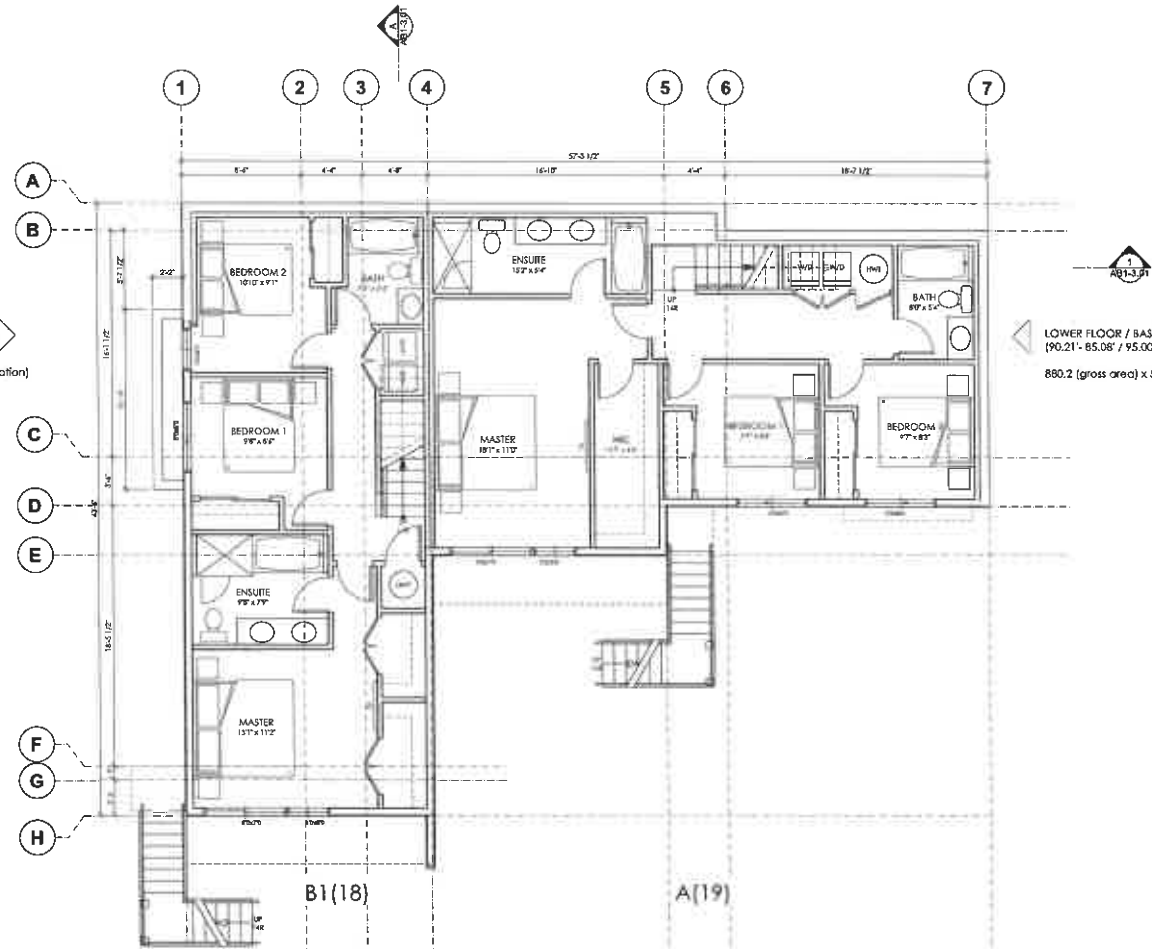
SHEET
AB1-1.01

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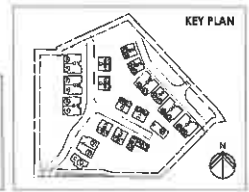
REVISIONS		
Issued for DR/Reasoning	Aug 31, 2021	
DRCP Public Comment Revisions	MAY 12, 2023	
01, 02, 03 Revisions	JULY 31, 2023	

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (90.21'-85.58' / 94.50'-85.58') x 100 = 51.9%
 764.3 (gross area) x 51.9% = 396.67 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (90.21'-85.08' / 95.00'-86.08') x 100 = 57.51%
 880.2 (gross area) x 57.51% = 506.20 SF (exemption)



LOWER FLOOR PLAN
 UNIT TYPE A / B1



UNIT 18 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	764.3 SF	712.9 SF	703.3 SF	2180.5 SF
PARAMS EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 51.9%	396.7 SF	0.0 SF	0.0 SF	396.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	367.6 SF	712.9 SF	261.9 SF	1342.4 SF

UNIT 18 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	71.0 SQ M	66.2 SQ M	65.3 SQ M	202.5 SQ M
PARAMS EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.9 SQ M	41.9 SQ M
BASEMENT EXCLUSIONS 51.9%	36.8 SQ M	0.0 SQ M	0.0 SQ M	36.8 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	34.2 SQ M	66.2 SQ M	24.3 SQ M	124.7 SQ M

UNIT 19 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	880.2 SF	773.4 SF	804.4 SF	2458.0 SF
PARAMS EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 57.51%	506.2 SF	0.0 SF	0.0 SF	506.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	374.0 SF	773.4 SF	363.0 SF	1510.4 SF

UNIT 19 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	81.8 SQ M	71.8 SQ M	74.9 SQ M	228.5 SQ M
PARAMS EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.9 SQ M	41.9 SQ M
BASEMENT EXCLUSIONS 57.51%	47.2 SQ M	0.0 SQ M	0.0 SQ M	47.2 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	34.8 SQ M	71.8 SQ M	33.9 SQ M	140.5 SQ M

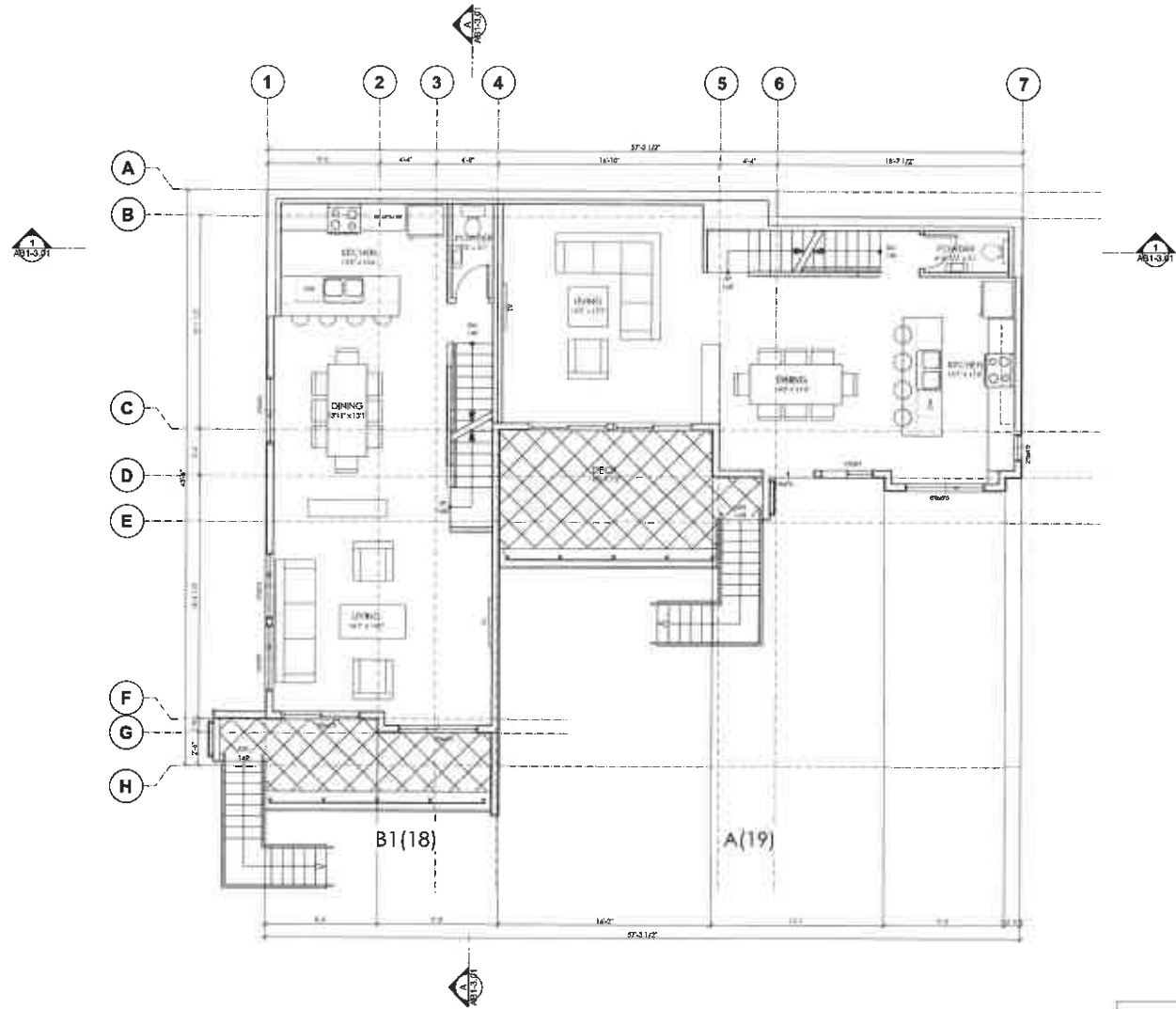
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
LOWER FLOOR PLAN

PROJECT# 0000 SHEET
AB1-2.01
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISION B
 Issued For DP/Prepping Aug. 31, 2021
 DRGZ Public Comment Revisions MAY 12, 2022
 01, 02, 03 Resubmits JULY 31, 2022



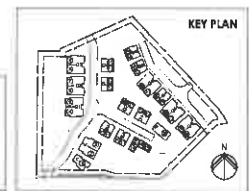
MAIN FLOOR PLAN
 UNIT TYPE A / B1

UNIT 18 FLOOR AREAS IMPERIAL				
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	764.3 SF	712.9 SF	702.0 SF	2179.2 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	448.4 SF	448.4 SF
BASEMENT EXCLUSIONS 31.70%	376.2 SF	0.0 SF	0.0 SF	376.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	388.1 SF	712.9 SF	253.6 SF	1354.6 SF

UNIT 18 FLOOR AREAS METRIC				
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	71.0 SQM	66.2 SQM	65.1 SQM	202.3 SQM
GARAGE EXCLUSIONS	0.0 SQM	0.0 SQM	41.8 SQM	41.8 SQM
BASEMENT EXCLUSIONS 31.70%	34.9 SQM	0.0 SQM	0.0 SQM	34.9 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
NET	36.1 SQM	66.2 SQM	24.3 SQM	126.6 SQM

UNIT 19 FLOOR AREAS IMPERIAL				
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	690.2 SF	773.4 SF	854.4 SF	2318.0 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 37.31%	506.5 SF	0.0 SF	0.0 SF	506.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	183.7 SF	773.4 SF	363.0 SF	1920.1 SF

UNIT 19 FLOOR AREAS METRIC				
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	63.9 SQM	71.4 SQM	78.9 SQM	214.2 SQM
GARAGE EXCLUSIONS	0.0 SQM	0.0 SQM	41.8 SQM	41.8 SQM
BASEMENT EXCLUSIONS 37.31%	47.5 SQM	0.0 SQM	0.0 SQM	47.5 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
NET	16.4 SQM	71.4 SQM	32.1 SQM	109.9 SQM



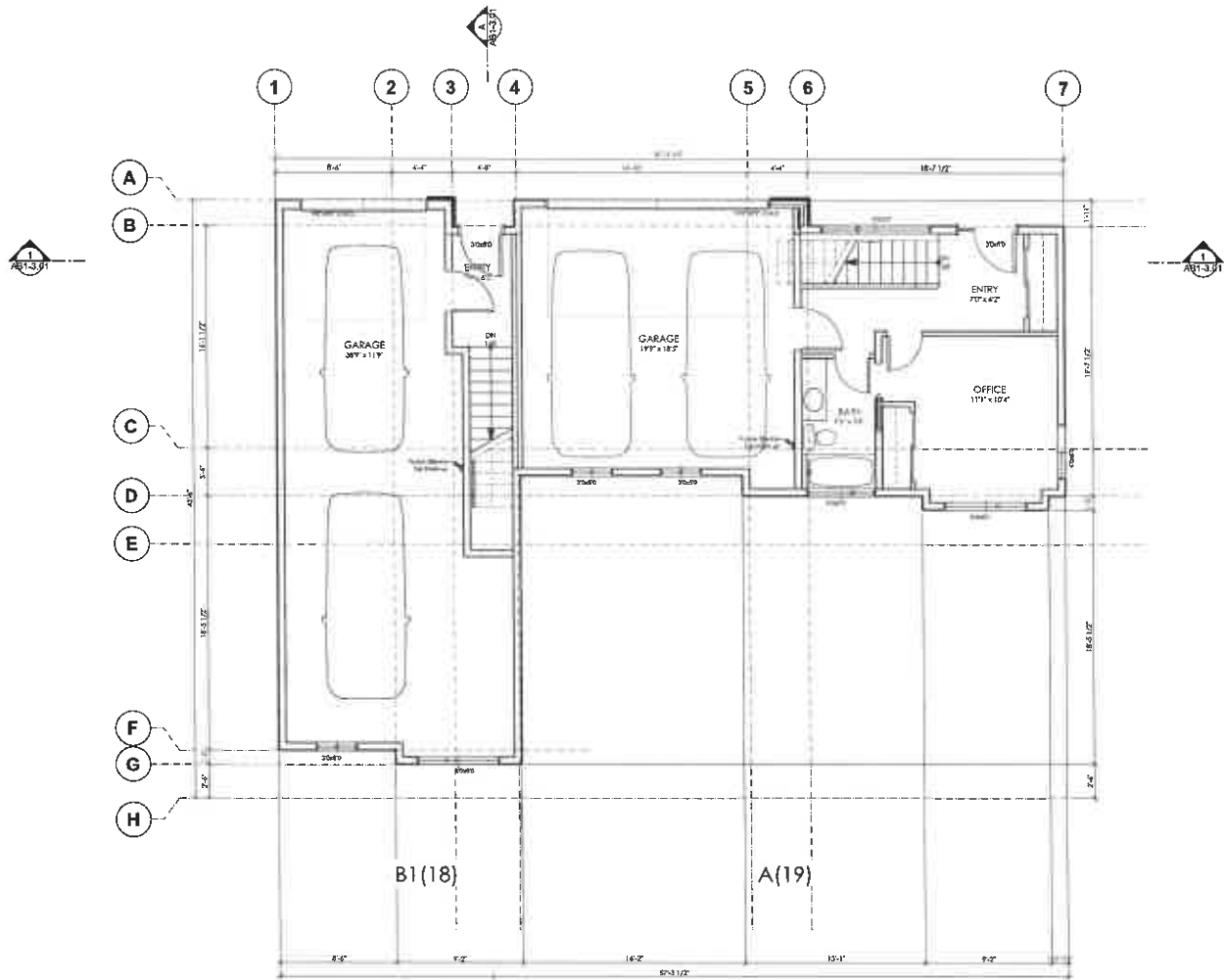
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
MAIN FLOOR PLAN

PROJECT# 800
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2022
 SHEET **AB1-2.02**

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REVISIONS
 REVISED for DP/Reasoning Aug 31, 2021
 DRC/ Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023



UPPER / ENTRY FLOOR PLAN
 UNIT TYPE A / B1



UNIT 18 FLOOR AREAS IMPERIAL	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	794.3 SF	712.9 SF	703.3 SF	2210.5 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	411.4 SF	411.4 SF
BASEMENT EXCLUSIONS 51.90%	394.7 SF	0.0 SF	0.0 SF	394.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	397.6 SF	712.9 SF	291.9 SF	1342.4 SF

UNIT 18 FLOOR AREAS METRIC	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	712.5 M	662.3 M	653.5 M	2028.3 M
GARAGE EXCLUSIONS	0.0 M	0.0 M	411.0 M	411.0 M
BASEMENT EXCLUSIONS 51.90%	362.9 M	0.0 M	0.0 M	362.9 M
COVERED BALCONY EXCLUSIONS	0.0 M	0.0 M	0.0 M	0.0 M
NET	362.9 M	662.3 M	263.5 M	1288.7 M

UNIT 19 FLOOR AREAS IMPERIAL	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	980.2 SF	773.4 SF	804.4 SF	2558.0 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 57.51%	502.2 SF	0.0 SF	0.0 SF	502.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	378.0 SF	773.4 SF	363.0 SF	1514.4 SF

UNIT 19 FLOOR AREAS METRIC	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	901.8 M	718.5 M	747.5 M	2367.8 M
GARAGE EXCLUSIONS	0.0 M	0.0 M	411.0 M	411.0 M
BASEMENT EXCLUSIONS 57.51%	470.5 M	0.0 M	0.0 M	470.5 M
COVERED BALCONY EXCLUSIONS	0.0 M	0.0 M	0.0 M	0.0 M
NET	378.0 M	718.5 M	332.5 M	1429.0 M

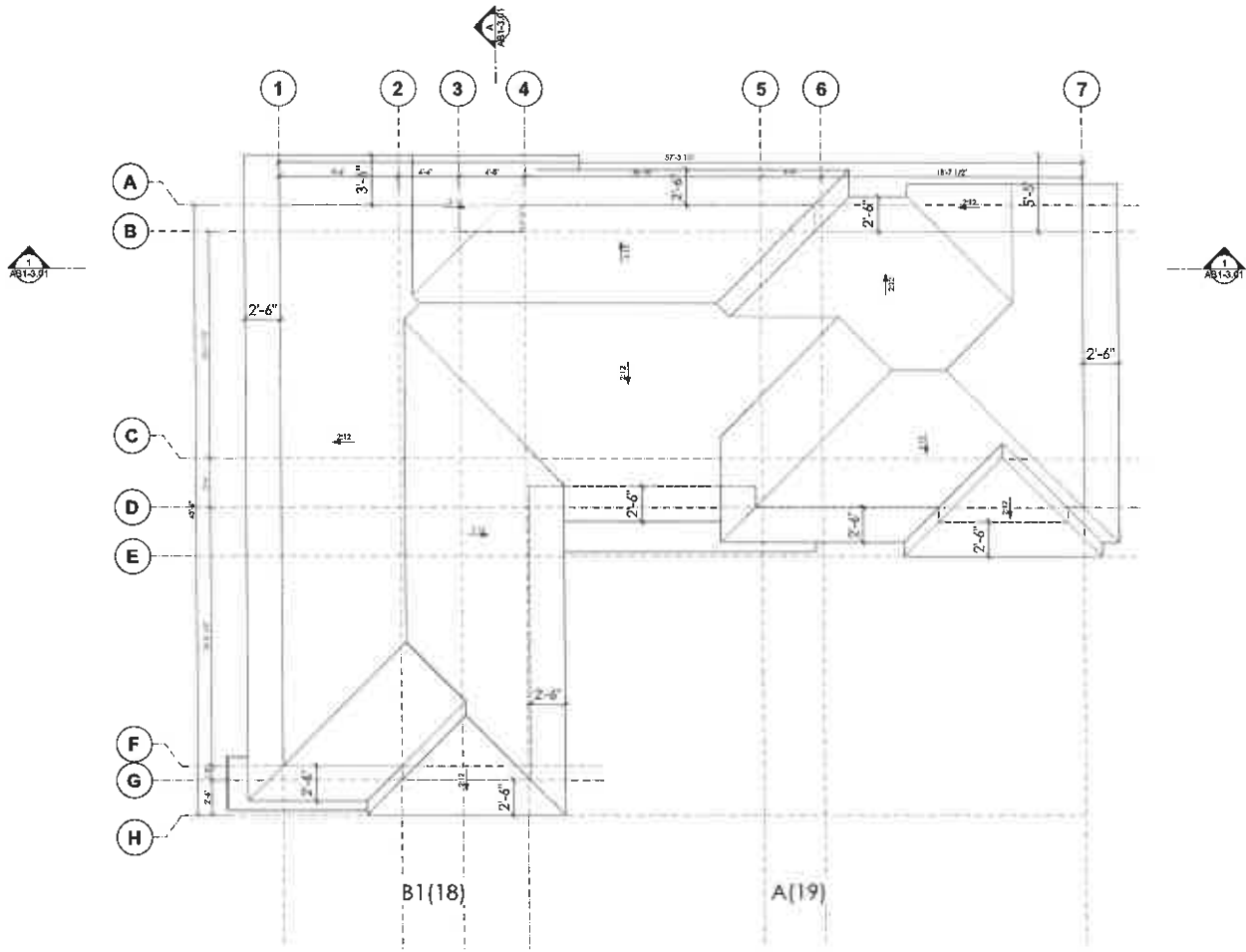
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
 UPPER FLOOR PLAN

PROJECT # 8090
 SHEET **AB1-2.03**
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023

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REVISIONS
 Revised for OPI Reasoning Aug 31, 2021
 DRCT Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2022

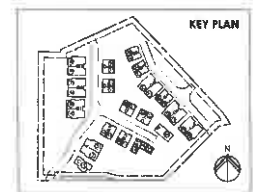


ROOF PLAN
 UNIT TYPE A / B1

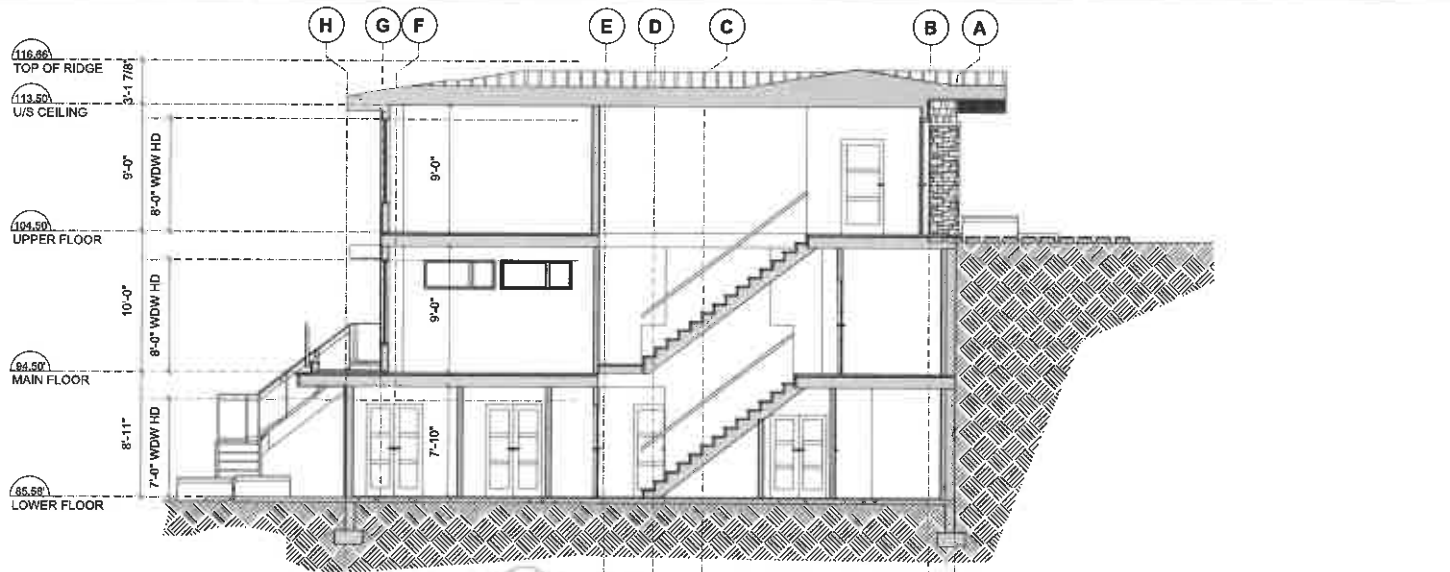


PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

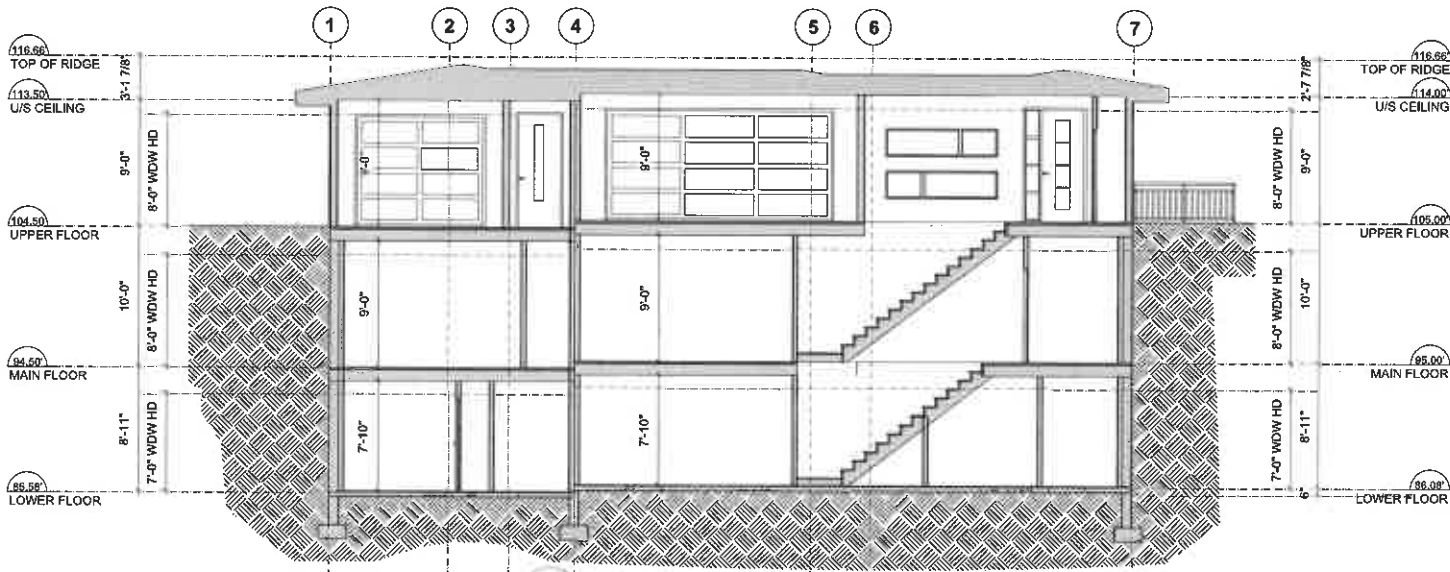
DRAWING
ROOF PLAN



PROJECT	B000	SHEET
SCALE	1/4" = 1'-0"	AB1-
DATE	MAY 12, 2022	2.04



A Section A
Scale: 1/4" = 1'-0"



1 Section B
Scale: 1/4" = 1'-0"

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REVISIONS

Revised for EIR/Wrappping	Aug. 31, 2024
CRCP Public Comment Response	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



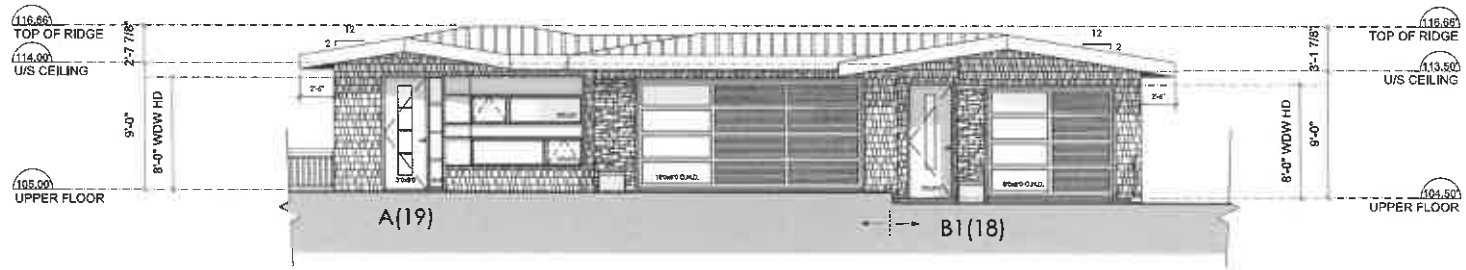
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
SECTIONS

PROJECT#	900	SHEET	
SCALE	1/4" = 1'-0"	AB1-	
DATE	MAY 12, 2023	3.01	

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REVISIONS	
Issued for DP/Permitting	AUG 31, 2021
DECC Public Council Reviewers	MAY 13, 2022
G1, G2, G3 Revisions	JULY 31, 2023



ENTRY ELEVATION
UNIT TYPE A / B1



LOWER FLOOR / BASEMENT EXEMPTIONS:
(90.21'-85.58' / 94.50'-85.58') x 100 = 51.9%
764.3 (gross area) x 51.9% = 396.67 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
(90.21'-85.08' / 95.00'-86.08') x 100 = 57.51%
880.2 (gross area) x 57.51% = 506.20 SF (exemption)

BACK ELEVATION
UNIT TYPE A / B1

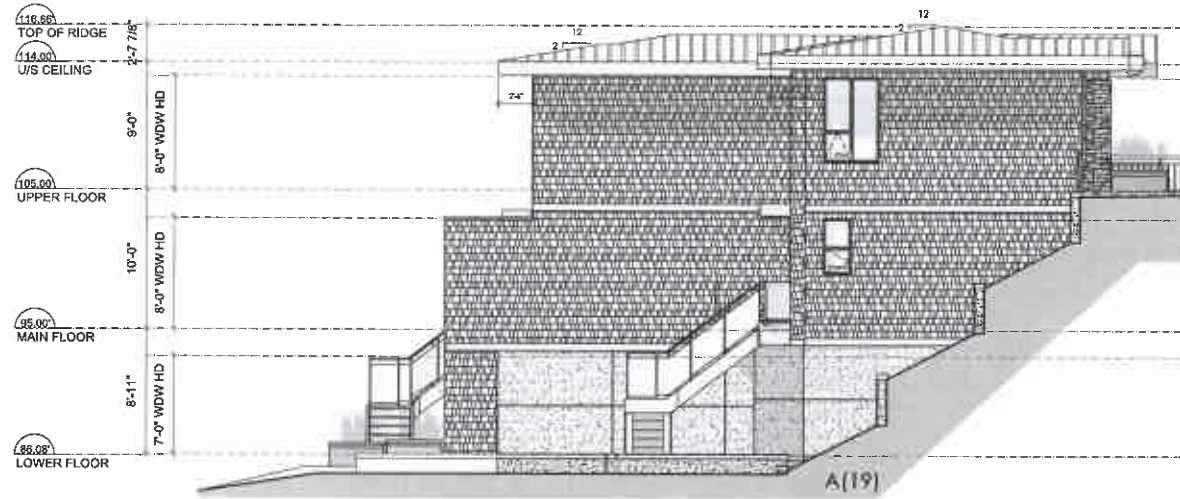
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
ENTRY AND
BACK
ELEVATIONS B/W

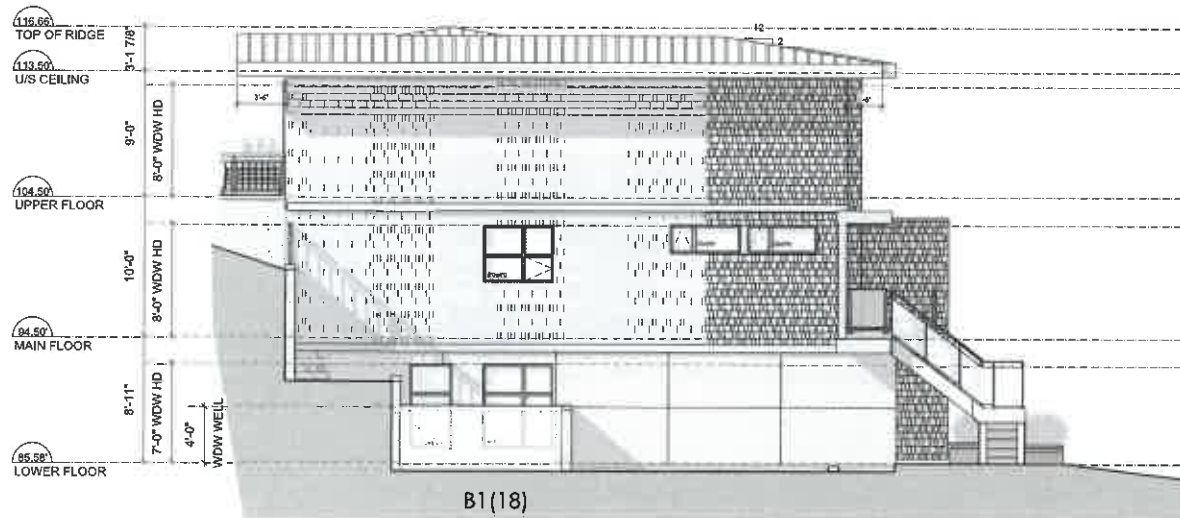
PROJECT	SHEET
0030	AB1-4.01
SCALE	1/4" = 1'-0"
DATE	JULY 12, 2023

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REVISIONS
 Issued for OPR Review Aug. 31, 2021
 DRG Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



LEFT ELEVATION
 UNIT TYPE A / B1



RIGHT ELEVATION
 UNIT TYPE A / B1

SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D)

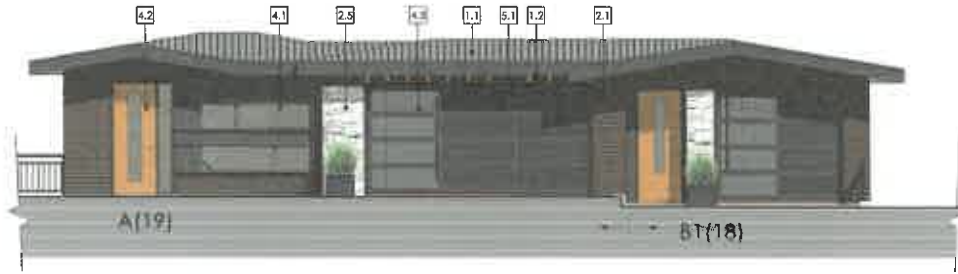
EXPOSED BUILDING FACE:	1152.36 SF (107.06 SM)
UMBRELLA DISTANCE:	8.09' (2.47 M)
UNPROTECTED OPENING:	88 SF (8.18 SM)
PROPOSED OPENING:	7.84%
PERMITTED OPENINGS:	21.48%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
 LEFT AND RIGHT
 ELEVATIONS B/W

PROJECT#	8000	SHEET	AB1- 4.02
SCALE	3/4" = 1'-0"		
DATE	MAY 12, 2023		



ENTRY ELEVATION
UNIT TYPE A / B1



BACK ELEVATION
UNIT TYPE A / B1



HARDY PANEL

FIBRE CEMENT SHINGLES -
WOODSTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124 - 10

AQUILA
EXTERIOR MATERIAL SCHEDULE

No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gr
1.2	Fibre Cement Soffit	Rockport Gray BM - HC - 105
1.3	Gutter	Charcoal Gr
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Trails
2.2	Oil used	
2.3	Hardy Panel	Light oak
2.4	Iron used	
2.5	Stone	Random Granite
3.1	Upper Handrail and C/W post	Wrought Iron BM - 2124 - 10
3.2	Handrail and C/W post	Wrought Iron BM - 2124 - 10
4.1	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
4.2	Entry door paintless c/w Transom and C/W post	Stilewood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut
4.3	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
4.4	Location glass quadrant system c/w glass cap	Charcoal Gray
5.1	Fire retardive treated wood	Stilewood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut
5.2	Charcoal metal trim	Charcoal Gray
5.3	Steel trim - painted finish	Charcoal Gray

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REVISIONS
Issue No 001/Revisions Aug 31, 2021
D/C: Public Comment Revisions MAY 12, 2022
01, 02, 03 Revisions JULY 31, 2023



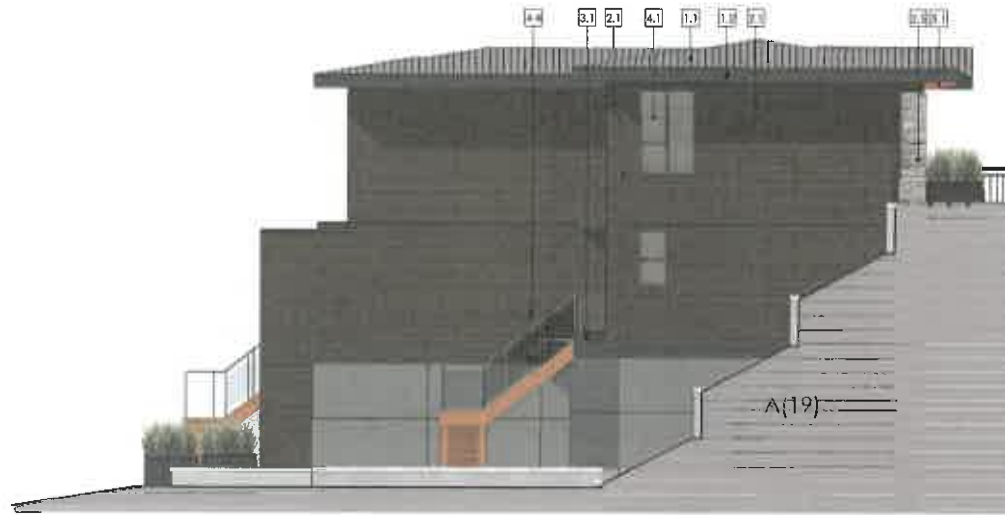
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, B.C.

DRAWING
**ENTRY AND
BACK
ELEVATIONS**

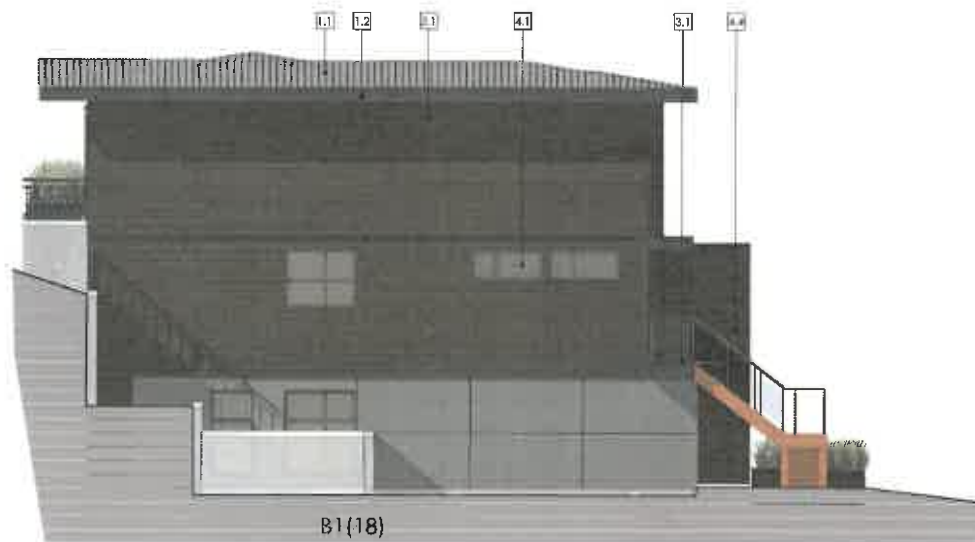
PROJECT# 0030 SHEET
SCALE 1/4" = 1'-0" **AB1-**
DATE MAY 12, 2023 **4.03**

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for OPR/Marketing Aug 31, 2023
 DRCP Public Consultation Reviews MAY 12, 2023
 01, 02, 03 Reviews JULY 11, 2023



LEFT ELEVATION
 UNIT TYPE A / B1



RIGHT ELEVATION
 UNIT TYPE A / B1

AQILA EXTERIOR MATERIAL SCHEDULE		
Id	Material	Colour
1.1	'X' Metal Roof	Charcoal Grey
1.2	Cement Soffit	Rockport BM - HC-105
1.3	Flir	Charcoal Grey
2.1	1/2" x 1/2" Cement Sangles	Woodline Rustic Series Carbon Ink
2.2	1/2" x 1/2" Cement Sangles	Light Mist
2.3	1/2" x 1/2" Cement Sangles	Light Mist
2.4	1/2" x 1/2" Cement Sangles	Light Mist
2.5	1/2" x 1/2" Cement Sangles	Light Mist
3.1	1/2" x 1/2" Cement Sangles	Wrought Iron BM - 2124 - 10
3.2	1/2" x 1/2" Cement Sangles	Wrought Iron BM - 2124 - 10
4.1	1/2" x 1/2" Cement Sangles	Charcoal Grey
4.2	1/2" x 1/2" Cement Sangles	Slipwood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	1/2" x 1/2" Cement Sangles	Charcoal Grey
4.4	1/2" x 1/2" Cement Sangles	Charcoal Grey
5.1	1/2" x 1/2" Cement Sangles	Slipwood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	1/2" x 1/2" Cement Sangles	Charcoal Grey
5.3	1/2" x 1/2" Cement Sangles	Charcoal Grey

PROJECT
AQILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
 LEFT AND RIGHT ELEVATIONS

PROJECT # 2020
 SCALE 1/4" = 1' - 0"
 DATE MAY 12, 2023
 SHEET **AB1-4.04**



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT TYPE A / B1



BACK ELEVATION - CAMERA VIEW
UNIT TYPE A / B1

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REVISIONS
 Based for DR/Issuing: Aug. 31, 2021
 DRCP Public Consultation Review: MAY 12, 2023
 G1, G2, G3 Revisions: JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC

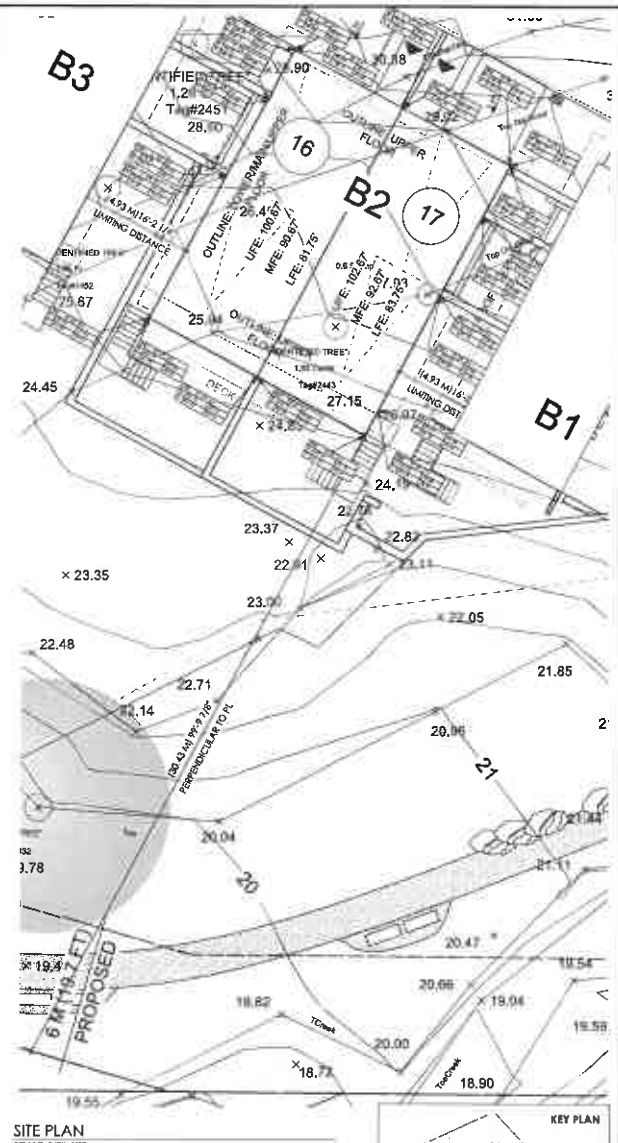
DRAWING
 FRONT AND BACK ELEVATIONS - CAMERA VIEW

PROJECT#	SHEET
0000	AB1-4.05
SCALE	
DATE	

MAY 12, 2023

B2 - AVERAGE FINISHED GRADE CALCULATION					
Ref #	Elevation	Ref #	Distance	Elevation	Distance
1	81.7	2	85.75	83.40	0.00
2	85.7	3	87.75	87.75	12.21
3	87.7	4	86.1	86.27	5.00
4	86.1	5	86.1	86.27	8.21
5	86.1	6	84	80.13	0.00
6	84	7	100.34	92.20	5.00
7	100.34	8	100.34	100.34	17.50
8	100.34	9	100.34	101.34	0.00
9	100.34	10	100.34	100.34	17.50
10	100.34	11	95.51	100.34	0.00
11	95.51	12	91.53	95.57	0.00
12	91.53	13	91.53	91.63	8.21
13	91.63	14	87.75	89.69	0.00
14	87.75	15	87.75	87.75	12.21
15	87.75	16	85.35	85.35	0.00
16	85.35	17	85.35	85.35	18.03
17	85.35	18	83.25	84.26	0.00
18	83.25	19	83.25	83.25	4.00
19	83.25	20	83.25	83.25	17.50
20	83.25	21	81.42	82.34	0.00
21	81.42	22	81.42	81.4	17.50
22	81.4	23	81.06	81	0.00
23	81	24	81.06	81.06	25.06
24	81.06	25	81.06	81.06	1871.8
Total				187.90	12838.6
AVG Finish Grade					88.14
Max. Rise				29.85	117.7

- AVERAGE EXISTING GRADE CALCULATION					
Ref #	Elevation	Ref #	Distance	Elevation	Distance
1	69.90	2	80	88.90	0.00
2	88.90	3	94.79	92.00	1123.0
3	94.79	4	94.06	94.06	0.00
4	94.06	5	95.15	95.15	8.21
5	95.15	6	96.23	96.23	0.00
6	96.23	7	96.23	96.23	0.00
7	96.23	8	99.80	96.54	17.50
8	96.54	9	99.80	96.54	0.00
9	96.54	10	95.51	96.54	17.50
10	96.54	11	96.36	96.36	0.00
11	96.36	12	96.36	96.36	0.00
12	96.36	13	94.49	94.4	8.21
13	94.4	14	94.49	94.4	0.00
14	94.4	15	91.80	93.1	18.21
15	93.1	16	91.80	91.8	0.00
16	91.8	17	83.92	87	18.03
17	87	18	83.92	83	0.00
18	83	19	82.35	83.14	336.70
19	83.14	20	83.72	83.04	17.50
20	83.04	21	83.72	83.72	0.00
21	83.72	22	83.44	83.54	17.50
22	83.54	23	83.44	83.44	0.00
23	83.44	24	85.97	85.97	26.66
Total				187.90	14121
AVG Existing Grade					80.01
Max. Height F1				29.8	119.86



SITE PLAN
SCALE: 1/8"=10'

TOP OF FINISH FLOOR - B2 (16)			TOP OF FINISH FLOOR - B2 (17)		
Lower	Main	Upper	Lower	Main	Upper
24.82 m	27.84 m	30.56 m	24.53 m	28.25 m	31.29 m
81.70'	90.97'	100.61'	80.72'	92.67'	102.97'

These plans remain the ownership of Sterling Pacific

REVISIONS
Based on DFR Reasoning
DRCI Public Comment Revisions
01, 02, 03 Revisions

Aug 31, 2021
MAY 12, 2023
JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B2

DRAWING
SITE PLAN

PROJECT# 9020
SCALE 1/8"=10'
DATE MAY 12, 2023

SHEET
AB2-1.01

AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation	Rel #	Elevation	Distance	Area	x Distance
1	81.06	2	85.75	83.42	0.00	0.00
2	85.75	3	85.75	80.71	12.21	1023.31
3	85.71	4	88.19	85.97	0.00	0.00
4	86.11	5	86.10	86.10	8.21	707.41
5	85.11	6	84.06	80.30	0.00	0.00
6	84.06	7	100.34	87.20	0.00	0.00
7	100.34	8	100.34	100.34	17.90	1788.34
8	100.34	9	100.34	101.34	0.00	0.00
9	102.34	10	102.34	102.34	17.90	1790.34
10	102.34	11	102.34	101.86	0.00	0.00
11	99.21	12	91.93	86.27	0.00	0.00
12	91.89	13	91.89	91.89	8.21	725.10
13	91.89	14	87.75	88.00	0.00	0.00
14	87.75	15	87.75	87.75	12.21	1071.11
15	87.75	16	83.00	85.00	0.00	0.00
16	83.00	17	82.29	84.29	0.00	0.00
17	83.29	18	83.29	83.29	4.00	337.16
18	83.29	19	83.29	83.29	17.00	1450.93
19	83.29	20	83.29	83.29	0.00	0.00
20	83.29	21	81.42	82.34	0.00	0.00
21	81.42	22	81.42	81.42	17.50	1426.35
22	81.42	23	81.06	81.06	0.00	0.00
23	81.06	24	81.06	81.06	23.08	1874.51
Total					157.00	13838.00
Avg. Finish Grade						88.16
Max. Slope (1% = 2.88%)					2.88%	117.99

AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation	Rel #	Elevation	Distance	Area	x Distance
1	88.00	2	89.00	89.00	0.00	0.00
2	89.00	3	84.00	82.00	12.21	1123.01
3	84.00	4	84.00	84.00	0.00	0.00
4	84.00	5	86.23	86.23	17.00	1450.93
5	86.23	6	86.23	86.23	0.00	0.00
6	86.23	7	90.34	90.34	17.50	1688.93
7	90.34	8	90.34	90.34	0.00	0.00
8	90.34	9	90.34	90.34	17.00	1580.34
9	90.34	10	90.34	90.34	0.00	0.00
10	86.36	11	86.36	86.36	8.21	725.10
11	86.36	12	84.36	84.36	0.00	0.00
12	86.36	13	82.29	85.41	8.21	725.10
13	82.29	14	84.49	84.49	0.00	0.00
14	84.49	15	81.85	85.11	12.21	1127.11
15	81.85	16	81.85	81.85	0.00	0.00
16	81.85	17	83.90	87.89	16.71	1672.51
17	83.90	18	83.90	83.90	4.00	337.16
18	83.90	19	82.50	83.14	0.00	0.00
19	82.50	20	83.72	83.04	17.50	1453.11
20	83.72	21	83.72	83.72	0.00	0.00
21	83.72	22	83.44	83.44	17.50	1482.51
22	83.44	23	83.44	83.44	0.00	0.00
23	83.44	24	89.00	86.87	23.08	2000.00
Total					157.00	14151.00
Avg. Existing Grade						90.81
Max. Slope (1% = 2.88%)					2.88%	118.88



These plans remain the ownership of Sterling Pacific

REVISIONS
 Bldg for DP Reasoning Aug 31, 2021
 DRP P&E, Correct Revisions MAY 12, 2023
 D1, D2, D3 Revisions JUL 11, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT 82

DRAWING
SITE PLAN

PROJECT# 8030
 SHEET
 SCALE 1/8"=1'0"
 DATE MAY 12, 2023
AB2-1.01

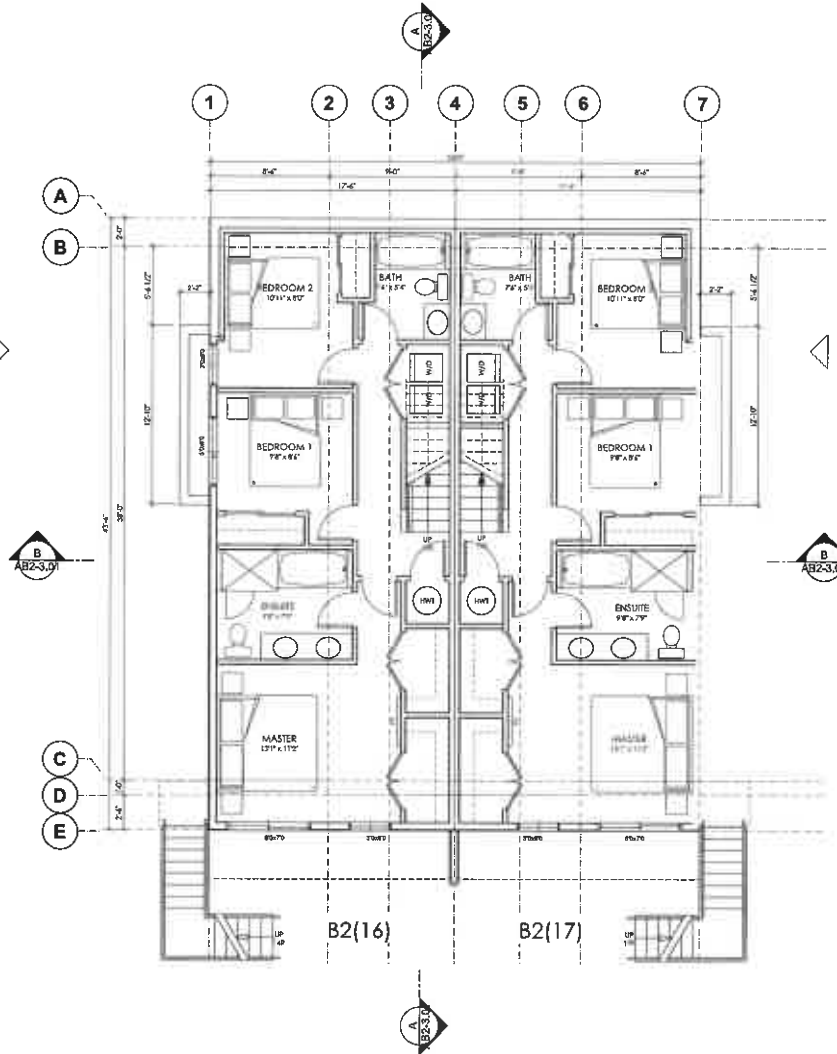
TOP OF FINISH FLOOR - B2 (16)			TOP OF FINISH FLOOR - B2 (7)		
Elevation	Area	Upper	Elevation	Area	Upper
81.79	90.87	109.97	83.70	92.87	102.87

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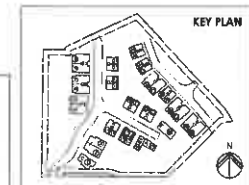
REVISIONS
 Based for DFF/Marketing
 D/DP/ Public Comment Revisions
 01, 02, 03 Revisions
 AUG 31, 2021
 MAY 12, 2023
 JUN 21, 2021

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (88.14'-83.75' / 92.67'-83.75') x 100 = 49.21%
 761.3 (gross area) x 49.21% = 374.63 SF (exemption)



LOWER FLOOR PLAN
 UNIT B2



UNIT 16 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.2 SF	709.0 SF	697.7 SF	2167.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	461.3 SF	461.3 SF
BASEMENT EXCLUSIONS 100%	761.2 SF	0.0 SF	0.0 SF	761.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	709.0 SF	236.4 SF	945.4 SF

UNIT 16 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.75M	65.93M	64.03M	200.68M
GARAGE EXCLUSIONS	0.00M	0.00M	41.93M	41.93M
BASEMENT EXCLUSIONS 100%	70.75M	0.00M	0.00M	70.75M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	65.93M	24.03M	91.96M

UNIT 17 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.2 SF	709.0 SF	697.7 SF	2167.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	461.3 SF	461.3 SF
BASEMENT EXCLUSIONS 49.21%	374.6 SF	0.0 SF	0.0 SF	374.6 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	386.6 SF	709.0 SF	236.4 SF	1332.0 SF

UNIT 17 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.75M	65.93M	64.03M	200.68M
GARAGE EXCLUSIONS	0.00M	0.00M	41.93M	41.93M
BASEMENT EXCLUSIONS 49.21%	34.85M	0.00M	0.00M	34.85M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	33.93M	65.93M	24.03M	123.89M

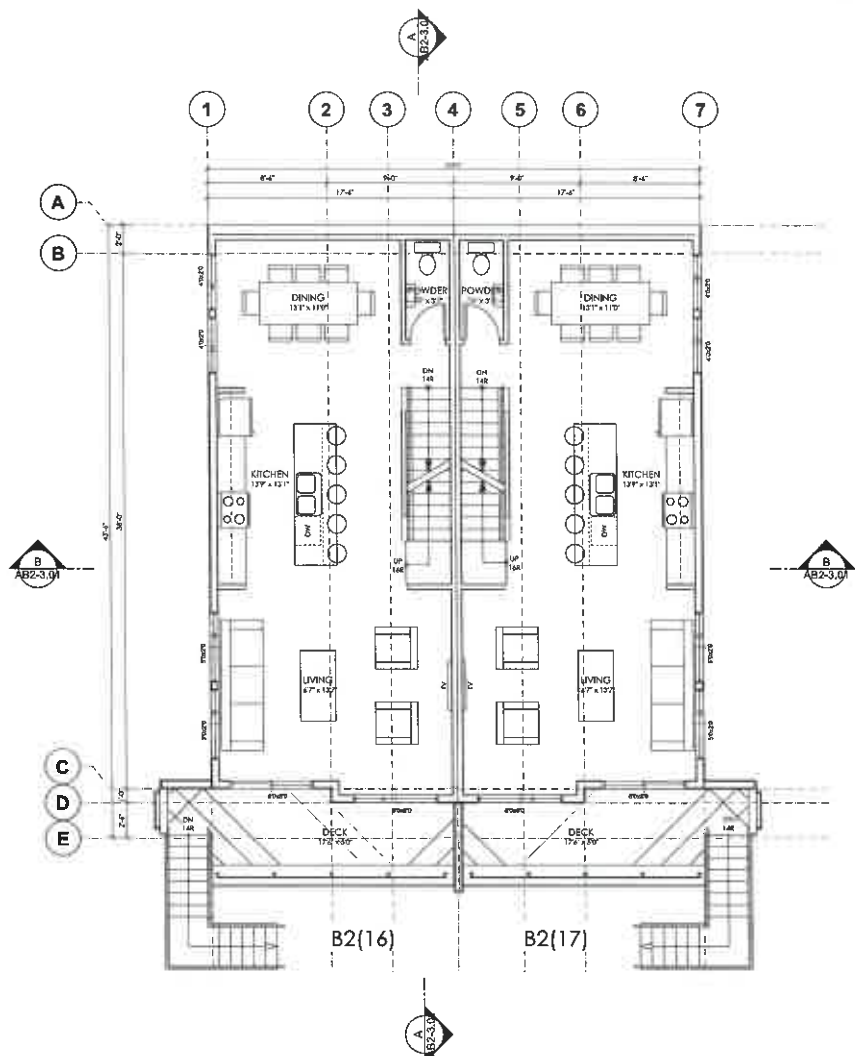
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B2

DRAWING
LOWER FLOOR PLAN

PROJECT# 9020
 SHEET **AB2-2.01**
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023

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REVISIONS
 Issued for OPR Reasoning Aug. 21, 2021
 ERCP Public Consultation Reviewer MAY 12, 2023
 01.02.03 Revisions JULY 31, 2023



MAIN FLOOR PLAN
UNIT B2



UNIT 16 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.23 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	44.8 SF	44.8 SF
BASIN/HT EXCLUSIONS 100%	794.2 SF	0.0 SF	0.0 SF	794.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	709.0 SF	238.4 SF	947.4 SF

UNIT 16 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.75 M ²	65.95 M ²	64.95 M ²	201.65 M ²
GARAGE EXCLUSIONS	0.0 M ²	0.0 M ²	4.19 M ²	4.19 M ²
BASIN/HT EXCLUSIONS 100%	76.7 M ²	0.0 M ²	0.0 M ²	76.7 M ²
COVERED BALCONY EXCLUSIONS	0.0 M ²	0.0 M ²	0.0 M ²	0.0 M ²
NET	0.0 M ²	65.95 M ²	24.05 M ²	90.0 M ²

UNIT 17 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	44.8 SF	44.8 SF
BASIN/HT EXCLUSIONS 100%	794.2 SF	0.0 SF	0.0 SF	794.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	366.8 SF	709.0 SF	258.4 SF	1334.2 SF

UNIT 17 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.75 M ²	65.95 M ²	64.95 M ²	201.65 M ²
GARAGE EXCLUSIONS	0.0 M ²	0.0 M ²	4.19 M ²	4.19 M ²
BASIN/HT EXCLUSIONS 100%	76.7 M ²	0.0 M ²	0.0 M ²	76.7 M ²
COVERED BALCONY EXCLUSIONS	0.0 M ²	0.0 M ²	0.0 M ²	0.0 M ²
NET	33.9 M ²	65.95 M ²	24.05 M ²	123.9 M ²

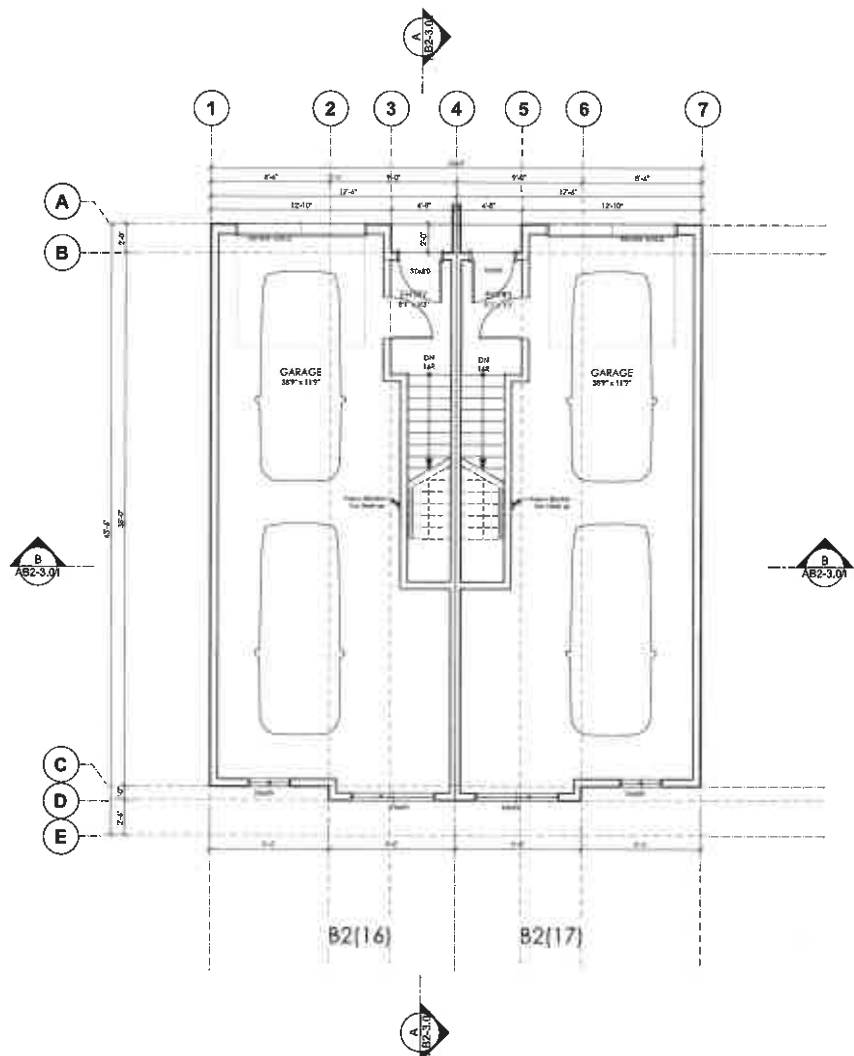
PROJECT
AQUILA
 1 AFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B2

DRAWING
MAIN FLOOR PLAN

PROJECT# 0020 SHEET
 SCALE 1/4" = 1'-0" **AB2-2.02**
 DATE MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Build for DP/Revised Aug 31, 2021
 DRG/ Public Comment Revisions MAY 19, 2022
 01, 02, 03 Revisions MAY 31, 2023



UPPER / ENTRY FLOOR PLAN
 UNIT B2



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, B.C.
 UNIT B2

DRAWING
UPPER FLOOR PLAN



UNIT 16 FLOOR AREAS IMPERIAL				
	LEVEL 150 FT	LEVEL 250 FT	LEVEL 350 FT	TOTAL
GROSS	741.2 SF	709.6 SF	699.7 SF	2150.5 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS 100%	741.2 SF	0.0 SF	0.0 SF	741.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	741.2 SF	709.6 SF	258.4 SF	1709.2 SF

UNIT 16 FLOOR AREAS METRIC				
	LEVEL 150 M	LEVEL 250 M	LEVEL 350 M	TOTAL
GROSS	70.7 SQM	65.9 SQM	65.0 SQM	201.6 SQM
GARAGE EXCLUSIONS	0.0 SQM	0.0 SQM	41.0 SQM	41.0 SQM
BASEMENT EXCLUSIONS 100%	70.7 SQM	0.0 SQM	0.0 SQM	70.7 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
NET	70.7 SQM	65.9 SQM	24.0 SQM	160.6 SQM

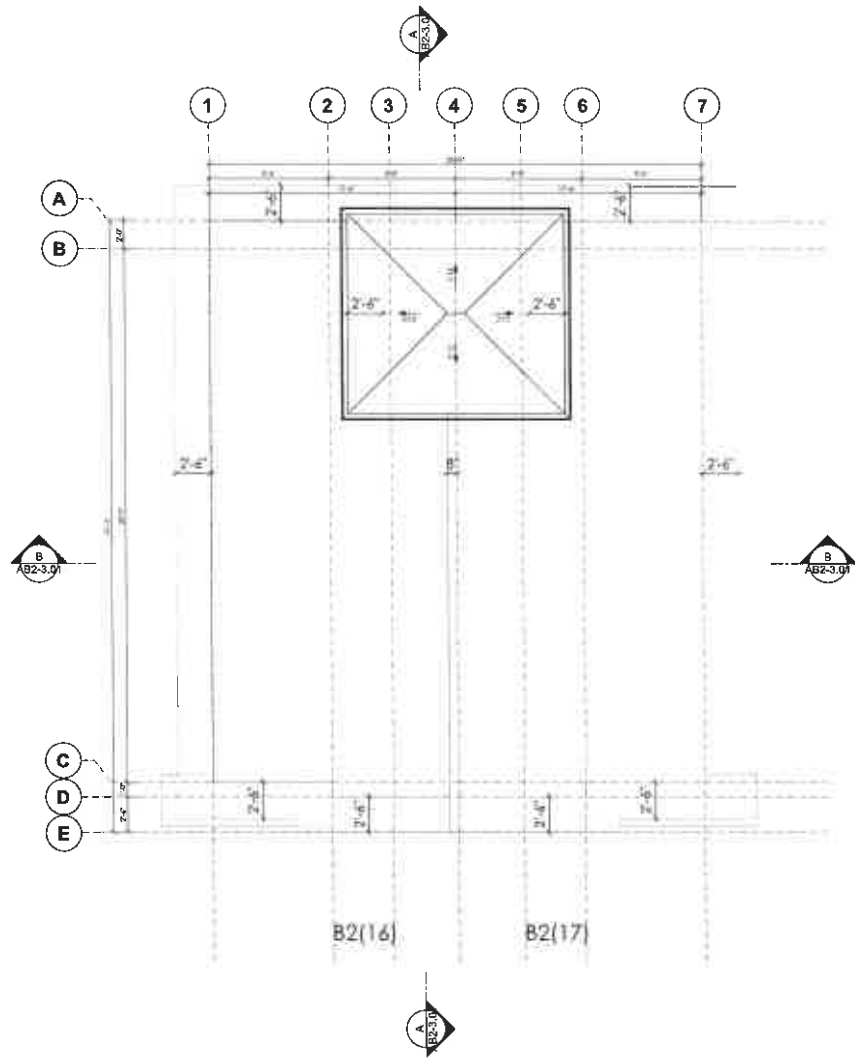
UNIT 17 FLOOR AREAS IMPERIAL				
	LEVEL 150 FT	LEVEL 250 FT	LEVEL 350 FT	TOTAL
GROSS	741.2 SF	709.6 SF	699.7 SF	2150.5 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS 100%	741.2 SF	0.0 SF	0.0 SF	741.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	741.2 SF	709.6 SF	258.4 SF	1709.2 SF

UNIT 17 FLOOR AREAS METRIC				
	LEVEL 150 M	LEVEL 250 M	LEVEL 350 M	TOTAL
GROSS	70.7 SQM	65.9 SQM	65.0 SQM	201.6 SQM
GARAGE EXCLUSIONS	0.0 SQM	0.0 SQM	41.0 SQM	41.0 SQM
BASEMENT EXCLUSIONS 100%	70.7 SQM	0.0 SQM	0.0 SQM	70.7 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
NET	70.7 SQM	65.9 SQM	24.0 SQM	160.6 SQM

PROJECT# 0030
 SCALE 1/4"=1'-0"
 DATE MAY 12, 2023
 SHEET **AB2-2.03**

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REVISIONS	
Issued for DR/Reviewing	AUG 31, 2021
DR/01 Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023

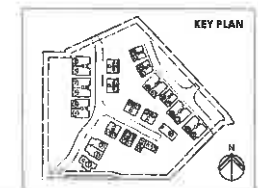


ROOF PLAN
UNIT B2

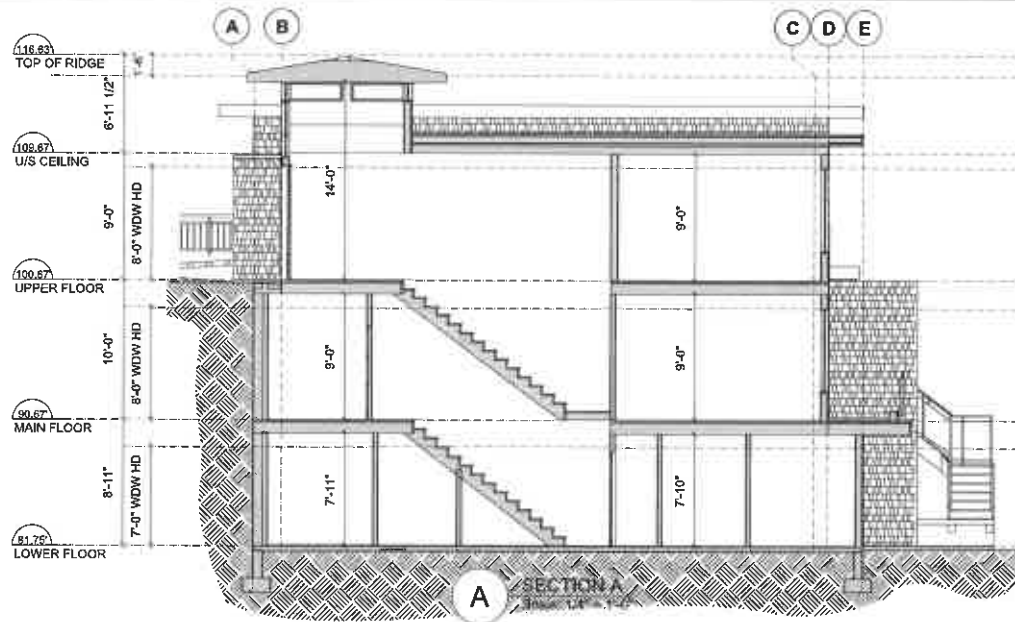


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B2

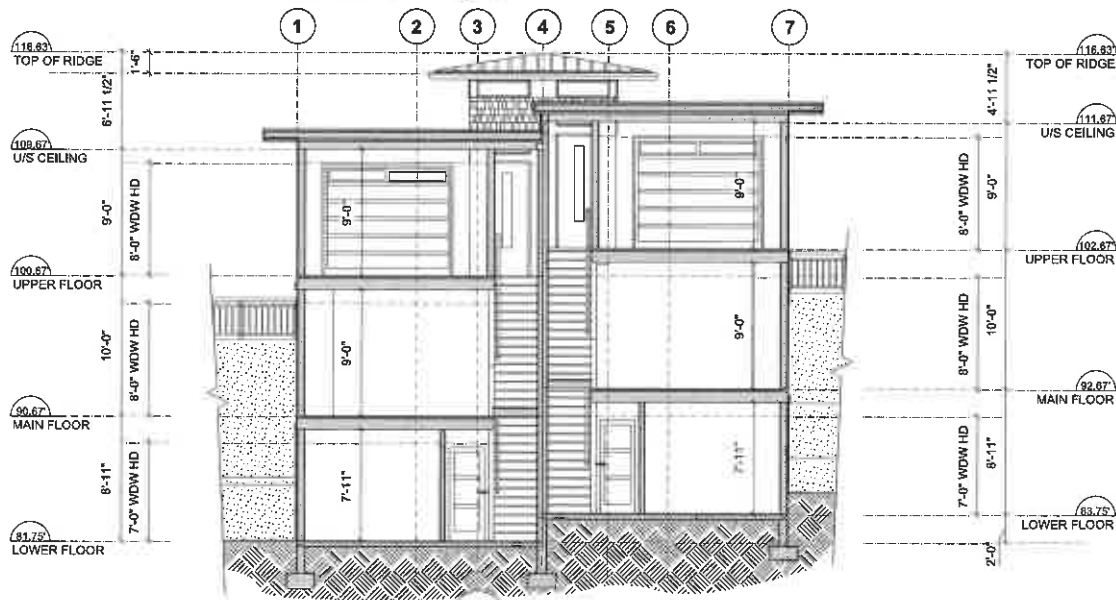
DRAWING
ROOF PLAN



PROJECT#	SHEET
0030	AB2-2.04
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023



A SECTION A
Scale: 1/4" = 1'-0"



B SECTION B
Scale: 1/4" = 1'-0"

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REVISIONS	
Revised for DP/Rechning	AUG 31, 2021
DRG/Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



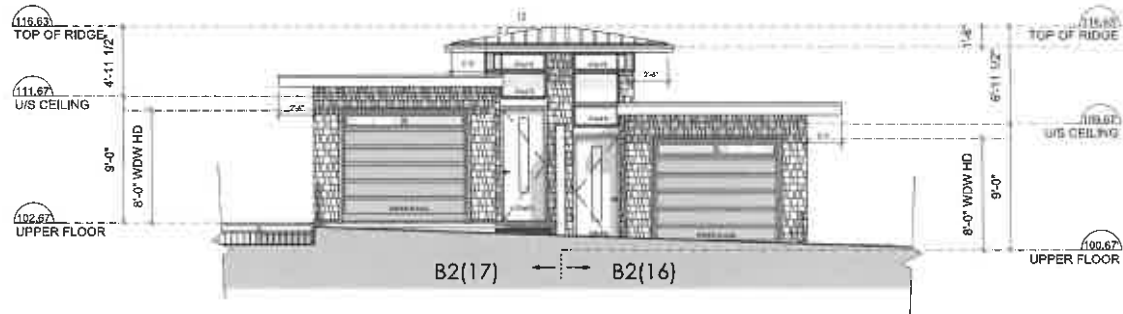
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT 82

DRAWING
SECTIONS

PROJECT#	SHEET
0000	AB2-
SCALE 1/4" = 1'-0"	3.01
DATE MAY 12, 2023	

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DPM/Planning Aug 24, 2023
 DRG Public Commented Reviews MAY 12, 2023
 01, 02, 03 Rawlings JULY 31, 2023



ENTRY ELEVATION
 UNIT B2



BACK ELEVATION
 UNIT B2

MAX ALLOWABLE
 BLDG HEIGHT
 EL: 118.00' / 35.96M

MIDPOINT OF ROOF
 EL: 112.69' / 34.31M

AEG:
 EL: 96.01' / 27.43M
 AFG:
 EL: 88.14' / 26.96M

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (88.14' - 83.75' / 92.67' - 83.75') x 100 = 49.21%

761.3 (gross area) x 49.21% = 374.63 SF (exemption)



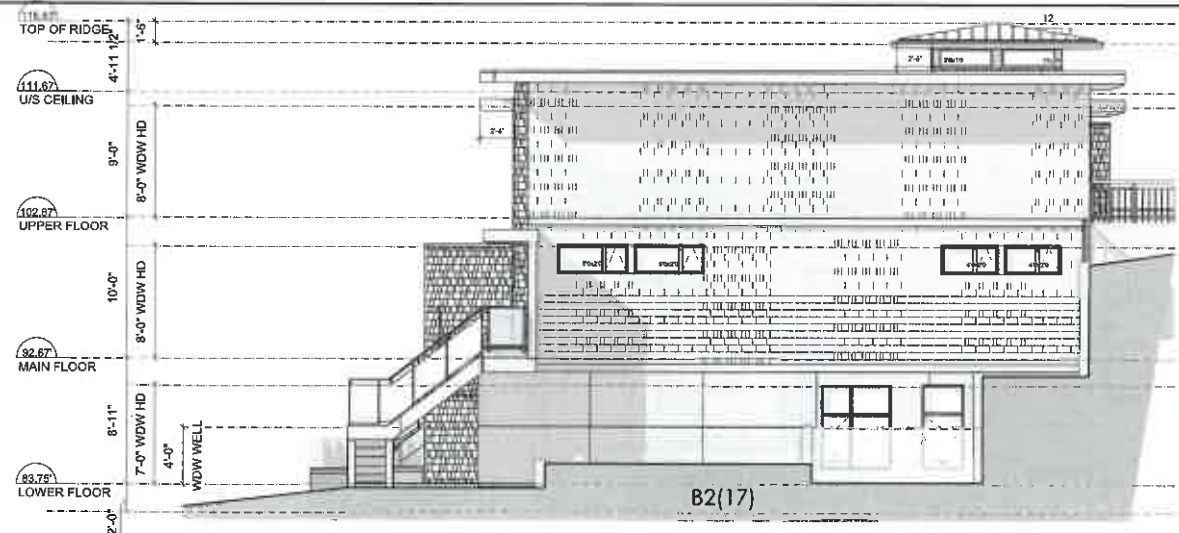
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B2

DRAWING
 ENTRY AND
 BACK
 ELEVATIONS B/W

PROJECT#	SHEET
0030	AB2-
SCALE	4.01
DATE	MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISION 6
 Revis: for DP/Revising Aug 31, 2024
 DRG/ Public Comment Review MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023

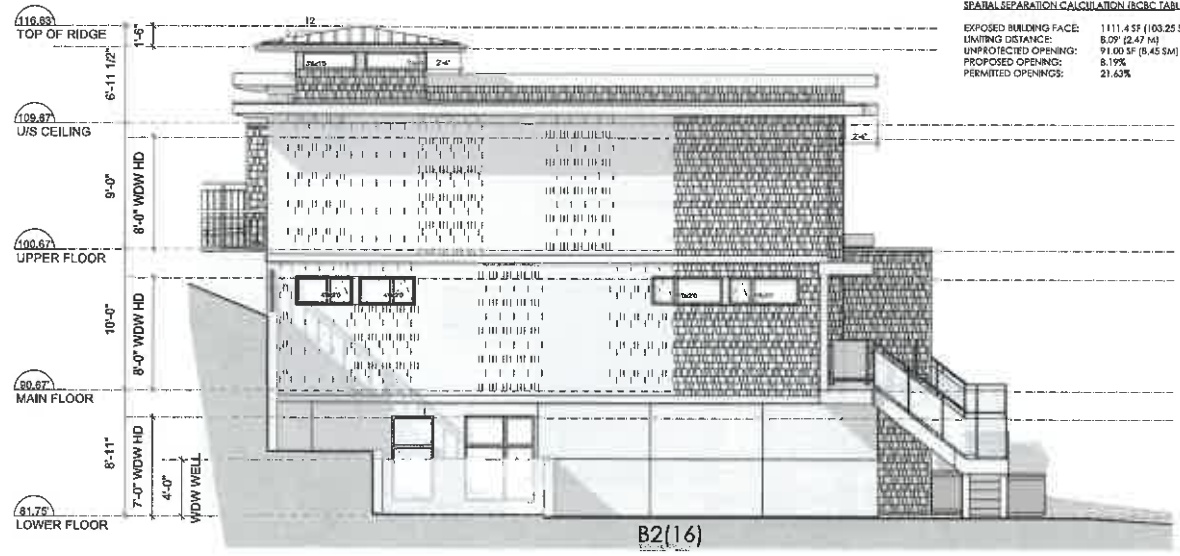


LEFT ELEVATION

UNIT B2

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	111.4 SF (103.25 SM)
LIMITING DISTANCE:	8.09' (2.47 M)
UNPROTECTED OPENING:	91.00 SF (8.45 SM)
PROPOSED OPENING:	8.19%
PERMITTED OPENINGS:	21.63%



RIGHT ELEVATION

UNIT B2

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1173.83 SF (109.05 SM)
LIMITING DISTANCE:	8.09' (2.47 M)
UNPROTECTED OPENING:	91.00 SF (8.45 SM)
PROPOSED OPENING:	7.73%
PERMITTED OPENINGS:	21.4%



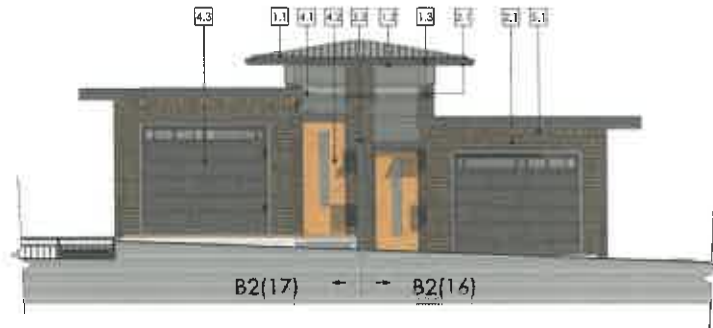
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B2

DRAWING
 LEFT AND RIGHT
 ELEVATIONS B/W

PROJECT#	8000	SHEET	AB2-4.02
SCALE	1/4" = 1'-0"	DATE	
DATE	MAY 12, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DPF/Reaching Aug 11, 2021
 DPCD Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023



ENTRY ELEVATION
 UNIT B2



BACK ELEVATION
 UNIT B2



HARDY PANEL
 FIBRE CEMENT SHINGLES -
 WOODSTONE RUSTIC SERIES
 CHARCOAL TRAILS



STONE CLADDING
 METAL ROOF -
 CHARCOAL GRAY



ENTRY DOOR SILEWOOD -
 OLD MASTER GEL STAIN C/W
 CLEAR TOP COAT - SPECIAL
 WALNUT
 WINDOW / FASCIA/
 BARGE BOARDS & UPSTAND -
 CHARCOAL GRAY



SOFFIT -
 ROCKPORT GRAY BM - HC - 105
 BALCONY -
 WROUGHT IRON BM - 2124 - 10

AQUILA EXTERIOR MATERIAL SCHEDULE		
Qty.	Material	Colour
1.1	1/2" x 4" Metal Roof	Charcoal Gr
1.2	Stone Cement Soffit	Rockport - BM - HC - 105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodstone Rustic Series Charcoal Trails
2.2	Top Soffit	
2.3	Hardy Panel	Light Metal
2.4	1/2" x 4" Metal	
2.5	None	Random Granite
3.1	Upstand / Fascia / Barge Boards & Upstand	Wrought Iron BM - 2124 - 10
3.2	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
4.1	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
4.2	Entry door painted c/w transom and	Silewood - Old Master Gel Stain c/w
4.3	clear top coat - Special Walnut	Charcoal Gray
4.4	Wrought Iron BM - 2124 - 10	Charcoal Gray
4.5	Wrought Iron BM - 2124 - 10	Charcoal Gray
5.1	Pre-finished metal	Charcoal Gray
5.2	Pre-finished metal	Charcoal Gray
5.3	Pre-finished metal	Charcoal Gray



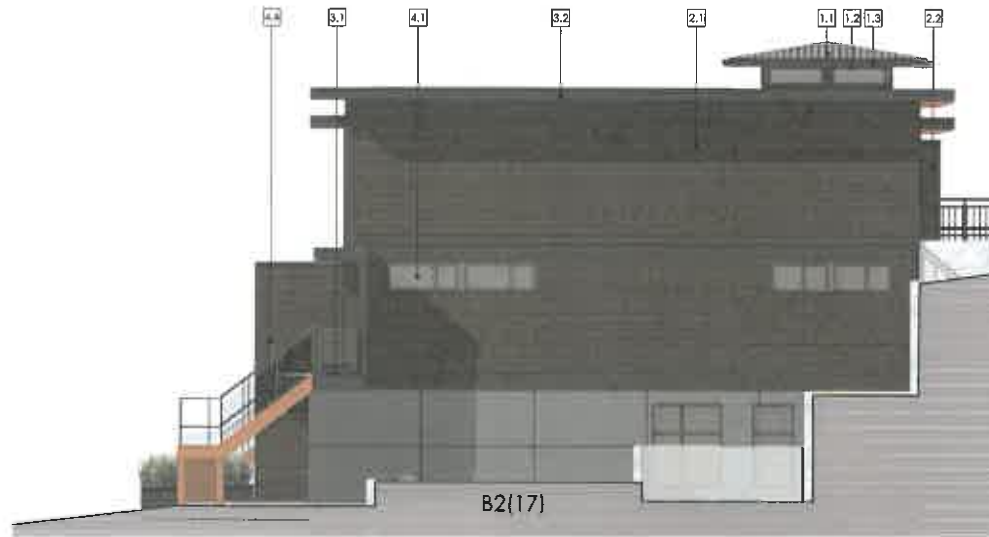
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B2

DRAWING
**ENTRY AND
 BACK
 ELEVATIONS**

PROJECT# 0000
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
 SHEET
**AB2-
 4.03**

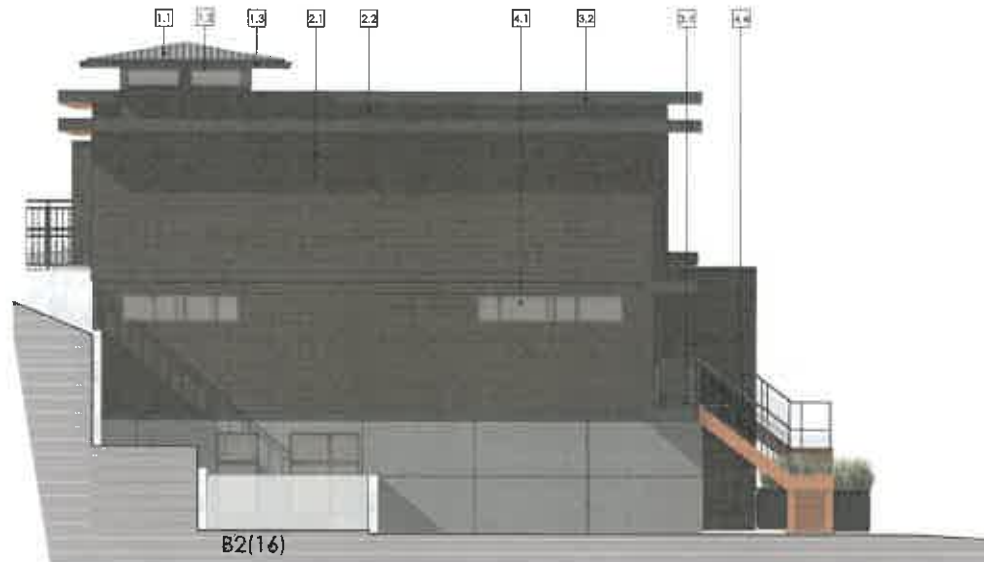
These plans remain the ownership of Sterling Pacific

REVISIONS
 Revisé for DFR/Revising Aug 31, 2021
 DRC/ Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions MAY 31, 2023



B2(17)

LEFT ELEVATION
 UNIT B2



B2(16)

RIGHT ELEVATION
 UNIT B2

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Clash, AC Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Eqv. Max-100
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Trail
2.2	Not used	
2.3	Hardy Panel	Light metal
2.4	Not used	
2.5	Tile	Random Granite
3.1	Upper cladding - fibre cement	Wrought Iron BX-2124 - 10
3.2	Lower cladding - fibre cement	Wrought Iron BX-2124 - 10
4.1	Vertical cladding - fibre cement	Charcoal Gray
4.2	Horizontal cladding - fibre cement	Silverwood - Old Master Gel Stain chw
4.3	Horizontal cladding - fibre cement	Clear Coat - Special Walnut
4.4	Horizontal cladding - fibre cement	Charcoal Gray
5.1	Horizontal cladding - fibre cement	Silverwood - Old Master Gel Stain chw
5.2	Horizontal cladding - fibre cement	Clear Coat - Special Walnut
5.3	Horizontal cladding - fibre cement	Charcoal Gray
5.4	Horizontal cladding - fibre cement	Charcoal Gray

PROJECT

AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, B.C.
 UNIT B2

DRAWING

LEFT AND RIGHT
 ELEVATION

PROJECT#

9020

SCALE

1/4" = 1'-0"

DATE

MAY 12, 2023

SHEET

AB2-

4.04

These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for DP/Requing Aug 31, 2021
CRD Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT B2



BACK ELEVATION - CAMERA VIEW
UNIT B2



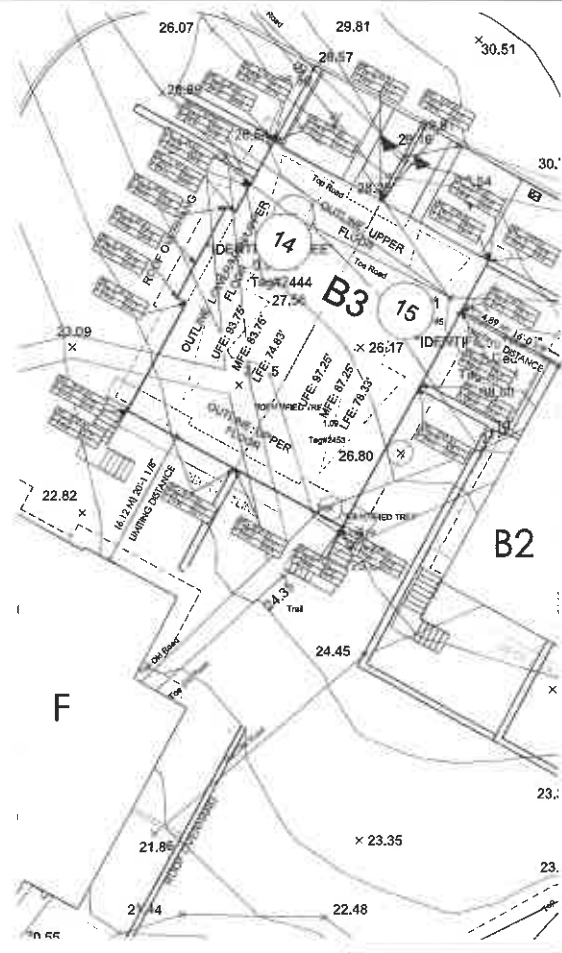
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B2

DRAWING
FRONT AND
BACK
ELEVATION-CAM
ERA VIEW

PROJECTS	2020	SHEET
SCALE	N1:1	AB2-
DATE	JULY 12, 2023	4.05

- AVERAGE FINISHED GRADE CALCULATION						
#	Elevation	Ref #	Elevation	Distance	#	Distance
1	78.24	2	78.24	79	1	117
2	78.24	3	78.23	78.24	0	438.6
3	78.43	4	78.43	78.43	9.64	712.78
4	78.43	5	78.22	78.55	1	117
5	78.43	6	78.43	78.43	4.1	327
6	78.43	7	85.33	11	1	117
7	85.33	8	85.33	85.33	7.21	614.84
8	85.33	9	76.20	87.2	0	0
9	80.22	10	83.42	81.6	0	0
10	83.42	11	83.42	83.42	17.50	1553.0
11	83.42	12	84.02	85.1	0	0
12	86.82	13	84.02	86.9	17.50	1550.1
13	86.82	14	85	85	0	0
14	84	15	84.1	80.1	0	0
15	86.1	16	85.1	86.1	8.21	707.48
16	85.15	17	85.2	84.28	0	0
17	82.2	18	82.2	82	12.21	1004.11
18	82.25	19	78.41	80	0	0
19	78.41	20	77	78	23.98	1981.28
20	77.95	21	78.22	78.22	0	0
21	78	22	78.55	78.55	17.50	1500
22	78.60	23	74	75.95	0	0
23	74.50	24	74	74.50	17.50	1503.7
24	74.50	25	74.11	74.33	0	0
25	74.16	1	78.06	78.25	17.50	1533.5
total				180		13198.51
AVG Finish Grade						82.4
Min Finish Elevation						74.28

- AVERAGE EXISTING GRADE CALCULATION						
#	Elevation	#	Elevation	Distance	#	Distance
1	83.24	1	80.91	81	1	121.81
2	80.81	2	82.06	81	0	0
3	82.06	4	84.25	83.1	9	750.03
4	84.25	5	85.31	84.2	1	120.42
5	84.31	6	84.1	84.1	4.1	350.76
6	84.55	7	84	84	0	0
7	84.0	8	84.0	84	7.21	624.81
8	84	9	84.8	84.8	0	0
9	83.8	10	83	83	0	0
10	83.8	11	81.2	83.25	17.50	1561.21
11	81.76	12	81.7	81	0	0
12	81.76	13	84.14	83.7	17.50	1528.83
13	84.14	14	84.14	84.14	0	0
14	84.14	15	84.14	84.14	0	0
15	84.14	16	82	83.25	8.21	705.40
16	82.25	17	82	82	0	0
17	82.25	18	87.8	90	12.21	1080
18	87.83	19	87.8	87.83	0	0
19	87.83	20	82.04	84.84	23.98	1980
20	82.24	21	82.26	82.26	0	0
21	82.24	22	80.6	81.1	17.50	14
22	80.10	23	80.1	80.10	0	0
23	80.10	24	77	78.0	17	13
24	77.23	25	77.23	77.23	0	0
25	77.23	1	81.24	79	17	1354.81
total				180		13044.81
AVG Existing Grade						80.28
Min Existing Elevation						74.13



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - B3 (14)			
Lower	Min	Max	Avg
22.81 m	25.53 m	28.68 m	27.62
74.82'	83.70'	94.76'	91.26'

TOP OF FINISH FLOOR - B2 (15)			
Lower	Min	Max	Avg
23.87 m	26.59 m	28.64 m	27.26
78.31'	87.26'	94.26'	90.26'



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REVISIONS
Based for DP Reasoning
ORC Public Comment Revisions
G1, G2, G3 Revisions

Aug 31, 2021
MAY 12, 2023
JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B3

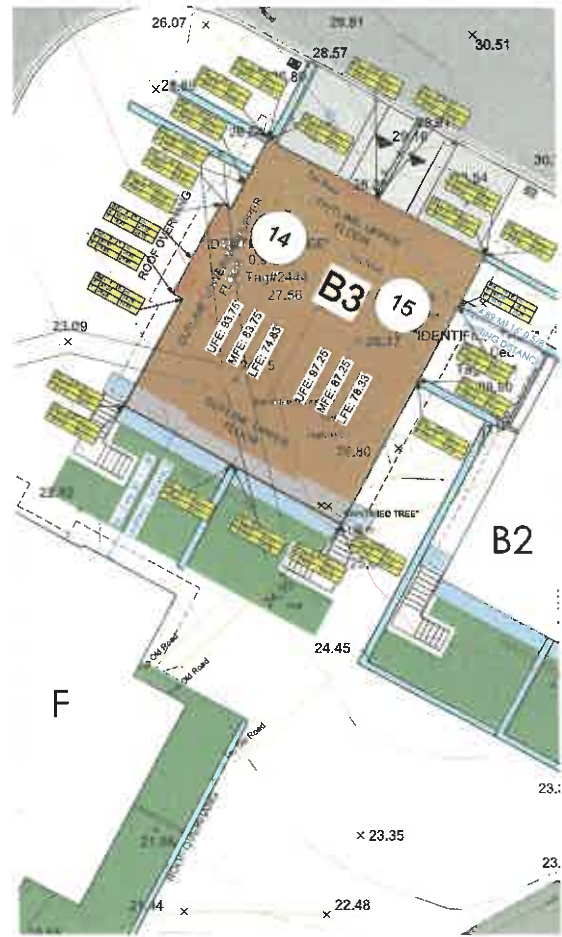
DRAWING
SITE PLAN

PROJECT# 0030
SCALE 1/8" = 1'-0"
DATE MAY 12, 2023

SHEET
AB3-1.01

AVERAGE FINISHED GRADE CALCULATION						
#	Elevation	Ref #	Elevation	Distance	x Distance	
1	78.24	2	78.24	76.2	1	117.39
2	78.24	3	78.53	78.54	5	436.68
3	78.83	4	78.53	78.53	8.04	713.19
4	78.83	5	78.53	78.53	1.30	117.39
5	78.53	6	78.9	78	4.1	327.21
6	78.53	7	78	82	2	154.68
7	85.35	8	78.5	85	7.21	614.84
8	85.35	9	78.5	87	0	0
9	85.35	10	81.4	87	0	0
10	93.42	11	83.4	85.4	17.50	1634
11	83.42	12	85.4	85.4	0	0
12	85.42	13	86.4	86.4	17	1488.6
13	86.42	14	81.66	85.4	0	0
14	86.26	15	85.19	85.19	0	0
15	85.19	16	86.19	86.19	8.21	707.45
16	86.19	17	82.26	84.22	9.22	790
17	82.26	18	82.26	82.26	12.21	1104.51
18	82.26	19	78.41	80.33	0.00	0
19	78.41	20	77.94	78.04	23.06	1891.26
20	77.94	21	78	78.53	0.00	0
21	78.80	22	78	78	17.50	1537.5
22	78.80	23	78	78.53	0	0
23	74.50	24	74	74	17.50	1537.5
24	74	25	74.1	74.3	0	0
25	74.16	1	78.24	77	17	1351.17
Total				160		13183.31
Avg Finish Grade						82.43
Min. Finish Grade						71.22

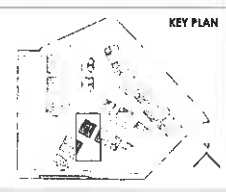
B3 - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation	#	Elevation	Distance	x Distance	
1	81.24	2	80.81	81.01	1	121.81
2	80.81	3	82	81	4	486.36
3	82.98	4	83.1	83.1	1.1	92.02
4	84.23	5	84.31	84.3	1	128.4
5	84.31	6	84	84.1	4.1	336.71
6	84.59	7	84.59	84	0	0
7	84	8	85.95	85.95	7.21	623.42
8	84.94	9	85.49	85	0.00	0.00
9	84	10	85.49	85.49	0.00	0.00
10	88.85	11	81	80.36	17.50	1611.21
11	81.78	12	87	87.16	0.00	0
12	81.78	13	84.14	84	17.50	1526.8
13	84.14	14	84.14	84.1	0	0
14	84.14	15	84.14	84.1	0	0
15	84.14	16	82	82.2	8.21	786
16	82.36	17	82	82	0	0
17	82.36	18	87.81	85	12.21	1098
18	87.81	19	87	87	0	0
19	87.81	20	82.24	84.94	23.06	1891.26
20	82.24	21	82.24	82.24	0	0
21	82.24	22	80.10	81.1	17.50	1420.48
22	80.10	23	80.10	80.10	0	0
23	80.10	24	77.23	78.11	17.50	1376
24	77.23	25	77	77.23	0.00	0
25	77.23	1	81.24	78	17.50	1388.91
Total				160.00		13946.81
Avg Existing Grade						82.2
Min. Existing Grade						75.1



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - B3 (14)		
Lower	Main	Upper
20.81 m	68.43 ft	26.00 m
74.83'	83.75'	83.75'

TOP OF FINISH FLOOR - B3 (15)		
Lower	Main	Upper
20.81 m	68.43 ft	26.00 m
74.83'	83.75'	83.75'



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REVISED FOR
Issued for DR/PERMITS
DR/2 Public Comment Revisions
CL, CL, CL Revisions

Aug. 31, 2021
MAY 12, 2023
JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

UNIT B3

DRAWING
SITE PLAN

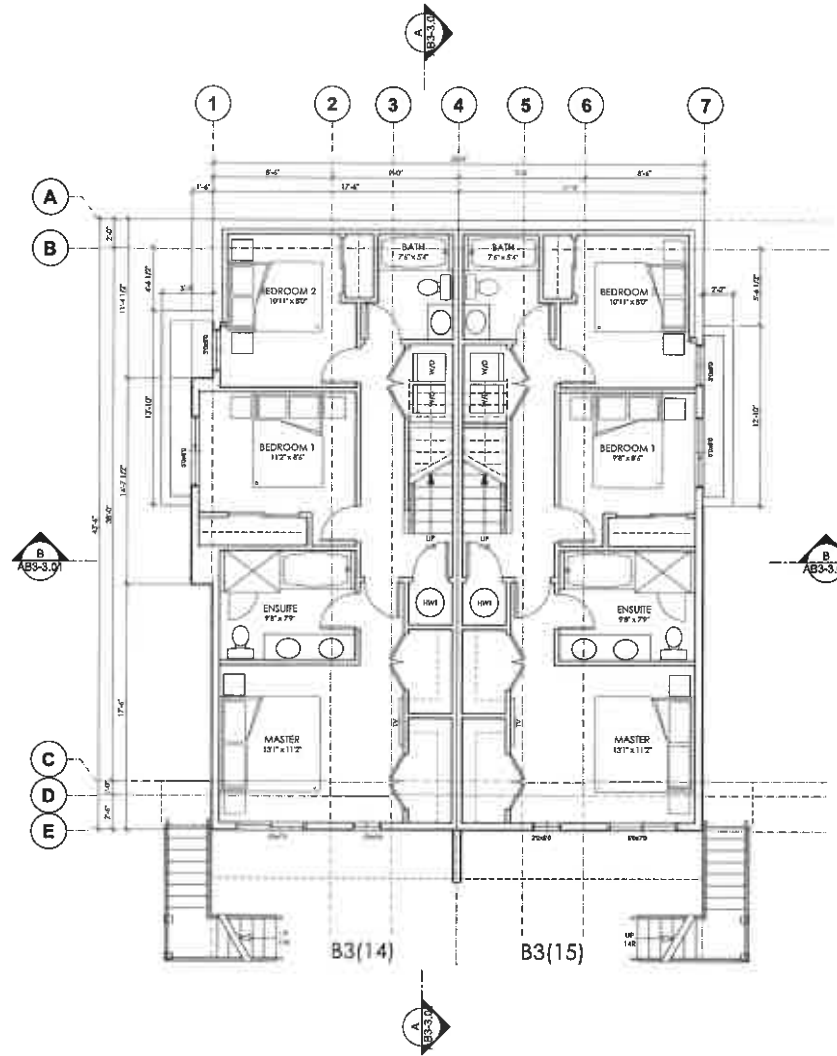
PROJECT	8000	SHEET	AB3-
SCALE	1/8" = 1'-0"		1.01
DATE	MAY 12, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DR/Reasoning Aug 21, 2021
 DR/CI Public Comment Revisions MAY 12, 2023
 GL 02-03 Revisions JULY 31, 2023

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

LOWER FLOOR / BASEMENT EXEMPTIONS:
 $[82.43' - 78.33' / 87.25' - 78.33'] \times 100 = 45.96\%$
 $761.3 \text{ (gross area)} \times 45.96\% = 349.89 \text{ SF (exemption)}$

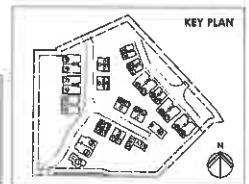


LOWER FLOOR PLAN
 UNIT B3



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B3

DRAWING
LOWER FLOOR PLAN



UNIT 14 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	783.2 SF	790.9 SF	721.6 SF	2295.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 100%	783.2 SF	0.0 SF	0.0 SF	783.2 SF
OVERLAGE HEIGHT INCLUSION	40.0 SF	0.0 SF	0.0 SF	40.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	40.0 SF	790.9 SF	280.2 SF	1064.1 SF

UNIT 14 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	72.8 SQ M	47.9 SQ M	67.0 SQ M	207.7 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.9 SQ M	41.9 SQ M
BASEMENT EXCLUSIONS 100%	72.8 SQ M	0.0 SQ M	0.0 SQ M	72.8 SQ M
OVERLAGE HEIGHT INCLUSION	4.0 SQ M	0.0 SQ M	0.0 SQ M	4.0 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	4.0 SQ M	47.9 SQ M	26.0 SQ M	77.9 SQ M

UNIT 15 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	741.2 SF	709.0 SF	499.7 SF	1949.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 45.9%	349.9 SF	0.0 SF	0.0 SF	349.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	411.3 SF	709.0 SF	258.3 SF	1378.6 SF

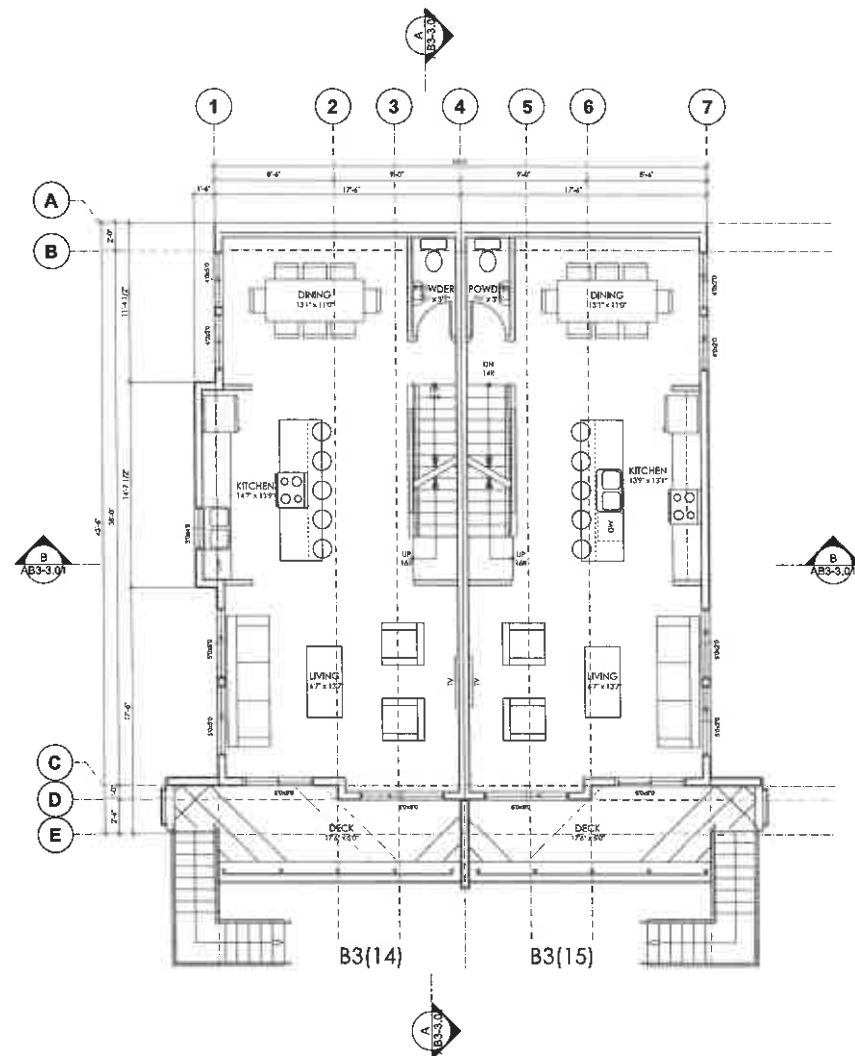
UNIT 15 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.5 SQ M	65.9 SQ M	46.2 SQ M	182.6 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.9 SQ M	41.9 SQ M
BASEMENT EXCLUSIONS 45.9%	32.5 SQ M	0.0 SQ M	0.0 SQ M	32.5 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	32.5 SQ M	65.9 SQ M	24.3 SQ M	122.7 SQ M

PROJECT# 8020
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
AB3-2.01

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REVISIONS
 Issued for DP/Reznick Aug. 31, 2021
 DRZ/Public Comment Revisions MAY 12, 2022
 G1, G2, G3 Revisions JULY 31, 2022

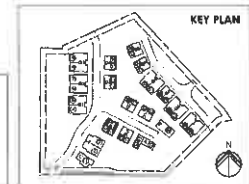


MAIN FLOOR PLAN
 UNIT B3



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B3

DRAWING
MAIN FLOOR PLAN



UNIT 14 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	793.2 SF	720.9 SF	721.6 SF	2235.7 SF
PARADE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 100%	793.2 SF	0.0 SF	0.0 SF	793.2 SF
COVERED PORCH INCLUSIONS	40.0 SF	0.0 SF	0.0 SF	40.0 SF
COVERED BALCONY INCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	40.0 SF	720.9 SF	280.2 SF	1041.1 SF

UNIT 14 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	72.9 SQM	67.7 SQM	67.0 SQM	207.7 SQM
PARADE EXCLUSIONS	0.0 SQM	0.0 SQM	41.0 SQM	41.0 SQM
BASEMENT EXCLUSIONS 100%	72.9 SQM	0.0 SQM	0.0 SQM	72.9 SQM
COVERED PORCH INCLUSIONS	4.0 SQM	0.0 SQM	0.0 SQM	4.0 SQM
COVERED BALCONY INCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
NET	4.0 SQM	67.7 SQM	24.0 SQM	95.7 SQM

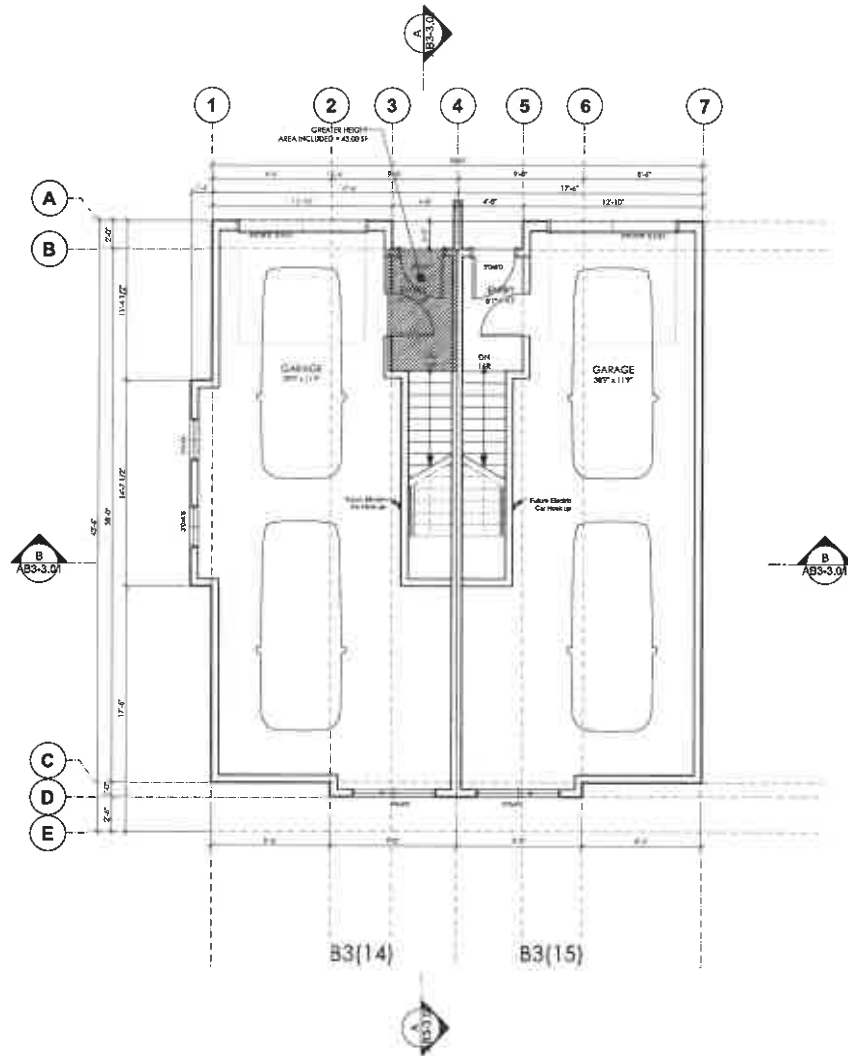
UNIT 15 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	741.3 SF	799.0 SF	499.7 SF	2040.0 SF
PARADE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 100%	741.3 SF	0.0 SF	0.0 SF	741.3 SF
COVERED PORCH INCLUSIONS	40.0 SF	0.0 SF	0.0 SF	40.0 SF
COVERED BALCONY INCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	40.0 SF	799.0 SF	258.3 SF	1097.3 SF

UNIT 15 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SQM	65.9 SQM	45.9 SQM	182.5 SQM
PARADE EXCLUSIONS	0.0 SQM	0.0 SQM	41.0 SQM	41.0 SQM
BASEMENT EXCLUSIONS 100%	70.7 SQM	0.0 SQM	0.0 SQM	70.7 SQM
COVERED PORCH INCLUSIONS	4.0 SQM	0.0 SQM	0.0 SQM	4.0 SQM
COVERED BALCONY INCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
NET	4.0 SQM	65.9 SQM	24.0 SQM	93.9 SQM

PROJECT # 8030
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2022
AB3-2.02

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REVISIONS
 based for CIP/Permitting Aug. 31, 2021
 DRG/P: Comm. Reviews MAY 12, 2022
 01, 02, 03 Reviews JULY 31, 2022

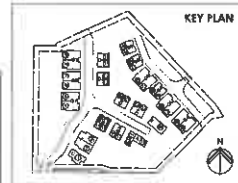


UPPER / ENTRY FLOOR PLAN
 UNIT B3



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B3

DRAWING
 UPPER FLOOR PLAN



UNIT 14 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	793.2 SF	730.9 SF	721.6 SF	2256.7 SF
PARKING EXCLUSIONS	0.0 SF	0.0 SF	411.4 SF	411.4 SF
BASEMENT EXCLUSIONS 100%	793.2 SF	0.0 SF	0.0 SF	793.2 SF
COVERED WALKWAY INCLUSION	43.0 SF	0.0 SF	0.0 SF	43.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	43.0 SF	730.9 SF	280.2 SF	1464.1 SF

UNIT 14 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	72.9 SQ M	67.9 SQ M	67.0 SQ M	207.7 SQ M
PARKING EXCLUSIONS	0.0 SQ M	0.0 SQ M	411.4 SQ M	411.4 SQ M
BASEMENT EXCLUSIONS 100%	72.9 SQ M	0.0 SQ M	0.0 SQ M	72.9 SQ M
COVERED WALKWAY INCLUSION	4.0 SQ M	0.0 SQ M	0.0 SQ M	4.0 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	4.0 SQ M	67.9 SQ M	25.6 SQ M	97.5 SQ M

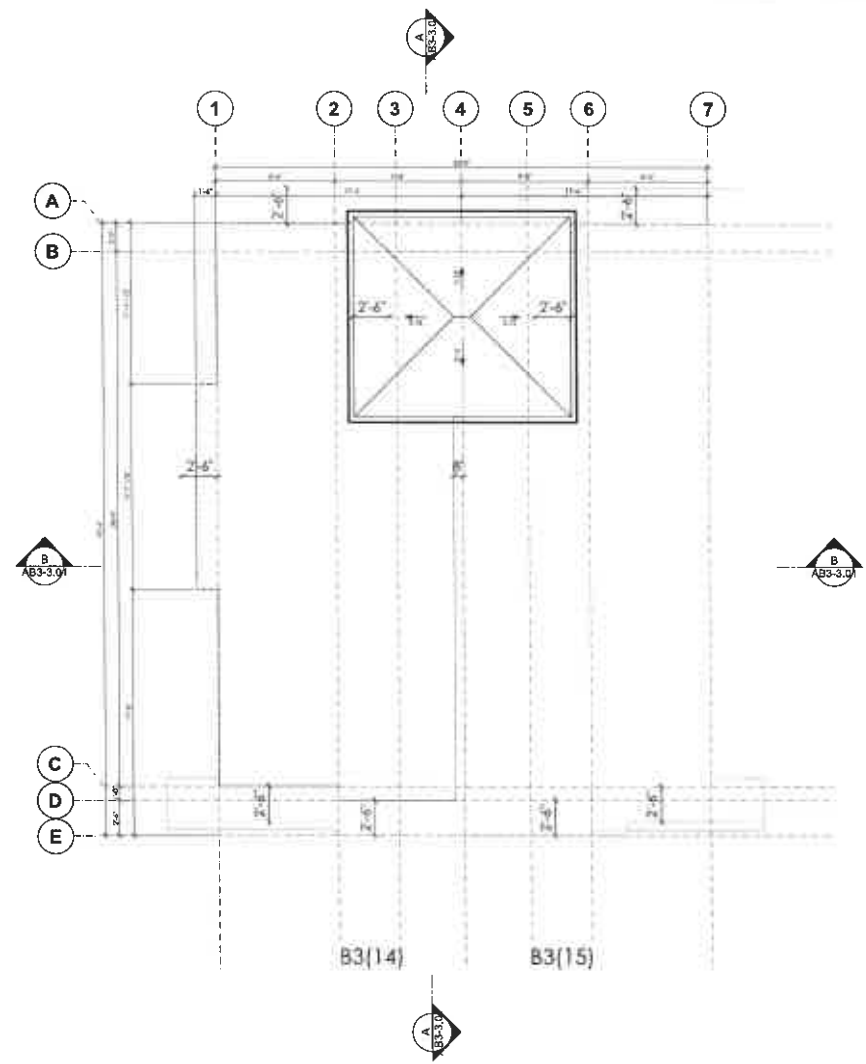
UNIT 15 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	741.2 SF	709.0 SF	699.7 SF	2149.9 SF
PARKING EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 100%	741.2 SF	0.0 SF	0.0 SF	741.2 SF
COVERED WALKWAY INCLUSION	43.0 SF	0.0 SF	0.0 SF	43.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	43.0 SF	709.0 SF	258.3 SF	1410.3 SF

UNIT 15 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.1 SQ M	65.3 SQ M	64.5 SQ M	200.0 SQ M
PARKING EXCLUSIONS	0.0 SQ M	0.0 SQ M	411.4 SQ M	411.4 SQ M
BASEMENT EXCLUSIONS 100%	70.1 SQ M	0.0 SQ M	0.0 SQ M	70.1 SQ M
COVERED WALKWAY INCLUSION	4.0 SQ M	0.0 SQ M	0.0 SQ M	4.0 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	4.0 SQ M	65.3 SQ M	24.3 SQ M	93.6 SQ M

PROJECT: 0370
 SCALE: 1/4" = 1'-0"
 DATE: MAY 12, 2022
AB3-2.03

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued For DP/Permitting	Aug 31, 2021
DSD Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023

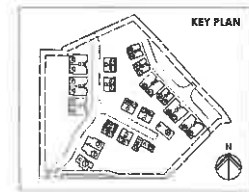


ROOF PLAN
UNIT B3

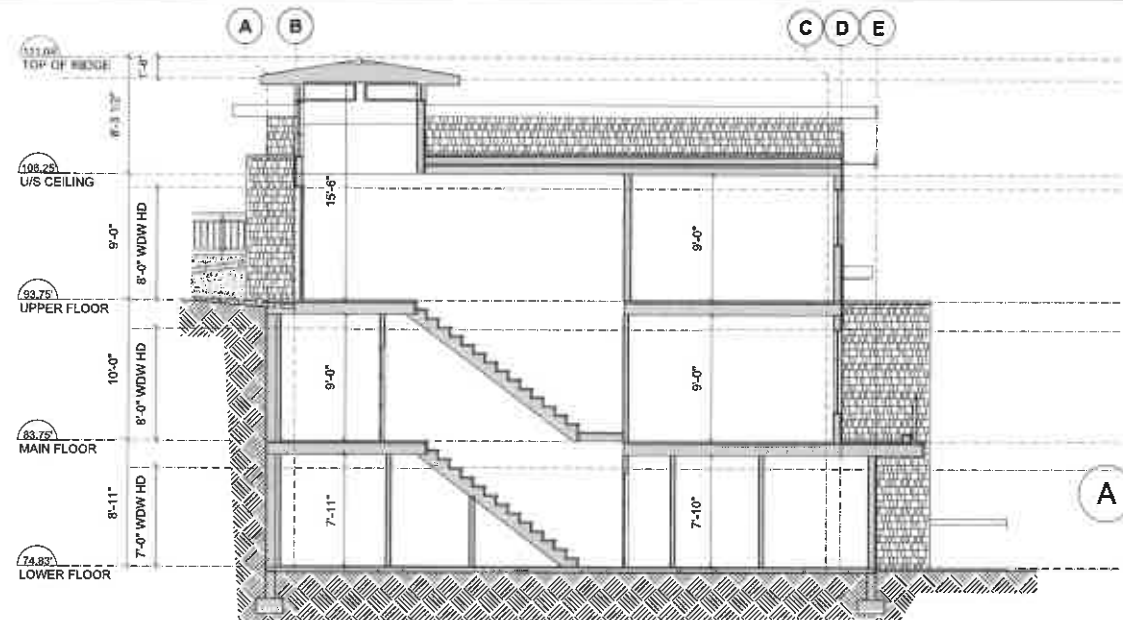


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B3

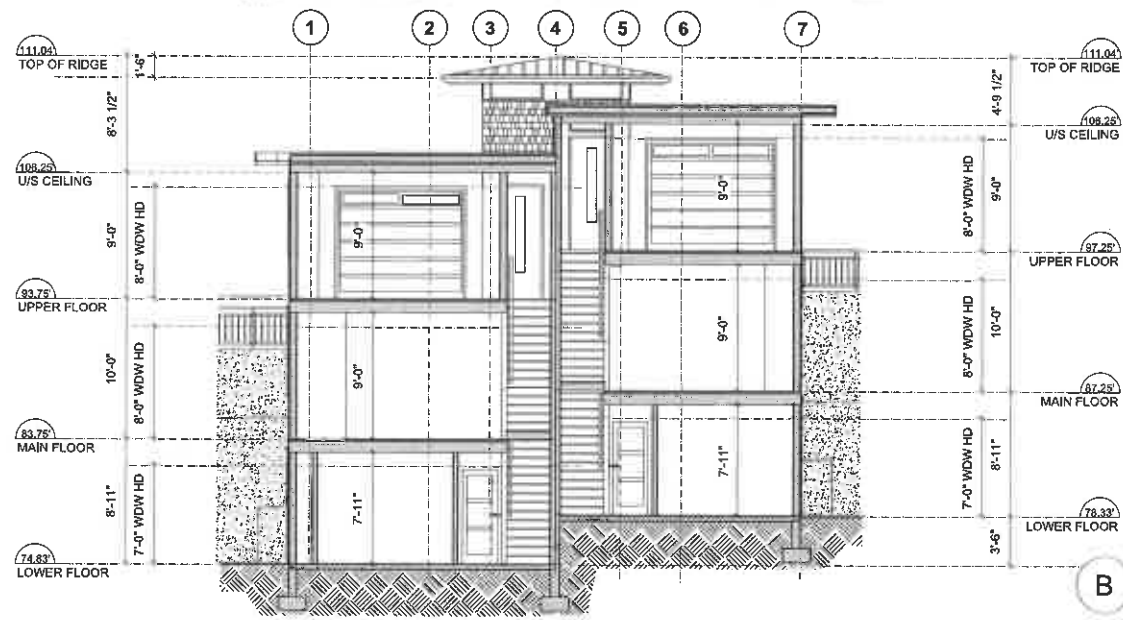
DRAWING
ROOF PLAN



PROJECT	SHEET
0000	AB3-2.04
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023



A SECTION A
Scale: 1/4" = 1'-0"



B SECTION B
Scale: 1/4" = 1'-0"

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DR/Resolving	Aug. 31, 2021
OSCI Public Comment Revisions	MAY 12, 2022
01, 02, 03 Revisions	JULY 31, 2023



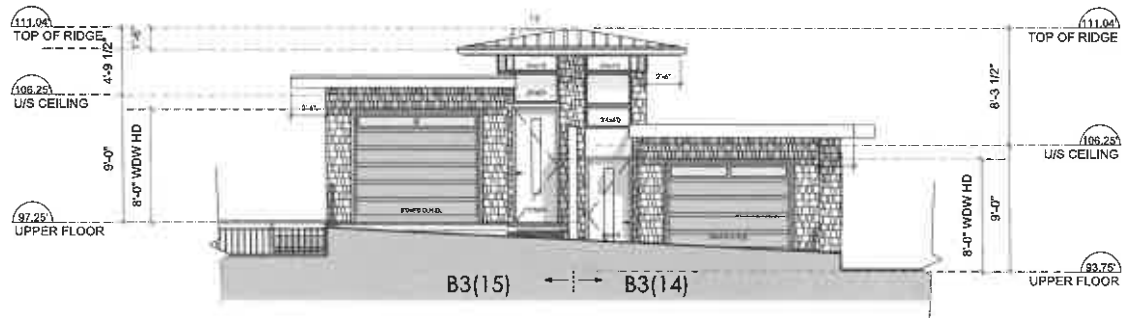
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B3

DRAWING
SECTIONS

PROJECT#	SHEET
8020	AB3-
SCALE	3.01
DATE	MAY 12, 2022

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DR/Reviewing Aug. 31, 2024
 DR/2 Public Comment Revisions MAY 12, 2023
 G1, G1, G3 Revisions JULY 31, 2023



ENTRY ELEVATION
 UNIT B3



LOWER FLOOR / BASEMENT EXEMPTIONS:
 (82.43'-78.33' / 87.25'-78.33') x 100 = 45.96%
 761.3 (gross area) x 45.96% = 349.89 SF (exemption)
 BACK ELEVATION
 UNIT B3

SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D)
 EXPOSED BUILDING FACE: 1077.62 SF (100.11 SM)
 LIMITING DISTANCE: 10.04' (3.06 M)
 UNPROTECTED OPENING: 297.0 SF (27.59 SM)
 PROPOSED OPENING: 27.54%
 PERMITTED OPENINGS: 26.59%



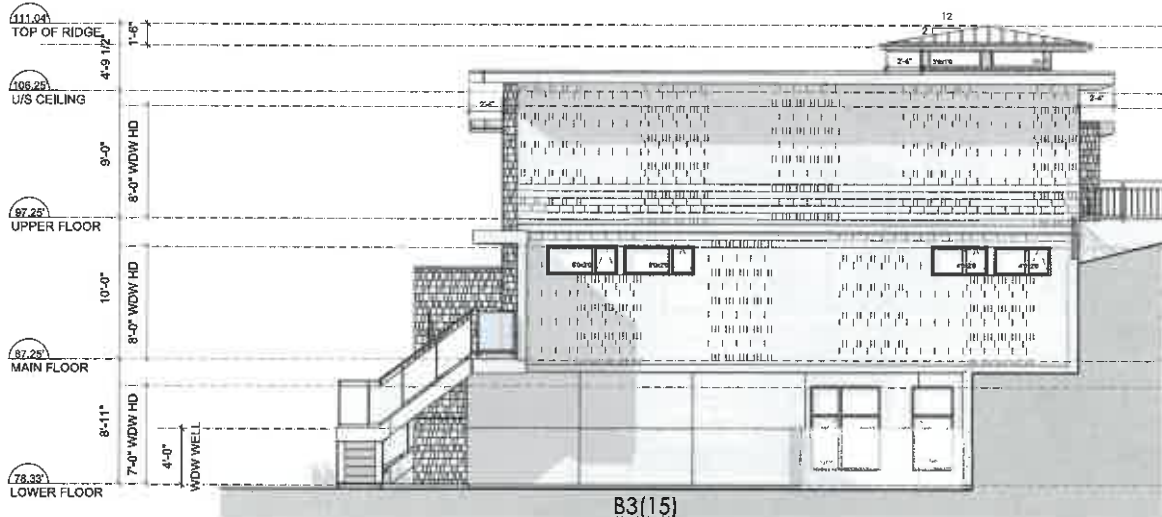
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B3

DRAWING
 ENTRY AND
 BACK
 ELEVATIONS B/W

PROJECT	0730	SHEET	AB3-4.01
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

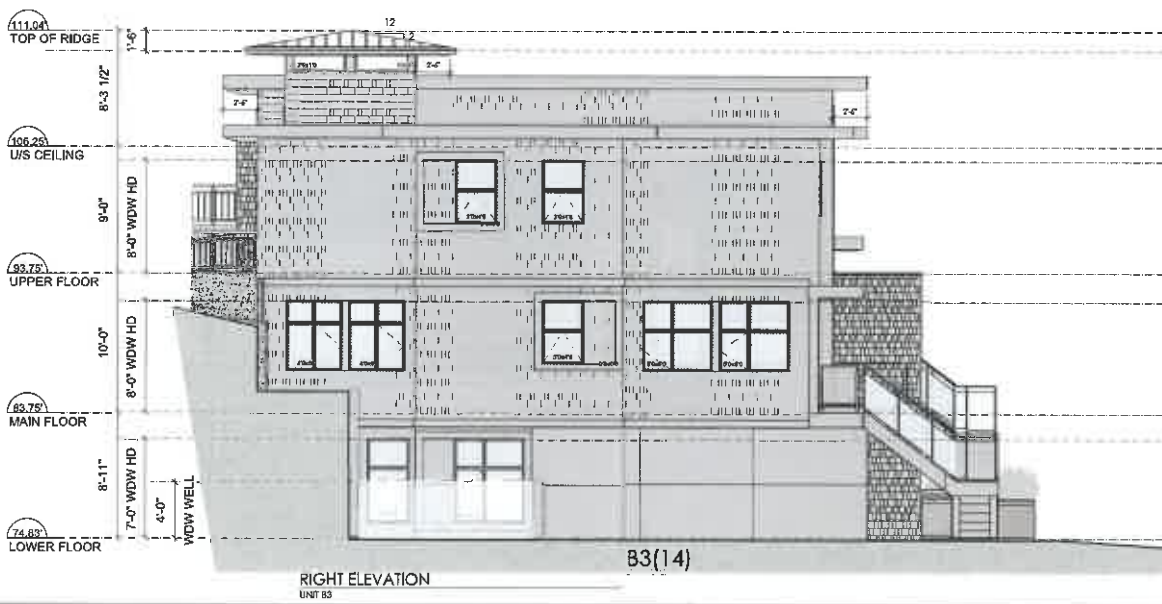
These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Permitting	Aug 31, 2021
ORCA Photo Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023



SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-01)

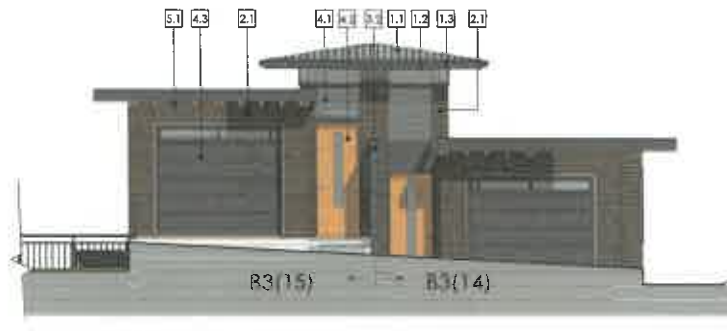
EXPOSED BUILDING FACE:	1139.68 SF (105.88 SM)
LIMITING DISTANCE:	8.02' (2.44 M)
UNPROTECTED OPENING:	21 SF (1.95 SM)
PROPOSED OPENING:	7.98%
PERMITTED OPENINGS:	21.29%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT B3

DRAWING
 LEFT AND RIGHT ELEVATIONS B/W

PROJECT#	SHEET
800	AB3-4.02
SCALE	1/4"=1'-0"
DATE	MAY 12, 2023



ENTRY ELEVATION
UNIT B3



BACK ELEVATION
UNIT B3



HARDY PANEL

FIBRE CEMENT SHINGLES -
WOODSTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING

METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR SILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT

WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105

BALCONY -
WROUGHT IRON BM - 2124 - 10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport BM - HC-105
1.3	Tile	Charcoal Gray
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon trails
2.2	Not Used	
2.3	Hardy Panel	Light Mist
2.4	Not Used	
2.5	Stone	Various Finishes
3.1	Upstand / Fascia / Barge Board / Sill	Wrought Iron BM - 2124 - 10
3.2	Window / Sill / Fascia / Barge Board / Sill	Wrought Iron BM - 2124 - 10
4.1	Window / Fascia / Barge Board / Sill	Charcoal Gray
4.2	Entry door painted c/w transom and clear top coat - Special Walnut	Silewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Window / Fascia / Barge Board / Sill	Charcoal Gray
4.4	Door / Window glass glazing system c/w glass c/w	Charcoal Gray
5.1	Resistive Impaled wood	Silewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Finished metal	Charcoal Gray
5.3	Paint (7 painted finish)	Charcoal Gray

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REVISIONS
Issued for DP/Marketing Aug. 31, 2023
DRG/PUBLIC Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

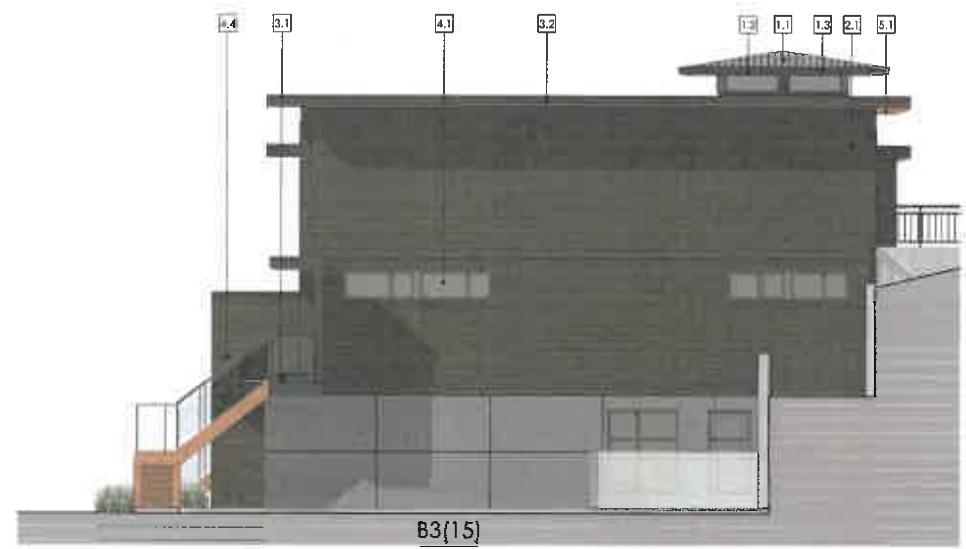
UNIT B3

DRAWING
**ENTRY AND
BACK
ELEVATIONS**

PROJECT NO. 8030
SCALE 1/4" = 1'-0"
DATE MAY 12, 2023
SHEET
**AB3-
4.03**

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REVISIONS		
Based for DP/Reasoning	Aug 31, 2021	
DRCU Public Comment Revisions	MAY 12, 2023	
G1, G2, G3 Revisions	JULY 31, 2023	



B3(15)

LEFT ELEVATION
UNIT B3



B3(14)

RIGHT ELEVATION
UNIT B3

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	"A" Metal Roof	Charcoal Grey
1.2	Cement Soffit	Black
1.3	Tile	Charcoal Grey
2.1	Cement Shingle	Woodline Ruffs Scales Carbon Irons
2.2	Panel	Light Ink
2.3	Panel	Light Ink
2.4	not used	
2.5	Stone	Random Granite
3.1	Wrought Iron BM - 2124 - 10	
3.2	Wrought Iron BM - 2124 - 10	
4.1	Charcoal Grey	
4.2	Silverwood - Old Master Oil Stain w/w clear top coat - Spiced Walnut	
4.3	Charcoal Grey	
4.4	Charcoal Grey	
5.1	Silverwood - Old Master Oil Stain w/w clear top coat - Spiced Walnut	
5.2	Charcoal Grey	
5.3	Charcoal Grey	



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B3

DRAWING
**LEFT AND RIGHT
ELEVATIONS**

PROJECT	SHEET
8000	AB3-
SCALE 1/4" = 1'-0"	4.04
DATE MAY 12, 2023	

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REVISIONS	
Revised for DP/Recording	Aug 31, 2021
DEC Public Consultation Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2025



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT 53



BACK ELEVATION - CAMERA VIEW
UNIT 53



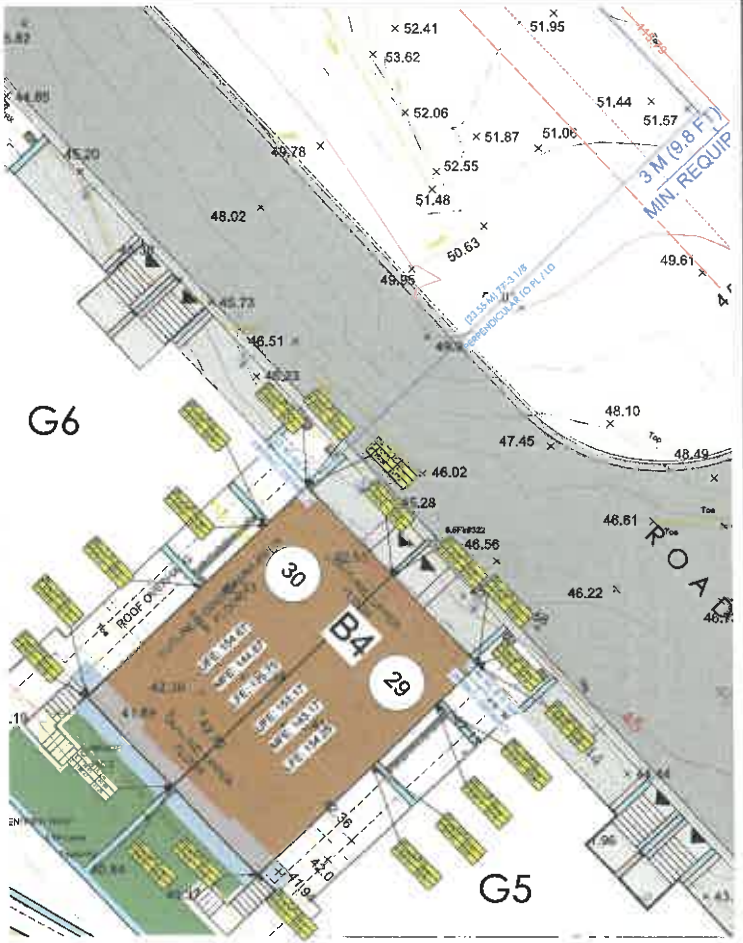
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT 53

DRAWING
FORNT AND
BACK
ELEVATIONS -
CAMERA VIEW

PROJECT	SHEET
9000	AB3-
SCALE	N.S.
DATE	MAY 12, 2023
	4.05

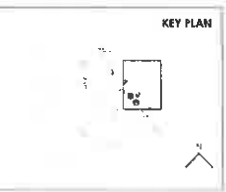
B4 - AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation	#	Elevation	Distance	A	X Distance
1	136.43	2	137.60	136.43	22.11	3112
2	137.90	3	137.60	137.90	12.51	1723
3	137.90	4	142.88	140.34	0.00	0.00
4	142.88	5	146.04	143.00	8.21	1187.2
5	146.04	6	146.92	146.98	0.00	0.00
6	150.21	7	154.34	152.63	0.00	0.00
7	154.34	8	154.34	154.34	17.00	2709.86
8	154.34	9	150.64	153.09	12.00	1723
9	150.64	10	152.40	151.43	17.00	2374.52
10	152.40	11	149.92	150.97	0.00	0.00
11	146.52	12	147.84	146.68	0.00	0.00
12	147.84	13	138.69	139.00	8.21	1146
13	138.69	14	138.11	138.54	0.00	0.00
14	138.11	15	137.60	138.00	12.51	1723.53
15	137.60	16	131.23	134.52	0.00	0.00
16	131.23	17	131.23	131.23	22.00	3268
17	131.23	18	133.92	132.99	0.00	0.00
18	133.92	19	133.92	133.92	17.00	2343
19	133.92	20	135.42	134.97	0.00	0.00
20	135.42	21	135.42	135.42	17.00	2326.8
21	135.42	1	136.43	135.42	0.00	0.00
Total					197	21071.03
AVG Finish Grade						138.90
Max. Slope (P/S)					29.85	166.30

B4 - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation	#	Elevation	Distance	A	X Distance
1	134.26	2	138.17	136.21	22.00	3114
2	138.17	3	140.58	139.38	12.51	1723.41
3	140.58	4	140.58	140.58	0.00	0.00
4	140.58	5	142.82	141.70	8.21	1172.00
5	142.82	6	146.01	145.01	0.00	0.00
6	146.01	7	146.01	146.01	17.00	2514.14
7	146.01	8	142.32	144.33	0.00	0.00
8	142.32	9	142.32	142.32	17.00	2496.36
9	142.32	10	142.32	142.32	0.00	0.00
10	142.32	11	142.98	143.04	0.00	0.00
11	142.98	12	142.98	142.98	0.00	0.00
12	142.98	13	140.00	141.77	4.28	6163.81
13	140.00	14	140.00	140.00	0.00	0.00
14	140.00	15	139.33	139.94	12.00	1754.01
15	139.33	16	139.33	139.33	0.00	0.00
16	139.33	17	138.32	138.32	22.00	3170.8
17	138.32	18	138.32	137.43	0.00	0.00
18	138.32	19	134.46	134.96	17.00	2382.00
19	134.46	20	134.46	134.46	0.00	0.00
20	134.46	21	134.29	134.29	17.00	2351.13
21	134.29	1	134.26	134.26	0.00	0.00
Total					197.00	21849.70
AVG Existing Grade						138.19
Max. Slope (P/S)					29.85	166.91



SITE PLAN
SCALE: 1/8"=10'

TOP OF FINISH FLOOR - B4 (30)		
Level	Main	Upper
138.11	146.18	154.87



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REVISIONS		
Issued for DRP Reviewing	Aug 31, 2021	
DRCP Public Comment Revisions	MAY 12, 2023	
01, 02, 03 Revisions	JULY 31, 2023	



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT 84

DRAWING
SITE PLAN

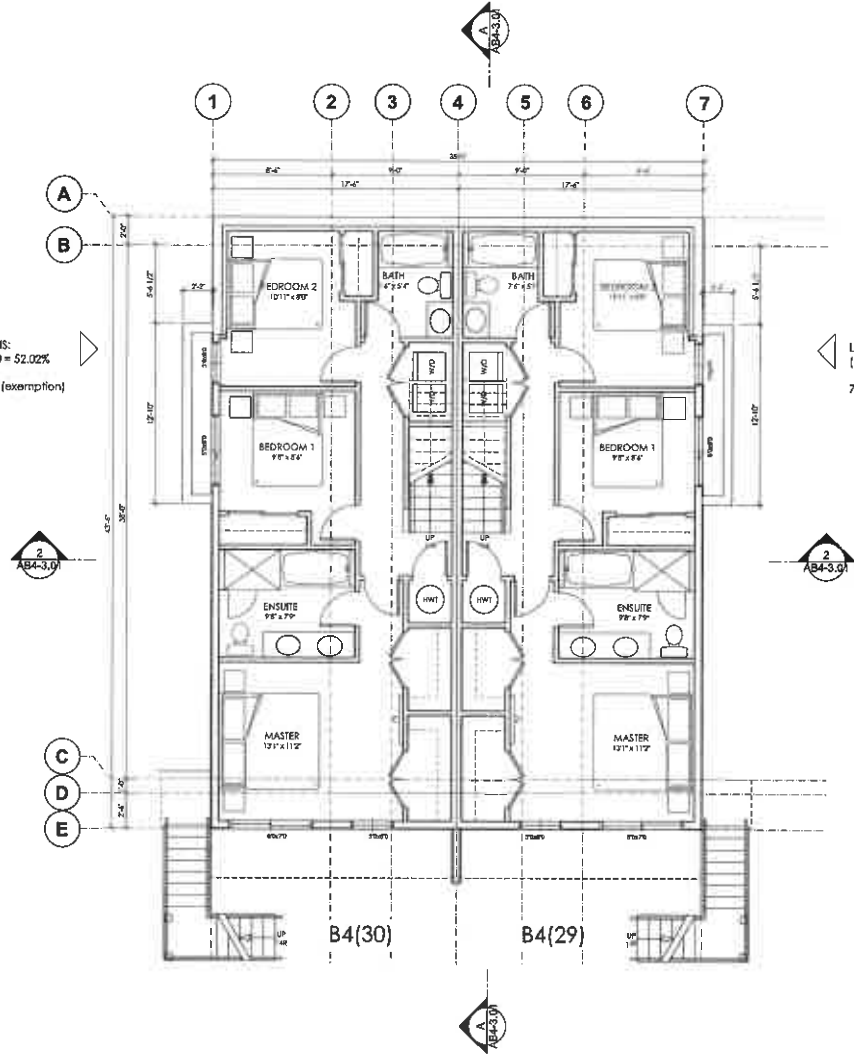
PROJECT#	SHEET
0000	AB4-1.01
SCALE	1/8" = 10'
DATE	MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DFR/Permitting Aug. 31, 2021
 DRCC Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (138.89' - 134.25' / 143.17' - 134.25') x 100 = 52.02%
 761.3 (gross area) x 52.02% = 396.03 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (138.89' - 135.75' / 144.67' - 135.75') x 100 = 35.20%
 761.3 (gross area) x 35.2% = 267.98 SF (exemption)

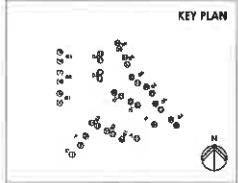


LOWER FLOOR PLAN
 UNIT B4



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B4

DRAWING
LOWER FLOOR PLAN



UNIT 30 FLOOR AREAS IMPERIAL				
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	761.3 SF	709.6 SF	499.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS	376.0 SF	0.0 SF	0.0 SF	376.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	385.3 SF	709.6 SF	258.3 SF	1353.2 SF

UNIT 30 FLOOR AREAS METRIC				
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	701.5 M	657.5 M	462.5 M	2021.5 M
GARAGE EXCLUSIONS	0.0 M	0.0 M	410.5 M	410.5 M
BASEMENT EXCLUSIONS	348.5 M	0.0 M	0.0 M	348.5 M
COVERED BALCONY EXCLUSIONS	0.0 M	0.0 M	0.0 M	0.0 M
NET	351.5 M	657.5 M	240.5 M	1250.5 M

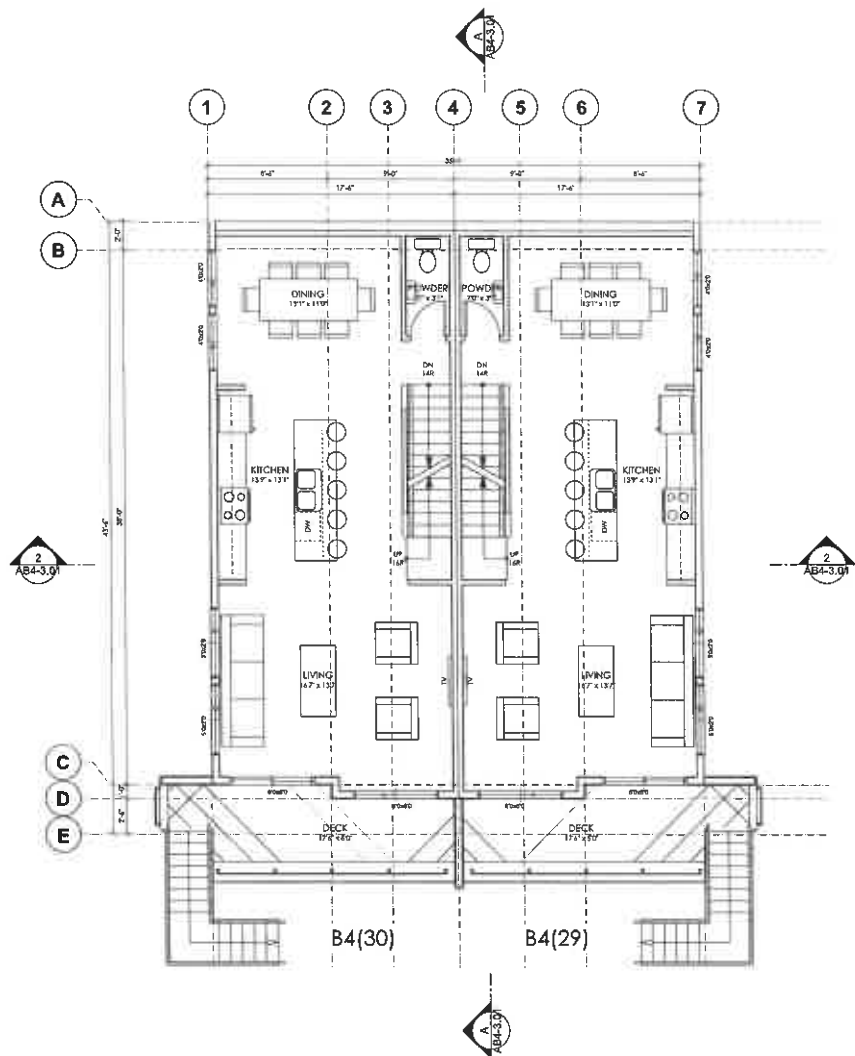
UNIT 29 FLOOR AREAS IMPERIAL				
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	761.3 SF	709.6 SF	499.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS	348.0 SF	0.0 SF	0.0 SF	348.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	413.3 SF	709.6 SF	258.3 SF	1481.2 SF

UNIT 29 FLOOR AREAS METRIC				
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	701.5 M	657.5 M	462.5 M	2021.5 M
GARAGE EXCLUSIONS	0.0 M	0.0 M	410.5 M	410.5 M
BASEMENT EXCLUSIONS	319.5 M	0.0 M	0.0 M	319.5 M
COVERED BALCONY EXCLUSIONS	0.0 M	0.0 M	0.0 M	0.0 M
NET	409.5 M	657.5 M	240.5 M	1307.5 M

PROJECT# 8030
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2022
 SHEET **AB4-2.01**

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REVISIONS
 BASED FOR DIFFERENCING Aug 31, 2021
 DRC/ PUBLIC CONSULTATION MAY 12, 2023
 D1, D2, D3 REVISIONS JULY 31, 2023

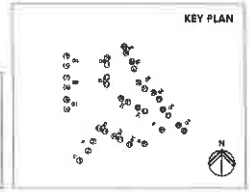


MAIN FLOOR PLAN
 UNIT 84



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT 84

DRAWING
MAIN FLOOR PLAN



UNIT 30 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	699.7 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS	394.0 SF	0.0 SF	0.0 SF	394.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	6.0 SF	6.0 SF
NET	367.3 SF	709.0 SF	252.3 SF	1328.6 SF

UNIT 30 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SQ M	65.9 SQ M	64.9 SQ M	201.5 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.0 SQ M	41.0 SQ M
BASEMENT EXCLUSIONS	36.4 SQ M	0.0 SQ M	0.0 SQ M	36.4 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.6 SQ M	0.6 SQ M
NET	34.3 SQ M	65.9 SQ M	23.3 SQ M	123.5 SQ M

UNIT 29 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	741.0 SF	709.0 SF	699.7 SF	2149.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS	349.0 SF	0.0 SF	0.0 SF	349.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	6.0 SF	6.0 SF
NET	392.0 SF	709.0 SF	252.3 SF	1353.3 SF

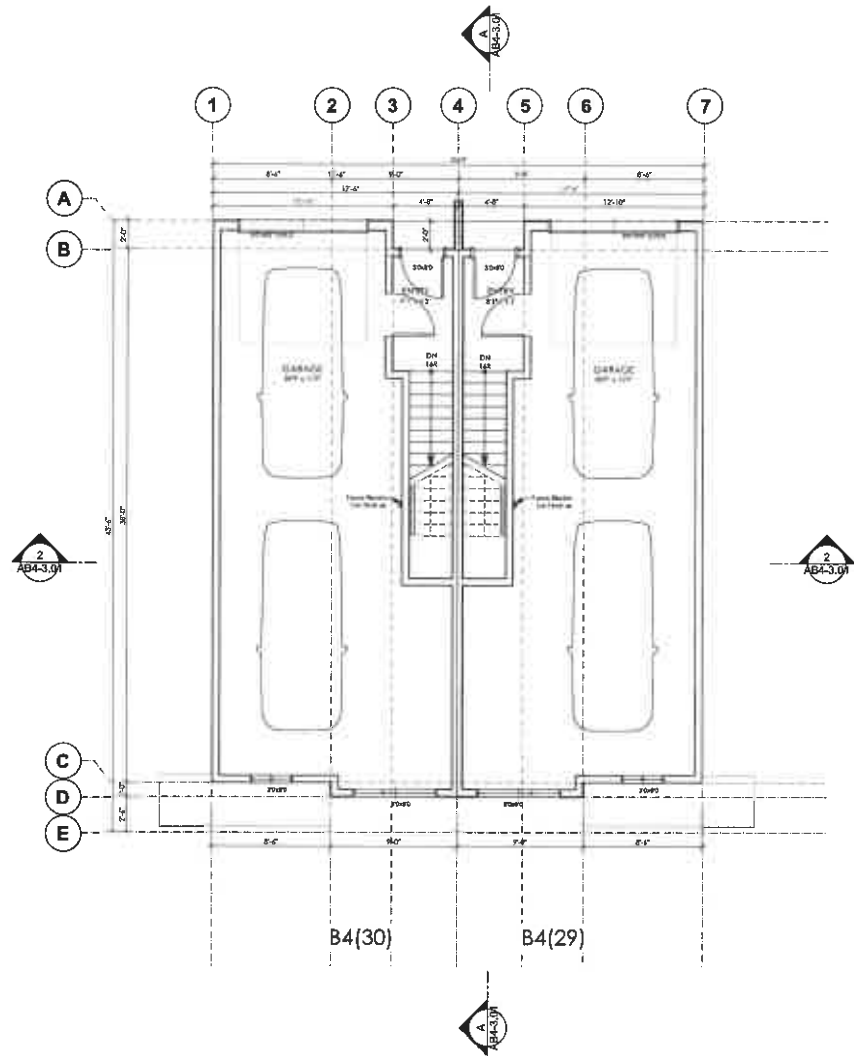
UNIT 29 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	68.7 SQ M	65.9 SQ M	64.9 SQ M	200.5 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.0 SQ M	41.0 SQ M
BASEMENT EXCLUSIONS	323.0 SQ M	0.0 SQ M	0.0 SQ M	323.0 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.6 SQ M	0.6 SQ M
NET	357.0 SQ M	65.9 SQ M	23.3 SQ M	1266.2 SQ M

PROJECTS SHEET
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
AB4-2.02

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REVISIONS
 Issued for DR/Recording Aug. 31, 2021
 DR/2 Public Comment Revisions MAY 12, 2023
 01, 02, 03 RevNotes MAY 31, 2023

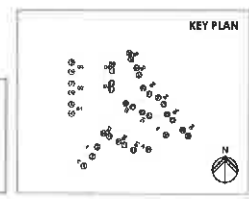


UPPER / ENTRY FLOOR PLAN
 UNIT B4



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B4

DRAWING
 UPPER FLOOR PLAN



UNIT 30 FLOOR AREAS IMPERIAL			
	LEVEL 1 SQ FT	LEVEL 3 SQ FT	LEVEL 3 SQ FT
GROSS	761.3 SF	709.0 SF	697.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF
BASEMENT EXCLUSIONS	376.0 SF	0.0 SF	0.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF
NET	385.3 SF	709.0 SF	256.3 SF

UNIT 30 FLOOR AREAS METRIC			
	LEVEL 1 SQ M	LEVEL 3 SQ M	LEVEL 3 SQ M
GROSS	70.75M	65.75M	64.65M
GARAGE EXCLUSIONS	0.00M	0.00M	41.15M
BASEMENT EXCLUSIONS	34.85M	0.00M	0.00M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M
NET	33.95M	65.75M	24.65M

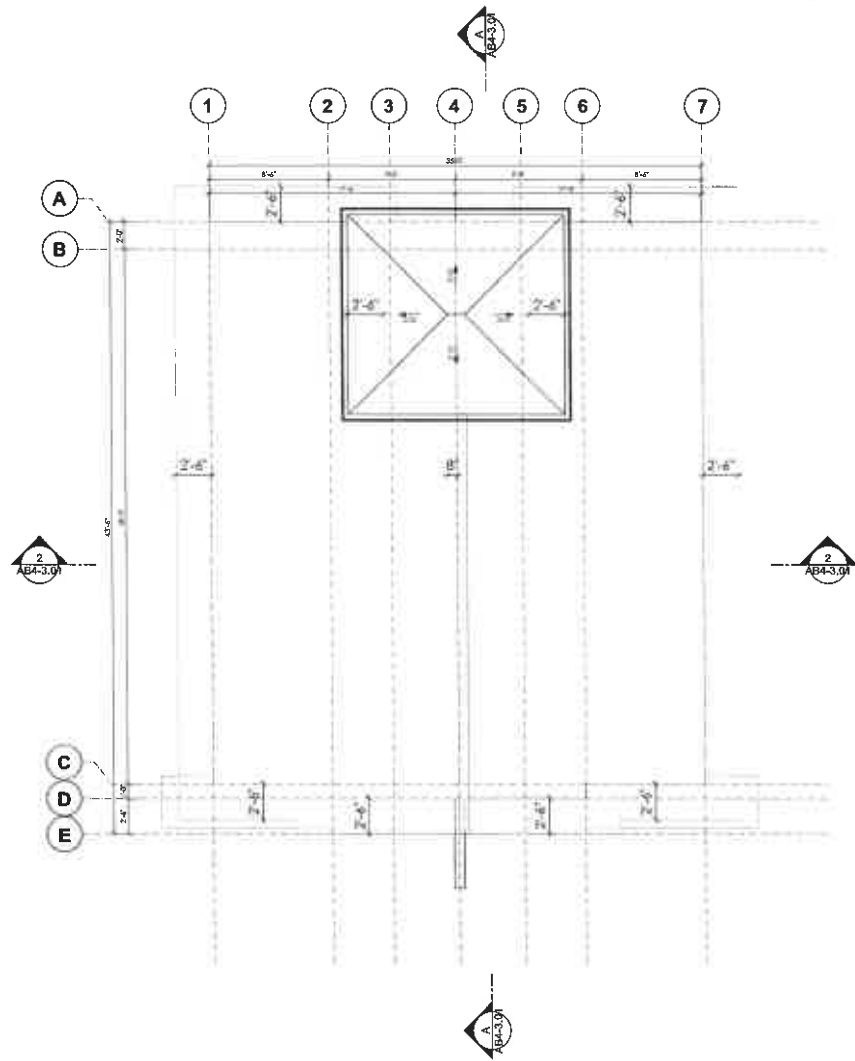
UNIT 29 FLOOR AREAS IMPERIAL			
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT
GROSS	741.3 SF	709.0 SF	697.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF
BASEMENT EXCLUSIONS	248.0 SF	0.0 SF	0.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF
NET	493.3 SF	709.0 SF	256.3 SF

UNIT 29 FLOOR AREAS METRIC			
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M
GROSS	70.75M	65.75M	64.65M
GARAGE EXCLUSIONS	0.00M	0.00M	41.15M
BASEMENT EXCLUSIONS	22.95M	0.00M	0.00M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M
NET	45.80M	65.75M	24.65M

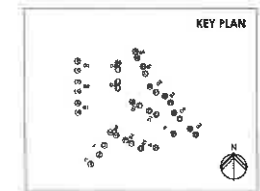
PROJECT# 9000
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
AB4-2.03

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DR/Reviewing	AUG 31, 2021
CRCD Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	MAY 31, 2023



ROOF PLAN
UNIT B4



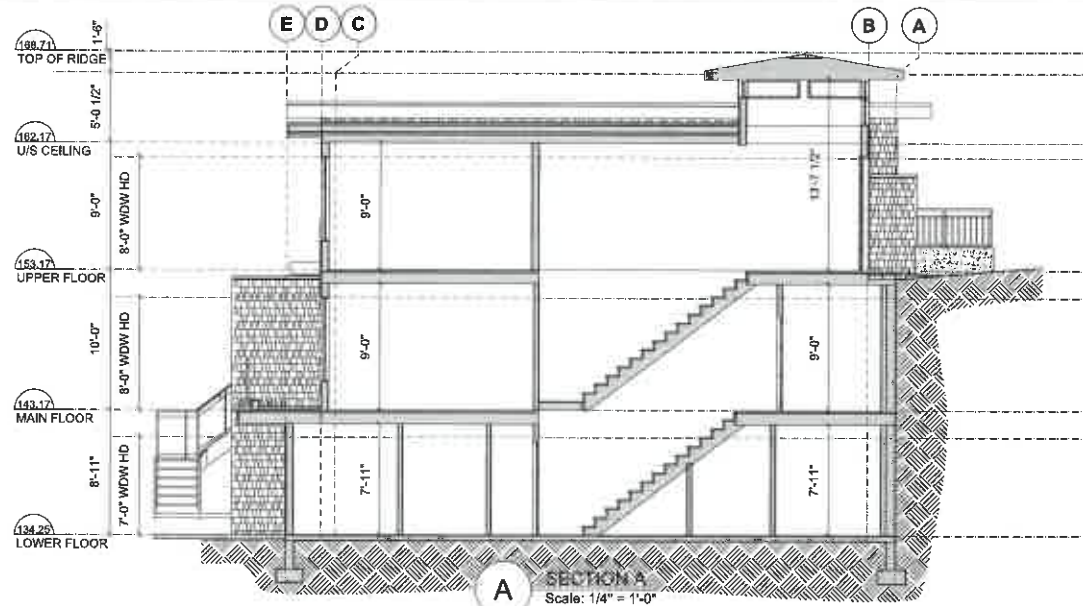
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B4

DRAWING
ROOF PLAN

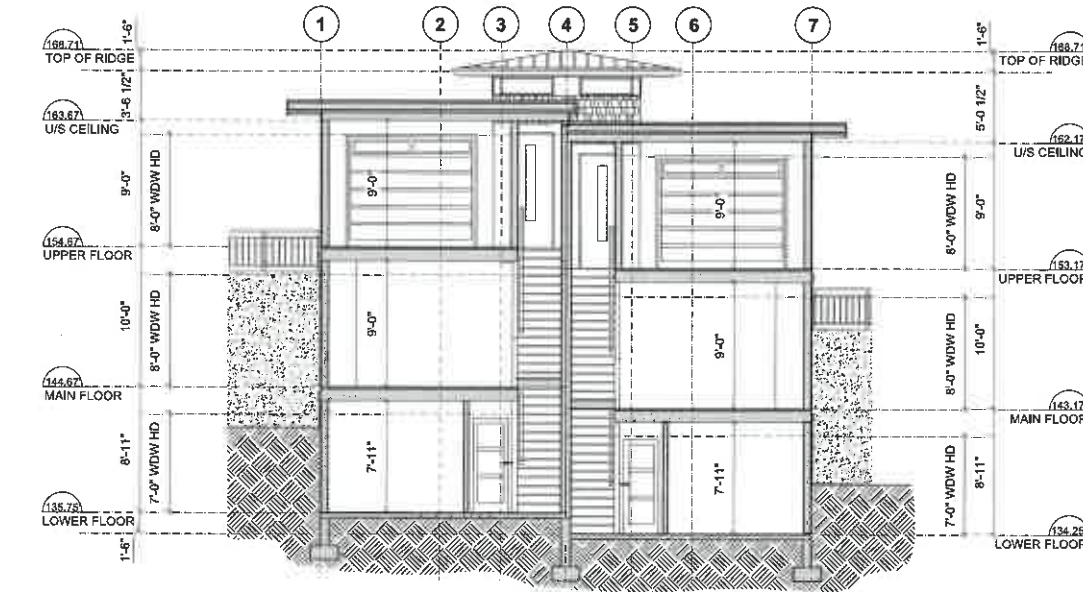
PROJECT#	SHEET
8000	AB4-
SCALE 1/2" = 1'-0"	2.04
DATE MAY 12, 2023	

These plans remain the ownership of Sterling Pacific

REVISIONS		
Revised for DP/Marketing	Aug 31, 2021	
CR/CP Public Comment Revisions	MAY 12, 2023	
01, 02, 03 Revisions	JULY 31, 2023	



A SECTION A
Scale: 1/4" = 1'-0"



2 SECTION B
Scale: 1/4" = 1'-0"



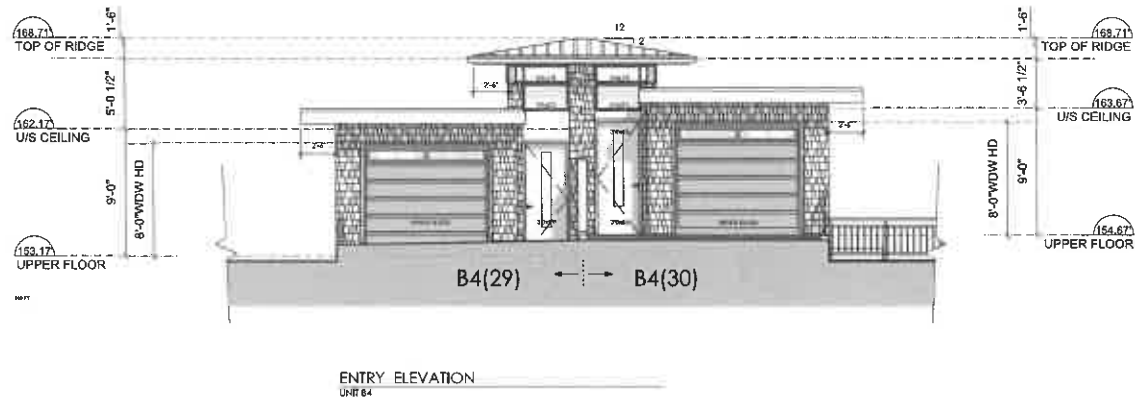
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B4

DRAWING
SECTIONS

PROJECT#	SHEET
8030	AB4-
SCALE 1/4" = 1'-0"	3.01
DATE MAY 12, 2023	

These plans remain the ownership of Sterling Pacific

REVISION	DATE
Revised for DR/Restoring	Aug. 31, 2024
DRCF Public Consultation Revisions	MAY 12, 2023
Gr, Gr, Gr Revisions	JULY 31, 2023



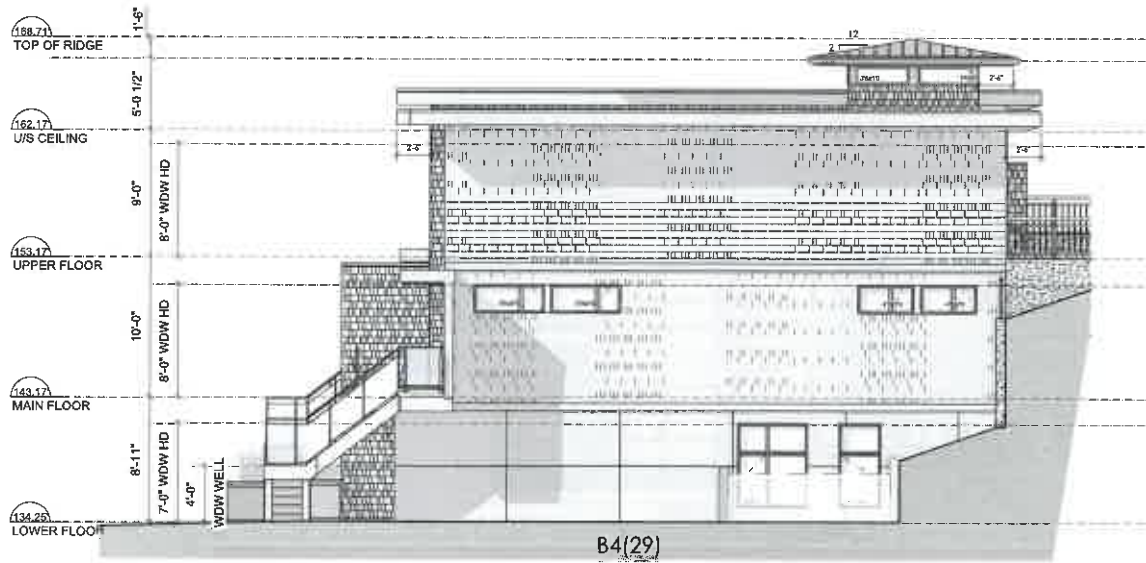
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT B4

DRAWING
 ENRTY & BACK ELEVATIONS B/W

PROJECT#	SHEET
8030	AB4-4.01
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023

These plans remain the
ownership of Sterling Pacific

REVISIONS
 Revised for SH/Keepings Aug. 31, 2021
 DRG/Pub: Colmored Parlane MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023

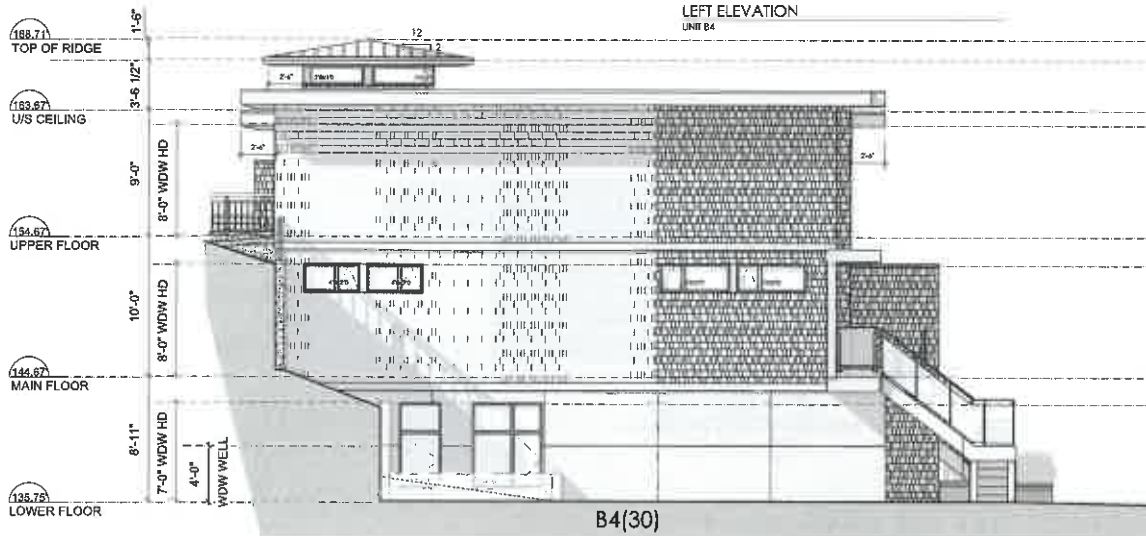


B4(29)

LEFT ELEVATION
UNIT B4

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1171.22 SF (108.81 SM)
LIMITING DISTANCE:	4.03 (1.23 M)
UNPROTECTED OPENING:	83 SF (7.90 SM)
PROPOSED OPENING:	7.24%
PERMITTED OPENINGS:	11.5%



B4(30)

RIGHT ELEVATION
UNIT B4

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

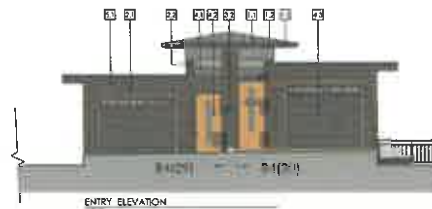
EXPOSED BUILDING FACE:	1139.08 SF (105.82 SM)
LIMITING DISTANCE:	4.00 (1.22 M)
UNPROTECTED OPENING:	91 SF (8.45 SM)
PROPOSED OPENING:	7.99%
PERMITTED OPENINGS:	14.10%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B4

DRAWING
 LEFT & RIGHT
 ELEVATIONS B/W

PROJECT#	0050	SHEET	AB4-
SCALE	1/4" = 1'-0"		4.02
DATE	MAY 12, 2023		



ENTRY ELEVATION



BACK ELEVATION



BROWN PINK



RAW CEMENT BRICKS
W/ ORIGINAL PLASTER
C/ BRICK TRAILS



STONE CLADDING



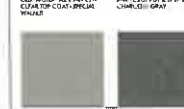
METAL ROOF
CHARCOAL GREY



DARK OAK STEELWOOD



WOODEN FASCIA



ROCK FACE GRANITE



METAL ROOF

AQUILA	
PROJECT SUMMARY SHEET	
1. Project Name	AQUILA
2. Client	STERLING PACIFIC
3. Location	DAVIDSON DRIVE, WEST VANCOUVER, BC
4. Architect	STERLING PACIFIC
5. Date	NOV 2014
6. Scale	1:40
7. Drawing No.	AB4-4.03
8. Drawing Title	ENTRY & BACK ELEVATIONS
9. Drawing Type	EXTERIOR
10. Drawing Status	FOR PERMIT
11. Drawing Date	NOV 2014
12. Drawing Author	STERLING PACIFIC
13. Drawing Checker	STERLING PACIFIC
14. Drawing Approver	STERLING PACIFIC
15. Drawing Notes	SEE GENERAL NOTES FOR MATERIALS AND FINISHES.
16. Drawing Scale	1:40
17. Drawing Date	NOV 2014
18. Drawing Title	ENTRY & BACK ELEVATIONS
19. Drawing Type	EXTERIOR
20. Drawing Status	FOR PERMIT
21. Drawing Date	NOV 2014
22. Drawing Author	STERLING PACIFIC
23. Drawing Checker	STERLING PACIFIC
24. Drawing Approver	STERLING PACIFIC

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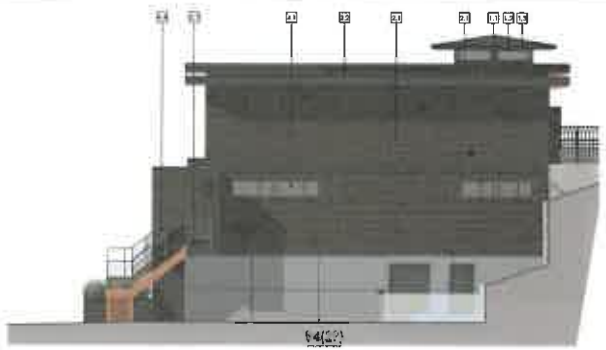
PROJECT NO. AB4-4.03
DATE: NOV 2014
SCALE: 1:40



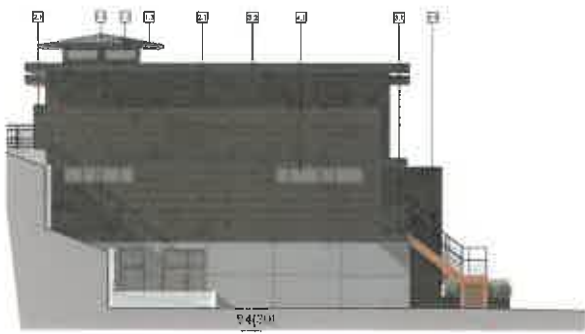
AQUILA
DAVIDSON DRIVE, WEST
VANCOUVER, BC
UNIT #4

ENTRY & BACK
ELEVATIONS

SCALE: 1:40
DATE: NOV 2014
PROJECT NO. AB4-4.03



LEFT ELEVATION



RIGHT ELEVATION

AQUILA	
GENERAL NOTES	
1.	See General Notes
2.	See General Notes
3.	See General Notes
4.	See General Notes
5.	See General Notes
6.	See General Notes
7.	See General Notes
8.	See General Notes
9.	See General Notes
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12.	See General Notes
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43.	See General Notes
44.	See General Notes
45.	See General Notes
46.	See General Notes
47.	See General Notes
48.	See General Notes
49.	See General Notes
50.	See General Notes

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STERLING PACIFIC
10000 W. 10th Avenue
DENVER, CO 80202
303.733.8800



PROJECT
AQUILA
DARFOLD DRIVE, WEST
WANCHESTER, NC
UNIT 04

DESCRIPTION
**LEFT & RIGHT
ELEVATIONS**

PROJECT NO. 10000
SHEET NO. **AB4-**
DATE 08/14/2018 **4.04**



FRONT ENTRY ELEVATION - CAMERA VIEW



BACK ELEVATION - CAMERA VIEW

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PREPARED BY
 Sterling Pacific
 1000 West Broadway
 Vancouver, BC V6H 4G6
 TEL: 604.681.1111



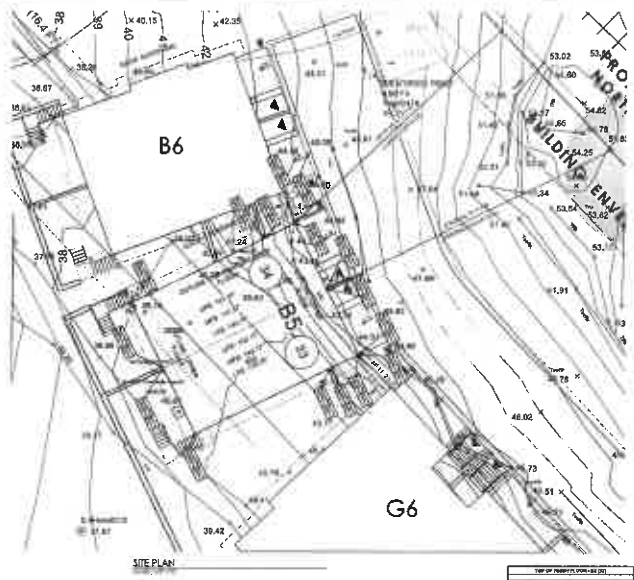
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 (UNIT) B4

VIEWPORT
 FRONT AND
 BACK
 ELEVATIONS -
 CAMERA VIEW

PROJECT	NO.	DATE
	AB4-	
	4.05	

UNIT	NO.	AREA (SQ. FT.)	AREA (SQ. METERS)	PERCENTAGE	TOTAL
1	1	1000	92.9	10.0	1000
2	2	2000	185.8	20.0	2000
3	3	3000	278.7	30.0	3000
4	4	4000	371.6	40.0	4000
5	5	5000	464.5	50.0	5000
6	6	6000	557.4	60.0	6000
7	7	7000	650.3	70.0	7000
8	8	8000	743.2	80.0	8000
9	9	9000	836.1	90.0	9000
10	10	10000	929.0	100.0	10000
TOTAL		10000	929.0	100.0	10000

UNIT	NO.	AREA (SQ. FT.)	AREA (SQ. METERS)	PERCENTAGE	TOTAL
11	11	11000	1020.9	110.0	11000
12	12	12000	1113.8	120.0	12000
13	13	13000	1206.7	130.0	13000
14	14	14000	1299.6	140.0	14000
15	15	15000	1392.5	150.0	15000
16	16	16000	1485.4	160.0	16000
17	17	17000	1578.3	170.0	17000
18	18	18000	1671.2	180.0	18000
19	19	19000	1764.1	190.0	19000
20	20	20000	1857.0	200.0	20000
TOTAL		20000	1857.0	200.0	20000



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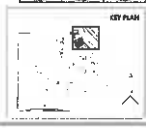
PROJECT: AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC



UNIT B5

SITE PLAN

TOP OF PROPOSED CONCRETE SLAB		
NO.	AREA	PERCENTAGE
1	1000	10.0
2	2000	20.0
3	3000	30.0
4	4000	40.0
5	5000	50.0
6	6000	60.0
7	7000	70.0
8	8000	80.0
9	9000	90.0
10	10000	100.0



PROJECT: AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

SCALE: 1/8" = 1'-0"
DATE: 2010.08.04

SHEET: ABS-1.01

GENERAL NOTES						
1.	ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN METERS.					
2.	EXISTING BUILDINGS TO BE DEMOLISHED AND REPLACED WITH NEW BUILDINGS.					
3.	ALL NEW CONSTRUCTION TO BE IN ACCORDANCE WITH THE 2015 BC BUILDING ACT AND REGULATIONS.					
4.	THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE RELEVANT AUTHORITIES.					
5.	THE PROPOSED BUILDINGS SHALL BE DESIGNED TO MEET ALL APPLICABLE STANDARDS AND CODES.					
6.	THE DEVELOPER SHALL PROVIDE ADEQUATE ACCESS TO ALL SERVICES AND UTILITIES.					
7.	THE PROPOSED LANDSCAPING SHALL BE DESIGNED TO ENHANCE THE APPEARANCE AND FUNCTION OF THE SITE.					
8.	ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THE ATTACHED UTILITIES PLAN.					
9.	THE DEVELOPER SHALL MAINTAIN ALL EXISTING TREES AND VEGETATION TO REMAIN.					
10.	THE PROPOSED ROADWAY SHALL BE DESIGNED TO MEET ALL APPLICABLE STANDARDS AND CODES.					

GENERAL NOTES (continued)						
11.	ALL PROPOSED CONSTRUCTION SHALL BE TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.					
12.	THE DEVELOPER SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING UTILITIES AND SERVICES.					
13.	ALL PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND CODES.					
14.	THE DEVELOPER SHALL PROVIDE ADEQUATE ACCESS TO ALL SERVICES AND UTILITIES.					
15.	ALL PROPOSED CONSTRUCTION SHALL BE DESIGNED TO MEET ALL APPLICABLE STANDARDS AND CODES.					
16.	THE DEVELOPER SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING TREES AND VEGETATION.					
17.	ALL PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND CODES.					
18.	THE DEVELOPER SHALL PROVIDE ADEQUATE ACCESS TO ALL SERVICES AND UTILITIES.					
19.	ALL PROPOSED CONSTRUCTION SHALL BE DESIGNED TO MEET ALL APPLICABLE STANDARDS AND CODES.					
20.	THE DEVELOPER SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING TREES AND VEGETATION.					



SITE PLAN

OWNER	
NAME	STERLING PACIFIC
ADDRESS	1000 WEST 8TH AVENUE, VANCOUVER, BC V6E 1V5
CONTACT	416 594 5555



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REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	REVISIONS AS PER COMMENTS
3	REVISIONS AS PER COMMENTS
4	REVISIONS AS PER COMMENTS
5	REVISIONS AS PER COMMENTS

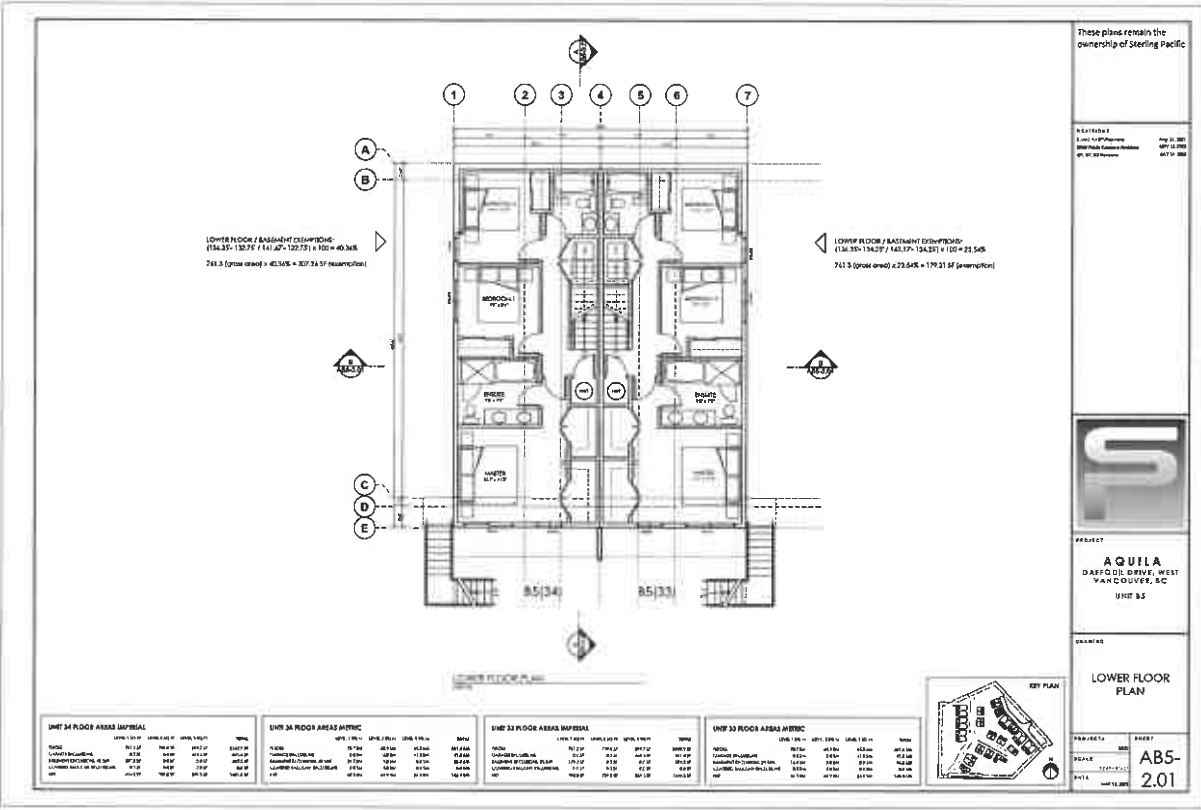


AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B5

DRAWN BY: [Redacted]

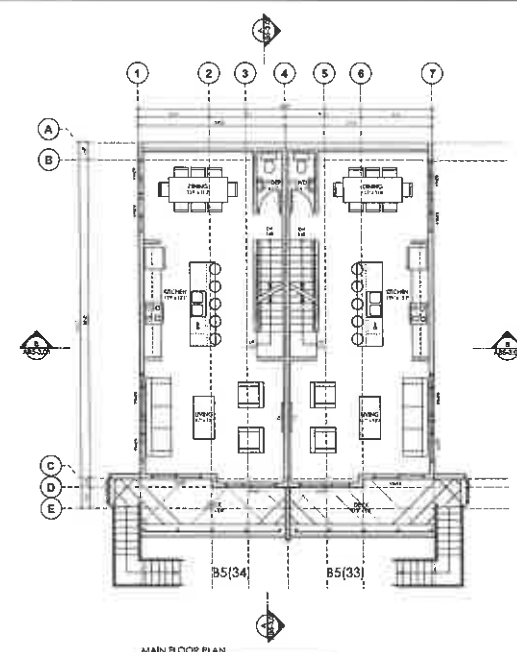
SITE PLAN

NO. 1000	EXP. 11.15.2015
SCALE	AS SHOWN
DATE	11.15.2015
PROJECT	AB5-1.01



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REV 17/04/11
1. Add 2nd Floor
2. Update Common Areas
3. Add 3rd Floor
4. Add 4th Floor



MAIN FLOOR PLAN



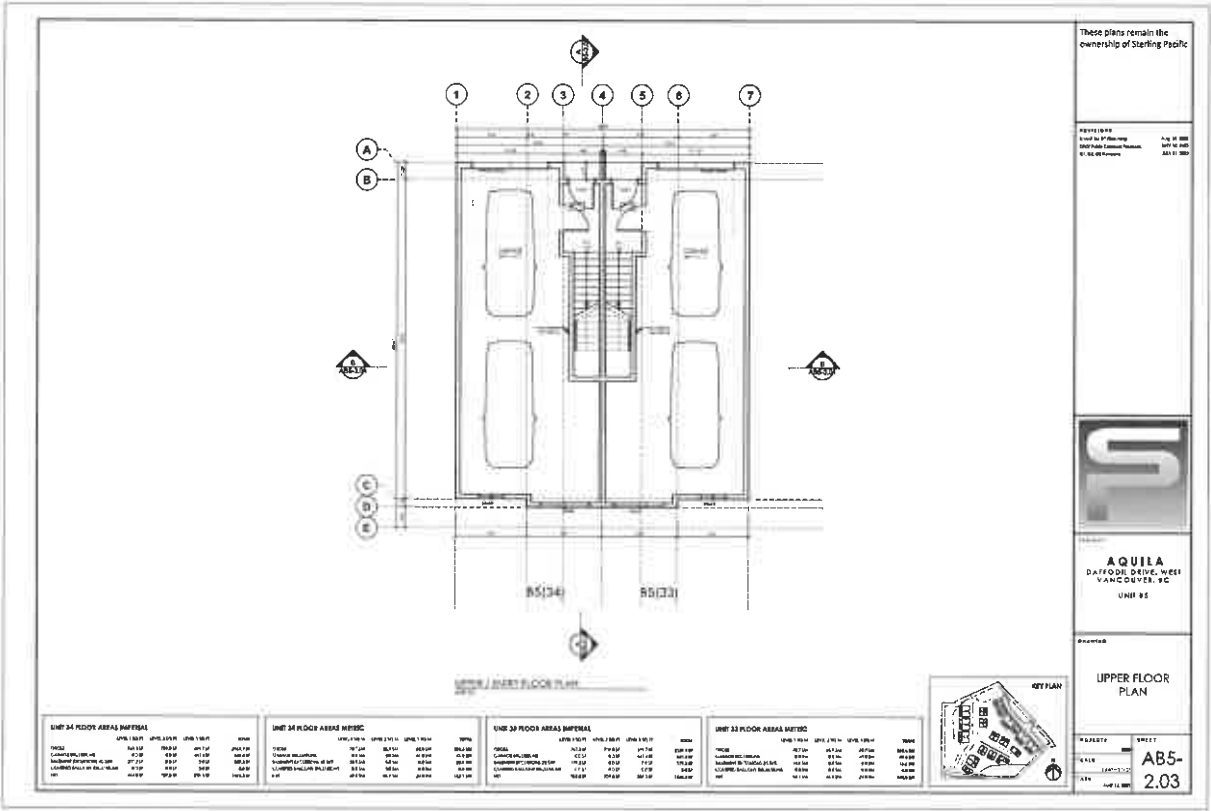
PRODUCT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B5

DESCRIPTION
**MAIN FLOOR
PLAN**

UNIT 54 FLOOR AREAS IMPERIAL					UNIT 54 FLOOR AREAS METRIC					UNIT 33 FLOOR AREAS IMPERIAL					UNIT 33 FLOOR AREAS METRIC									
ROOM	AREA	PERIMETER	UNIT	NOTE	ROOM	AREA	PERIMETER	UNIT	NOTE	ROOM	AREA	PERIMETER	UNIT	NOTE	ROOM	AREA	PERIMETER	UNIT	NOTE					
RECEPTION	100.00	100.00	100.00		RECEPTION	76.21	100.00	100.00		RECEPTION	100.00	100.00	100.00		RECEPTION	100.00	100.00	100.00		RECEPTION	100.00	100.00	100.00	
CONFERENCE	200.00	200.00	200.00		CONFERENCE	150.00	200.00	200.00		CONFERENCE	200.00	200.00	200.00		CONFERENCE	200.00	200.00	200.00		CONFERENCE	200.00	200.00	200.00	
OFFICE	300.00	300.00	300.00		OFFICE	250.00	300.00	300.00		OFFICE	300.00	300.00	300.00		OFFICE	300.00	300.00	300.00		OFFICE	300.00	300.00	300.00	
HALLWAY	50.00	50.00	50.00		HALLWAY	40.00	50.00	50.00		HALLWAY	50.00	50.00	50.00		HALLWAY	50.00	50.00	50.00		HALLWAY	50.00	50.00	50.00	
STAIR	10.00	10.00	10.00		STAIR	10.00	10.00	10.00		STAIR	10.00	10.00	10.00		STAIR	10.00	10.00	10.00		STAIR	10.00	10.00	10.00	



DATE: 17/04/11
SCALE: AS SHOWN
SHEET: 2.02



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PROJECT NO. 1-2-03-002
 DATE OF P.L. 08/11/03
 UNIT NO. 22
 UNIT NO. 22
 UNIT NO. 22



AQUILA
 2440 DEER DRIVE, WEST
 VANCOUVER, BC
 UNIT 22

UPPER FLOOR
 UPPER FLOOR
 PLAN



UNIT 24 FLOOR AREAS IMPERIAL

AREA	UNIT 24	UNIT 24	UNIT 24	UNIT 24
STAIR	10.00	10.00	10.00	10.00
LANDING	10.00	10.00	10.00	10.00
MECHANICAL	10.00	10.00	10.00	10.00
STAIR	10.00	10.00	10.00	10.00
LANDING	10.00	10.00	10.00	10.00
MECHANICAL	10.00	10.00	10.00	10.00

UNIT 24 FLOOR AREAS METRIC

AREA	UNIT 24	UNIT 24	UNIT 24	UNIT 24
STAIR	32.78	32.78	32.78	32.78
LANDING	32.78	32.78	32.78	32.78
MECHANICAL	32.78	32.78	32.78	32.78
STAIR	32.78	32.78	32.78	32.78
LANDING	32.78	32.78	32.78	32.78
MECHANICAL	32.78	32.78	32.78	32.78

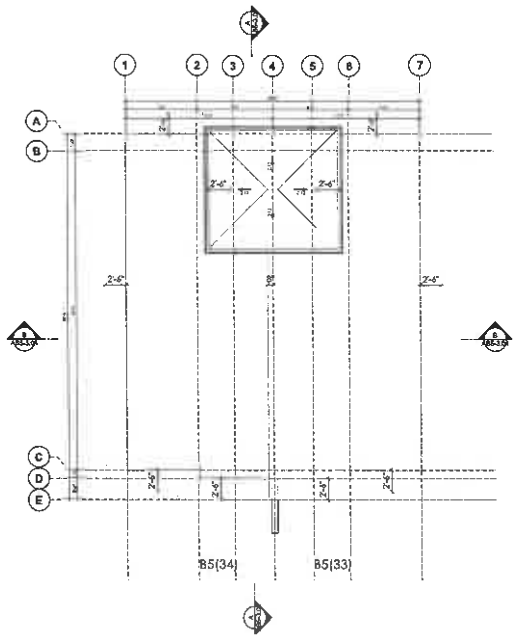
UNIT 23 FLOOR AREAS IMPERIAL

AREA	UNIT 23	UNIT 23	UNIT 23	UNIT 23
STAIR	10.00	10.00	10.00	10.00
LANDING	10.00	10.00	10.00	10.00
MECHANICAL	10.00	10.00	10.00	10.00
STAIR	10.00	10.00	10.00	10.00
LANDING	10.00	10.00	10.00	10.00
MECHANICAL	10.00	10.00	10.00	10.00

UNIT 23 FLOOR AREAS METRIC

AREA	UNIT 23	UNIT 23	UNIT 23	UNIT 23
STAIR	32.78	32.78	32.78	32.78
LANDING	32.78	32.78	32.78	32.78
MECHANICAL	32.78	32.78	32.78	32.78
STAIR	32.78	32.78	32.78	32.78
LANDING	32.78	32.78	32.78	32.78
MECHANICAL	32.78	32.78	32.78	32.78

DATE: 08/11/03
 UNIT: 22
 SCALE: 1/8" = 1'-0"



ROOF PLAN



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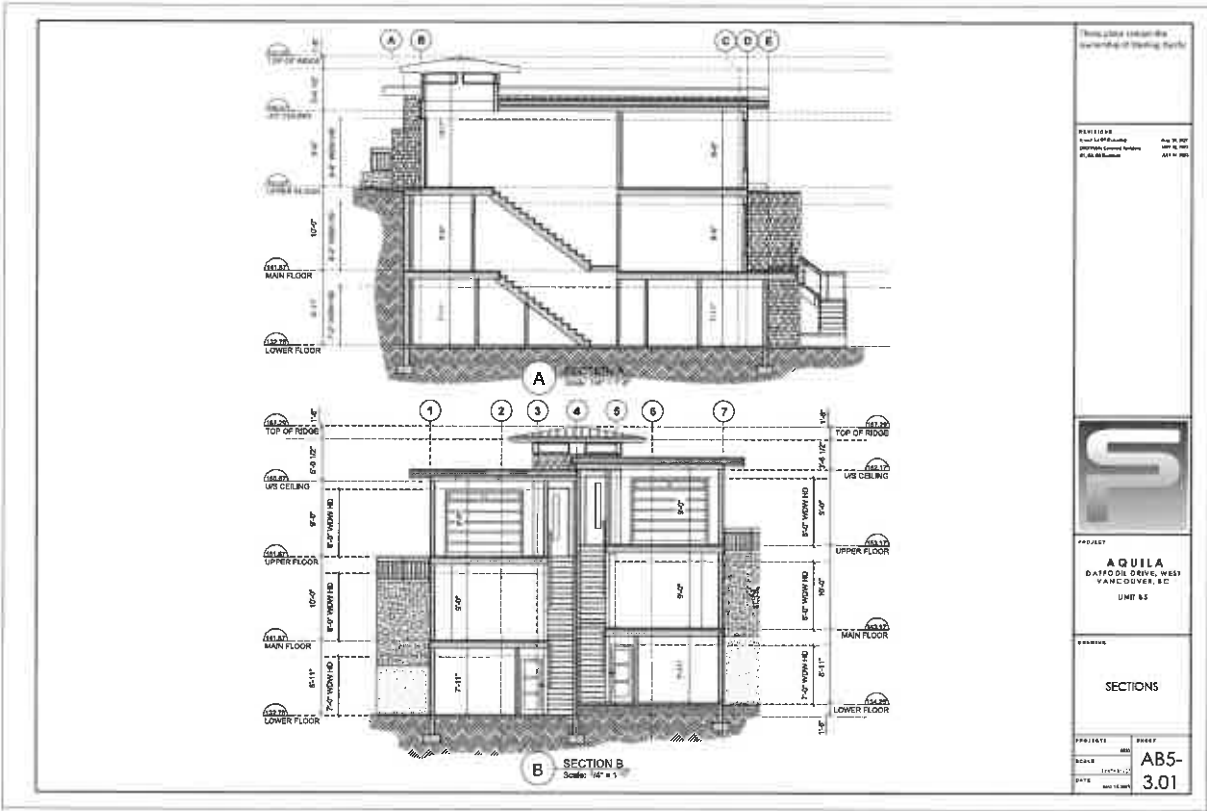
PREPARED BY
 1102 J. St. Vancouver, B.C. V6C 2K1
 604-681-1111
 11/17/2004



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, B.C.
 UNIT 62

DRAWING
 ROOF PLAN

PROJECT SHEET
 SCALE AB5-
 DATE 04/13/04 2.04



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REVISED
 1.00 1/27/2010
 2.00 02/02/2011
 3.00 02/02/2011



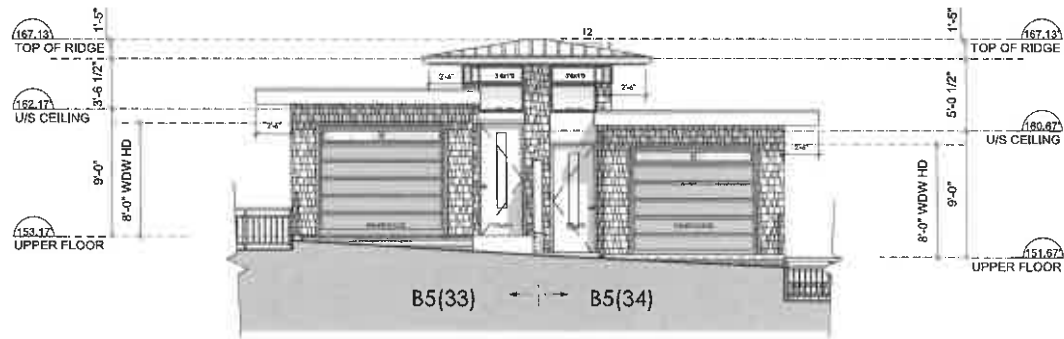
PROJECT
AQUILA
 D'ARFIO DR. DRIVE, WEST
 VANCOUVER, B.C.
 UNIT 55

DRAWING
SECTIONS

PROJECT	NO.	SHEET
SCALE	1/2" = 1'	AB5-
DATE	02/02/2011	3.01

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DR/Reviewing	Aug. 31, 2021
DRCD Public Comment Reviewers	MAY 12, 2023
G1, G2, G3 Reviewers	MAY 31, 2023



ENTRY ELEVATION
UNIT B5

SPATIAL SEPARATION CALCULATION (CBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	381.09 SF (35.40 SM)
LEADING DISTANCE:	33.65' (10.26 M)
UNPROTECTED OPENING:	211.08 SF (19.60 SM)
PROPOSED OPENING:	55.38%
PERMITTED OPENINGS:	>100%



LOWER FLOOR / BASEMENT EXEMPTIONS:
(136.35'- 132.75' / 141.67'- 132.75') x 100 = 40.36%

761.3 (gross area) x 40.36% = 307.26 SF [exemption]

BACK ELEVATION
UNIT B5

LOWER FLOOR / BASEMENT EXEMPTIONS:
(136.35'- 134.25' / 143.17'- 134.25') x 100 = 23.54%

761.3 (gross area) x 23.54% = 179.21 SF (exemption)

PROJECT

AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B5

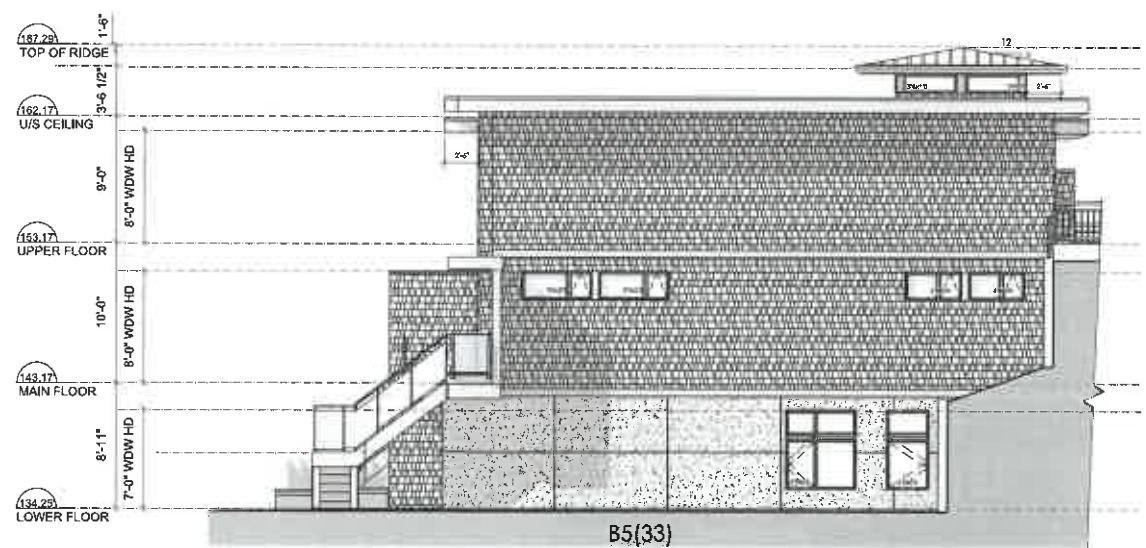
DRAWING

**ENTRY & BACK
ELEVATIONS B/W**

PROJECT	SHEET
9000	AB5-
SCALE	4.01
DATE	MAY 12, 2023

These plans remain the ownership of Sterling Pacific

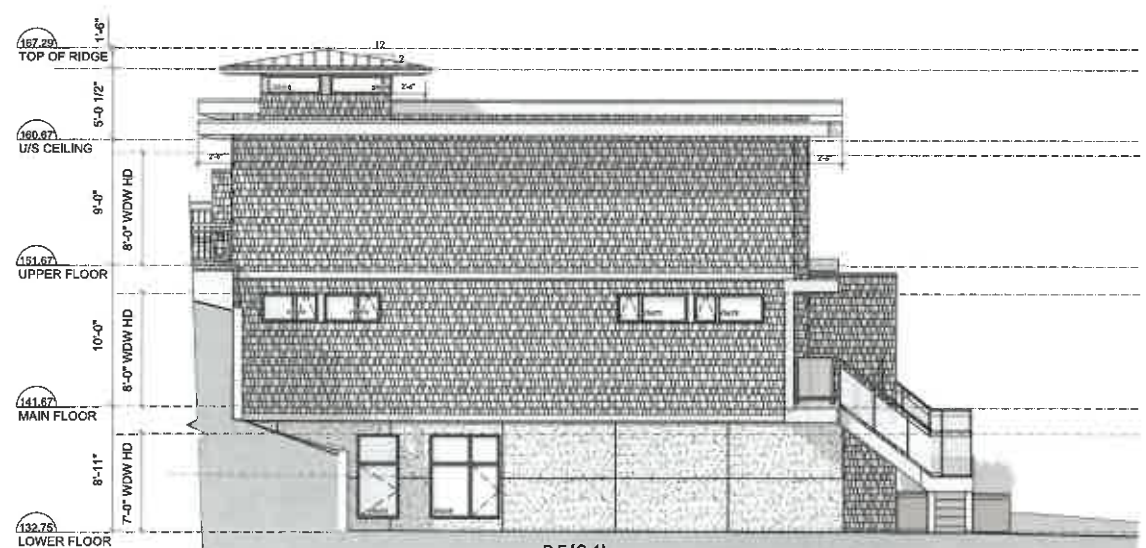
REVISIONS	
Issued for O/P/Revisions	Aug 31, 2021
DRG/ Public Comment Revisions	MAY 12, 2022
01, 02, 03 Revisions	JULY 9, 2022



LEFT ELEVATION
UNIT B5

Spatial Separation Calculation (BCBC Table 3.2.3.1-D)

EXPOSED BUILDING FACE:	1126.99 SF (104.70 SM)
LIMITING DISTANCE:	5.62' (1.71 M)
UNPROTECTED OPENING:	91 SF (8.45 SM)
PROPOSED OPENING:	8.08%
PERMITTED OPENINGS:	17.11%



RIGHT ELEVATION
UNIT B5

Spatial Separation Calculation (BCBC Table 3.2.3.1-D)

EXPOSED BUILDING FACE:	1155.14 SF (107.32 SM)
LIMITING DISTANCE:	4.00' (1.22 M)
UNPROTECTED OPENING:	91 SF (8.45 SM)
PROPOSED OPENING:	7.88%
PERMITTED OPENINGS:	14.1%

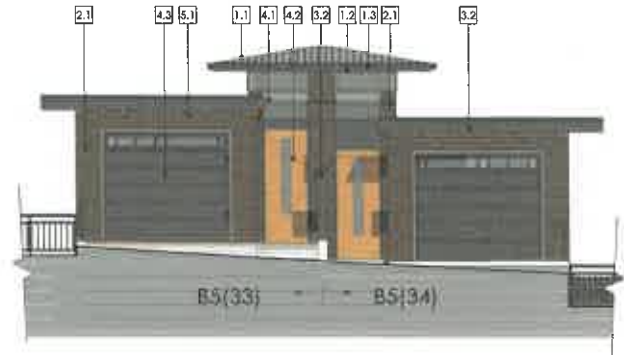


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B5

DRAWING
**LEFT & RIGHT
ELEVATIONS B/W**

PROJECT#	SHEET
800	AB5-
SCALE 1/4" = 1'-0"	4.02
DATE MAY 12, 2022	

These plans remain the ownership of Sterling Pacific



ENTRY ELEVATION
UNIT B5



BACK ELEVATION
UNIT B5



HARDY PANEL



FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON BEALS



STONE CLADDING



METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124 - 10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gr
1.2	Fibre Cement Soffit	Rockport BM - HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Beals
2.2	Stilewood	Light mid
2.3	Hardy Panel	
2.4	Iron Sided	
2.5	None	Various Panels
3.1	Upstand / Balcony c/w	Wrought Iron BM - 2124 - 10
3.2	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
4.1	Charcoal Gray	Charcoal Gray
4.2	Stilewood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut	Stilewood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
5.1	Stilewood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut	Stilewood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut
5.2	Charcoal Gray	Charcoal Gray
5.3	Charcoal Gray	Charcoal Gray

REVISIONS	
Revised for DP/PA/202402	Aug. 31, 2024
DRG Public Comment Revisions	MAY 12, 2025
G1, G2, G3 Revisions	JULY 31, 2025



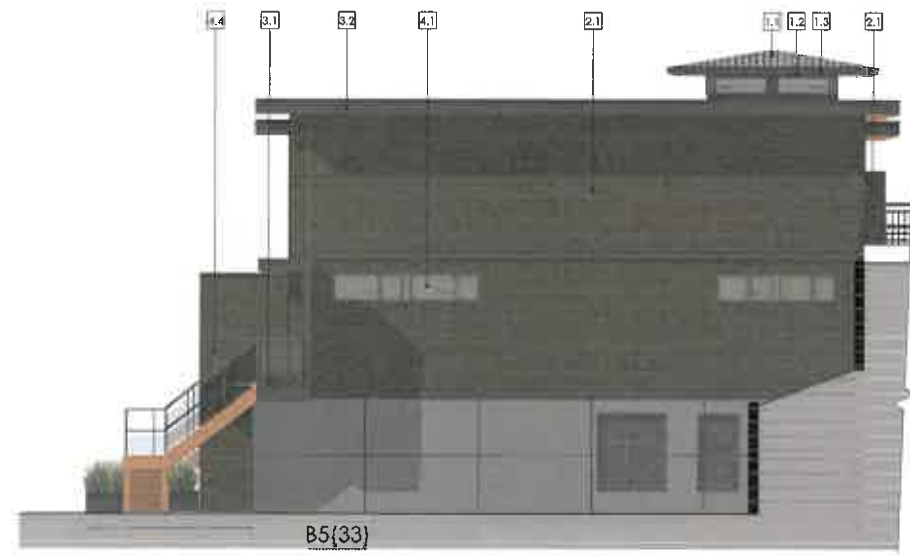
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B5

DRAWING
**ENTRY & BACK
ELEVATIONS**

PROJECT#	SHEET
8000	AB5- 4.03
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2025

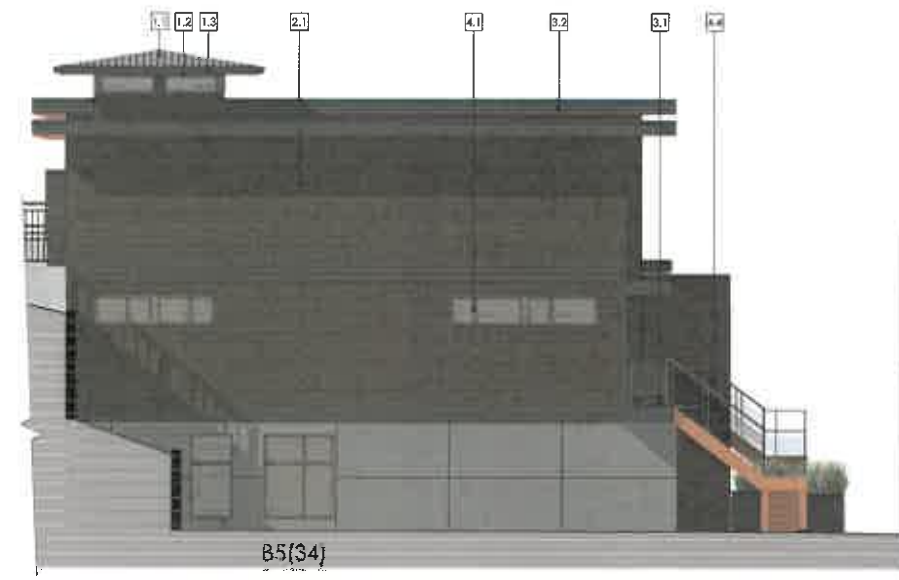
These plans remain the ownership of Sterling Pacific

REVISIONS		
Noted for DP/Razib/ND	Aug 31, 2021	
DSD Public Comment Revisions	MAY 12, 2023	
01, 02, 03 Revisions	JULY 31, 2023	



B5(33)

LEFT ELEVATION
UNIT B5



B5(34)

RIGHT ELEVATION
UNIT B5

AQUILA EXTERIOR MATERIAL SCHEDULE		
NO.	MATERIAL	COLOR
1.1	Clad "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Ironstone BM-108
1.3	Roofline	Charcoal Gray
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Slate
2.2	Not Used	
2.3	Hardy Panel	Light Mist
2.4	Not Used	
2.5	Stone	Random Granite
3.1	Wrought Iron BM-2124-10	Wrought Iron BM-2124-10
3.2	Wrought Iron BM-2124-10	Wrought Iron BM-2124-10
4.1	Charcoal Gray	Charcoal Gray
4.2	Sliverwood - Old Master Gal Steel Chw deck (top coat - Special Walnut)	Sliverwood - Old Master Gal Steel Chw deck (top coat - Special Walnut)
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
5.1	Sliverwood - Old Master Gal Steel Chw deck (top coat - Special Walnut)	Sliverwood - Old Master Gal Steel Chw deck (top coat - Special Walnut)
5.2	Charcoal Gray	Charcoal Gray
5.3	Charcoal Gray	Charcoal Gray



PROJECT

AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B5

DRAWING

LEFT & RIGHT
ELEVATIONS

PROJECT# 6000 SHEET

SCALE 1/4" = 1'-0" **AB5-**

DATE MAY 12, 2023 **4.04**

These plans remain the ownership of Sterling Pacific



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT B5



BACK ELEVATION - CAMERA VIEW
UNIT B5

REVISIONS
Issued for DPR/Marketing Aug 31, 2021
DRD Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B5

DRAWING
FRONT & BACK
ELEVATIONS -
CAMERA VIEW

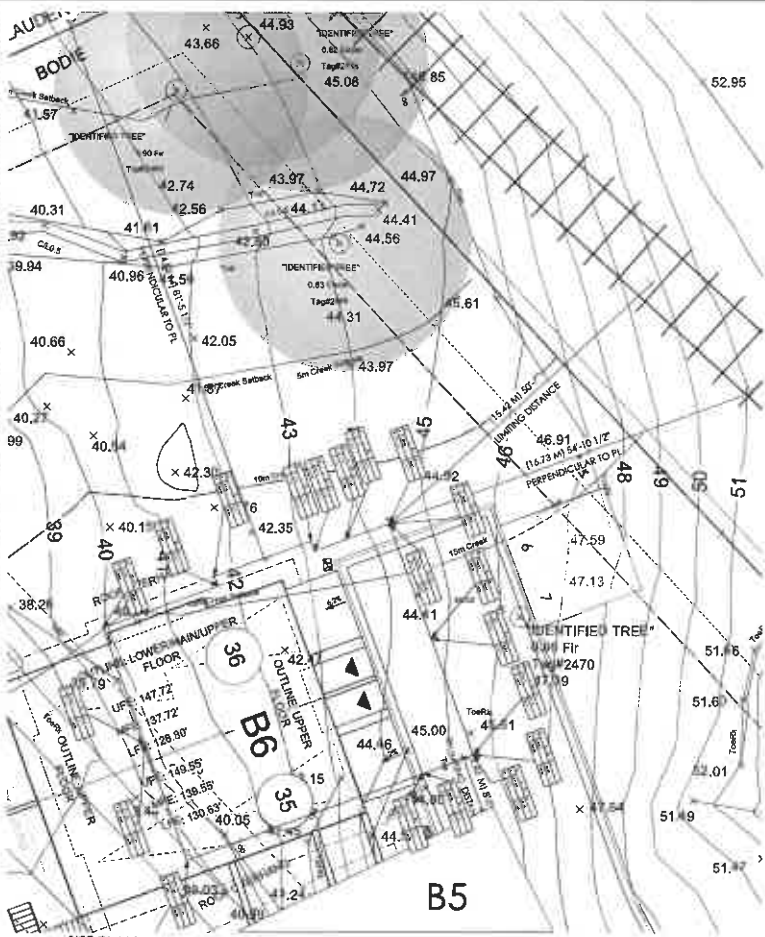
PROJECT#	0000	SHEET
SCALE	N.T.S.	AB5-
DATE	JULY 12, 2023	4.05

These plans remain the ownership of Sterling Pacific

REVISION 4
 Issued for DRG/Planning Aug 31, 2021
 DRG/Plan Comment Resolves MAY 12, 2023
 01, 02, 03 Resolves JULY 31, 2023

Station #	Elevation	#	Elevation	#	Distance
1	131.00	1	131.00	1	185.32
2	131.00	2	130.28	14.83	1554.61
3	129.25	4	128.31	136.27	204.42
4	126.21	6	127.60	327	682.36
5	127.03	8	127.80	337.81	0.00
6	127.80	7	128.69	311.81	6.54
7	129.86	8	129.96	318.81	0.00
8	129.86	8	129.86	318.81	0.00
9	129.86	5	141.11	145.40	17.50
10	141.11	10	141.11	145.40	0.00
11	141.11	10	141.11	145.40	17.50
12	141.11	10	141.11	145.40	0.00
13	141.11	10	141.11	145.40	0.00
14	141.11	10	141.11	145.40	0.00
15	137.82	16	127	137	0.00
16	127.0	17	126	121	26.96
17	126.08	18	123.62	125	17.80
18	123.62	19	123.62	125	9.99
19	123.62	20	122	122	17.80
20	122.05	1	121	126.53	17.50
21	122.05	1	121	126.53	2214.11
22	122.05	1	121	126.53	2183.21
23	122.05	1	121	126.53	152.77
24	122.05	1	121	126.53	152.77

Station #	Elevation	#	Elevation	#	Distance
1	128.47	1	128.47	1	192.11
2	128.47	2	128.47	14.83	1878.71
3	128.47	4	128.47	136.27	192.71
4	128.47	6	128.47	327	820.99
5	128.47	8	128.47	337.81	0.00
6	128.47	7	128.69	311.81	6.54
7	128.47	8	128.47	318.81	0.00
8	128.47	8	128.47	318.81	0.00
9	128.47	5	141.11	145.40	17.50
10	141.11	10	141.11	145.40	0.00
11	141.11	10	141.11	145.40	17.50
12	141.11	10	141.11	145.40	0.00
13	141.11	10	141.11	145.40	0.00
14	141.11	10	141.11	145.40	0.00
15	137.82	16	127	137	0.00
16	127.0	17	126	121	26.96
17	126.08	18	123.62	125	17.80
18	123.62	19	123.62	125	9.99
19	123.62	20	122	122	17.80
20	122.05	1	121	126.53	17.50
21	122.05	1	121	126.53	2214.11
22	122.05	1	121	126.53	2183.21
23	122.05	1	121	126.53	152.77
24	122.05	1	121	126.53	152.77



SITE PLAN
SCALE 1/8"=10'

TOP OF FINISH FLOOR - B6 (B5)		
Letter	Main	Strip
39.82 m	42.83 m	45.58 m
130.82	139.83	149.83

TOP OF FINISH FLOOR - B8 (B5)		
Letter	Main	Strip
39.28 m	41.88 m	45.03 m
128.87	137.72	147.72



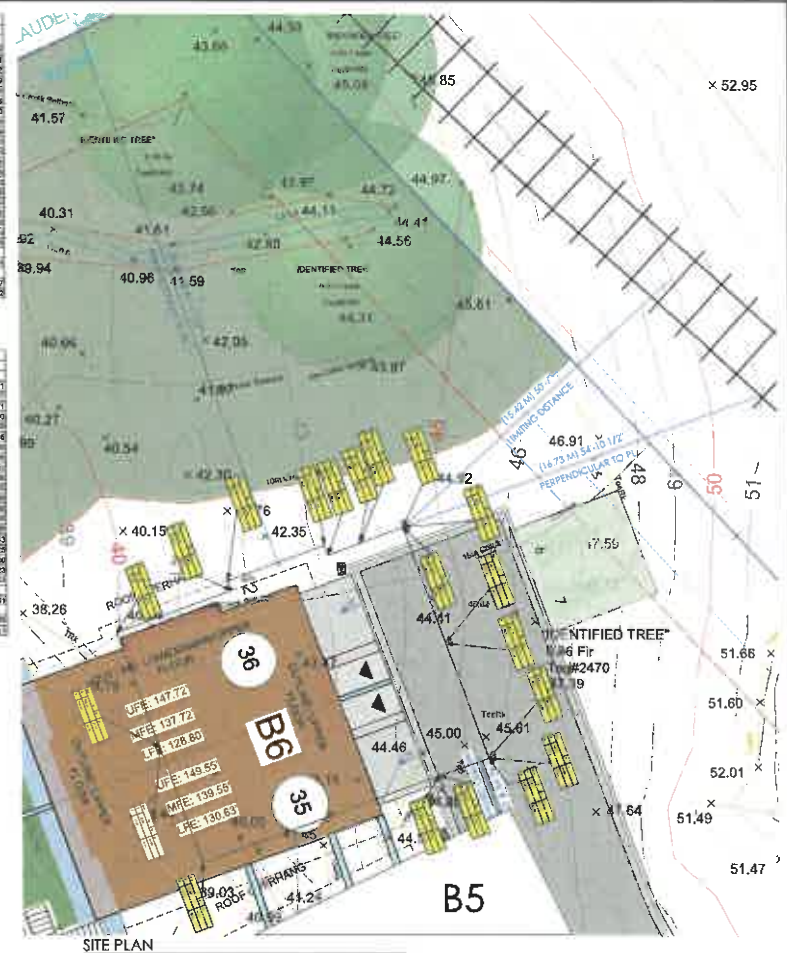
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B6

DRAWING
SITE PLAN

PROJECT# 8000
 SCALE 1/8" = 10'
 DATE MAY 12, 2023
 SHEET **AB6-1.01**

AVERAGE EXISTING GRADE CALCULATION					
#	Elevation	Ref #	Elevation	Elevation	Avg x Distance
1	131.06	2	131.1	131.21	194.2
2	131.32	3	131.3	132.1	1984.1
3	130.21	4	130.3	132.2	294.42
4	130.31	5	131.50	131.7	682.39
5	131.7	6	131.6	131.85	0.00
6	131.7	7	138.66	138.52	909.22
7	130.88	8	133.84	133.84	0.00
8	135.84	9	135.8	135.86	0.00
9	133.84	10	141.11	142.45	17.50
10	141.11	11	141.11	141.11	0.00
11	141.11	12	144	143	17.50
12	144.55	13	144	144	0.00
13	144.55	14	144	144	0.00
14	144.55	15	137.81	141	7.54
15	137.81	16	137	137	0.00
16	137.81	17	128.98	131.28	36.00
17	128.98	18	123.82	125	17.00
18	123.82	19	123.82	123.82	0.00
19	123.82	20	122.28	122.59	19.50
20	122.28	1	131.06	128.53	17.50
Total					480.00
Avg Existing Grade					132.77
Max. Existing Ft.					28.85

AVERAGE FINISHED GRADE CALCULATION					
#	Elevation	Ref #	Elevation	Elevation	Avg x Distance
1	128.47	21	128.4	128.4	192.21
2	128.47	3	128.4	128.47	14.85
3	128.47	4	128.4	128.4	162.71
4	128.47	5	128.4	128.4	4.83
5	128.47	6	130.84	131.1	0.00
6	132.80	7	136	136	3.54
7	132.80	8	144	140.82	0.00
8	144.55	9	147.3	145.9	0.00
9	147.3	10	147.3	147	17.50
10	147.3	11	149.2	148.31	0.00
11	149.2	12	149.22	149	17.50
12	149.22	13	150	150	0.00
13	148.58	14	148	148	0.00
14	148.58	15	138.52	139	7.00
15	138.52	16	135	134.41	0.00
16	138.52	17	135	133	35.96
17	138.52	18	135	135.30	2289.25
18	138.52	19	128.47	128	9.00
19	128.47	20	128.4	128.4	17.50
20	128.47	1	128.4	128.4	17.50
Total					160.00
Avg Finish Grade					134
Max. Finish Ft.					29.85



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - B6 (B5)		
Lower	Main	Upper
89.82 m	29.58 m	68.58 m
130.67	139.58	149.55

TOP OF FINISH FLOOR - B6 (B6)		
Lower	Main	Upper
36.29 m	41.85 m	59.01 m
138.89	137.72	147.72



These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for CIP/Permitting
DRC/Public Comment Revisions
01, 02, 03 Revisions

Aug. 31, 2021
MAY 12, 2023
JULY 31, 2023



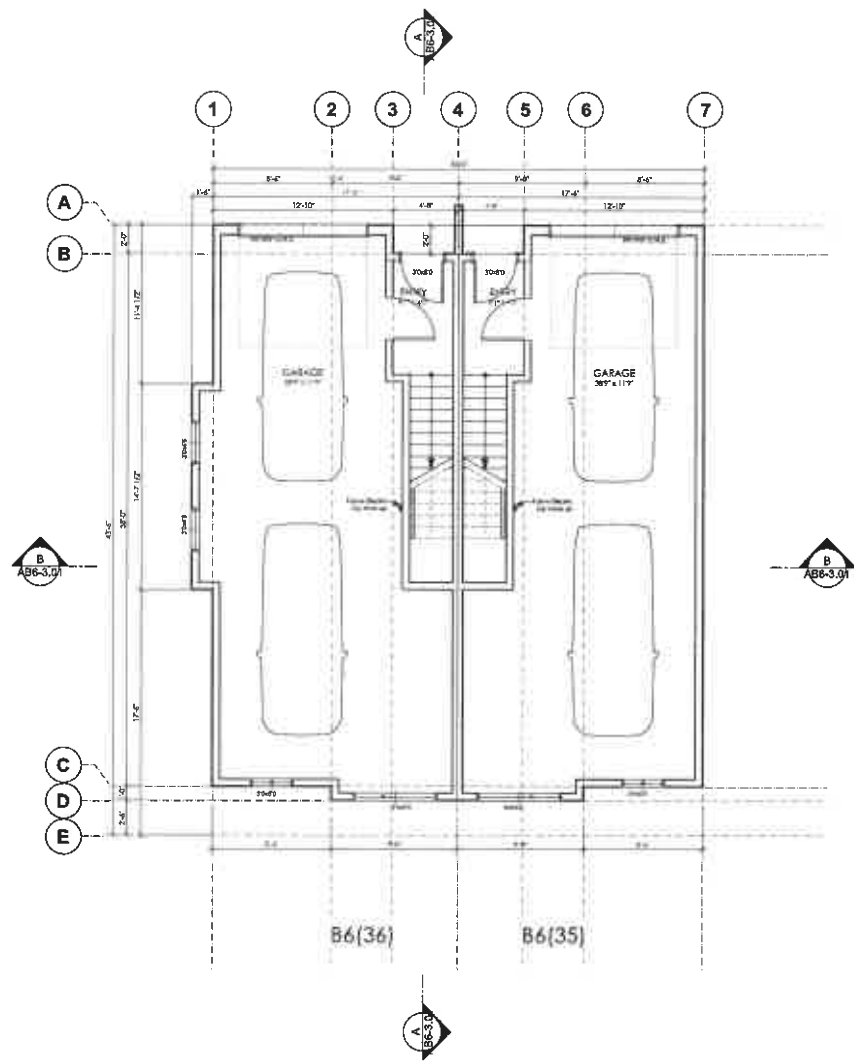
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B6

DRAWING
SITE PLAN

PROJECT# 8030
SCALE 1/8" = 1'-0"
DATE MAY 12, 2023
SHEET
AB6-1.01

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Receiving Aug 31, 2021
 CRD Public Consult Review MAY 12, 2023
 01, 02, 03 Revisions JUL 31, 2023

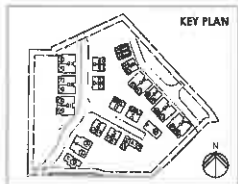


UPPER / ENTRY FLOOR PLAN
 UNIT B6



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B6

DRAWING
 UPPER FLOOR
 PLAN



UNIT 36 FLOOR AREAS IMPERIAL

	LEVEL 1 150 FT	LEVEL 2 350 FT	LEVEL 3 550 FT	TOTAL
GROSS	783.2 SF	750.5 SF	721.4 SF	2255.1 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS 44.50%	348.3 SF	0.0 SF	0.0 SF	348.3 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	434.7 SF	750.5 SF	280.3 SF	1465.5 SF

UNIT 36 FLOOR AREAS METRIC

	LEVEL 1 50 M	LEVEL 2 100 M	LEVEL 3 150 M	TOTAL
GROSS	73.8 SA	67.9 SA	67.0 SA	208.7 SA
GARAGE EXCLUSIONS	0.0 SA	0.0 SA	41.0 SA	41.0 SA
BASEMENT EXCLUSIONS 44.50%	32.4 SA	0.0 SA	0.0 SA	32.4 SA
COVERED BALCONY EXCLUSIONS	0.0 SA	0.0 SA	0.0 SA	0.0 SA
NET	40.4 SA	67.9 SA	26.2 SA	134.5 SA

UNIT 35 FLOOR AREAS IMPERIAL

	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	711.2 SF	700.0 SF	677.7 SF	2110.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS 23.99%	165.6 SF	0.0 SF	0.0 SF	165.6 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	375.6 SF	700.0 SF	236.4 SF	1312.0 SF

UNIT 35 FLOOR AREAS METRIC

	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	65.7 SA	65.7 SA	63.6 SA	195.0 SA
GARAGE EXCLUSIONS	0.0 SA	0.0 SA	41.0 SA	41.0 SA
BASEMENT EXCLUSIONS 23.99%	15.2 SA	0.0 SA	0.0 SA	15.2 SA
COVERED BALCONY EXCLUSIONS	0.0 SA	0.0 SA	0.0 SA	0.0 SA
NET	33.5 SA	65.7 SA	24.6 SA	123.8 SA

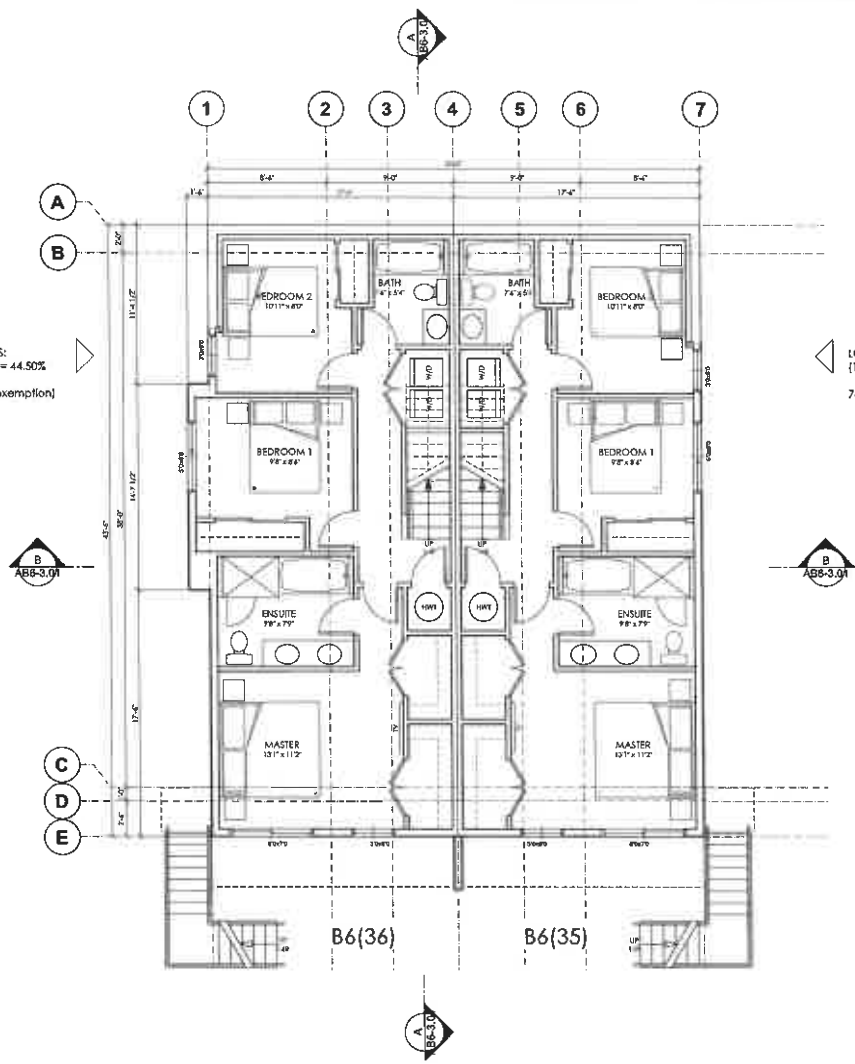
PROJECT# 8050
 SHEET
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
AB6-2.03

These plans remain the ownership of Sterling Pacific

REVISIONS	DATE
Build for DFR Review	Aug 31, 2021
DRG Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023

LOWER FLOOR / BASEMENT EXEMPTIONS:
 $(132.77' - 128.80' / 137.72' - 128.80') \times 100 = 44.50\%$
 783.2 (gross area) x 44.5% = 348.52 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 $(132.77' - 130.63' / 139.55' - 130.63') \times 100 = 23.99\%$
 761.2 (gross area) x 23.99% = 182.61 SF (exemption)

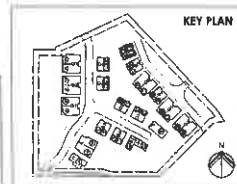


LOWER FLOOR PLAN
UNIT B6



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B6

DRAWING
LOWER FLOOR PLAN



UNIT 36 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	783.2 SF	730.9 SF	721.6 SF	2235.7 SF
GARAGE ENCLOSURES	0.0 SF	0.0 SF	41.3 SF	41.3 SF
BASEMENT EXCLUSIONS	348.3 SF	0.0 SF	0.0 SF	348.3 SF
COVERED BALCONY ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	434.7 SF	730.9 SF	280.3 SF	1446.0 SF

UNIT 36 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	72.05 M ²	67.95 M ²	67.03 M ²	207.03 M ²
GARAGE ENCLOSURES	0.0 M ²	0.0 M ²	41.0 M ²	41.0 M ²
BASEMENT EXCLUSIONS 44.50%	32.4 M ²	0.0 M ²	0.0 M ²	32.4 M ²
COVERED BALCONY ENCLOSURES	0.0 M ²	0.0 M ²	0.0 M ²	0.0 M ²
NET	40.4 M ²	67.9 M ²	28.0 M ²	136.3 M ²

UNIT 35 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	741.2 SF	769.0 SF	699.7 SF	2149.9 SF
GARAGE ENCLOSURES	0.0 SF	0.0 SF	41.3 SF	41.3 SF
BASEMENT EXCLUSIONS 23.99%	182.6 SF	0.0 SF	0.0 SF	182.6 SF
COVERED BALCONY ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	558.6 SF	769.0 SF	258.4 SF	1586.0 SF

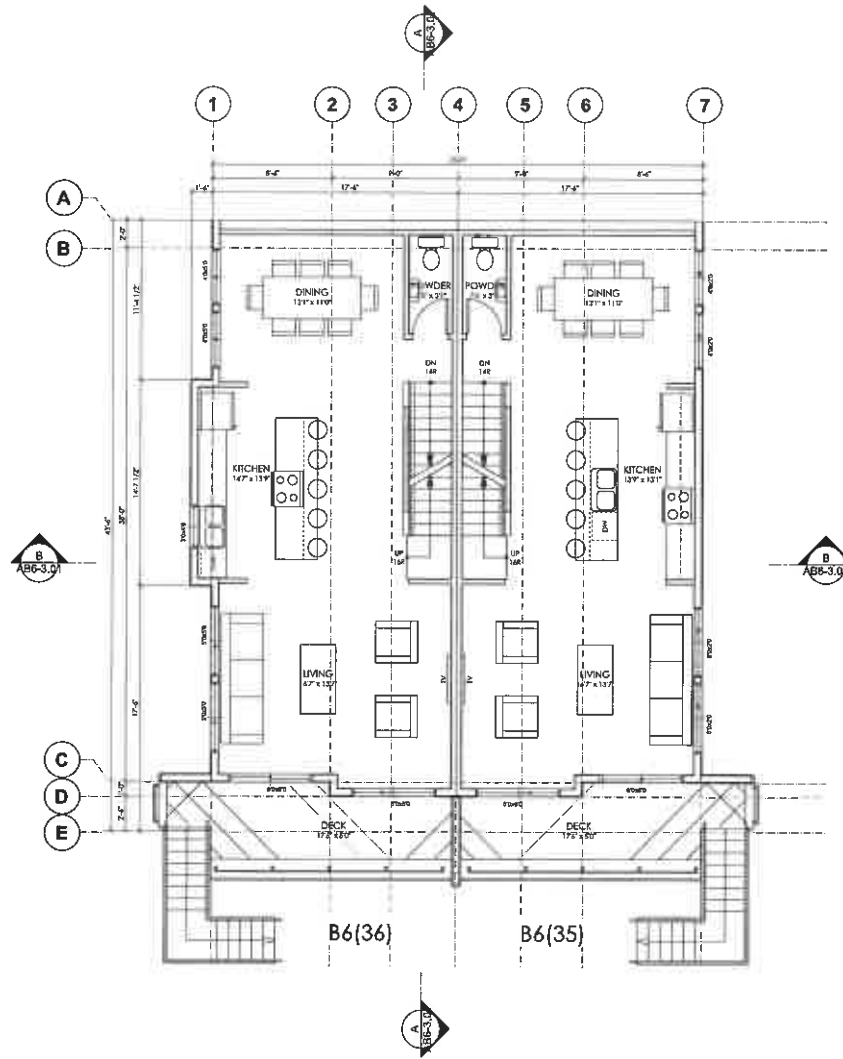
UNIT 35 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.75 M ²	709.5 M ²	65.0 M ²	201.4 M ²
GARAGE ENCLOSURES	0.0 M ²	0.0 M ²	41.0 M ²	41.0 M ²
BASEMENT EXCLUSIONS 23.99%	17.0 M ²	0.0 M ²	0.0 M ²	17.0 M ²
COVERED BALCONY ENCLOSURES	0.0 M ²	0.0 M ²	0.0 M ²	0.0 M ²
NET	53.8 M ²	669.5 M ²	24.0 M ²	147.3 M ²

PROJECT	SHEET
AB6-	2.01

SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DR Meeting Aug. 31, 2021
 SRD Public Comment Revisions MAY 12, 2022
 G1, G2, G3 Revisions JULY 31, 2022

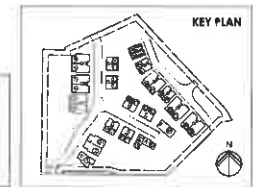


MAIN FLOOR PLAN
 UNIT B6



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B6

DRAWING
MAIN FLOOR PLAN

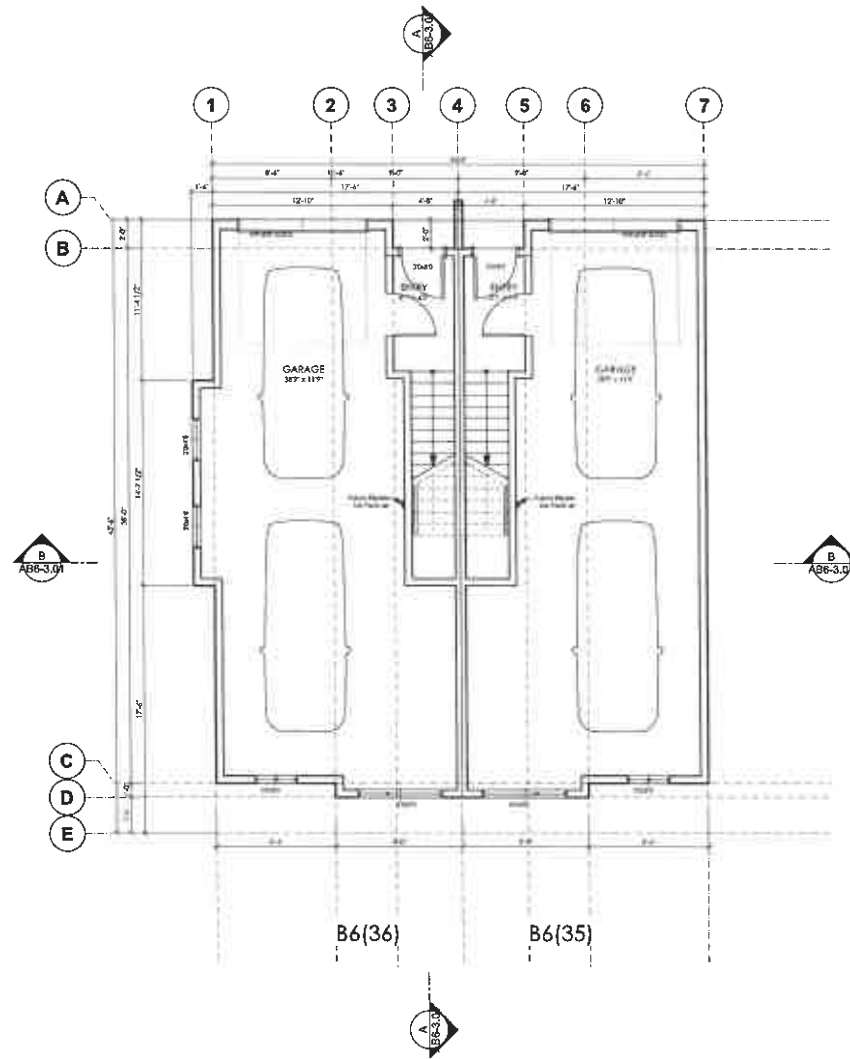


UNIT 36 FLOOR AREAS IMPERIAL					UNIT 36 FLOOR AREAS METRIC					UNIT 35 FLOOR AREAS IMPERIAL					UNIT 35 FLOOR AREAS METRIC				
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL		LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL		LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL		LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	783.2 SF	790.5 SF	721.6 SF	2295.3 SF	GROSS	72.85M	67.91M	67.05M	207.81M	GROSS	741.2 SF	709.0 SF	679.7 SF	2129.9 SF	GROSS	767.5M	687.5M	63.05M	2018.5M
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF	GARAGE EXCLUSIONS	0.05M	0.05M	41.05M	41.15M	GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF	GARAGE EXCLUSIONS	0.05M	0.05M	41.05M	41.15M
BASEMENT EXCLUSIONS 44.30%	348.5 SF	0.0 SF	0.0 SF	348.5 SF	BASEMENT EXCLUSIONS 44.30%	32.45M	0.05M	0.05M	32.55M	BASEMENT EXCLUSIONS 23.99%	182.5 SF	0.0 SF	0.0 SF	182.5 SF	BASEMENT EXCLUSIONS 23.99%	17.05M	0.05M	0.05M	17.15M
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF	COVERED BALCONY EXCLUSIONS	0.05M	0.05M	0.05M	0.15M	COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF	COVERED BALCONY EXCLUSIONS	0.05M	0.05M	0.05M	0.15M
NET	434.7 SF	790.5 SF	280.3 SF	1485.5 SF	NET	40.45M	67.91M	26.05M	134.41M	NET	578.5 SF	709.0 SF	238.4 SF	1525.9 SF	NET	53.85M	687.5M	24.05M	1425.4M

PROJECT# 8020
 SHEET
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2022
AB6-2.02

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for CP/Exhibition Aug 31, 2024
 DRCP Public Comment Review MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023

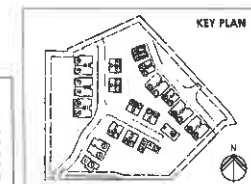


UPPER / ENTRY FLOOR PLAN
 UNIT B6



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B6

DRAWING
 UPPER FLOOR
 PLAN

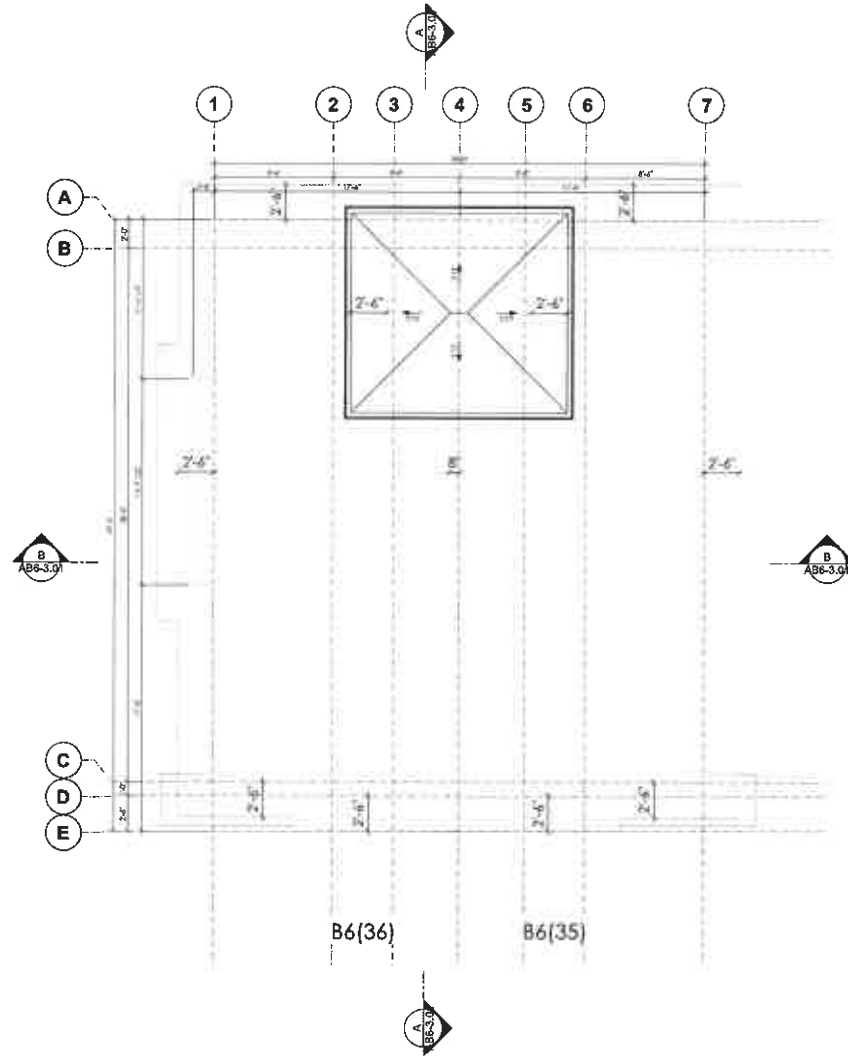


UNIT 36 FLOOR AREAS IMPERIAL					UNIT 36 FLOOR AREAS METRIC					UNIT 35 FLOOR AREAS IMPERIAL					UNIT 35 FLOOR AREAS METRIC				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL		LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL		LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL		LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	753.2 SF	730.1 SF	721.8 SF	2205.1 SF	GROSS	72.6 SQ M	67.9 SQ M	67.0 SQ M	207.5 SQ M	GROSS	741.2 SF	758.0 SF	699.7 SF	2198.9 SF	GROSS	70.7 SQ M	69.7 SQ M	65.0 SQ M	205.4 SQ M
PARKING EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF	PARKING EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.0 SQ M	41.0 SQ M	PARKING EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF	PARKING EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.0 SQ M	41.0 SQ M
BASEMENT EXCLUSIONS 44.8%	248.2 SF	0.0 SF	0.0 SF	248.2 SF	BASEMENT EXCLUSIONS 44.8%	23.4 SQ M	0.0 SQ M	0.0 SQ M	23.4 SQ M	BASEMENT EXCLUSIONS 23.9%	187.6 SF	0.0 SF	0.0 SF	187.6 SF	BASEMENT EXCLUSIONS 23.9%	17.0 SQ M	0.0 SQ M	0.0 SQ M	17.0 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF	COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF	COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	434.7 SF	730.1 SF	280.5 SF	1445.3 SF	NET	40.4 SQ M	67.9 SQ M	24.0 SQ M	132.3 SQ M	NET	578.6 SF	758.0 SF	258.4 SF	1595.0 SF	NET	53.8 SQ M	69.7 SQ M	24.0 SQ M	147.5 SQ M

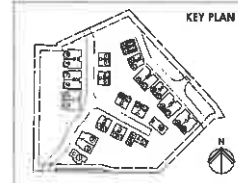
PROJECT# 8000 SHEET
 SCALE 1/4" = 1'-0" **AB6-**
 DATE MAY 12, 2023 **2.03**

These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for O/P/Revisions Aug. 31, 2021
DRCP Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023



ROOF PLAN
UNIT B6



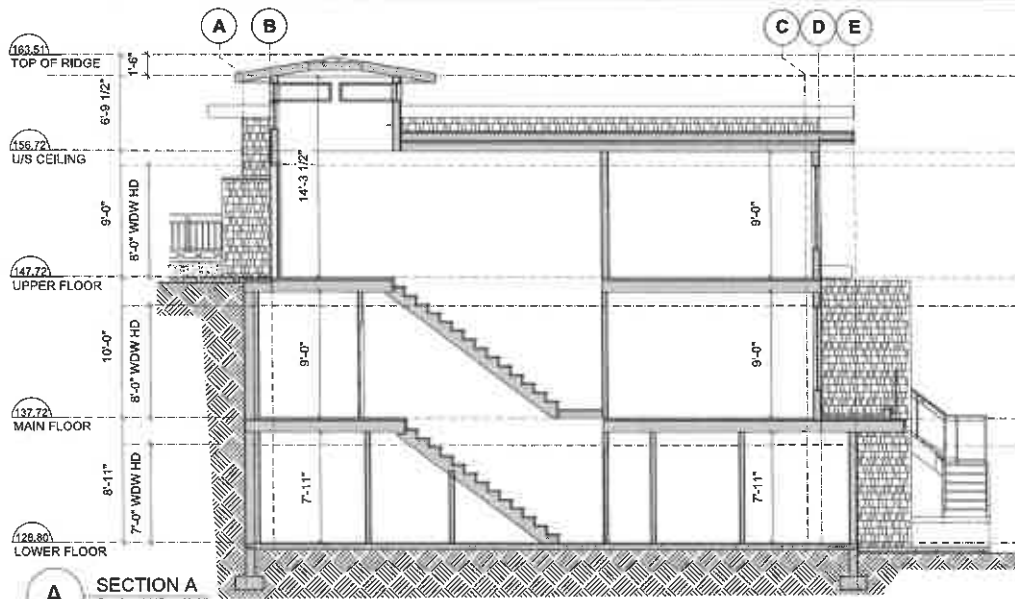
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B6

DRAWING
ROOF PLAN

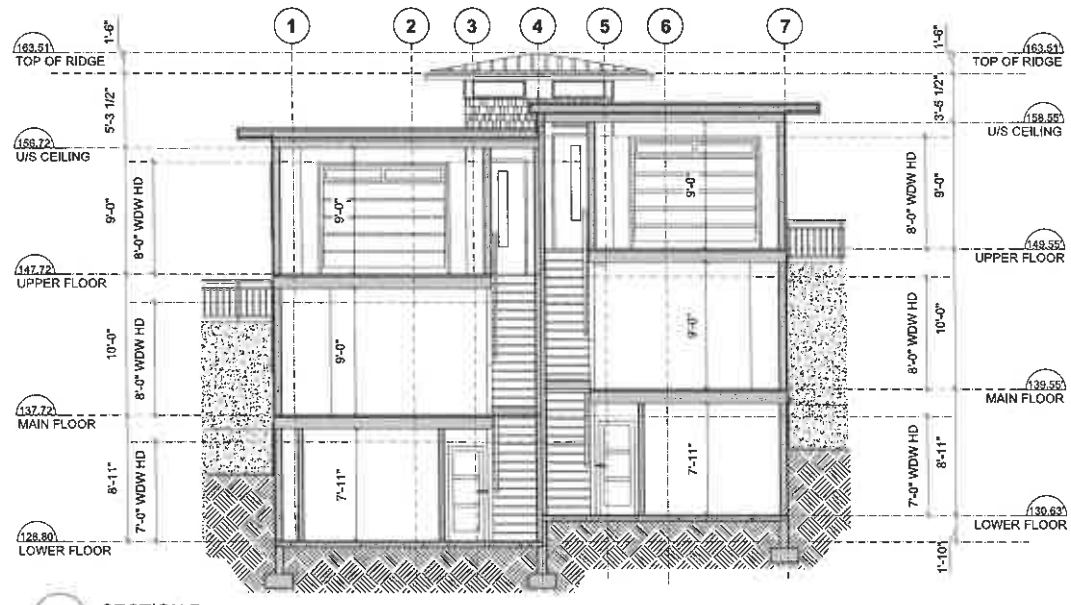
PROJECT	0070	SHEET	AB6-2.04
SCALE	1/4"=1'-0"		
DATE	MAY 12, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based for DP/Resubmit Aug 31, 2021
 DR/ Public Comment Review MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2025



A SECTION A
 Scale: 1/4" = 1'-0"



B SECTION B
 Scale: 1/4" = 1'-0"



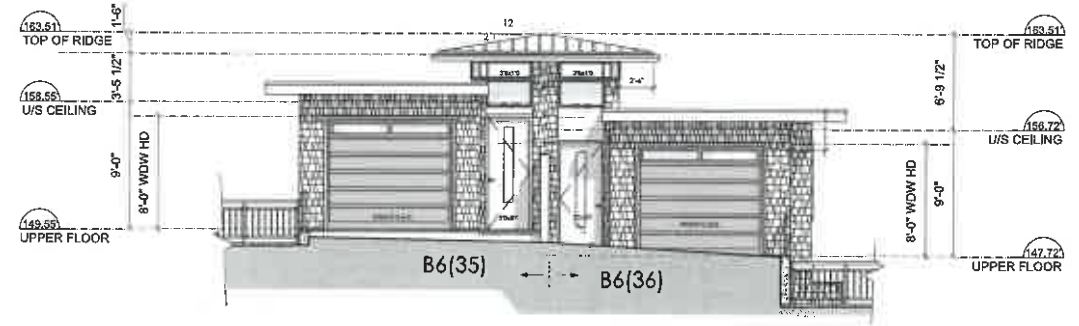
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT 86

DRAWING
 SECTIONS

PROJECT#	8000	SHEET	AB6-3.01
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DR/Reviewing Aug. 31, 2021
 DR/2 Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023



ENTRY ELEVATION
 UNIT B6
 SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D1)
 EXPOSED BUILDING FACE: 381.60 SF (35.45 SM)
 LIMITING DISTANCE: 23.29' (7.71 M)
 UNPROJECTED OPENING: 211.00 SF (19.60 SM)
 PROPOSED OPENING: 55.29%
 PERMITTED OPENINGS: 100%



BACK ELEVATION
 UNIT B6
 LOWER FLOOR / BASEMENT EXEMPTIONS:
 (132.77'-128.80' / 137.72'-128.80') x 100 = 44.50%
 783.2 (gross area) x 44.5% = 348.52 SF (exemption)
 LOWER FLOOR / BASEMENT EXEMPTIONS:
 (132.77'-130.63' / 139.55'-130.63') x 100 = 23.99%
 761.2 (gross area) x 23.99% = 182.61 SF (exemption)



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B6

DRAWING
**ENTRY & BACK
 ELEVATIONS B/W**

PROJECT# 0000 SHEET
 SCALE 1/4" = 1'-0" **AB6-4.01**
 DATE MAY 12, 2023

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REVISIONS
 1. Add 4th floor (1/20/20) Aug. 31, 2024
 2. Add Public Comment Response MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



SPATIAL SEPARATION CALCULATION (B/CBC TABLE 3.2.3.1-1)

EXPOSED BUILDING FACE:	1120.84 SF (104.13 SM)
LIMITING DISTANCE:	4' (1.22 M)
UNPROTECTED OPENINGS:	91.00 SF (8.45 SM)
PROPOSED OPENINGS:	8.12%
PERMITTED OPENINGS:	14.0%



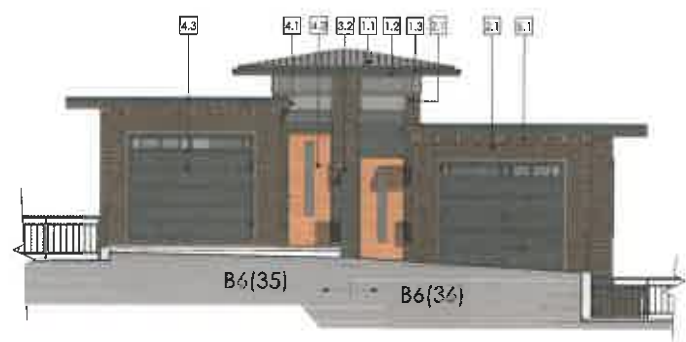
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B6

DRAWING
 LEFT & RIGHT
 ELEVATIONS B/W

PROJECT#	0030	SHEET	AB6-4.02
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

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REVISIONS
 Issued for DP/Resubmit Aug 31, 2021
 DRG/ Public Comment Revisions MAY 12, 2023
 GP, G2, G3 Revisions JULY 31, 2023



ENTRY ELEVATION
 UNIT B6



BACK ELEVATION
 UNIT B6



HARDY PANEL



FIBRE CEMENT SHINGLES -
 WOODTONE RUSTIC SERIES
 CARBON TRAILS



STONE CLADDING



METAL ROOF -
 CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
 OLD MASTER GEL STAIN C/W
 CLEAR TOP COAT - SPECIAL
 WALNUT



WINDOW / FASCIA/
 BARGE BOARDS & UPSTAND -
 CHARCOAL GRAY



SOFFIT -
 ROCKPORT GRAY BM - HC - 105



BALCONY -
 WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
Item	Material	Colour
1.1	Charcoal Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport BM-HC-105
1.3	Walter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light Mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
3.2	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
4.1	Charcoal Gray	Charcoal Gray
4.2	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
6.1	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
6.2	Charcoal Gray	Charcoal Gray
6.3	Charcoal	Charcoal

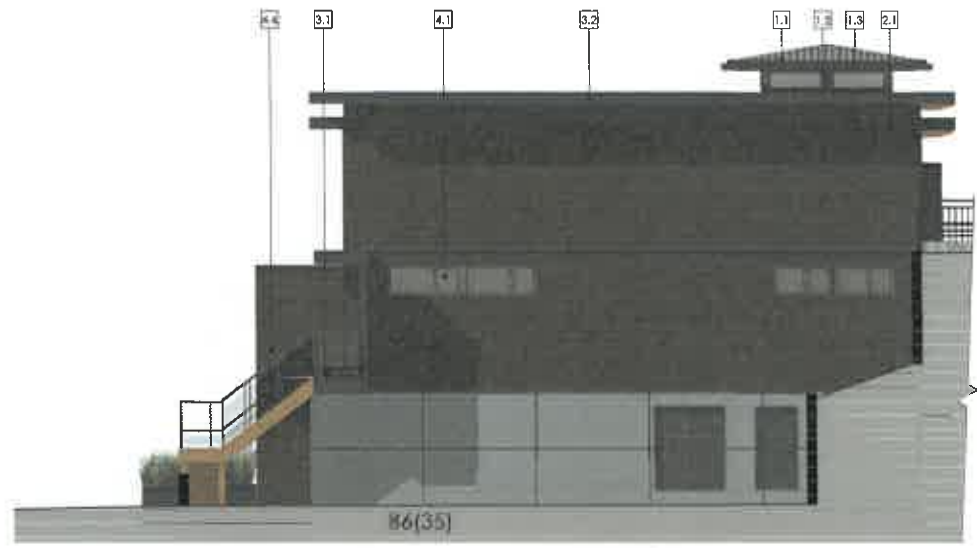
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B6

DRAWING
**ENTRY & BACK
 ELEVATIONS**

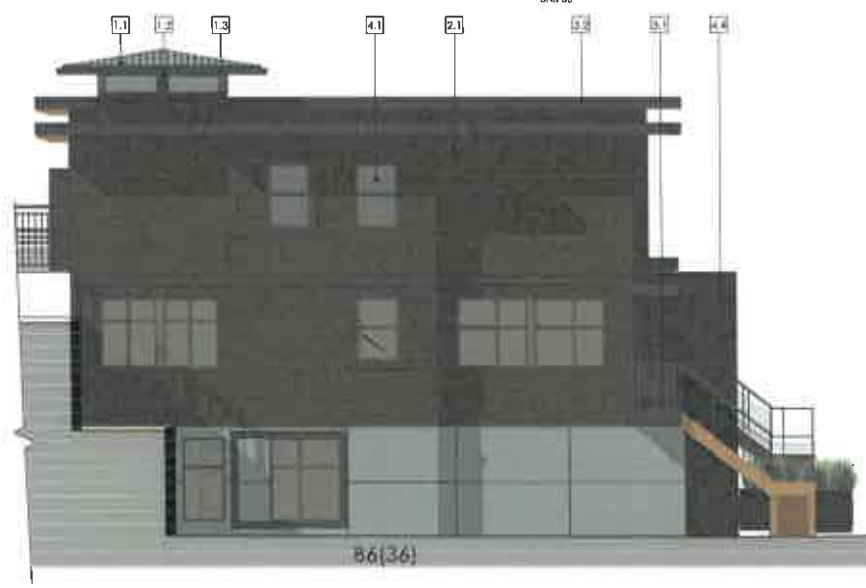
PROJECT # 880
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
AB6-4.03

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Permitting Aug. 31, 2023
 DRC Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



LEFT ELEVATION
UNIT B6



RIGHT ELEVATION
UNIT B6

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	"A" Metal Panel	Charcoal Gray
1.2	Reve Cement Soffit	Blackstone Bx-HC-105
1.3	Tile	Charcoal Gray
2.1	Fibre Cement Slatings	Woodstone Plastic Series Carbon Trim
2.2	Not Used	
2.3	Ready Panel	Light metal
2.4	Not used	
2.5	Stone	Random Granite
3.1	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
3.2	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
4.1	Charcoal Gray	Charcoal Gray
4.2	Stainwood - Old Master Gel Stain c/w clear top coat - Special Walnut	Stainwood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
5.1	Stainwood - Old Master Gel Stain c/w clear top coat - Special Walnut	Stainwood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Charcoal Gray	Charcoal Gray
5.3	Charcoal Gray	Charcoal Gray



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B6

DRAWING
 LEFT & RIGHT
 ELEVATIONS

PROJECT 800 SHEET
 SCALE 1/4" = 1'-0" **AB6-**
 DATE MAY 12, 2023 **4.04**

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REVISIONS
Issued for DP/Restoring Aug 31, 2021
ORCA Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT B6



BACK ELEVATION - CAMERA VIEW
UNIT B6



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B6

DRAWING
FRONT & BACK
ELEVATIONS -
CAMERA VIEW

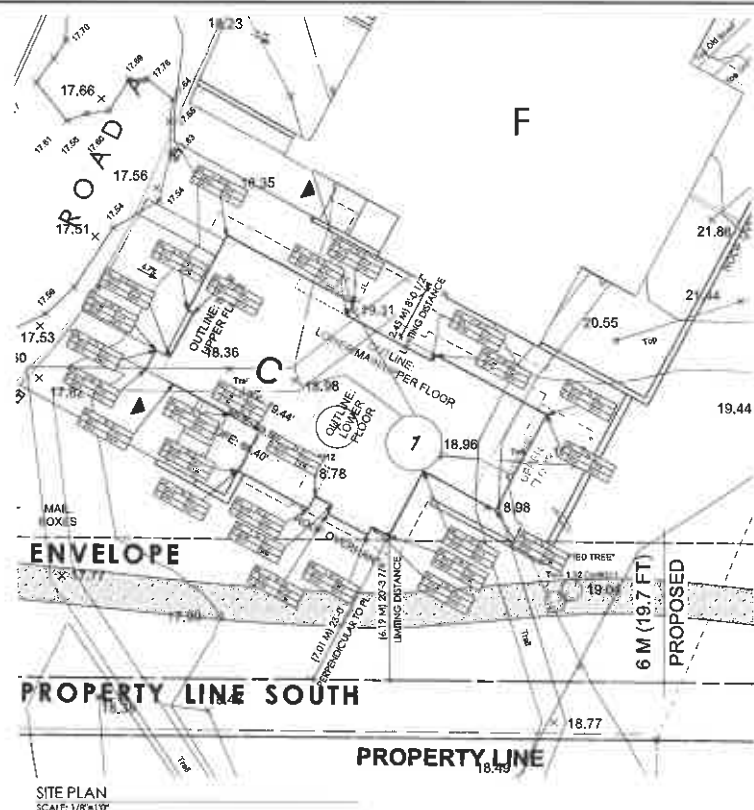
PROJECT	0030	SHEET
SCALE	RTS.	AB6-
DATE	MAY 12, 2023	4.05

AVERAGE FINISHED GRADE CALCULATION

#	Elevation	Ref #	F#	Elevation	Distance	x Distance
1	64.00	2	1	67.54	4.7	258.1
2	71.07	2	1	67.54	4.7	333.02
3	71.07	4	1	67.54	7.1	491.0
4	71.07	5	1	67.54	1.3	0
5	64.30	6	1	65.17	65.34	113.3
6	65.17	7	1	65.17	2	751.34
7	65.17	8	1	65.50	65	177
8	65.50	9	1	65.50	65.50	187
9	65.50	1	1	65.21	65.86	422
10	65.21	11	1	66.21	66.21	133
11	66.21	1	1	66.50	66.51	182.81
12	66.50	13	1	69	67	1042
13	69.00	14	1	69	13.63	707.52
14	69.20	1	1	69	99	864.80
15	69.20	1	1	69	99	1072
16	69.20	1	1	69	0	0
17	69.20	17	1	67	17.65	121.94
18	67.48	18	1	67	1	67
19	67.48	18	1	68.43	13.7	220.4
20	68	20	1	68.43	68.43	132
21	68	21	1	68.07	68.34	1392
22	68.07	22	1	68.07	12.04	785.81
23	68.07	24	1	68.07	68	566
24	68.07	26	1	68.07	68.07	476.2
25	68.07	27	1	63	64.78	410
26	63.38	2	1	63	63	325
27	63.38	1	1	63	63	269.85
Total					185.97	11148.31
Avg. Finish Grade						67
Min. Elevation						20.25
Max. Elevation						97.08

AVERAGE EXISTING GRADE CALCULATION

#	Elevation	Ref #	F#	Elevation	Distance	x Distance
1	58.77	2	1	63.84	6.42	362
2	59.84	3	1	61.20	60.82	470
3	61.20	4	1	60.66	63.94	410.5
4	60.66	5	1	60.66	60.66	0
5	60.66	6	1	60.04	60	1413
6	60.04	7	1	60.5	60	236
7	60.5	8	1	60	60	271
8	60.5	9	1	60	60	80
9	60.5	10	1	60.41	60	364
10	60.5	11	1	60	1	81.06
11	60.5	12	1	61	61	187.63
12	61	13	1	61	61.3	634
13	61.50	14	1	62.07	61.81	718
14	62.07	15	1	64.50	64	990.92
15	64.50	16	1	64.50	64	631
16	64.50	17	1	64.20	17.83	1144
17	64.20	18	1	63.14	63.52	631
18	63.14	19	1	63.36	63.66	673.1
19	63.36	20	1	62.68	63.45	125.99
20	62.68	21	1	62.34	62.68	1273.76
21	62.34	22	1	60.34	60.64	733.22
22	60.34	23	1	60	60	60.3
23	60.34	24	1	60.5	60.5	132
24	60.5	25	1	59.9	59.9	132
25	59.90	26	1	59.72	59.61	144
26	59.72	27	1	59.72	59.72	253.72
Total					171.04	10999.8
Avg. Existing Grade						61.74
Min. Elevation						58.68
Max. Elevation						61.2

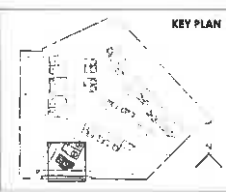


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REVISIONS
 Issued for APPROVING Aug. 31, 2021
 DRC Public Comment Reviews MAY 12, 2022
 G1, G2, G3 Revisions JULY 31, 2023

TOP OF FINISH FLOOR - C (1)

Lower	Main	Upper
20.24 m	21.18 m	24.21 m
66.40'	69.57'	79.44'



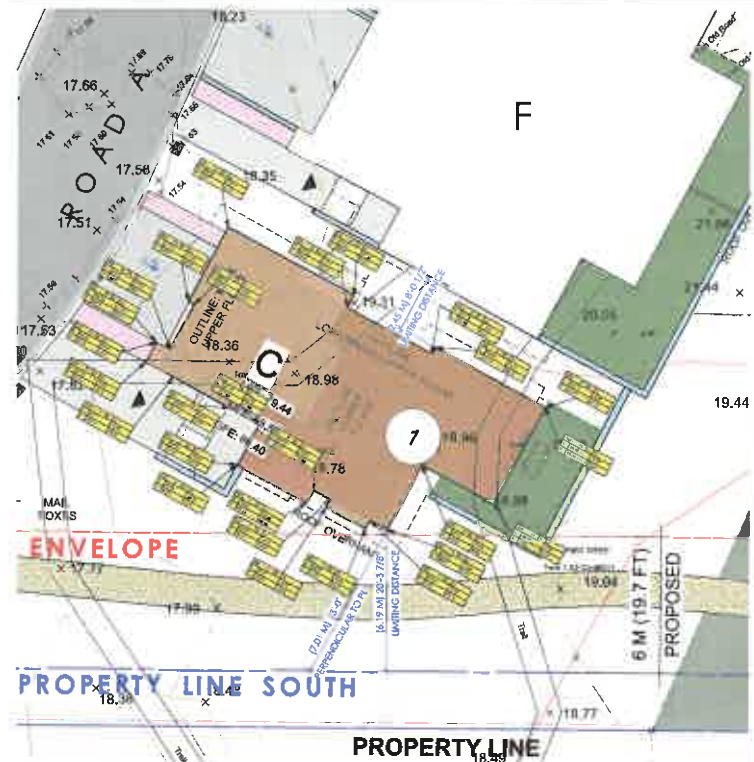
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT C

DRAWING
SITE PLAN

PROJECT# 0000
 SCALE 1/8" = 10'
 DATE MAY 12, 2022
SHEET AC-1 .01

AVERAGE FINISHED GRADE CALCULATION						
Sta #	P1	Ref #	P2	Elevation	Area	% Distance
1	64	3	71.57	87.84	4.25	285.51
2	71.07	3	71.07	71.07	4.70	333.82
3	71.07	4	71.23	71.23	6.90	481.00
4	71	5	64	87.84	0.00	0.00
5	64	3	65.1	64	11.23	731.00
6	65.17	7	65.17	65.17	2.71	177.00
7	65.17	8	65.26	65.26	2.71	177.00
8	66.95	9	66	65.50	1.3	87.52
9	65.50	10	65.21	65.86	6.41	422.00
10	65.21	11	65.21	65.21	1.31	88.04
11	64.21	11	64.95	68.41	2.7	182.81
12	66.95	11	66.20	67.80	10.4	707.82
13	69.95	14	69.20	69.20	11.83	804.00
14	69.20	15	69.20	69.20	15	1072.00
15	69.20	15	69.20	69.20	0	0.00
16	69.52	17	67.48	68.50	17.82	1221.56
17	67.48	18	67.48	67.48	1	67.48
18	67.48	18	68.42	68.42	13.1	880.82
19	68.40	20	68.40	68.4	1	132.80
20	68.40	21	68.07	68.07	20.47	1429.36
21	68.07	22	68.07	68.07	12.34	795.41
22	68.07	23	68.07	68.07	1	68.07
23	68.07	24	68.07	68.07	7.81	478.23
24	68.07	25	68.07	68.07	2.21	145.66
25	68.07	26	63.39	64	0.00	0.00
26	63.39	27	63.39	63.39	3.25	200.23
27	63	11	64	63.88	4.22	288.80
Total					165.87	11148.1
Avg Finish Grade					28.66	87
Max. Slope (1:1)						87

AVERAGE EXISTING GRADE CALCULATION						
Sta #	P1	Ref #	P2	Elevation	Area	% Distance
1	59.7	1	59.84	59.88	9.47	642.00
2	59.84	2	61	60.69	4.72	284.00
3	61.30	4	60.56	60.98	1	385.00
4	60.98	1	60.98	60.98	0	0.00
5	60.98	6	60.94	60.20	11.3	603.00
6	60.94	7	60.53	60.20	2	125.00
7	60.53	8	60.98	60.60	2.71	184.21
8	60.60	8	60.53	60.60	1	60.53
9	60.53	11	60.52	60.73	1	389.00
10	60.52	11	60.99	60.96	1	61.96
11	60.96	12	61	61.03	2.7	187.52
12	61.03	13	61.56	61.32	10	638.80
13	61.56	14	62.07	61.81	11.83	738.82
14	62.07	15	64.50	64.50	15	980.20
15	64.50	16	64.30	64.50	0	0.00
16	64.50	17	63.66	63.66	17.82	1144.00
17	63.66	18	63.74	63.74	1	63.74
18	63.74	19	63.26	63.26	13.75	873.21
19	63.26	20	63.64	63.64	2	129.60
20	63.64	21	63.94	62	20.42	1270.00
21	62	22	63.34	63.04	15.34	1029.20
22	63.04	23	63.40	63.2	1	69.2
23	63.40	24	63.93	63.93	7.21	431.00
24	63.93	25	63.93	63.93	2.21	132.60
25	63.93	26	63.93	63.93	0	0.00
26	63.93	27	63.72	63.81	3.25	198.00
27	63.72	1	63.72	63.72	4.22	252.72
Total					171.04	10569
Avg Existing Grade					28.83	81
Max. Slope (1:1)						81



SITE PLAN
SCALE: 1/8"=10'

TOP OF FINISH FLOOR - C (1)		
Station	From	To
10+00	10+00	10+00
10+00	10+00	10+00

KEY PLAN

These plans remain the ownership of Sterling Pacific

REVISIONS	DATE
Issued for EIR/Response	Aug 31, 2021
DRS/ Public Comment Revisions	MAY 12, 2022
01, 02, 03 Revisions	JULY 31, 2022



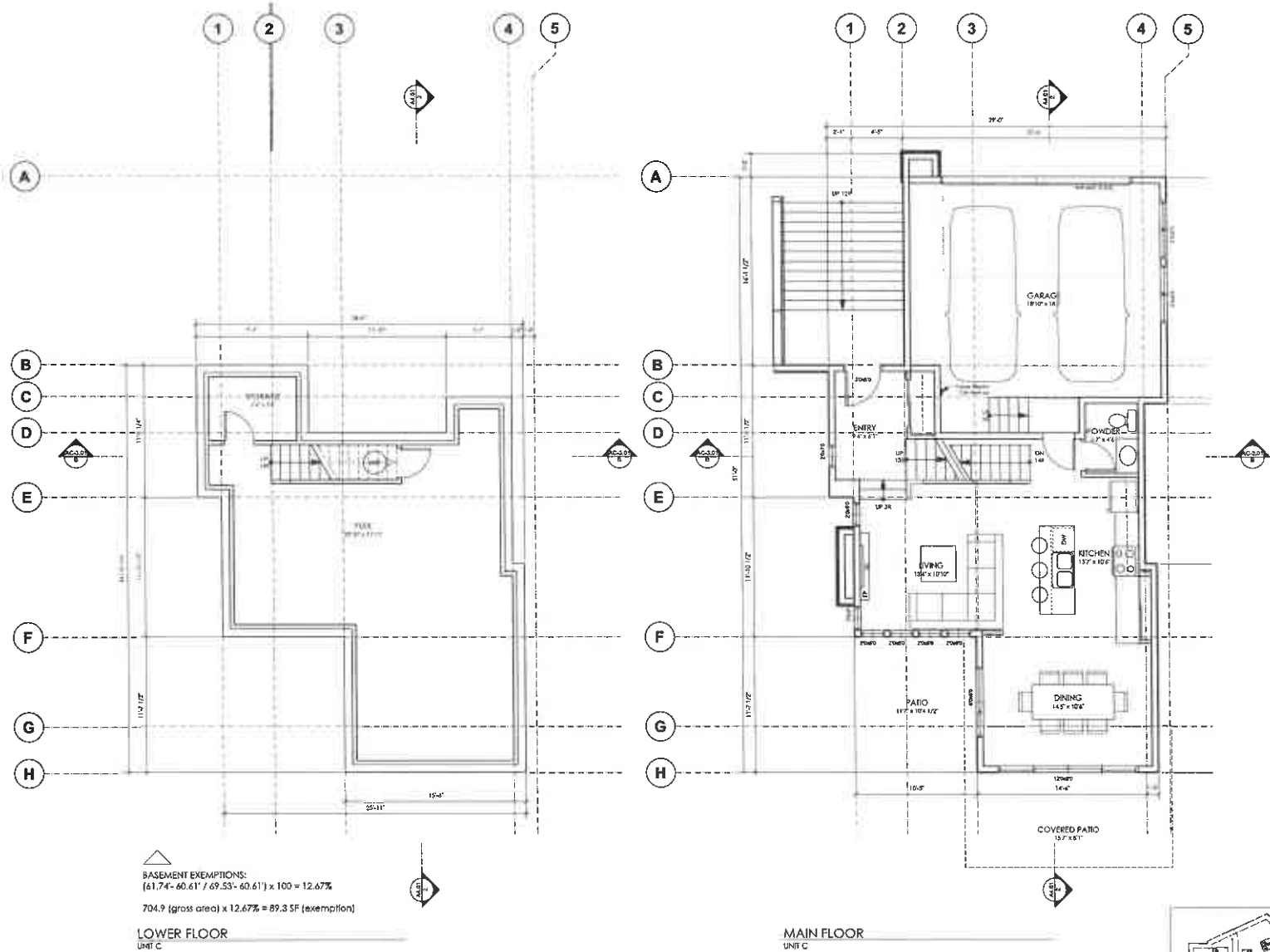
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT C

DRAWING
SITE PLAN

PROJECT	SHEET
SCALE	AC-1
DATE	.01
	MAY 12, 2022

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REVISIONS
 Issued for DR/Issuance Aug 31, 2021
 DRD Public Comment Revisions MAY 12, 2023
 D1, D2, D3 Revisions JULY 31, 2023



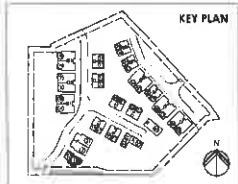
△
 BASEMENT EXEMPTIONS:
 (61.74'-60.61' / 69.53'-60.61') x 100 = 12.67%
 704.9 (gross area) x 12.67% = 89.3 SF (exemption)

LOWER FLOOR
 UNIT C

MAIN FLOOR
 UNIT C

UNIT 1 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	704.9 SF	1167.4 SF	1002.1 SF	2874.3 SF
GARAGE EXCLUSIONS	70.5 SF	448.2 SF	0.0 SF	518.7 SF
BASEMENT EXCLUSIONS 12.67%	89.3 SF	0.0 SF	0.0 SF	89.3 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	615.6 SF	726.4 SF	1027.1 SF	2369.0 SF

UNIT 1 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.53 SQ M	108.75 SQ M	93.45 SQ M	267.73 SQ M
GARAGE EXCLUSIONS	6.55 SQ M	41.85 SQ M	0.00 SQ M	48.40 SQ M
BASEMENT EXCLUSIONS 12.67%	8.35 SQ M	0.00 SQ M	0.00 SQ M	8.35 SQ M
COVERED BALCONY EXCLUSIONS	0.00 SQ M	0.00 SQ M	0.00 SQ M	0.00 SQ M
NET	57.23 SQ M	67.55 SQ M	93.45 SQ M	218.23 SQ M



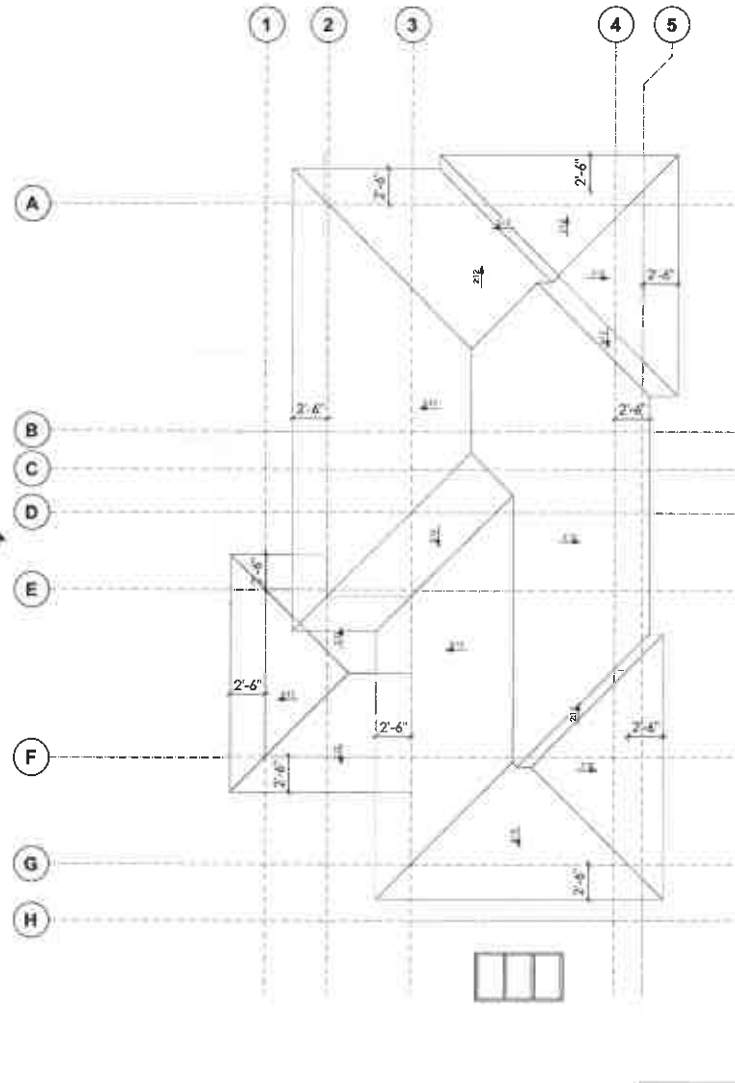
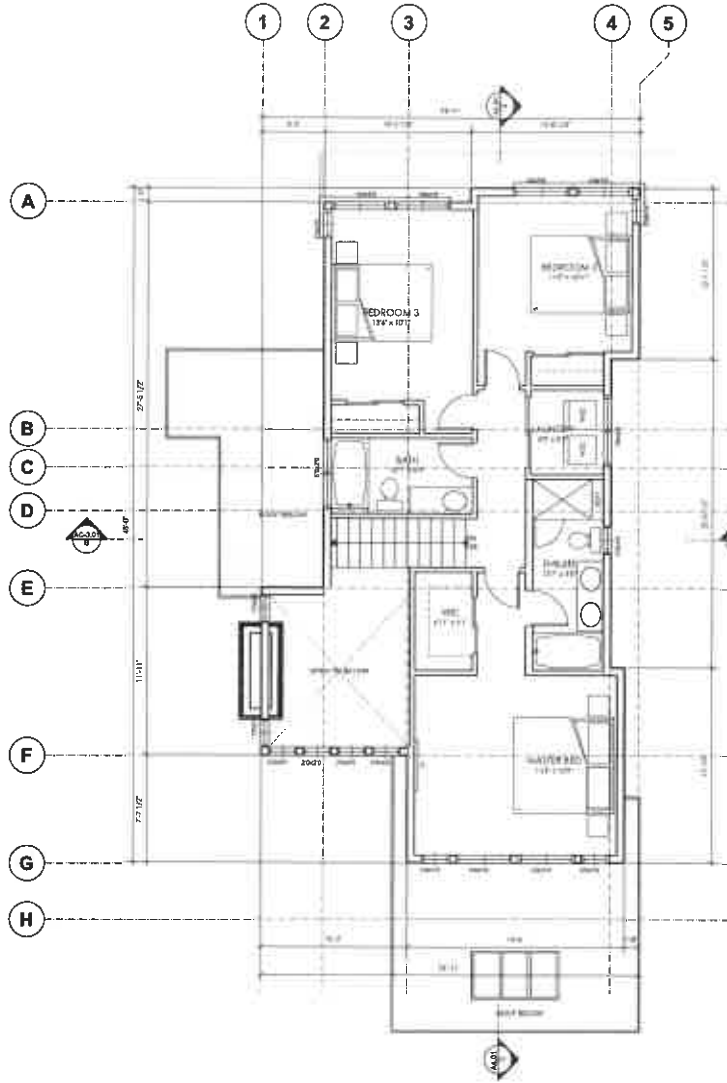
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT C

DRAWING
**LOWER & MAIN
 FLOOR PLANS**

PROJECT# 0020 SHEET
 SCALE 1/4"=1'-0" **AC-2**
 DATE MAY 12, 2023 .01

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REVISIONS		
1	Issued for DP/Permitting	Aug 31, 2021
2	Public Comment Response	MAY 12, 2023
3	02, 03 Revisions	JULY 31, 2023



UPPER FLOOR
UNIT C

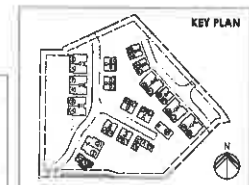
ROOF PLAN
UNIT C

UNIT 1 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	736.5 SF	1767.4 SF	1027.1 SF	3531.0 SF
GARAGE EXCLUSIONS	0.0 SF	440.0 SF	0.0 SF	440.0 SF
BASEMENT EXCLUSIONS 12.67%	87.3 SF	0.0 SF	0.0 SF	87.3 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	649.2 SF	1287.4 SF	1027.1 SF	3403.7 SF

UNIT 1 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	68.5 SQ M	163.8 SQ M	95.4 SQ M	327.7 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	41.0 SQ M	0.0 SQ M	41.0 SQ M
BASEMENT EXCLUSIONS 12.67%	8.3 SQ M	0.0 SQ M	0.0 SQ M	8.3 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	57.2 SQ M	122.8 SQ M	95.4 SQ M	285.4 SQ M



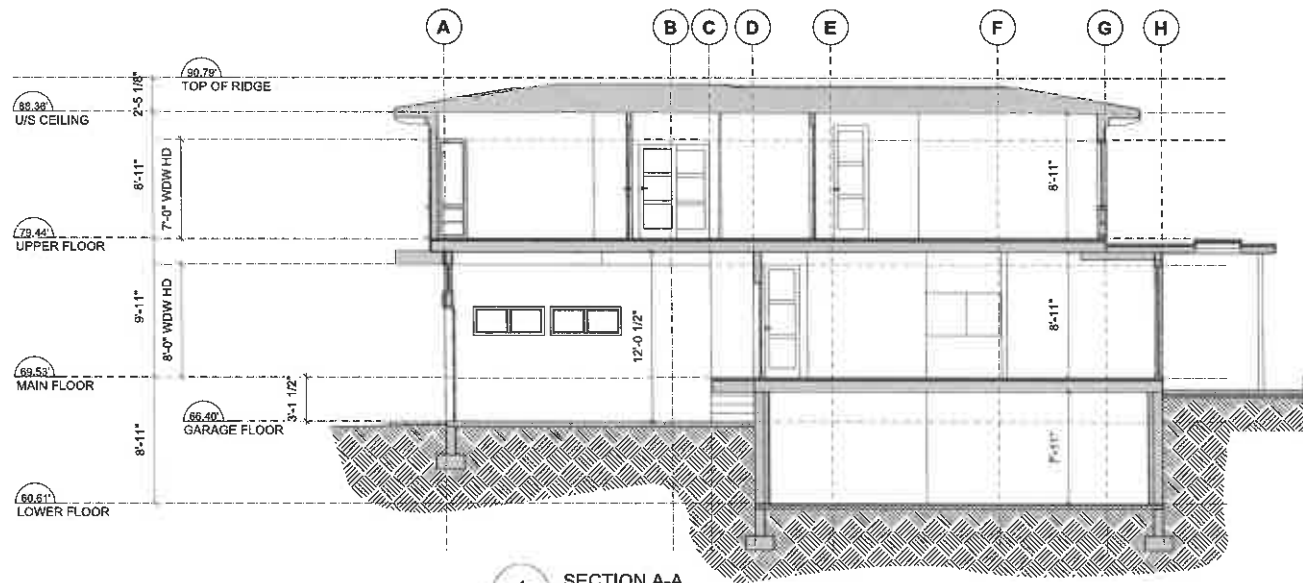
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT C

DRAWING
UPPER FLOOR &
ROOF PLAN

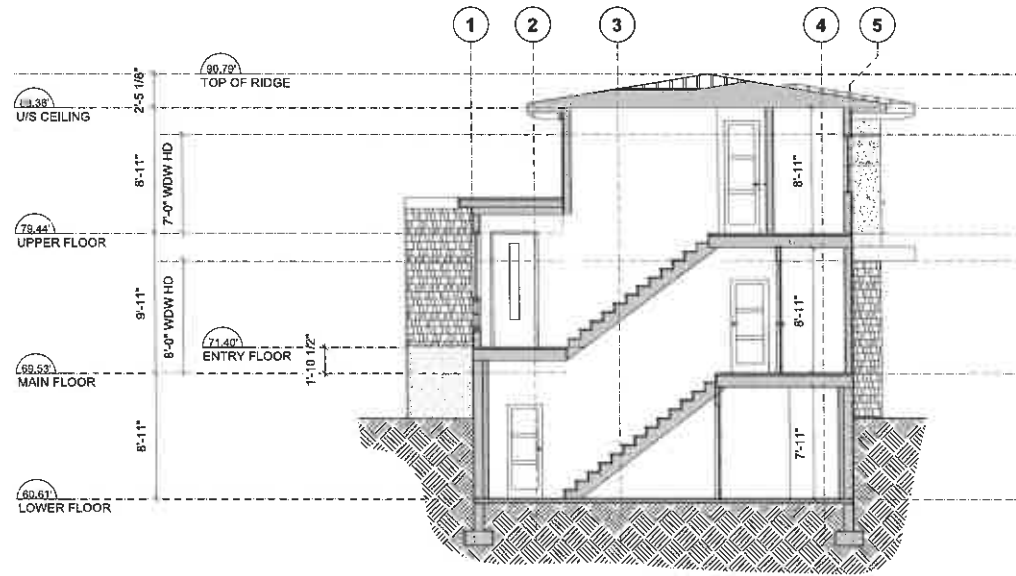
PROJECT# 8000
SCALE 1/4" = 1'-0"
DATE MAY 12, 2023
SHEET
AC-2
.02

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for O/P/Permitting	Aug. 31, 2023
DRG/Pub. Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



1 SECTION A-A
Scale: 1/4" = 1'-0"



B SECTION B-B
Scale: 1/4" = 1'-0"



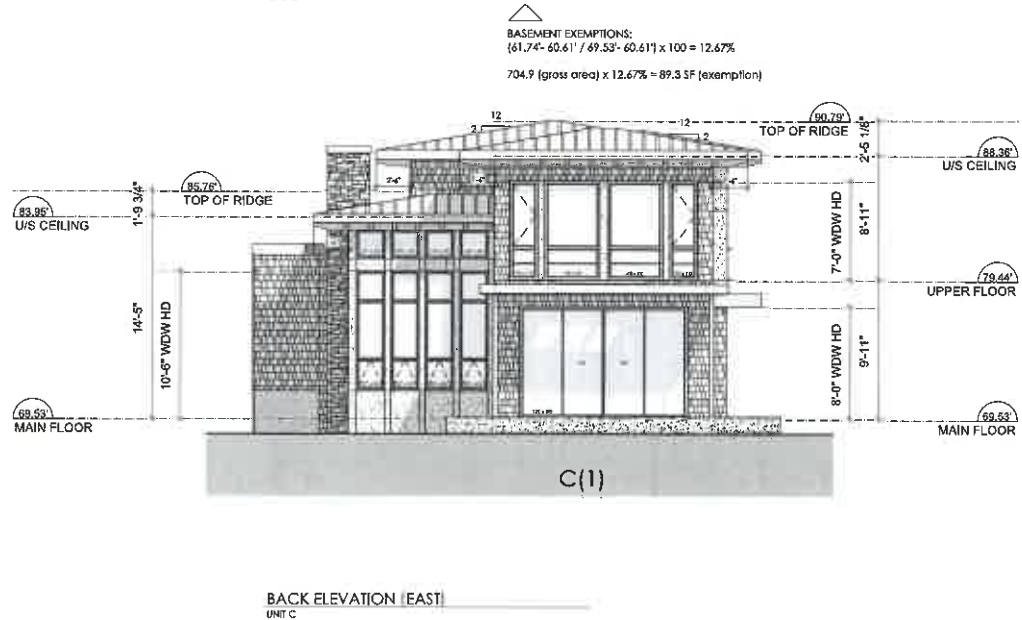
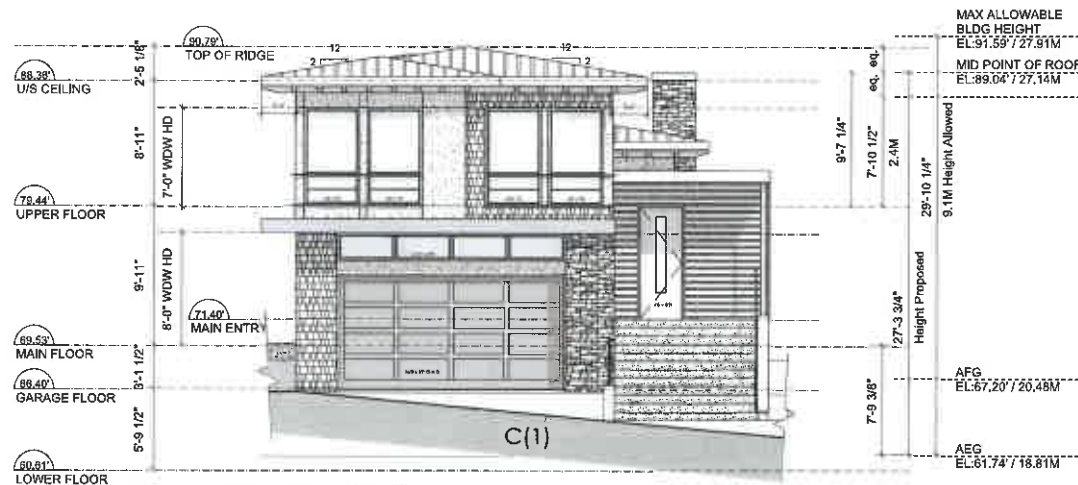
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT C

DRAWING

SECTIONS

PROJECT	SHEET
000	AC-3
SCALE	1/4" = 1'-0"
DATE	.01
MAY 12, 2023	

These plans remain the ownership of Sterling Pacific



REVISIONS

Issued for DR/Permitting	Aug 31, 2023
DR/ Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2022



PROJECT

AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

UNIT C

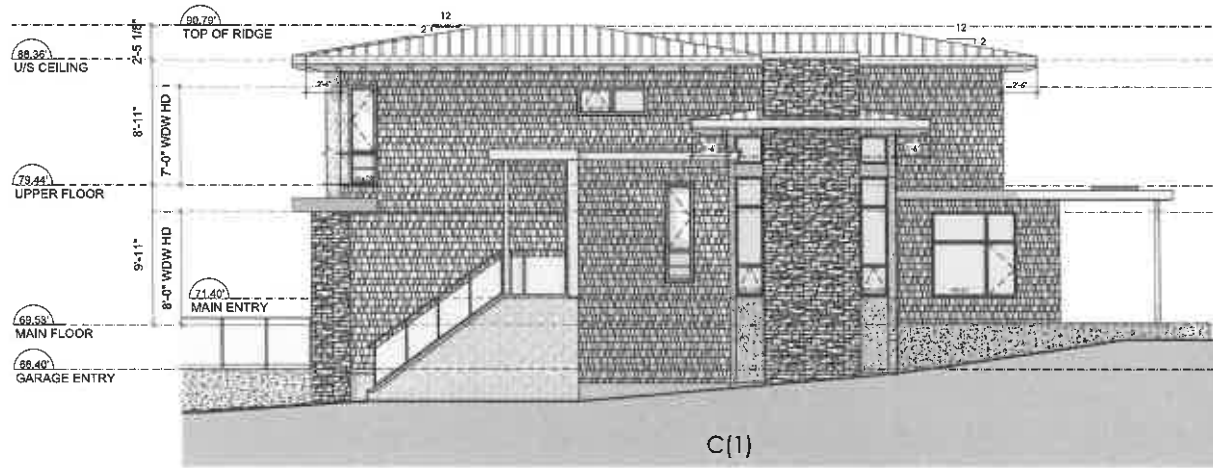
DRAWING

FRONT & BACK
ELEVATIONS B/W

PROJECT#	800	SHEET	AC-4 .01
SCALE	1/2" = 1'-0"		
DATE	MAY 12, 2023		

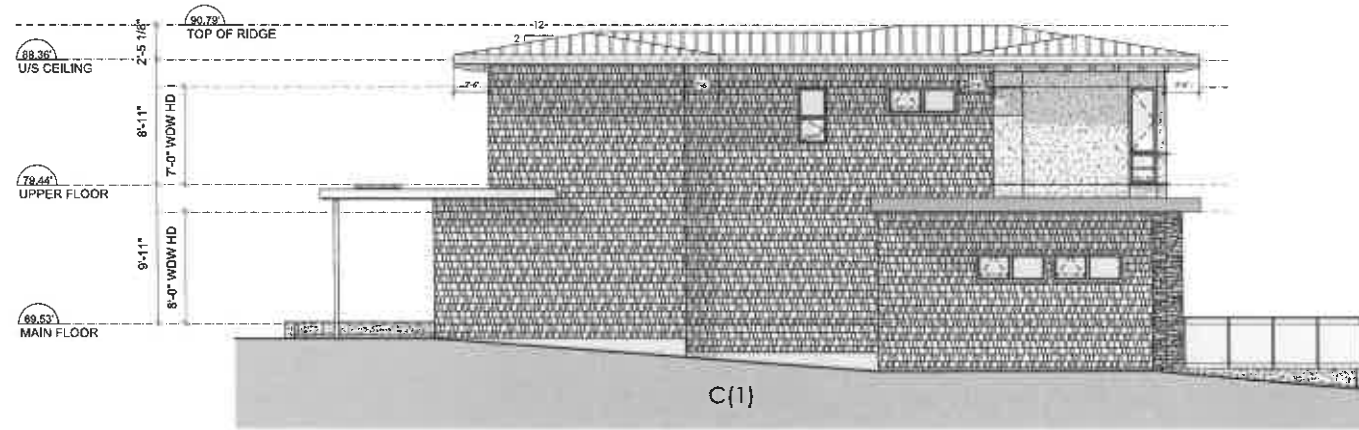
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REVISIONS
 Issued for DR/Planning Aug 11, 2021
 DRCP Public Consultation Review MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



SOUTH ELEVATION

UNIT C
 SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D)
 EXPOSED BUILDING FACE: 1160.29 SF (107.79 SM)
 LIMITING DISTANCE: 11.5' (3.50 M)
 UNPROTECTED OPENING: 100.17 SF (9.30 SM)
 PROPOSED OPENING: 8.63%
 PERMITTED OPENINGS: 27.69%



NORTH ELEVATION

UNIT C
 SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D)
 EXPOSED BUILDING FACE: 1046.33 SF (108.81 SM)
 LIMITING DISTANCE: 4.02' (1.23 M)
 UNPROTECTED OPENING: 41.19 SF (12.55 SM)
 PROPOSED OPENING: 3.93%
 PERMITTED OPENINGS: 14.17%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT C

DRAWING
 SOUTH & NORTH
 ELEVATIONS B/W

PROJECT#	0020	SHEET	AC-4 .02
SCALE	1/4"=1'-0"	DATE	
DATE	MAY 12, 2023		

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FRONT ELEVATION (WEST)
UNIT C



BACK ELEVATION (EAST)
UNIT C



AQUILA EXTERIOR MATERIAL SCHEDULE		
No	Material	Colour
1.1	Asph/Flt Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM - HC - 105
1.3	Asph/Flt	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Hardy Panel	Light Mist
2.3	Hardy Panel	Light Mist
2.4	Not used	
2.5	Stone	Rockport Gray
3.1	Wrought Iron Balcony	Wrought Iron BM - 2124 - 10
3.2	Wrought Iron Balcony	Wrought Iron BM - 2124 - 10
4.1	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
4.2	Entry door painted c/w bannam and upstand	Silewood - Old Master Oil Stain c/w clear top coat - Special Walnut
4.3	Roofline trim / fascia / gable	Charcoal Gray
4.4	Starchon grass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistant treated wood	Silewood - Old Master Oil Stain c/w clear top coat - Special Walnut
6.2	Pre-finished metal bar	Charcoal Gray
6.3	Steel	Charcoal Gray

REVISIONS
 Based for DP/Planning
 DRCD Public Comments Revisions
 DT, CS, GD Revisions

Aug 31, 2021
 MAY 12, 2022
 JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT C

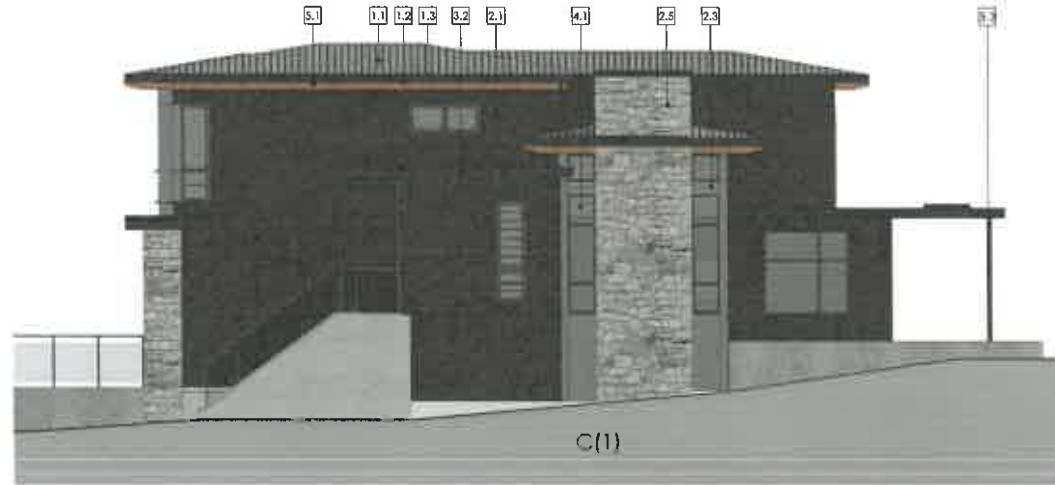
DRAWING
**FRONT & BACK
 ELEVATIONS**

PROJECT NO. 8000
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023

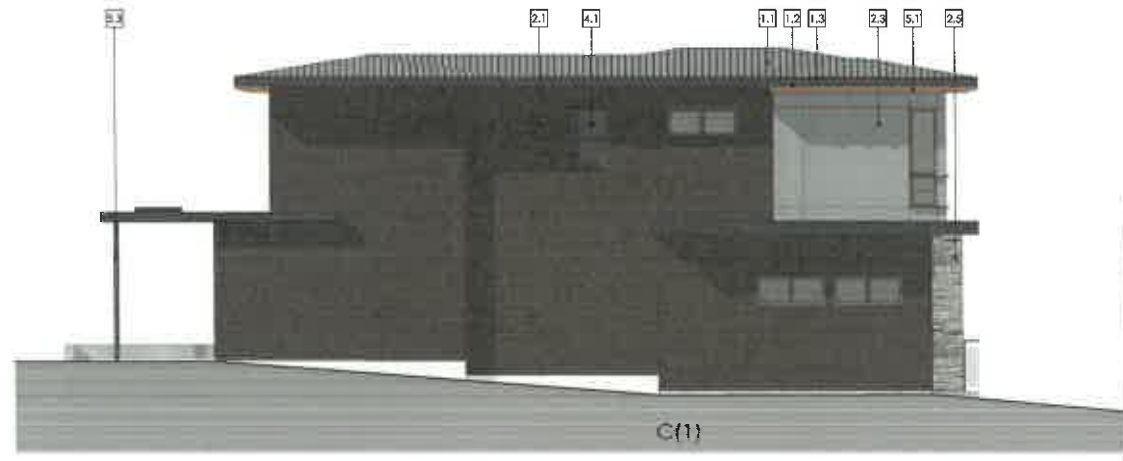
SHEET
AC-4
.03

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REVISIONS
 Based for Offsetting Aug 31, 2021
 DRG/ Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



SOUTH ELEVATION
UNIT C



NORTH ELEVATION
UNIT C

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	"A" Metal Roof	Charcoal Gray
1.2	Stone Cement Sill	Random Stone BM-NC-105
1.3	Water	Charcoal Gray
2.1	Fiber Cement Shingles	Woodstone Rustic Series Carbon Trak
2.2	Not used	
2.3	Hardy Panel	Light metal
2.4	Not used	
2.5	Stone	Random Stone
3.1	Wrought Iron Gate	Wrought Iron BM-2124-10
3.2	Wrought Iron Gate	Wrought Iron BM-2124-10
3.3	Wrought Iron Gate	Wrought Iron BM-2124-10
4.1	Charcoal Gray	Charcoal Gray
4.2	Entry door painted w/ varnish and clear top coat - Spiced Walnut	Spiced Walnut
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
5.1	Spiced Walnut	Spiced Walnut
5.2	Charcoal Gray	Charcoal Gray
5.3	Charcoal Gray	Charcoal Gray



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT C

DRAWING
 SOUTH & NORTH
 ELEVATIONS

PROJECT# 8000
 SHEET
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
AC-4
.04

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REVISIONS
Based for DP/Revising Aug 31, 2021
DP/DP Public Comment Revisions MAY 12, 2022
G1, G2, G3 Revisions JULY 31, 2022



FRONT ELEVATION - CAMERA VIEW
UNIT C



SIDE ELEVATION - CAMERA VIEW
UNIT C



BACK ELEVATION - CAMERA VIEW
UNIT C



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT C

DRAWING
FRONT, BACK &
SIDE ELEVATIONS
- CAMERA VIEW

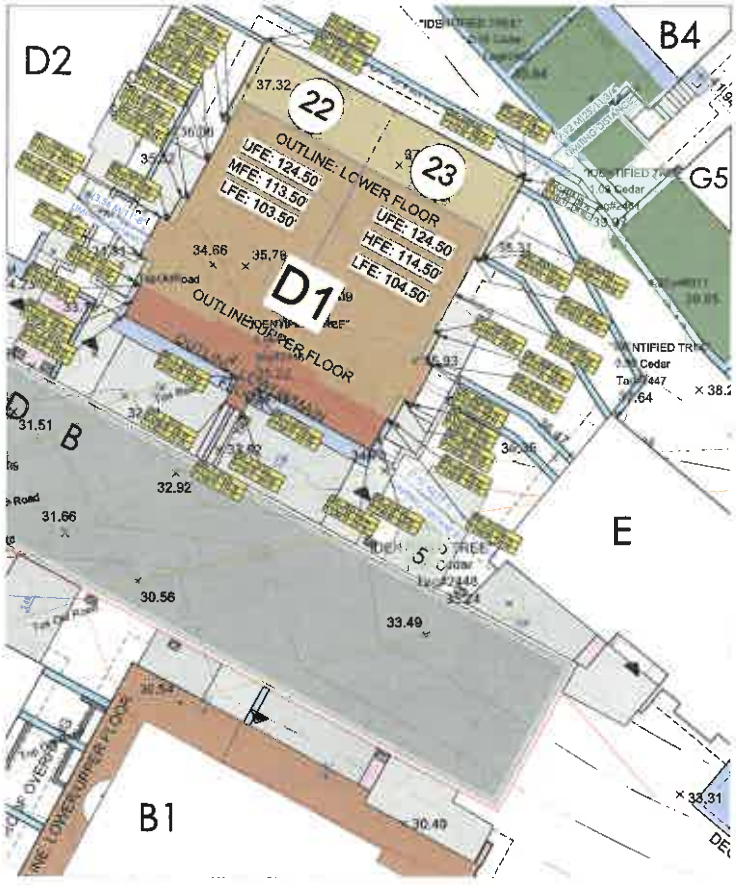
PROJECT#	8020	SHEET	AC-4 .05
SCALE	M12		
DATE	MAY 12, 2022		

1 - AVERAGE FINISHED GRADE CALCULATION

Station	#	Elevation	Distance	#	Distance
1	104.07	2	104.17	104.12	416.40
2	104.17	3	103.17	103.87	0.00
3	103.17	4	103.17	103.17	2.00
4	103.17	5	103.17	103.17	13.00
5	103.17	6	103.17	103.17	18.50
6	103.17	7	103.50	104.34	2.23
7	103.50	8	103.50	103.50	2.8
8	103.50	9	103.50	103.50	1.1
9	103.50	10	103.50	103.50	1.1
10	103.50	11	103.50	103.50	1.1
11	103.50	12	103.50	103.50	1.1
12	103.50	13	103.50	103.50	1.1
13	103.50	14	103.50	103.50	1.1
14	103.50	15	103.50	103.50	1.1
15	103.50	16	103.50	103.50	1.1
16	103.50	17	103.50	103.50	1.1
17	103.50	18	103.50	103.50	1.1
18	103.50	19	103.50	103.50	1.1
19	103.50	20	103.50	103.50	1.1
20	103.50	21	103.50	103.50	1.1
21	103.50	22	103.50	103.50	1.1
22	103.50	23	103.50	103.50	1.1
23	103.50	24	103.50	103.50	1.1
24	103.50	25	103.50	103.50	1.1
25	103.50	26	103.50	103.50	1.1
26	103.50	27	103.50	103.50	1.1
27	103.50	28	103.50	103.50	1.1
28	103.50	29	103.50	103.50	1.1
29	103.50	30	103.50	103.50	1.1
30	103.50	31	103.50	103.50	1.1
31	103.50	32	103.50	103.50	1.1
32	103.50	33	103.50	103.50	1.1
33	103.50	34	103.50	103.50	1.1
34	103.50	35	103.50	103.50	1.1
35	103.50	36	103.50	103.50	1.1
36	103.50	37	103.50	103.50	1.1
37	103.50	38	103.50	103.50	1.1
38	103.50	39	103.50	103.50	1.1
39	103.50	40	103.50	103.50	1.1
40	103.50	41	103.50	103.50	1.1
41	103.50	42	103.50	103.50	1.1
42	103.50	43	103.50	103.50	1.1
43	103.50	44	103.50	103.50	1.1
44	103.50	45	103.50	103.50	1.1
45	103.50	46	103.50	103.50	1.1
46	103.50	47	103.50	103.50	1.1
47	103.50	48	103.50	103.50	1.1
48	103.50	49	103.50	103.50	1.1
49	103.50	50	103.50	103.50	1.1
50	103.50	51	103.50	103.50	1.1
51	103.50	52	103.50	103.50	1.1
52	103.50	53	103.50	103.50	1.1
53	103.50	54	103.50	103.50	1.1
54	103.50	55	103.50	103.50	1.1
55	103.50	56	103.50	103.50	1.1
56	103.50	57	103.50	103.50	1.1
57	103.50	58	103.50	103.50	1.1
58	103.50	59	103.50	103.50	1.1
59	103.50	60	103.50	103.50	1.1
60	103.50	61	103.50	103.50	1.1
61	103.50	62	103.50	103.50	1.1
62	103.50	63	103.50	103.50	1.1
63	103.50	64	103.50	103.50	1.1
64	103.50	65	103.50	103.50	1.1
65	103.50	66	103.50	103.50	1.1
66	103.50	67	103.50	103.50	1.1
67	103.50	68	103.50	103.50	1.1
68	103.50	69	103.50	103.50	1.1
69	103.50	70	103.50	103.50	1.1
70	103.50	71	103.50	103.50	1.1
71	103.50	72	103.50	103.50	1.1
72	103.50	73	103.50	103.50	1.1
73	103.50	74	103.50	103.50	1.1
74	103.50	75	103.50	103.50	1.1
75	103.50	76	103.50	103.50	1.1
76	103.50	77	103.50	103.50	1.1
77	103.50	78	103.50	103.50	1.1
78	103.50	79	103.50	103.50	1.1
79	103.50	80	103.50	103.50	1.1
80	103.50	81	103.50	103.50	1.1
81	103.50	82	103.50	103.50	1.1
82	103.50	83	103.50	103.50	1.1
83	103.50	84	103.50	103.50	1.1
84	103.50	85	103.50	103.50	1.1
85	103.50	86	103.50	103.50	1.1
86	103.50	87	103.50	103.50	1.1
87	103.50	88	103.50	103.50	1.1
88	103.50	89	103.50	103.50	1.1
89	103.50	90	103.50	103.50	1.1
90	103.50	91	103.50	103.50	1.1
91	103.50	92	103.50	103.50	1.1
92	103.50	93	103.50	103.50	1.1
93	103.50	94	103.50	103.50	1.1
94	103.50	95	103.50	103.50	1.1
95	103.50	96	103.50	103.50	1.1
96	103.50	97	103.50	103.50	1.1
97	103.50	98	103.50	103.50	1.1
98	103.50	99	103.50	103.50	1.1
99	103.50	100	103.50	103.50	1.1
100	103.50	101	103.50	103.50	1.1
101	103.50	102	103.50	103.50	1.1
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105	103.50	106	103.50	103.50	1.1
106	103.50	107	103.50	103.50	1.1
107	103.50	108	103.50	103.50	1.1
108	103.50	109	103.50	103.50	1.1
109	103.50	110	103.50	103.50	1.1
110	103.50	111	103.50	103.50	1.1
111	103.50	112	103.50	103.50	1.1
112	103.50	113	103.50	103.50	1.1
113	103.50	114	103.50	103.50	1.1
114	103.50	115	103.50	103.50	1.1
115	103.50	116	103.50	103.50	1.1
116	103.50	117	103.50	103.50	1.1
117	103.50	118	103.50	103.50	1.1
118	103.50	119	103.50	103.50	1.1
119	103.50	120	103.50	103.50	1.1
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121	103.50	122	103.50	103.50	1.1
122	103.50	123	103.50	103.50	1.1
123	103.50	124	103.50	103.50	1.1
124	103.50	125	103.50	103.50	1.1
125	103.50	126	103.50	103.50	1.1
126	103.50	127	103.50	103.50	1.1
127	103.50	128	103.50	103.50	1.1
128	103.50	129	103.50	103.50	1.1
129	103.50	130	103.50	103.50	1.1
130	103.50	131	103.50	103.50	1.1
131	103.50	132	103.50	103.50	1.1
132	103.50	133	103.50	103.50	1.1
133	103.50	134	103.50	103.50	1.1
134	103.50	135	103.50	103.50	1.1
135	103.50	136	103.50	103.50	1.1
136	103.50	137	103.50	103.50	1.1
137	103.50	138	103.50	103.50	1.1
138	103.50	139	103.50	103.50	1.1
139	103.50	140	103.50	103.50	1.1
140	103.50	141	103.50	103.50	1.1
141	103.50	142	103.50	103.50	1.1
142	103.50	143	103.50	103.50	1.1
143	103.50	144	103.50	103.50	1.1
144	103.50	145	103.50	103.50	1.1
145	103.50	146	103.50	103.50	1.1
146	103.50	147	103.50	103.50	1.1
147	103.50	148	103.50	103.50	1.1
148	103.50	149	103.50	103.50	1.1
149	103.50	150	103.50	103.50	1.1
150	103.50	151	103.50	103.50	1.1
151	103.50	152	103.50	103.50	1.1
152	103.50	153	103.50	103.50	1.1
153	103.50	154	103.50	103.50	1.1
154	103.50	155	103.50	103.50	1.1
155	103.50	156	103.50	103.50	1.1
156	103.50	157	103.50	103.50	1.1
157	103.50	158	103.50	103.50	1.1
158	103.50	159	103.50	103.50	1.1
159	103.50	160	103.50	103.50	1.1
160	103.50	161	103.50	103.50	1.1
161	103.50	162	103.50	103.50	1.1
162	103.50	163	103.50	103.50	1.1
163	103.50	164	103.50	103.50	1.1
164	103.50	165	103.50	103.50	1.1
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166	103.50	167	103.50	103.50	1.1
167	103.50	168	103.50	103.50	1.1
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172	103.50	173	103.50	103.50	1.1
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177	103.50	178	103.50	103.50	1.1
178	103.50	179	103.50	103.50	1.1
179	103.50	180	103.50	103.50	1.1
180	103.50	181	103.50	103.50	1.1
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183	103.50	184	103.50	103.50	1.1
184	103.50	185	103.50	103.50	1.1
185	103.50	186	103.50	103.50	1.1
186	103.50	187	103.50	103.50	1.1
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188	103.50	189	103.50	103.50	1.1
189	103.50	190	103.50	103.50	1.1
190	103.50	191	103.50	103.50	1.1
191	103.50	192	103.50	103.50	1.1
192	103.50	193	103.50	103.50	1.1
193	103.50	194	103.50	103.50	1.1
194	103.50	195	103.50	103.50	1.1
195	103.50	196	103.50	103.50	1.1
196	103.50	197	103.50	103.50	1.1
197	103.50	198	103.50	103.50	1.1
198	103.50	199	103.50	103.50	1.1
199	103.50	200	103.50	103.50	1.1
200	103.50	201	103.50	103.50	1.1
201	103.50	202	103.50	103.50	1.1
202	103.				

Ref #	Elevation	#	Area	Elevation	Area	x Distance
1	104.0	2	104.17	104.1	4.1	416.48
2	104.1	3	103.17	103.87	0.7	0.00
3	103.1	4	103.17	103.17	0.0	0.00
4	103.1	5	103.17	103.1	0.1	412.86
5	103.1	6	103.17	103.1	19.50	1908.66
6	103.1	7	103.50	104.34	0.8	24.14
7	103.1	8	103.50	103.5	2.0	261.27
8	103.1	9	103.50	103.5	1.0	106.52
9	103.1	10	103.50	103.5	3.35	24.79
10	103.1	11	103.50	103.5	1.1	422.12
11	103.1	12	114.53	108.4	6.1	26.14
12	114.33	13	113.33	113.33	0.0	126.02
13	113.33	14	113.33	113.33	0.0	111.3
14	113.33	15	111.3	111.33	2.0	695.21
15	111.3	16	111.3	111.33	0.0	111.3
16	111.3	17	111.3	111.47	0.1	893.21
17	111.3	18	111.81	111.81	1.0	1450.6
18	111.3	19	111.81	111.81	1.0	111.81
19	111.3	20	111.81	111.81	1.0	1450.6
20	111.3	21	119.66	119.66	0.0	6.0
21	119.66	22	119.48	116.48	3.2	5018.1
22	119.66	23	121.95	120.58	1.4	103.6
23	119.66	24	119.11	119.10	0.1	6.0
24	119.66	25	118.11	118.11	13.0	1655.4
25	118.11	26	112.92	112.92	1.0	103.6
26	118.11	27	112.92	112.43	0.5	886.9
27	112.92	28	112.33	112.33	1.0	103.6
28	112.33	29	112.33	112.33	1.0	112.33
29	112.33	30	112.33	112.33	4.1	444.32
30	112.33	31	112.33	112.33	5.1	131.00
31	112.33	32	109.50	109.42	0.8	869.43
32	112.33	33	108.50	108.50	1.0	124.29
33	112.33	34	108.50	108.50	1.0	278.89
34	112.33	35	108.50	108.50	1.0	104.82
35	112.33	36	108.50	108.50	2.0	284.04
36	112.33	37	113.84	110.11	3.7	257.03
37	113.84	38	104.07	104.07	18.50	2019.0
38	113.84	39	104.07	104.07	1.0	113.84
39	113.84	40	111.37	111.37	141.37	141.37
TOTAL						211.0
AVG FINISHED GRADE					113.62	
Max. Diff. Δ Elev. #					28.60	

#	Elevation	Ref #	Elevation	Area	x Distance	
1	113	2	112	13	4.0	452.0
2	112	3	112	11	0.0	0.0
3	112	4	109	11	11.04	444.14
4	109	5	112	11	2697.3	2697.3
5	112	6	114.91	111.47	3.5	4908.1
6	114.91	7	112.28	111.89	2.6	67.8
7	112.28	8	112.28	112.29	1.0	112.28
8	112.28	9	113	112.64	0.36	402.08
9	112.28	10	113	112.64	1.0	931.0
10	112.28	11	112	112.99	1.0	112.28
11	112.28	12	114.33	113.61	6.3	793.1
12	114.33	13	114	114.27	1.0	133.35
13	114.33	14	115.48	114.99	1.0	469.0
14	114.33	15	115	115.19	1.0	115.0
15	114.33	16	120.83	118.21	6.6	738.89
16	120.83	17	120.83	120.83	0.0	0.0
17	120.83	18	120.76	120.89	6.1	738.89
18	120.83	19	120.83	120.89	1.0	120.83
19	120.83	20	120.83	120.18	13.0	1568.0
20	120.83	21	123.75	123.75	0.0	0.0
21	123.75	22	127.25	129.46	42.0	5270.0
22	127.25	23	127.25	127.25	0.0	0.0
23	127.25	24	127.25	127.25	0.0	0.0
24	127.25	25	133.70	136.46	53.0	1631.3
25	133.70	26	133.70	133.72	0.0	0.0
26	133.70	27	123.84	123.69	1.0	123.69
27	123.84	28	121.96	122.56	6.0	736.50
28	123.84	29	118.50	120.45	6.0	736.50
29	118.50	30	119.27	118.24	1.0	119.24
30	119.27	31	118.24	118.69	4.5	475.89
31	118.24	32	118.21	118.27	1.0	118.27
32	118.21	33	118.21	117.49	6.3	747.36
33	118.21	34	118.87	118.56	1.0	118.56
34	118.21	35	115.49	115.98	3.0	451.89
35	118.21	36	118.44	118.47	1.0	118.47
36	118.21	37	114.63	114.94	2.0	306.82
37	118.21	38	113.64	114.14	2.33	264.29
38	118.21	39	113.62	113.62	18.0	2109.36
TOTAL						183.28
AVG EXISTING GRADE					119.72	
Max. Diff. Δ Elev. #					28.60	



SITE PLAN
SCALE: 1/8"=1'-0"

Station	Finish	Elevation
1+00.00	124.50	124.50
1+02.00	124.50	124.50
1+04.00	124.50	124.50

Station	Finish	Elevation
1+00.00	124.50	124.50
1+02.00	124.50	124.50
1+04.00	124.50	124.50



These plans remain the ownership of Sterling Pacific

REVISED FOR	DATE
Revised for DP/Razoring	Aug 31, 2021
ERIC Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JUN 13, 2023



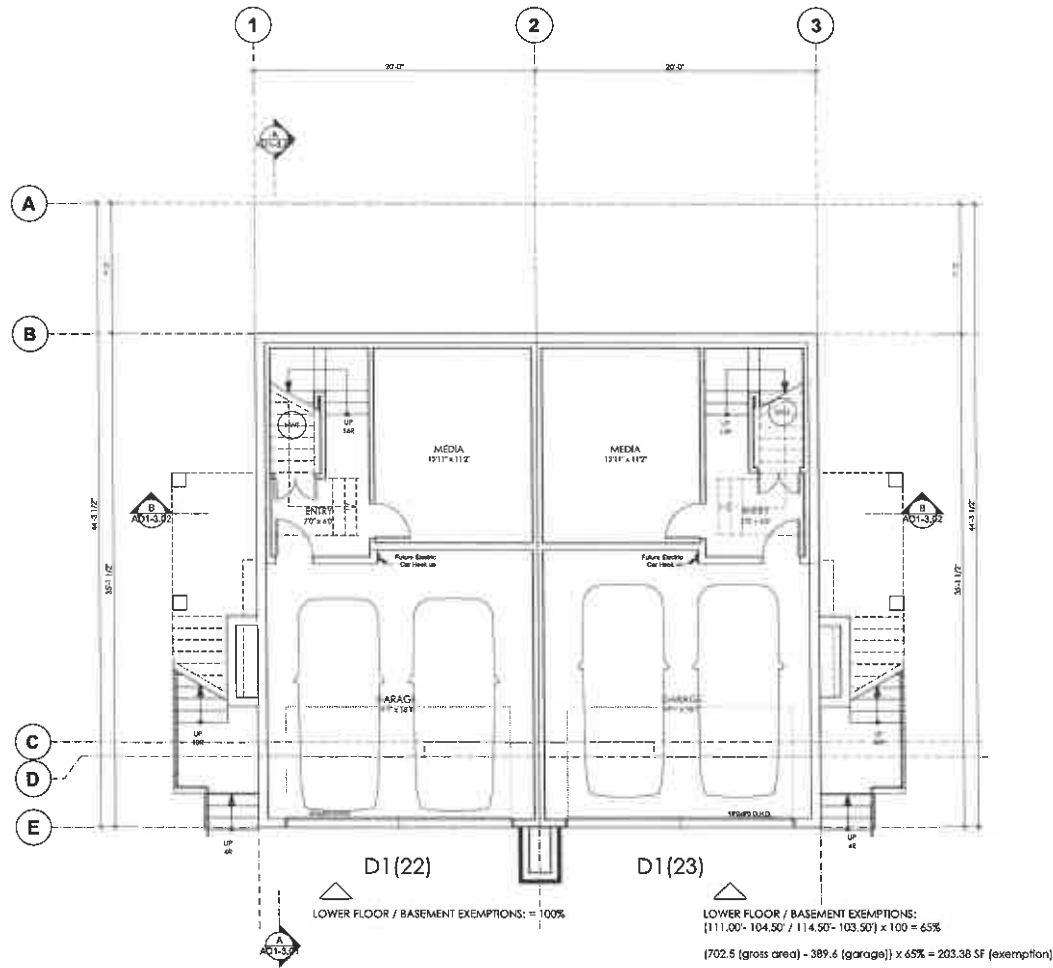
AQUILA
8400 AFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D1

SITE PLAN

PROJECT#	SHEET
8200	AD1-1.01
SCALE	DATE
1/8"=1'-0"	MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based To: DP/Resubmit Aug 31, 2021
 DRP Public Comment Review MAY 12, 2023
 D1, D2, D3 Revisions MAY 31, 2023

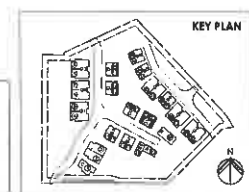


LOWER / ENTRY FLOOR PLAN
 UNIT D1



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D1

DRAWING
LOWER FLOOR PLAN



UNIT 22 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.6 SF	791.4 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	212.9 SF	0.0 SF	0.0 SF	212.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.4 SF	804.6 SF	1596.0 SF

UNIT 22 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	43.35A	73.55A	74.75A	191.65A
GARAGE EXCLUSIONS	34.25A	0.00A	0.00A	34.25A
BASEMENT EXCLUSIONS 100%	25.11A	0.00A	0.00A	25.11A
COVERED BALCONY EXCLUSIONS	0.00A	0.00A	0.00A	0.00A
NET	0.00A	73.55A	74.75A	148.30A

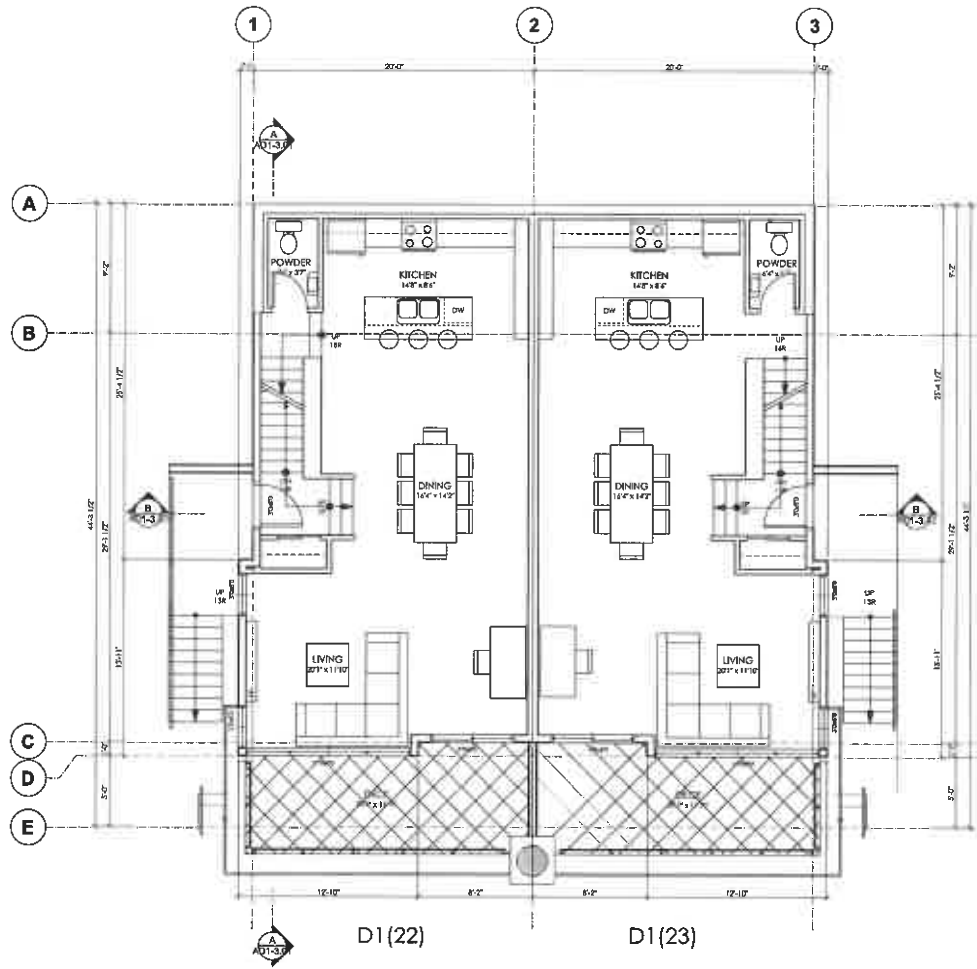
UNIT 23 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.6 SF	791.4 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 65%	202.4 SF	0.0 SF	0.0 SF	202.4 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	109.6 SF	791.4 SF	804.6 SF	1705.7 SF

UNIT 23 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	43.35A	73.55A	74.75A	191.65A
GARAGE EXCLUSIONS	34.25A	0.00A	0.00A	34.25A
BASEMENT EXCLUSIONS 65%	18.85A	0.00A	0.00A	18.85A
COVERED BALCONY EXCLUSIONS	0.00A	0.00A	0.00A	0.00A
NET	10.25A	73.55A	74.75A	158.55A

PROJECT# 8000 SHEET
 SCALE 1/4" = 1'-0" **AD1-2.01**
 DATE MAY 12, 2023

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REV 1310188
 Revised for DP/Responing AUG 31, 2023
 DISCU Public Comment Revisions MAY 12, 2023
 D1, D2, D3 Revisions JULY 31, 2023



MAIN FLOOR PLAN
 UNIT D1

UNIT 22 FLOOR AREAS IMPERIAL

	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	702.5 SF	771.4 SF	804.4 SF	2278.3 SF
GARAGE EXCLUSIONS	389.4 SF	0.0 SF	0.0 SF	389.4 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	771.4 SF	804.4 SF	1576.8 SF

UNIT 22 FLOOR AREAS METRIC

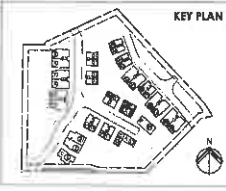
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	49.25M	73.75M	74.75M	217.75M
GARAGE EXCLUSIONS	28.25M	0.00M	0.00M	28.25M
BASEMENT EXCLUSIONS 100%	21.15M	0.00M	0.00M	21.15M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	73.75M	74.75M	148.50M

UNIT 23 FLOOR AREAS IMPERIAL

	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	702.5 SF	771.4 SF	804.4 SF	2278.3 SF
GARAGE EXCLUSIONS	389.4 SF	0.0 SF	0.0 SF	389.4 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	109.5 SF	771.4 SF	804.4 SF	1685.3 SF

UNIT 23 FLOOR AREAS METRIC

	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	49.25M	73.75M	74.75M	217.75M
GARAGE EXCLUSIONS	28.25M	0.00M	0.00M	28.25M
BASEMENT EXCLUSIONS 100%	21.15M	0.00M	0.00M	21.15M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	10.25M	73.75M	74.75M	158.75M



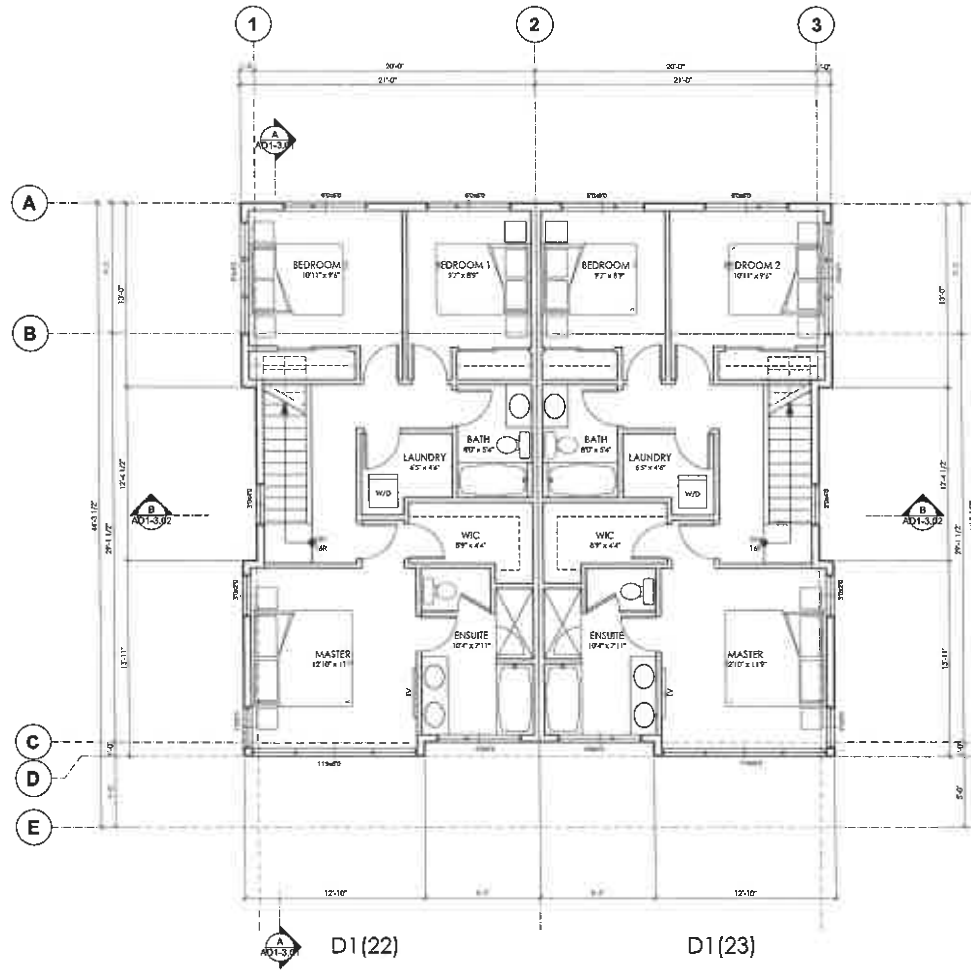
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D1

DRAWING
MAIN FLOOR PLAN

PROJECT# 8000
 SHEET
AD1-2.02
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for CIP/Finishing Aug. 31, 2021
 DRC/Public Comment Revisions MAY 12, 2022
 G1, G2, G3 Revisions JULY 31, 2023

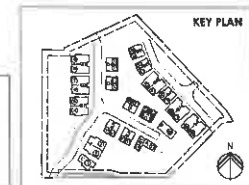


UPPER FLOOR PLAN
 UNIT D1



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D1

DRAWING
 UPPER FLOOR PLAN

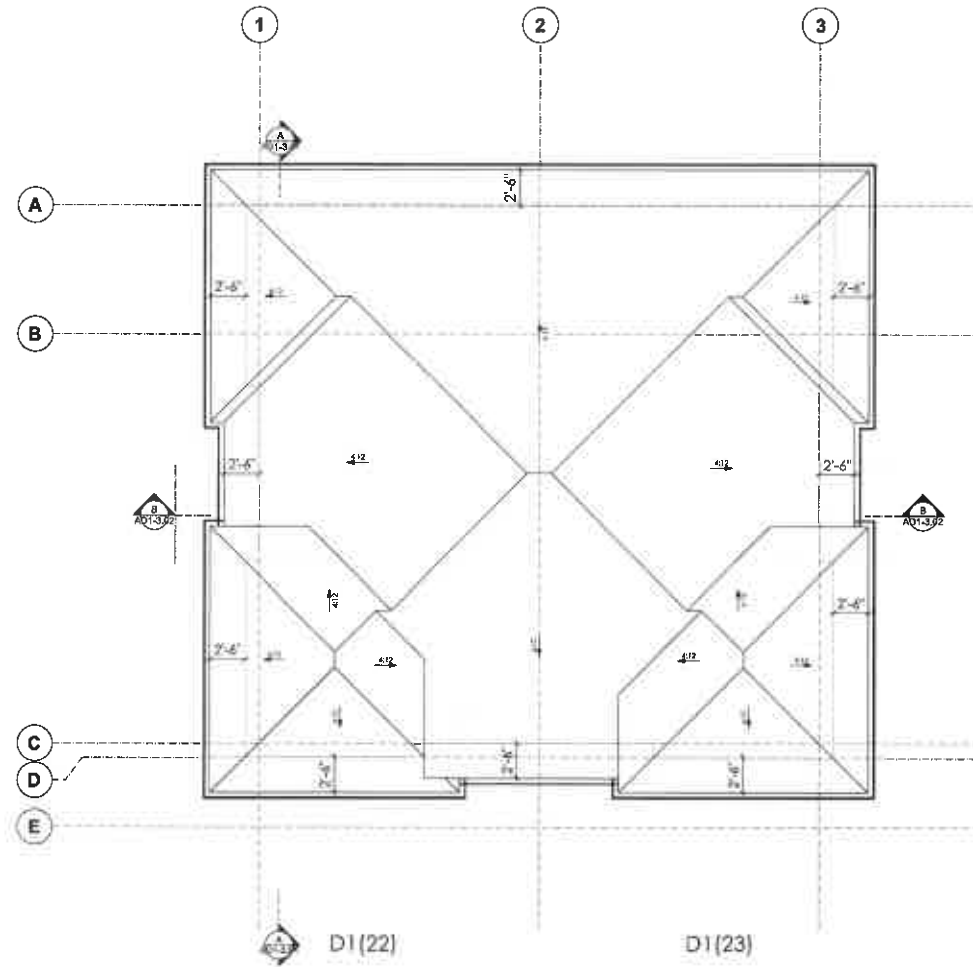


UNIT 22 FLOOR AREAS IMPERIAL				UNIT 22 FLOOR AREAS METRIC				UNIT 23 FLOOR AREAS IMPERIAL				UNIT 23 FLOOR AREAS METRIC						
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL		LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL		LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	702.8 SF	791.8 SF	854.6 SF	2349.2 SF	65.3 SA	73.5 SA	74.7 SA	213.5 SA	GROSS	702.8 SF	791.8 SF	854.6 SF	2349.2 SF	GROSS	65.3 SA	73.5 SA	74.7 SA	213.5 SA
GARAGE EXCLUSIONS	389.2 SF	0.0 SF	0.0 SF	389.2 SF	34.2 SA	0.0 SA	0.0 SA	34.2 SA	GARAGE EXCLUSIONS	389.2 SF	0.0 SF	0.0 SF	389.2 SF	GARAGE EXCLUSIONS	34.2 SA	0.0 SA	0.0 SA	34.2 SA
BASEMENT EXCLUSIONS TYPE	212.2 SF	0.0 SF	0.0 SF	212.2 SF	20.1 SA	0.0 SA	0.0 SA	20.1 SA	BASEMENT EXCLUSIONS TYPE	212.2 SF	0.0 SF	0.0 SF	212.2 SF	BASEMENT EXCLUSIONS TYPE	19.8 SA	0.0 SA	0.0 SA	19.8 SA
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SA	0.0 SA	0.0 SA	0.0 SA	COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF	COVERED BALCONY EXCLUSIONS	0.0 SA	0.0 SA	0.0 SA	0.0 SA
NET	0.0 SF	791.8 SF	854.6 SF	1646.4 SF	0.0 SA	73.5 SA	74.7 SA	148.2 SA	NET	105.5 SF	791.8 SF	854.6 SF	1748.9 SF	NET	10.5 SA	73.5 SA	74.7 SA	158.7 SA

PROJECT # 0030
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
 SHEET
AD1-2.03

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REVISIONS	
Issued for DPR/Reasoning	Aug 31, 2023
DRGJ Public Comment Revisions	MAY 12, 2023
D1, D2, D3 Revisions	JULY 31, 2023



ROOF PLAN
UNIT D1



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D1

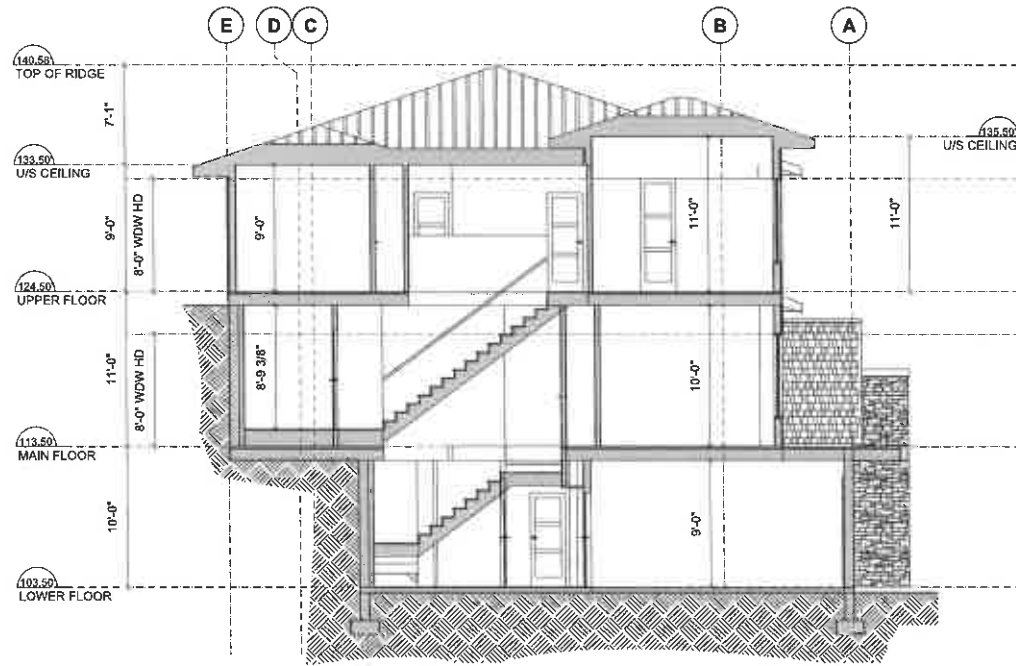
DRAWING
ROOF PLAN



PROJECT#	SHEET
0000	AD1-
SCALE 1/8"=1'-0"	2.04
DATE MAY 12, 2023	

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REVISIONS	
Issued for DR Review	Aug 31, 2021
DRCA Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



A SECTION A
Scale: 1/4" = 1'-0"



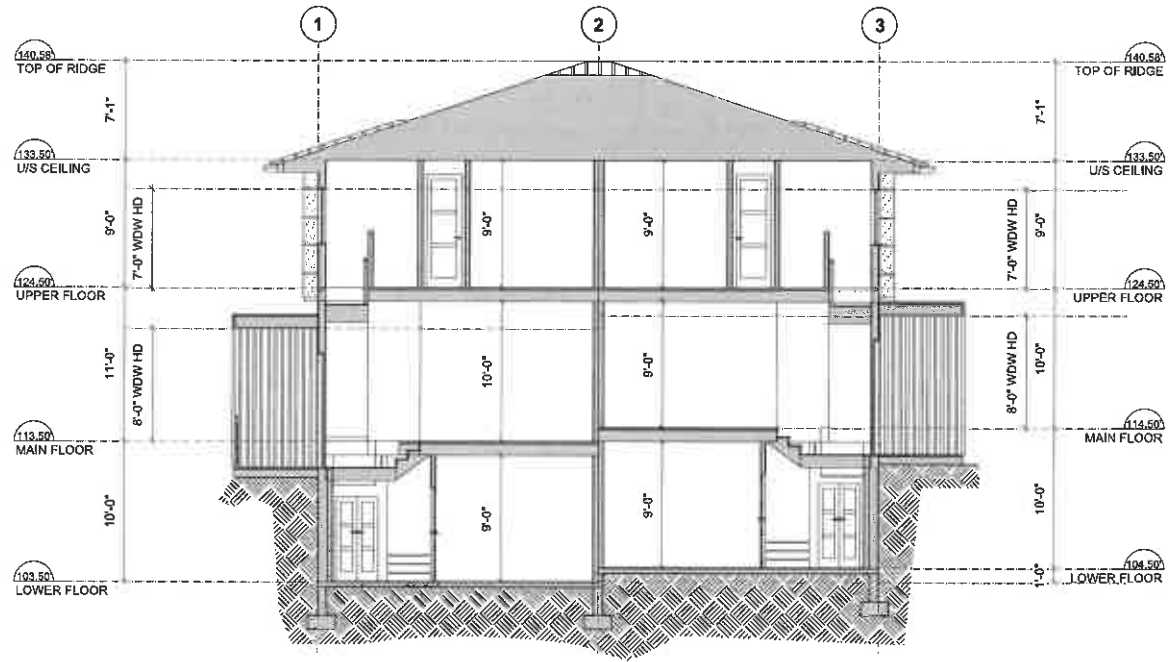
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D1

DRAWING
SECTION A-A

PROJECT	SHEET
0200	AD1-3.01
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023

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REVISIONS
 Issued for DR/Permitting Aug. 31, 2021
 DR/2 Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



B Section B
 Scale: 1/4" = 1'-0"



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D1

DRAWING
 SECTION B-B

PROJECT#	SHEET
0000	AD1-
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023
	3.02

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REVISIONS
 Issued for DR/Planning Aug 31, 2021
 DR/2 Public Comment Response MAY 12, 2022
 CV, CE, CD Revisions JULY 31, 2023

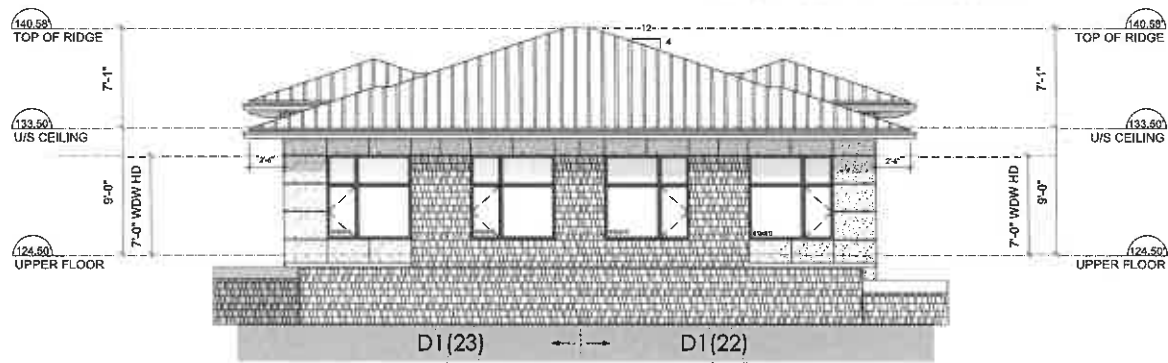


FRONT ELEVATION
UNIT D1

LOWER FLOOR / BASEMENT EXEMPTIONS: = 100%

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (111.00'-104.50' / 114.50'-103.50') x 100 = 65%

(702.5 (gross area) - 389.6 (garage)) x 65% = 203.38 SF (exemption)



BACK ELEVATION
UNIT D1



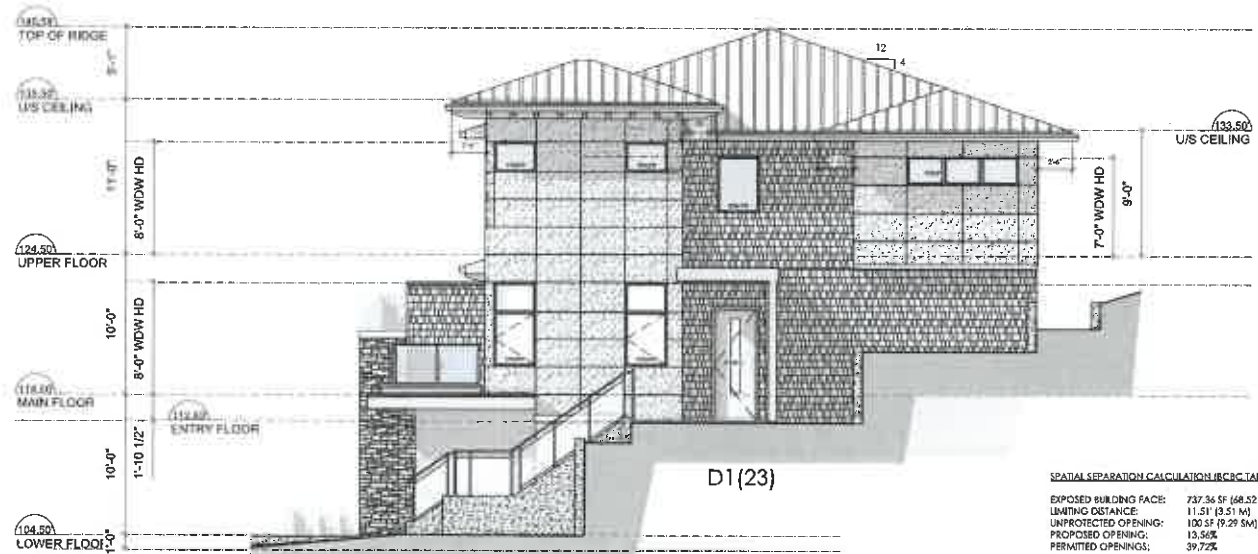
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D1

DRAWING
 FRONT & BACK
 ELEVATIONS B/W

PROJECT#	8030	SHEET	AD1-4.01
SCALE	3/4" = 1'-0"		
DATE	MAY 12, 2023		

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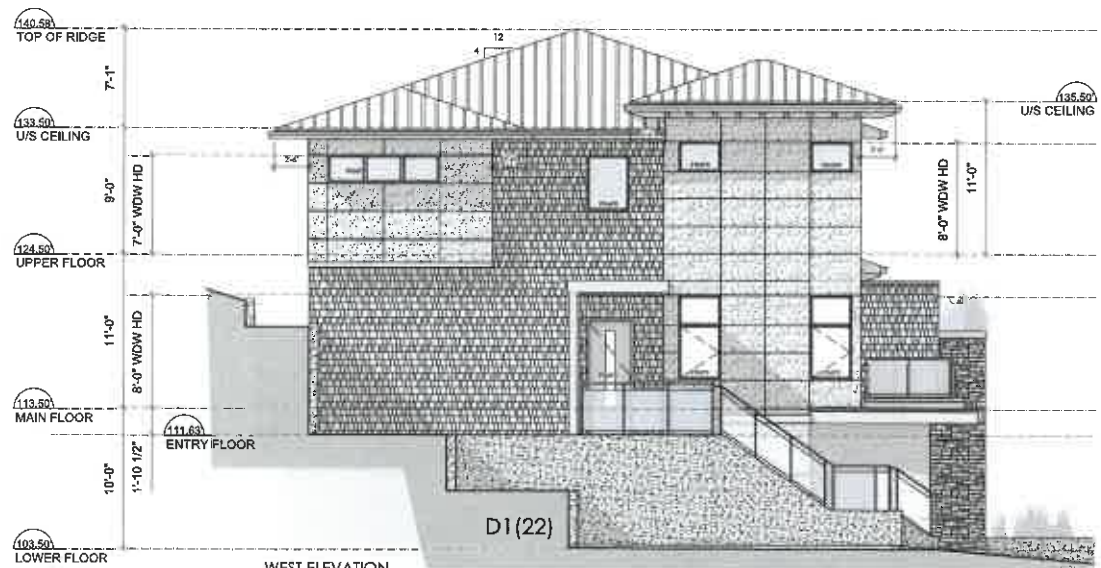
REVISIONS
 Issued for DRP/Rezoning Aug 31, 2021
 DRCP Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D1)

EXPOSED BUILDING FACE:	737.36 SF (68.52 SM)
LIMITING DISTANCE:	11.51' (3.51 M)
UNPROTECTED OPENING:	100 SF (9.29 SM)
PROPOSED OPENING:	13.56%
PERMITTED OPENINGS:	39.72%

EAST ELEVATION
UNIT D1



SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D2)

EXPOSED BUILDING FACE:	1100.84 SF (102.27 SM)
LIMITING DISTANCE:	8.84' (1.78 M)
UNPROTECTED OPENING:	100 SF (9.29 SM)
PROPOSED OPENING:	9.06%
PERMITTED OPENINGS:	17.47%

WEST ELEVATION
UNIT D1



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D1

DRAWING
**EAST & WEST
 ELEVATIONS B/W**

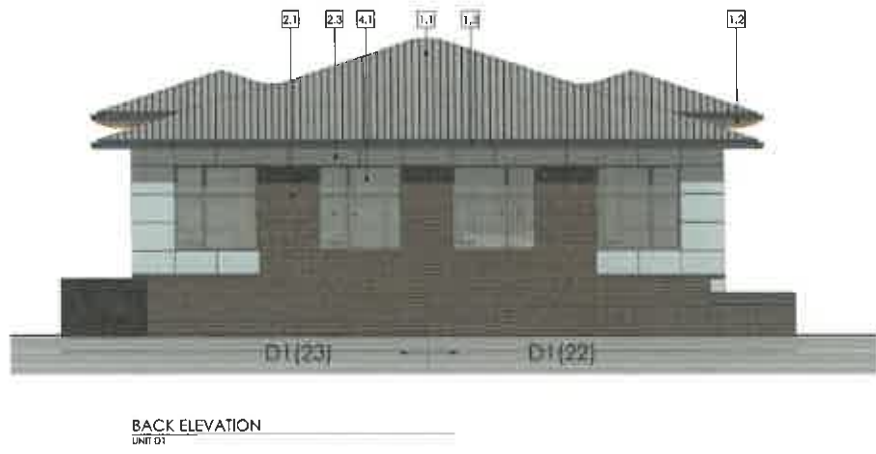
PROJECT	8000	SHEET	AD1- 4.02
SCALE	1/4" = 1'-0"		
DATE	JULY 12, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based for DR/Revisions: Aug. 31, 2024
 DR/ Public Comment Revisions: MAY 12, 2023
 01, 02, 03 Revisions: JULY 31, 2023



FRONT ELEVATION
UNIT D1



BACK ELEVATION
UNIT D1



AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	1/2" x 4" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport - BM - HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodstone Rubic Series Carbon Trails
2.2	Hardy Panel	Not used
2.3	Stone Panel	Light Mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Wrought Iron Balcony	Wrought Iron BM - 2124 - 10
3.2	Wrought Iron Balcony	Wrought Iron BM - 2124 - 10
4.1	Window / Fascia / Barge Boards / Upstand	Charcoal Gray
4.2	Entry Door	Silewood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut
4.3	Window / Fascia / Barge Boards / Upstand	Charcoal Gray
4.4	Roofing	Charcoal Gray
5.1	Exterior Siding	Silewood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut
5.2	Exterior Siding	Charcoal Gray
5.3	Steel	Charcoal Gray



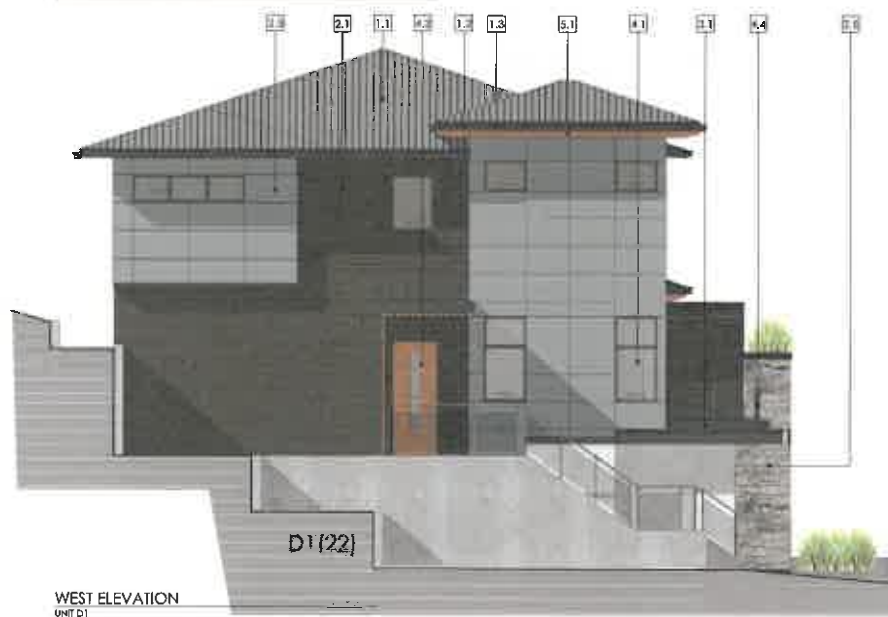
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT D1

DRAWING
FRONT & BACK ELEVATIONS

PROJECT# 0000
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
 SHEET **AD1-4.03**

These plans remain the ownership of Sterling Pacific

REVISION
 Based for DP/Reznick Aug 31, 2021
 DRGJ Public Comment Revisions MAY 12, 2022
 DT, GZ, GJ Revisions JULY 31, 2022



AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Equipment - BW- HC-105
1.3	Gutter	Charcoal Gr
2.1	Fibre Cement Shingles	Woodstone Basic Series Carbon Ink
2.2	Not used	
2.3	Hardy Panel	Light mat
2.4	Not used	
2.5	None	Random Granite
3.1	Upst... ch/c... pre	Wrought Iron BW- 2124 - 10
3.2	Count... c/ou	Wrought Iron BW- 2124 - 10
4.1	Interior... door	Charcoal Gray
4.2	Entry door painted c/w transom and	Stainwood - Old Master Gel Stain c/w
4.3	Stair... garage	Charcoal Gray
4.4	Location glass quadrol system c/w	Charcoal Gray
5.1	Medium... wood	Stainwood - Old Master Gel Stain c/w
5.2	Finished metal S...	Charcoal Gray
5.3	Leaf... painted iron	Charcoal Gray

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D1

DRAWING
**EAST & WEST
 ELEVATIONS**

PROJECT# 0000
 SHEET
AD1-4.04
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2022



FRONT ELEVATION - CAMERA VIEW
UNIT D1



SIDE ELEVATION - CAMERA VIEW
UNIT D1



BACK ELEVATION - CAMERA VIEW
UNIT D1



SIDE ELEVATION - CAMERA VIEW
UNIT D1

These plans remain the ownership of Sterling Pacific

REVISIONS
 based for CIP/Marketing Aug 31, 2021
 DRG Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023



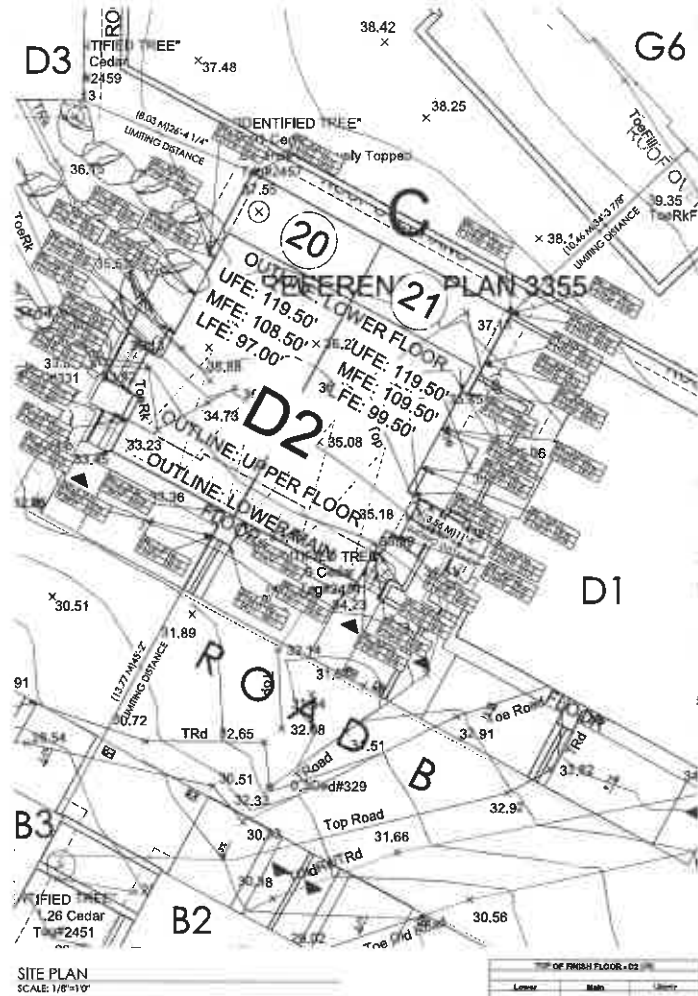
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D1

DRAWING
 FRONT, BACK
 SIDE ELEVATIONS

PROJECT#	0200	SHEET	AD1- 4.05
SCALE	N.T.S.		
DATE	MAY 12, 2022		

-AVERAGE FINISHED GRADE CALCULATION		ELEVATION		DISTANCE	
#	Elevation	Ref #	PR	Elevation	x Distance
1	88.57	1	88.1	99.11	4
2	88.57	2	88.1	99.11	3
3	88.57	3	88.6	97.2	2
4	88.57	4	88.6	97.2	4
5	88.57	5	88.6	97.2	1
6	88.57	6	88.6	97.2	18
7	100.75	7	100.75	100.75	2
8	100.75	8	100.75	100.75	3
9	100.75	9	100.75	100.75	11
10	100.75	10	100.75	100.75	11
11	100.75	11	100.75	100.75	1
12	100.75	12	100.75	100.75	4.2
13	100.75	13	100.75	100.75	1.0
14	100.75	14	100.75	100.75	2.2
15	100.75	15	100.75	100.75	0.38
16	100.75	16	100.75	100.75	6.1
17	100.75	17	100.75	100.75	1.0
18	100.75	18	100.75	100.75	4.0
19	100.75	19	100.75	100.75	1.0
20	100.75	20	100.75	100.75	18.0
21	100.75	21	100.75	100.75	42.0
22	100.75	22	100.75	100.75	0.0
23	100.75	23	100.75	100.75	0.0
24	100.75	24	100.75	100.75	0.0
25	100.75	25	100.75	100.75	4.8
26	100.75	26	100.75	100.75	1.0
27	100.75	27	100.75	100.75	5.1
28	100.75	28	100.75	100.75	1.0
29	100.75	29	100.75	100.75	8.1
30	100.75	30	100.75	100.75	1.0
31	100.75	31	100.75	100.75	1.0
32	100.75	32	100.75	100.75	1.0
33	100.75	33	100.75	100.75	6.1
34	100.75	34	100.75	100.75	1.0
35	100.75	35	100.75	100.75	34.0
36	100.75	36	100.75	100.75	1.0
37	100.75	37	100.75	100.75	1.0
38	100.75	38	100.75	100.75	2.0
39	100.75	39	100.75	100.75	1.0
40	100.75	40	100.75	100.75	1.0
Total				180.28	2008.0
AVG Finish Grade					107.7
Max. Finish Grade					137.48

-AVERAGE EXISTING GRADE CALCULATION		ELEVATION		DISTANCE	
#	Elevation	Ref #	PR	Elevation	x Distance
1	110.01	1	104.71	106.30	4.00
2	108.75	2	104.75	106.75	0.0
3	108.75	3	104.75	106.75	0.0
4	108.75	4	104.75	106.75	4.0
5	110.01	5	109.04	106.76	16.50
6	108.54	6	110.0	108.00	849.05
7	110.01	7	110.0	110.00	1.0
8	110.01	8	110.0	110.00	1.0
9	110.01	9	110.0	110.00	1.0
10	110.01	10	110.0	110.00	1.0
11	110.01	11	110.0	110.00	1.0
12	110.01	12	110.0	110.00	1.0
13	110.01	13	110.0	110.00	1.0
14	110.01	14	110.0	110.00	1.0
15	110.01	15	110.0	110.00	1.0
16	110.01	16	110.0	110.00	1.0
17	110.01	17	110.0	110.00	1.0
18	110.01	18	110.0	110.00	1.0
19	110.01	19	110.0	110.00	1.0
20	110.01	20	110.0	110.00	1.0
21	110.01	21	110.0	110.00	1.0
22	110.01	22	110.0	110.00	1.0
23	110.01	23	110.0	110.00	1.0
24	110.01	24	110.0	110.00	1.0
25	110.01	25	110.0	110.00	1.0
26	110.01	26	110.0	110.00	1.0
27	110.01	27	110.0	110.00	1.0
28	110.01	28	110.0	110.00	1.0
29	110.01	29	110.0	110.00	1.0
30	110.01	30	110.0	110.00	1.0
31	110.01	31	110.0	110.00	1.0
32	110.01	32	110.0	110.00	1.0
33	110.01	33	110.0	110.00	1.0
34	110.01	34	110.0	110.00	1.0
35	110.01	35	110.0	110.00	1.0
36	110.01	36	110.0	110.00	1.0
37	110.01	37	110.0	110.00	1.0
38	110.01	38	110.0	110.00	1.0
39	110.01	39	110.0	110.00	1.0
40	110.01	40	110.0	110.00	1.0
Total				189.28	11
AVG Existing Grade					118.22
Max. Existing Grade					148.58



TOP OF FINISH FLOOR - D2		
Lower	Math	Upper
29.57 m	97.97 m	32.42 m
97.97	108.50	119.52

TOP OF FINISH FLOOR - D2.1		
Lower	Math	Upper
31.53 m	93.58 m	34.42 m
93.57	108.50	119.52



These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for D/F Reporting
 BRD Public Comment Revisions
 01, 02, 03 Revisions

Aug 31, 2021
 MAY 12, 2023
 JUL 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D2

DRAWING
SITE PLAN

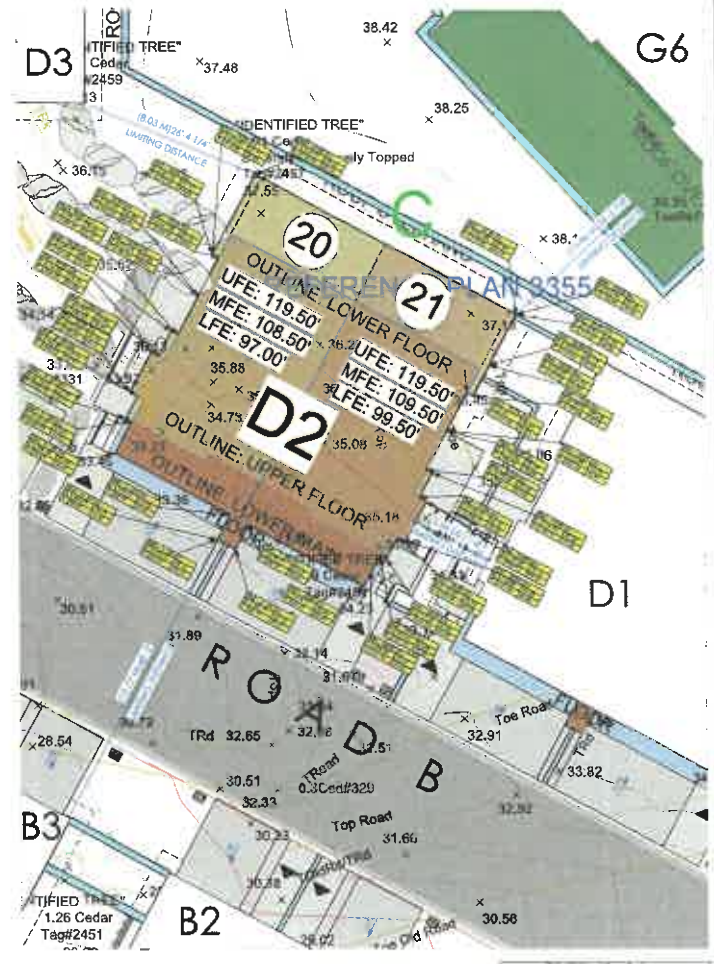
PROJECT# 9000
 SCALE 1/8" = 1'-0"
 DATE MAY 12, 2023
 SHEET
AD2-1.01

1 - AVERAGE FINISH GRADE CALCULATION

Station	Ref #	Elevation	Distance	x Distance
1	98.17	4	98.11	98.17
2	98.17	4	98.11	98.17
3	98.17	4	98.11	98.17
4	98.17	4	98.11	98.17
5	98.17	4	98.11	98.17
6	98.47	6	98.11	18.00
7	100.14	10	100.7	100.70
8	100.75	10	100.7	100.70
9	100.75	10	100.7	100.70
10	100.75	10	100.7	100.70
11	100.20	12	100.1	1.1
12	100.1	12	100.1	1.1
13	100.1	12	100.1	1.1
14	100.50	14	100.3	6.2
15	100.20	16	100.1	10.1
16	100.58	17	100.58	10.1
17	100.58	18	100.58	10.1
18	100.58	18	100.58	10.1
19	117.45	18	118.1	13.00
20	118.43	24	118.1	42.00
21	118.52	15	118.1	2.00
22	118.48	2	118.1	0.00
23	111.40	24	111.81	8.1
24	111.81	24	111.81	0.0
25	107.84	107	107.84	4.6
26	107.84	207	107.84	107.84
27	107.84	207	107.84	107.84
28	107.84	207	107.84	107.84
29	107.84	207	107.84	107.84
30	107.84	207	107.84	107.84
31	109.1	31	109.1	109.1
32	109.1	32	109.1	109.1
33	109.1	34	109.1	109.1
34	101.50	101	101	101
35	101.50	101	101	101
36	101.50	101	101	101
37	101.50	101	101	101
38	99.1	2	100.34	2
39	99.17	1	99.1	18.50
Total			180.2	2058
Avg Finish Grade				117

2 - AVERAGE EXISTING GRADE CALCULATION

Station	Ref #	Elevation	Distance	x Distance
1	110.01	2	108.71	4.8
2	108.71	2	108.71	4.8
3	108.71	4	108.71	16.8
4	108.71	4	108.71	16.8
5	110.01	6	108.54	16.80
6	110.01	7	110.33	100.00
7	110.01	8	110.33	100.00
8	110.01	9	110.88	15.00
9	110.01	10	110.88	15.00
10	110.01	11	110.88	15.00
11	112	12	113.94	1.1
12	113	13	118.17	4.1
13	118.1	14	118.17	1.1
14	118.1	16	118.55	6.2
15	118.1	16	118.55	6.2
16	118.1	16	118.55	6.2
17	118.1	16	118.55	6.2
18	118.1	16	118.55	6.2
19	118.1	16	118.55	6.2
20	122.7	21	122.4	42.00
21	122.7	22	122.83	0.00
22	122.7	23	122.83	0.00
23	122.7	24	120.47	12.1
24	120.4	25	120.47	12.1
25	120.4	26	118.30	4.1
26	118.3	27	118.00	1.1
27	118.3	28	118.90	6.1
28	118.3	29	119.60	10.00
29	118.3	31	118.84	6.1
30	118.3	31	118.84	6.1
31	118.01	31	118.51	1.00
32	115.11	33	115.1	1.17
33	115.11	34	112.68	8.1
34	112.68	35	112.68	1.1
35	112.68	36	111.24	12.07
36	111.24	37	111.22	1.00
37	111.24	38	109.17	1.1
38	109.17	39	108.21	2.1
39	108.21	1	110.01	18.50
Total			199.2	2195
Avg Existing Grade				110



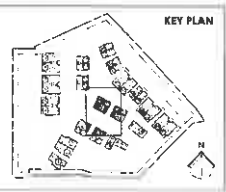
SITE PLAN
SCALE: 1/8"=10'

TOP OF FINISH FLOOR - D2

Lower	Main	Upper
97.00	99.50	110.50

TOP OF FINISH FLOOR - D2 (111)

Lower	Main	Upper
98.50	101.00	111.50



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REVISIONS

Issued for	By	Date
for CIP/Remain	CP	AUG 31, 2021
CP/CZ Public Comment Revisions	CP	MAY 12, 2022
01, 02, 03 Revisions	CP	JULY 31, 2022



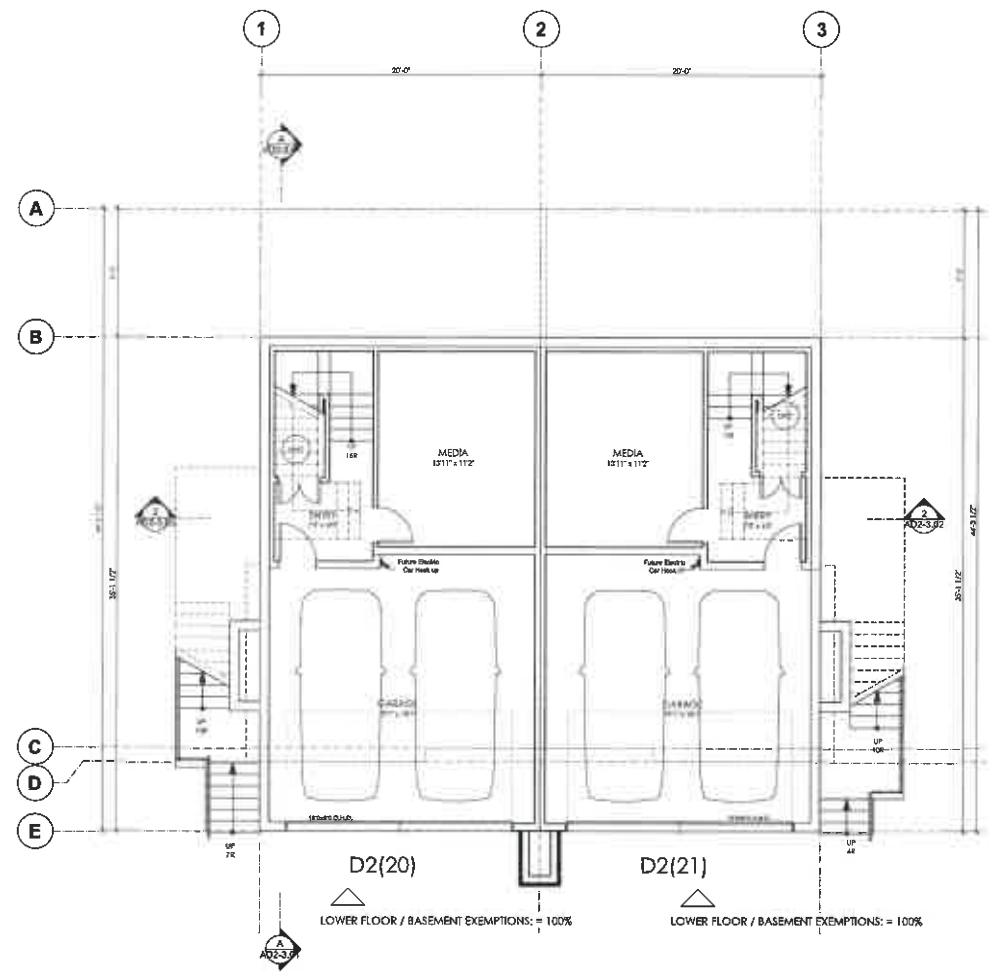
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D2

DRAWING
SITE PLAN

PROJECT# 0030 SHEET
SCALE 1/8" = 10' **AD2-1.01**
DATE MAY 12, 2022

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based for DR/Meeting Aug 31, 2021
 OBC Public Comment Review MAY 12, 2020
 01, 02, 03 Revisions JULY 31, 2020

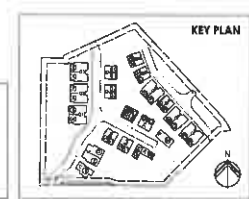


LOWER / ENTRY FLOOR PLAN
 UNIT D2



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT D2

DRAWING
LOWER FLOOR PLAN



UNIT 20 FLOOR AREAS IMPERIAL				
	LEVEL 1 150 FT	LEVEL 2 150 FT	LEVEL 3 150 FT	TOTAL
GROSS	752.5 SF	777.3 SF	610.2 SF	2140.0 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	777.3 SF	610.2 SF	1427.5 SF

UNIT 20 FLOOR AREAS METRIC				
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	45.3 SA	74.1 SA	73.5 SA	192.9 SA
GARAGE EXCLUSIONS	34.3 SA	0.0 SA	0.0 SA	34.3 SA
BASEMENT EXCLUSIONS 100%	29.1 SA	0.0 SA	0.0 SA	29.1 SA
COVERED BALCONY EXCLUSIONS	0.0 SA	0.0 SA	0.0 SA	0.0 SA
NET	0.0 SA	74.1 SA	73.5 SA	147.6 SA

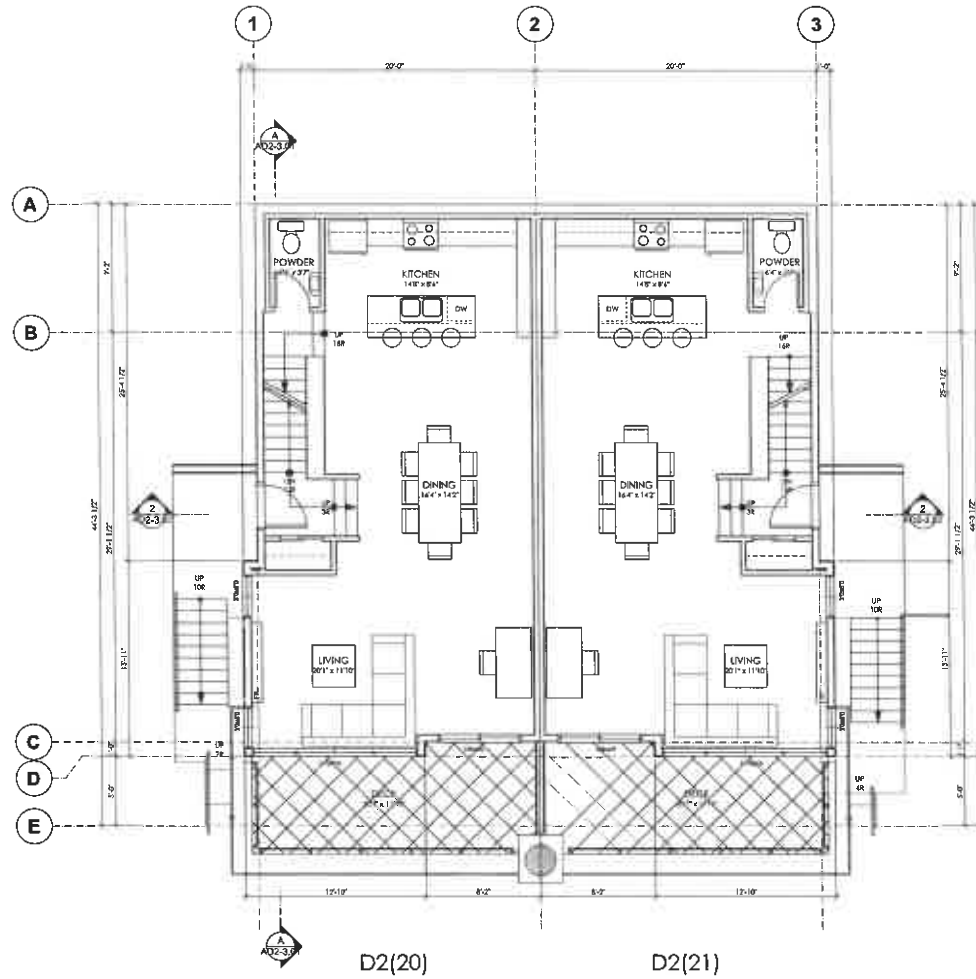
UNIT 21 FLOOR AREAS IMPERIAL				
	LEVEL 1 150 FT	LEVEL 2 150 FT	LEVEL 3 150 FT	TOTAL
GROSS	702.5 SF	771.6 SF	384.6 SF	1858.7 SF
GARAGE EXCLUSIONS	389.4 SF	0.0 SF	0.0 SF	389.4 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	771.6 SF	384.6 SF	1156.2 SF

UNIT 21 FLOOR AREAS METRIC				
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	62.3 SA	73.8 SA	34.7 SA	170.8 SA
GARAGE EXCLUSIONS	34.3 SA	0.0 SA	0.0 SA	34.3 SA
BASEMENT EXCLUSIONS 100%	29.1 SA	0.0 SA	0.0 SA	29.1 SA
COVERED BALCONY EXCLUSIONS	0.0 SA	0.0 SA	0.0 SA	0.0 SA
NET	0.0 SA	73.8 SA	34.7 SA	108.5 SA

PROJECT# 8050
 SHEET
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2020
AD2-2.01

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued by DP/Resizing Aug. 31, 2021
 DRG/ Pacific/Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions MAY 31, 2023

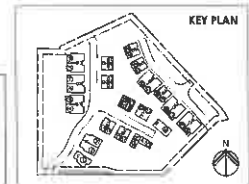


MAIN FLOOR PLAN
 UNIT D2



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D2

DRAWING
MAIN FLOOR PLAN



UNIT 20 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT			LEVEL 2 SQ FT			LEVEL 3 SQ FT			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	792.5 SF	797.3 SF	810.3 SF	2310.1 SF						2310.1 SF
GARAGE EXCLUSIONS	399.4 SF	0.0 SF	0.0 SF	399.4 SF						399.4 SF
BASINMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF						312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF						0.0 SF
NET	0.0 SF	797.3 SF	810.3 SF	1407.6 SF						1407.6 SF

UNIT 20 FLOOR AREAS METRIC	LEVEL 1 SQ M			LEVEL 2 SQ M			LEVEL 3 SQ M			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	45.35M	74.13M	75.35M	214.65M						214.65M
GARAGE EXCLUSIONS	34.25M	0.00M	0.00M	34.25M						34.25M
BASINMENT EXCLUSIONS 100%	29.13M	0.00M	0.00M	29.13M						29.13M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M						0.00M
NET	0.00M	74.13M	75.35M	148.33M						148.33M

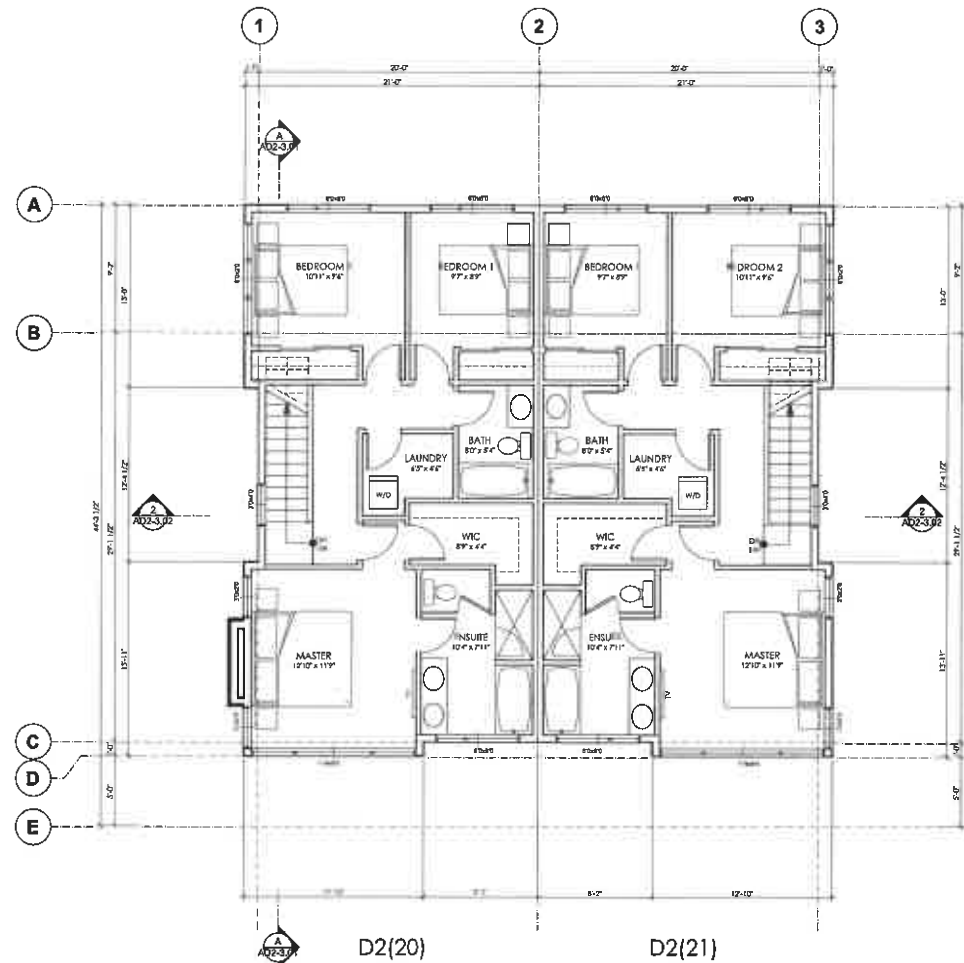
UNIT 21 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT			LEVEL 2 SQ FT			LEVEL 3 SQ FT			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	792.5 SF	791.4 SF	804.6 SF	2378.5 SF						2378.5 SF
GARAGE EXCLUSIONS	399.4 SF	0.0 SF	0.0 SF	399.4 SF						399.4 SF
BASINMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF						312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF						0.0 SF
NET	0.0 SF	791.4 SF	804.6 SF	1596.2 SF						1596.2 SF

UNIT 21 FLOOR AREAS METRIC	LEVEL 1 SQ M			LEVEL 2 SQ M			LEVEL 3 SQ M			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	45.35M	73.54M	74.75M	213.62M						213.62M
GARAGE EXCLUSIONS	34.25M	0.00M	0.00M	34.25M						34.25M
BASINMENT EXCLUSIONS 100%	29.13M	0.00M	0.00M	29.13M						29.13M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M						0.00M
NET	0.00M	73.54M	74.75M	148.33M						148.33M

PROJECT# 0020 SHEET
 SCALE 1/4" = 1'-0" AD2-
 DATE MAY 12, 2023 2.02

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DR Measuring Aug 31, 2021
 DR2 Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023



UPPER FLOOR PLAN
 UNIT D2

UNIT 20 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	762.5 SF	777.5 SF	816.5 SF	2356.5 SF
GARAGE EXCLUSIONS	389.5 SF	0.0 SF	0.0 SF	389.5 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	777.5 SF	816.5 SF	1487.8 SF

UNIT 20 FLOOR AREAS METRIC

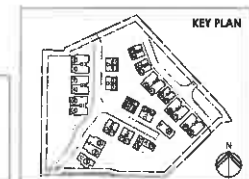
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	42.2 SQ M	71.1 SQ M	73.3 SQ M	214.6 SQ M
GARAGE EXCLUSIONS	34.2 SQ M	0.0 SQ M	0.0 SQ M	34.2 SQ M
BASEMENT EXCLUSIONS 100%	29.1 SQ M	0.0 SQ M	0.0 SQ M	29.1 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	0.0 SQ M	71.1 SQ M	73.3 SQ M	144.4 SQ M

UNIT 21 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	762.5 SF	774.8 SF	804.6 SF	2341.9 SF
GARAGE EXCLUSIONS	389.5 SF	0.0 SF	0.0 SF	389.5 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	774.8 SF	804.6 SF	1579.4 SF

UNIT 21 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	42.2 SQ M	71.9 SQ M	74.7 SQ M	214.8 SQ M
GARAGE EXCLUSIONS	34.2 SQ M	0.0 SQ M	0.0 SQ M	34.2 SQ M
BASEMENT EXCLUSIONS 100%	29.1 SQ M	0.0 SQ M	0.0 SQ M	29.1 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	0.0 SQ M	71.9 SQ M	74.7 SQ M	146.6 SQ M



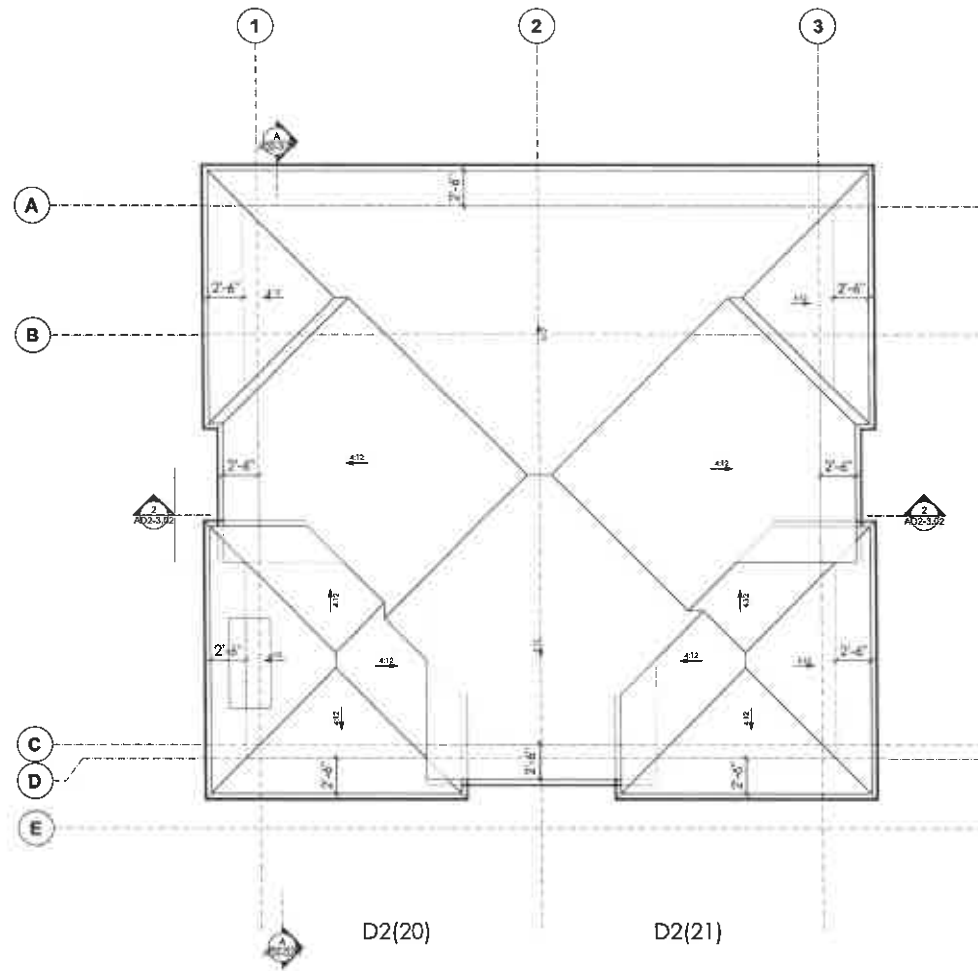
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D2

DRAWING
 UPPER FLOOR PLAN

PROJECT# 8210
 SHEET
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
AD2-2.03

These plans remain the ownership of Sterling Pacific

REVISIONS
 Revisd for DR/Restoring Aug 31, 2021
 DR/ Public Comment Revisions MAY 14, 2023
 01, 02, 03 Revisions JULY 31, 2023

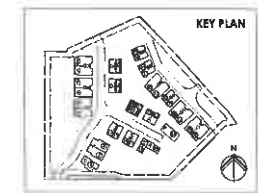


ROOF PLAN
 UNIT D2



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D2

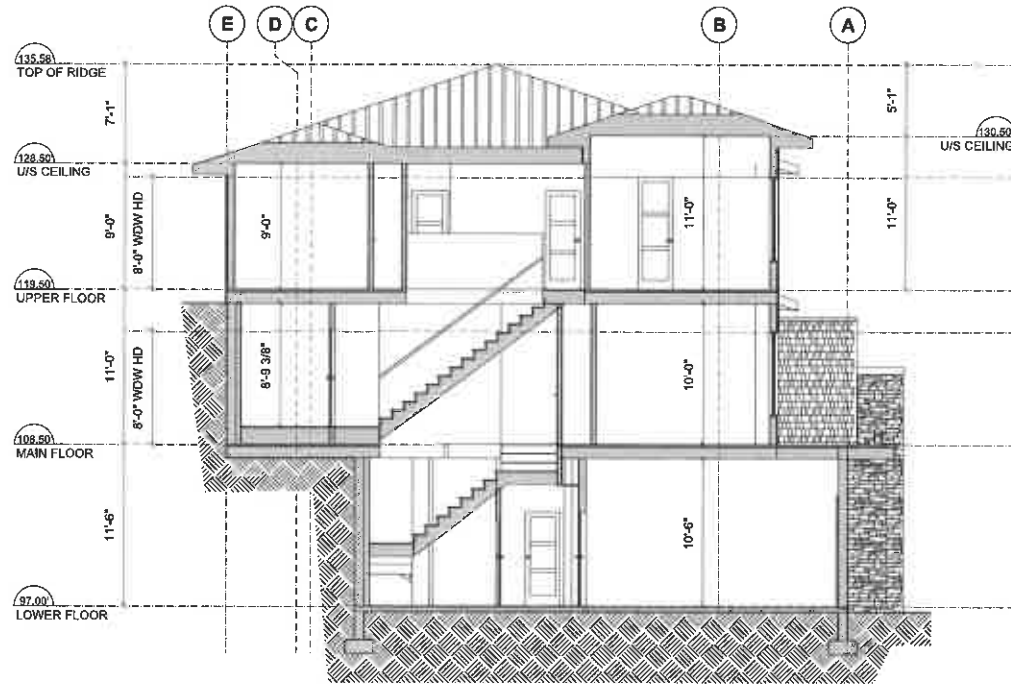
DRAWING
 ROOF PLAN



PROJECT#	NOO	SHEET
SCALE	1/4" = 1'-0"	AD2-2.04
DATE	MAY 12, 2023	

These plans remain the ownership of Sterling Pacific

REVISIONS
 Model for DP/Permitting Aug 31, 2021
 DRP/ Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions MAY 31, 2023



A SECTION A
 Scale: 1/4" = 1'-0"



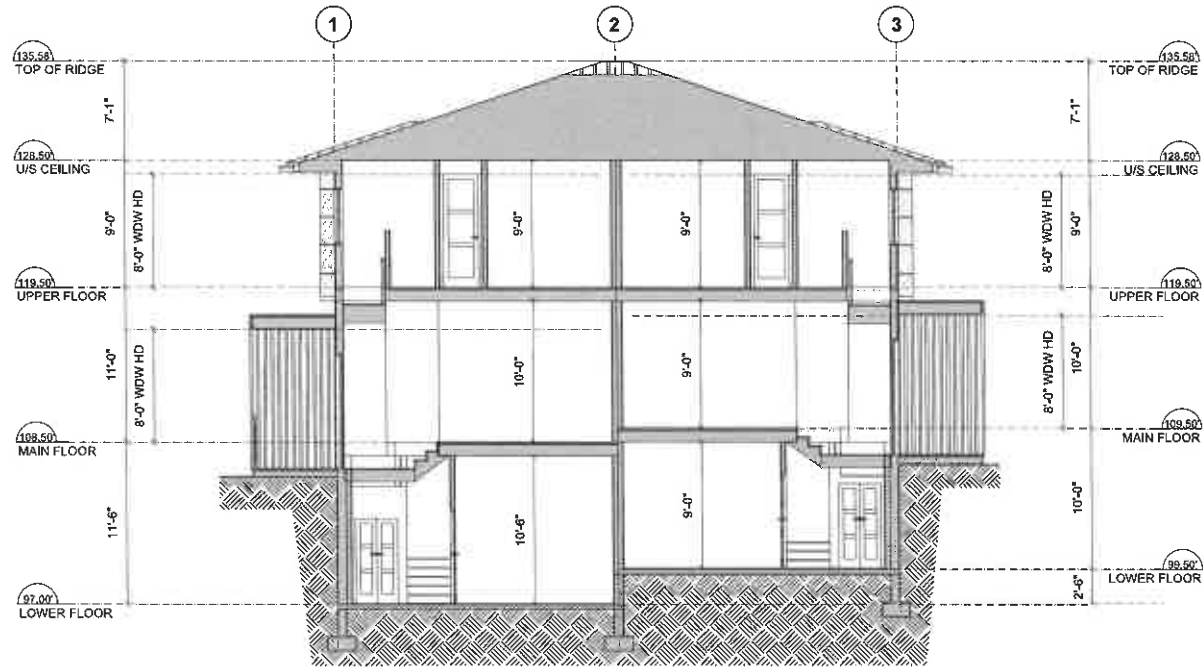
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D2

DRAWING
 SECTION A-A

PROJECT#	8030	SHEET	AD2-3.01
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Resuming Aug 21, 2021
 DRZ Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023



2 Section B
 Scale: 1/4" = 1'-0"



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, B.C.
 UNIT D2

DRAWING
 SECTION B-B

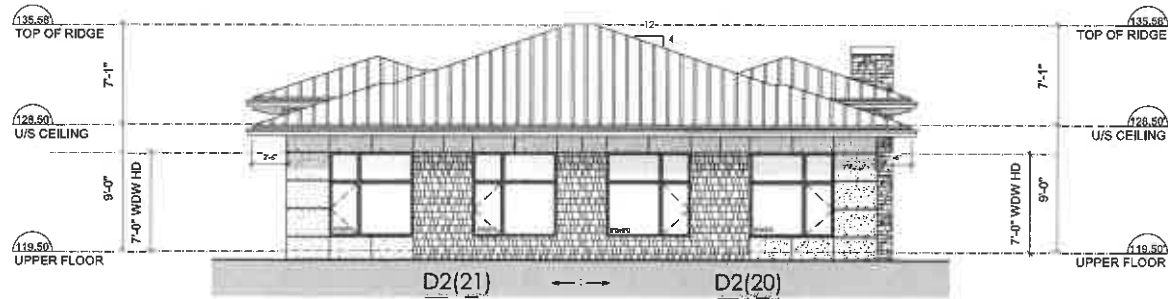
PROJECT#	SHEET
9030	AD2-
SCALE	1/4"=1'-0"
DATE	MAY 12, 2022
	3.02

These plans remain the ownership of Sterling Pacific

REVISION 9
 Issued for DR/Reasoning Aug 31, 2021
 DR/DR Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



FRONT ELEVATION
 UNIT D2



BACK ELEVATION
 UNIT D2

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-1)

EXPOSED BUILDING FACE:	407.61 SF (37.87 SM)
LIMITING DISTANCE:	17.16' (5.22 M)
UNPROTECTED OPENING:	144.00 SF (13.37SM)
PROPOSED OPENINGS:	35.33%
PERMITTED OPENINGS:	100%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D2

DRAWING
 FRONT & BACK
 ELEVATIONS

PROJECTS	002	SHEET AD2-4.01
SCALE	3/4" = 1'-0"	
DATE	MAY 12, 2023	

These plans remain the ownership of Sterling Pacific

REVISION 8
 Issued for DR/Permitting Aug 31, 2021
 DR/ Public Comment Response MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D2

DRAWING
**EAST & WEST
 ELEVATIONS**

PROJECT	5930	SHEET	AD2- 4.02
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

These plans remain the ownership of Sterling Pacific



FRONT ELEVATION
UNIT D2



BACK ELEVATION
UNIT D2

	
HARDY PANEL	FIBRE CEMENT SHINGLES - WOODTONE RUSTIC SERIES - CARBON TRAILS
	
STONE CLADDING	METAL ROOF - CHARCOAL GRAY
	
ENTRY DOOR - STILEWOOD - OLD MASTER GEL STAIN C/W CLEAR TOP COAT - SPECIAL WALNUT	WINDOW / FASCIA / BARGE BOARDS & UPSTAND - CHARCOAL GRAY
	
SOFFIT - ROCKPORT GRAY BM - HC - 105	BALCONY - WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	BM-HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mt
2.4	Not used	
2.5	Stone	Random Granite
3.1	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
3.2	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
4.1	Charcoal Gray	Charcoal Gray
4.2	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
5.1	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Charcoal Gray	Charcoal Gray
5.3	Charcoal Gray	Charcoal Gray

REVISIONS		
Model for DR/Reasoning	Aug 31, 2021	
DR/D Public Comment Revisions	MAY 12, 2023	
D1, D2, D3 Revisions	JULY 31, 2023	



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D2

DRAWING
FRONT & BACK ELEVATIONS

PROJECT	8000	SHEET	AD2-4.03
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

These plans remain the ownership of Sterling Pacific

REVISED
 Based for DR Reviewing
 DR/2 Public Comment Review
 D1, G2, G3 Revisions

AUG 31, 2023
 MAY 12, 2023
 JULY 31, 2023



D2(21)
EAST ELEVATION
 UNIT D2



D2(20)
WEST ELEVATION
 UNIT D2

AQUILA EXTENDED MATERIAL SCHEDULE		
NO.	Material	Colour
1.1	Cloak "A" Metal Roof	Charcoal Gray
1.2	Fine Cement Soffit	Random Iron 8x4-10S
1.3	Gutter	Charcoal Gray
2.1	Fine Cement Shingles	Woodstone Rattis Series Carbon Trill
2.2	Softwood	
2.3	Hardy Panel	Light Gray
2.4	Insulated	
2.5	Stone	Random Granite
3.1	Upper balcony cast-in-place concrete	
3.2	Wrought Iron BM - 2124 - 10	
3.3	Wrought Iron BM - 2124 - 10	
4.1	Charcoal Gray	
4.2	Stainless Steel	
4.3	Charcoal Gray	
4.4	Charcoal Gray	
5.1	Stainless Steel	
5.2	Charcoal Gray	
5.3	Charcoal Gray	
5.4	Charcoal Gray	

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D2

DRAWING
**EAST & WEST
 ELEVATIONS**

PROJECT NO. 9030
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
**AD2-
 4.04**



FRONT ELEVATION - CAMERA VIEW
UNIT D2



SIDE ELEVATION - CAMERA VIEW
UNIT D2



BACK ELEVATION - CAMERA VIEW
UNIT D2



SIDE ELEVATION - CAMERA VIEW
UNIT D2

These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for DP/Resubmitting Aug 31, 2021
DSD Public Comment Revisions MAY 12, 2022
GV, G2, G3 Revisions JULY 31, 2022



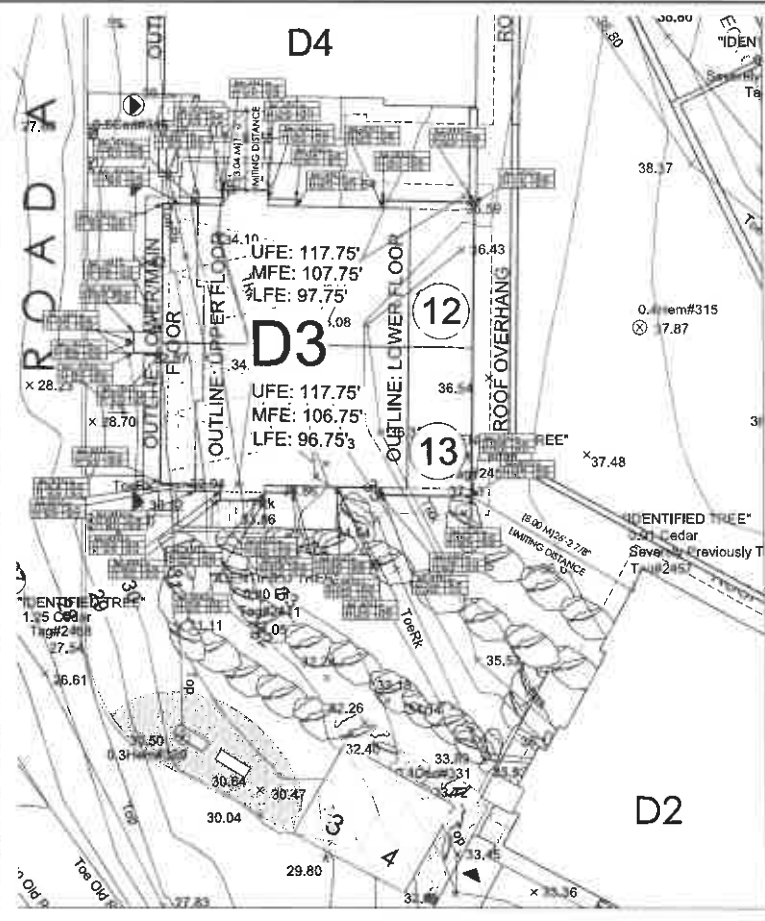
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D2

DRAWING
FRONT, BACK &
SIDE ELEVATIONS

PROJECTS	5000	SHEET	AD2- 4.05
SCALE	INTS.		
DATE	MAY 12, 2022		

Ref #	F	Elevation	Distance	Σ Distance
1	101	96.1	100.38	402.32
2	90.1	96.52	1	149.43
3	100	100.04	0	0
4	100.38	102.31	1	152
5	101	103	4	413
6	109.56	102	18	1912.62
7	103.28	109	2	251.0
8	109.04	104.95	1	108.6
9	108	110.01	3.5	390.74
10	111.11	111.20	11	130
11	111.11	111.20	11	130
12	111	111.99	8.2	712
13	112.24	112.31	1.1	131
14	112	112.66	4	490.64
15	112	113.00	1	113.00
16	113.04	113.77	1	1497
17	113	114.52	1	114.52
18	114	116.1	13	1509
19	117.4	117.47	0	0
20	117.4	118	29.99	4983
21	118	119	0	0
22	118	119	0	0
23	118	119	0	0
24	118.84	119.87	1	119.8
25	119	120.56	6.7	997.1
26	119	121.20	1	119
27	119	122.00	1	119
28	119	111.20	6.2	6.2
29	119	113.20	1	113
30	119.2	119.20	0	0
31	119.2	119.20	0	0
32	119.2	119.20	0	0
33	119.2	119.20	0	0
34	119.2	119.20	0	0
35	119.2	119.20	0	0
36	119.2	119.20	0	0
37	119.2	119.20	0	0
38	119.2	119.20	0	0
39	119.2	119.20	0	0
40	119.2	119.20	0	0
41	119.2	119.20	0	0
42	119.2	119.20	0	0
43	119.2	119.20	0	0
44	119.2	119.20	0	0
45	119.2	119.20	0	0
46	119.2	119.20	0	0
47	119.2	119.20	0	0
48	119.2	119.20	0	0
49	119.2	119.20	0	0
50	119.2	119.20	0	0
51	119.2	119.20	0	0
52	119.2	119.20	0	0
53	119.2	119.20	0	0
54	119.2	119.20	0	0
55	119.2	119.20	0	0
56	119.2	119.20	0	0
57	119.2	119.20	0	0
58	119.2	119.20	0	0
59	119.2	119.20	0	0
60	119.2	119.20	0	0
61	119.2	119.20	0	0
62	119.2	119.20	0	0
63	119.2	119.20	0	0
64	119.2	119.20	0	0
65	119.2	119.20	0	0
66	119.2	119.20	0	0
67	119.2	119.20	0	0
68	119.2	119.20	0	0
69	119.2	119.20	0	0
70	119.2	119.20	0	0
71	119.2	119.20	0	0
72	119.2	119.20	0	0
73	119.2	119.20	0	0
74	119.2	119.20	0	0
75	119.2	119.20	0	0
76	119.2	119.20	0	0
77	119.2	119.20	0	0
78	119.2	119.20	0	0
79	119.2	119.20	0	0
80	119.2	119.20	0	0
81	119.2	119.20	0	0
82	119.2	119.20	0	0
83	119.2	119.20	0	0
84	119.2	119.20	0	0
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88	119.2	119.20	0	0
89	119.2	119.20	0	0
90	119.2	119.20	0	0
91	119.2	119.20	0	0
92	119.2	119.20	0	0
93	119.2	119.20	0	0
94	119.2	119.20	0	0
95	119.2	119.20	0	0
96	119.2	119.20	0	0
97	119.2	119.20	0	0
98	119.2	119.20	0	0
99	119.2	119.20	0	0
100	119.2	119.20	0	0
Total			199	20981.1
Avg Finish Grade				151
Max. Height				140.71

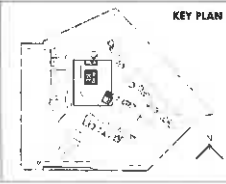
Ref #	F	Elevation	Distance	Σ Distance
1	96.42	96.4	98	352.68
2	96.42	97.42	96	144.63
3	97.42	97.42	1	148.1
4	97.42	97.42	4	388
5	97.42	97.42	18	1802.2
6	97.42	97.42	18	239.2
7	97.42	97.42	2	257
8	97.42	97.42	1	99.7
9	97.42	97.42	1	99.7
10	97.42	97.42	3	354.31
11	97.42	97.42	1.1	116.41
12	97.42	97.42	5.3	602.3
13	97.42	97.42	1.1	129.1
14	97.42	97.42	4	422
15	97.42	97.42	1	196
16	97.42	97.42	1	196
17	97.42	97.42	12.50	1908.1
18	97.42	97.42	1	196
19	97.42	97.42	13	1214
20	97.42	97.42	22	2851.54
21	97.42	97.42	11	116.62
22	97.42	97.42	11	116.62
23	97.42	97.42	13	1428
24	97.42	97.42	1	109.91
25	97.42	97.42	6.1	677.81
26	97.42	97.42	0	0
27	97.42	97.42	0	0
28	97.42	97.42	8.21	849
29	97.42	97.42	1	196
30	97.42	97.42	4	418
31	97.42	97.42	1.1	122.5
32	97.42	97.42	8.2	877
33	97.42	97.42	1.1	11
34	97.42	97.42	3	380
35	97.42	97.42	1	99.7
36	97.42	97.42	2	295.0
37	97.42	97.42	2.41	239
38	97.42	97.42	1	178.3
Total			199	19879.71
Avg Finish Grade				150.91
Max. Height				151.86



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - D3 (1)		
Lower	Mean	Upper
97.75 m	32.84 m	36.89 m
97.75'	107.75'	117.25'

TOP OF FINISH FLOOR - D3 (2)		
Lower	Mean	Upper
96.75 m	32.54 m	35.84 m
96.75'	106.75'	117.25'



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REVISIONS
Issued for DE/REVISIONS Aug. 31, 2021
DR/C Public Comment Revisions MAY 12, 2022
G1, G2, G3 Revisions JULY 31, 2023

PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D3

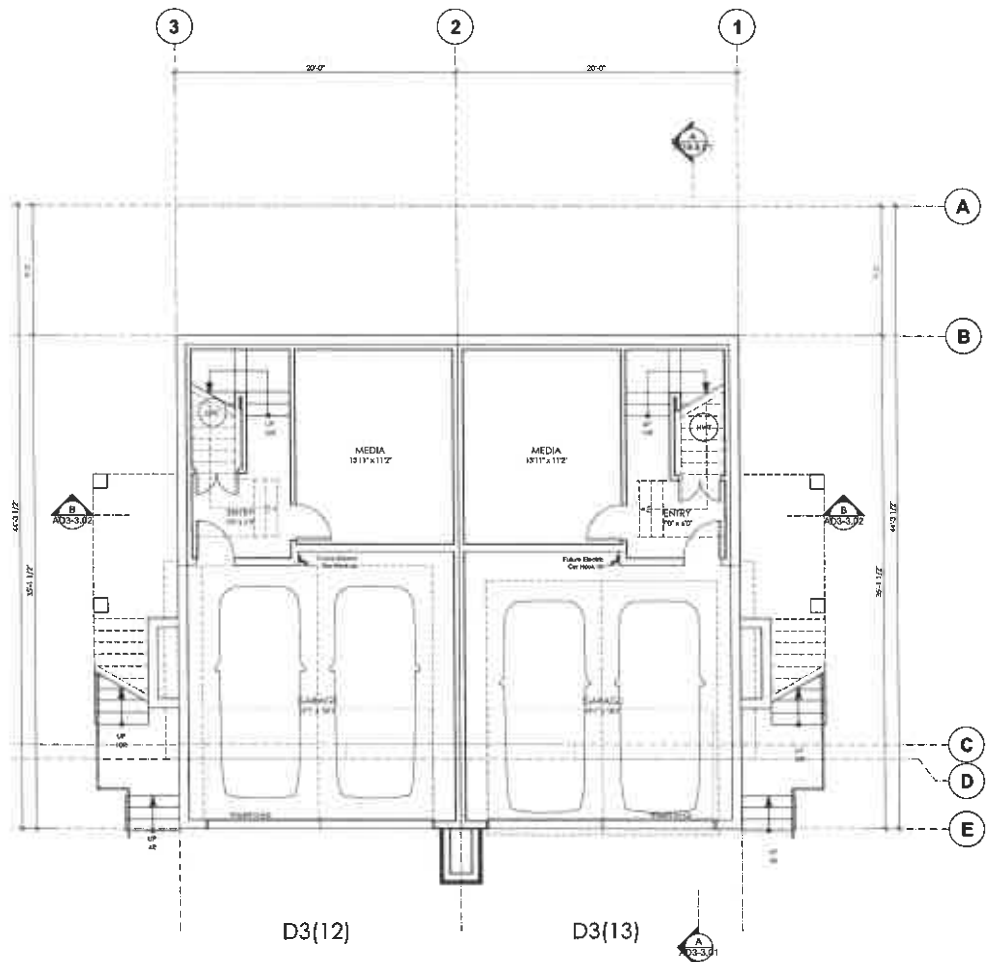
DRAWING
SITE PLAN

PROJECT# 0030 SHEET
SCALE 1/8" = 1'-0" AD3-
DATE MAY 12, 2023 1.01

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REVISIONS

Revised for DR/Reviewing	Aug 31, 2021
DICI Public Comment Revisions	MAY 12, 2022
01, 02, 03 Revisions	MAY 31, 2023



LOWER FLOOR / BASEMENT EXEMPTIONS: = 100% LOWER FLOOR / BASEMENT EXEMPTIONS: = 100%

LOWER / ENTRY FLOOR PLAN
UNIT D3

UNIT 12 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	88 SF	0.0 SF	478.2 SF
BASEMENT EXCLUSIONS 100%	212.9 SF	200 SF	0.0 SF	412.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.6 SF	804.6 SF	1596.2 SF

UNIT 12 FLOOR AREAS METRIC

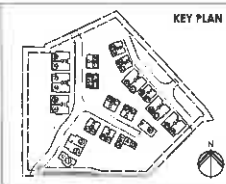
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SQM	73.5 SQM	74.7 SQM	213.4 SQM
GARAGE EXCLUSIONS	36.2 SQM	8.8 SQM	0.0 SQM	45.0 SQM
BASEMENT EXCLUSIONS 100%	20.1 SQM	20.0 SQM	0.0 SQM	40.1 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
NET	0.0 SQM	73.5 SQM	74.7 SQM	148.2 SQM

UNIT 13 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	797.3 SF	810.3 SF	2310.1 SF
GARAGE EXCLUSIONS	389.6 SF	80 SF	0.0 SF	469.6 SF
BASEMENT EXCLUSIONS 100%	212.9 SF	200 SF	0.0 SF	412.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.3 SF	810.3 SF	1607.6 SF

UNIT 13 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SQM	74.1 SQM	75.5 SQM	214.8 SQM
GARAGE EXCLUSIONS	36.2 SQM	8.8 SQM	0.0 SQM	45.0 SQM
BASEMENT EXCLUSIONS 100%	20.1 SQM	20.0 SQM	0.0 SQM	40.1 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
NET	0.0 SQM	74.1 SQM	75.5 SQM	149.6 SQM



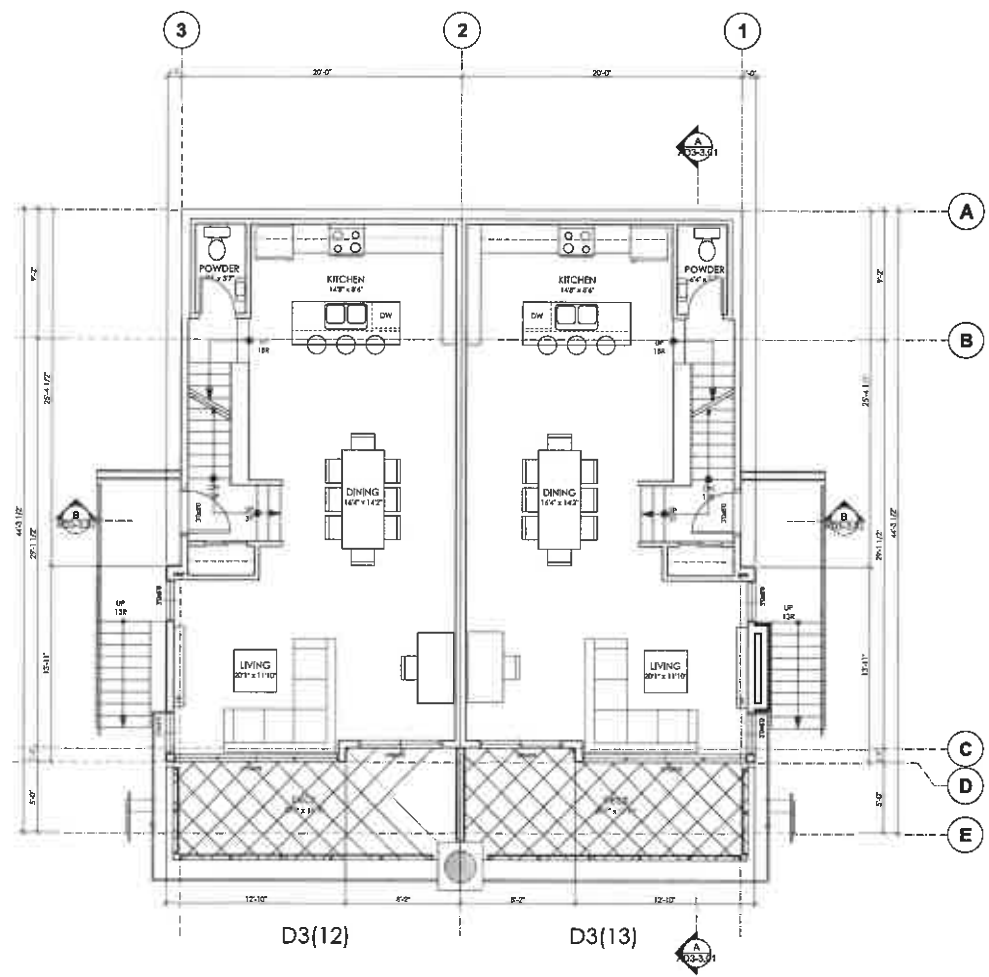
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D3

DRAWING
LOWER FLOOR PLAN

PROJECT # 8020 SHEET
SCALE 1/4" = 1'-0" **AD3-2.01**
DATE MAY 12, 2022

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based for DP/Reboring Aug 31, 2021
 DRCD Public Comment Revisions MAY 12, 2023
 31, 02, 03 Revisions JULY 31, 2023

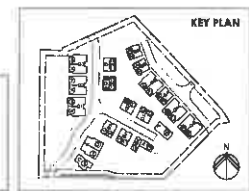


MAIN FLOOR PLAN
 UNIT D3



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D3

DRAWING
MAIN FLOOR PLAN



UNIT 12 FLOOR AREAS IMPERIAL				
	LEVEL 150 FT	LEVEL 250 FT	LEVEL 350 FT	TOTAL
GROSS	702.5 SF	711.8 SF	804.6 SF	2218.9 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	711.8 SF	804.6 SF	1516.4 SF

UNIT 12 FLOOR AREAS METRIC				
	LEVEL 150 M	LEVEL 250 M	LEVEL 350 M	TOTAL
GROSS	45.25M	75.35M	74.75M	195.35M
GARAGE EXCLUSIONS	36.35M	0.00M	0.00M	36.35M
BASEMENT EXCLUSIONS 100%	29.15M	0.00M	0.00M	29.15M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	75.35M	74.75M	148.50M

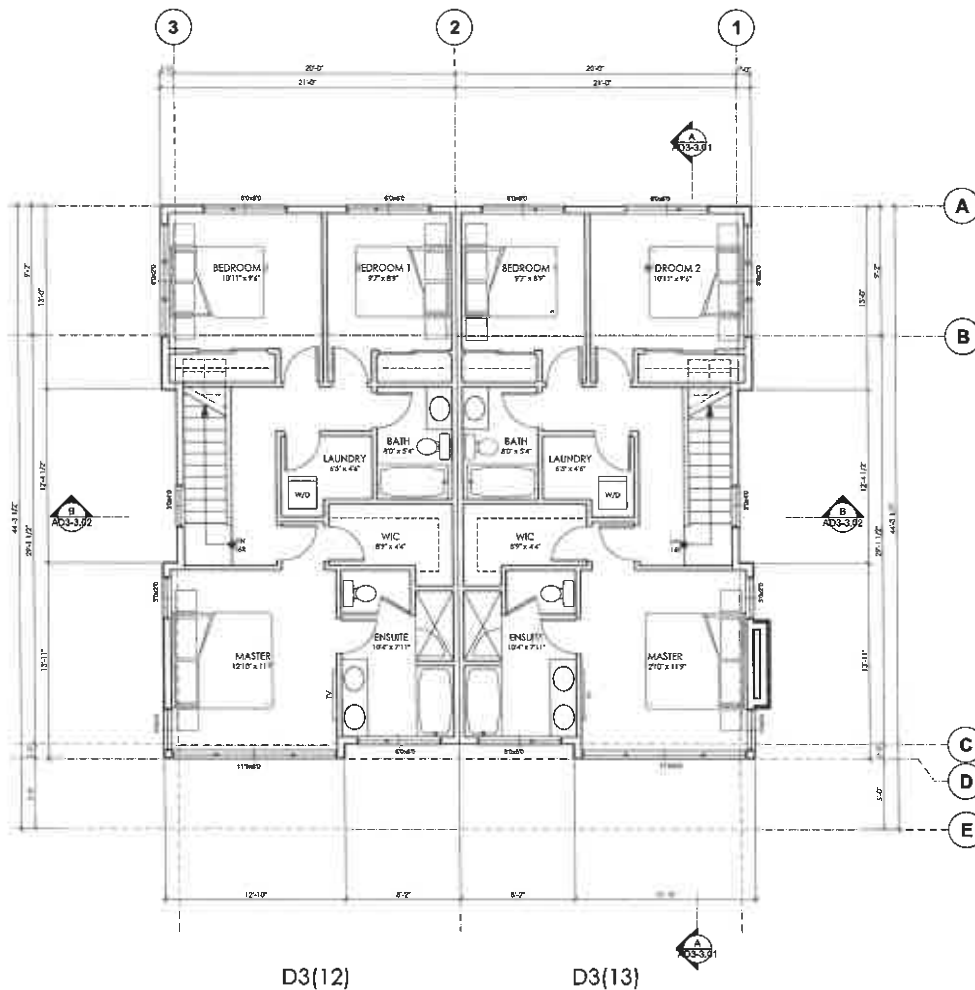
UNIT 13 FLOOR AREAS IMPERIAL				
	LEVEL 150 FT	LEVEL 250 FT	LEVEL 350 FT	TOTAL
GROSS	785.5 SF	797.2 SF	810.3 SF	2393.0 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.2 SF	810.3 SF	1607.5 SF

UNIT 13 FLOOR AREAS METRIC				
	LEVEL 150 M	LEVEL 250 M	LEVEL 350 M	TOTAL
GROSS	45.15M	74.15M	75.35M	194.65M
GARAGE EXCLUSIONS	36.25M	0.00M	0.00M	36.25M
BASEMENT EXCLUSIONS 100%	29.15M	0.00M	0.00M	29.15M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	74.15M	75.35M	149.50M

PROJECT# 800
 SCALE 1/4"=1'-0"
 DATE MAY 12, 2023
AD3-2.02

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REVISIONS
 Issued for DP/7/2020P Aug. 31, 2021
 DRG/ Public Domain Review MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023



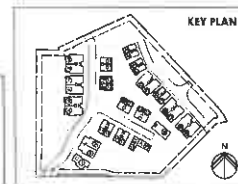
UPPER FLOOR PLAN
 UNIT D3

UNIT 12 FLOOR AREAS IMPERIAL	LEVEL, 1 SQ FT			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	702.5 SF	791.6 SF	604.6 SF	2298.7 SF
CARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.5 SF	0.0 SF	0.0 SF	312.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.6 SF	604.6 SF	1396.2 SF

UNIT 12 FLOOR AREAS METRIC	LEVEL, 1 SQ M			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	65.3 SQ M	73.3 SQ M	55.7 SQ M	214.3 SQ M
CARAGE EXCLUSIONS	36.2 SQ M	0.0 SQ M	0.0 SQ M	36.2 SQ M
BASEMENT EXCLUSIONS 100%	29.1 SQ M	0.0 SQ M	0.0 SQ M	29.1 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	0.0 SQ M	73.3 SQ M	55.7 SQ M	129.0 SQ M

UNIT 13 FLOOR AREAS IMPERIAL	LEVEL, 1 SQ FT			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	702.5 SF	797.3 SF	610.3 SF	2310.1 SF
CARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.5 SF	0.0 SF	0.0 SF	312.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.3 SF	610.3 SF	1407.6 SF

UNIT 13 FLOOR AREAS METRIC	LEVEL, 1 SQ M			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	65.3 SQ M	74.1 SQ M	56.3 SQ M	214.7 SQ M
CARAGE EXCLUSIONS	36.2 SQ M	0.0 SQ M	0.0 SQ M	36.2 SQ M
BASEMENT EXCLUSIONS 100%	29.1 SQ M	0.0 SQ M	0.0 SQ M	29.1 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	0.0 SQ M	74.1 SQ M	56.3 SQ M	130.4 SQ M



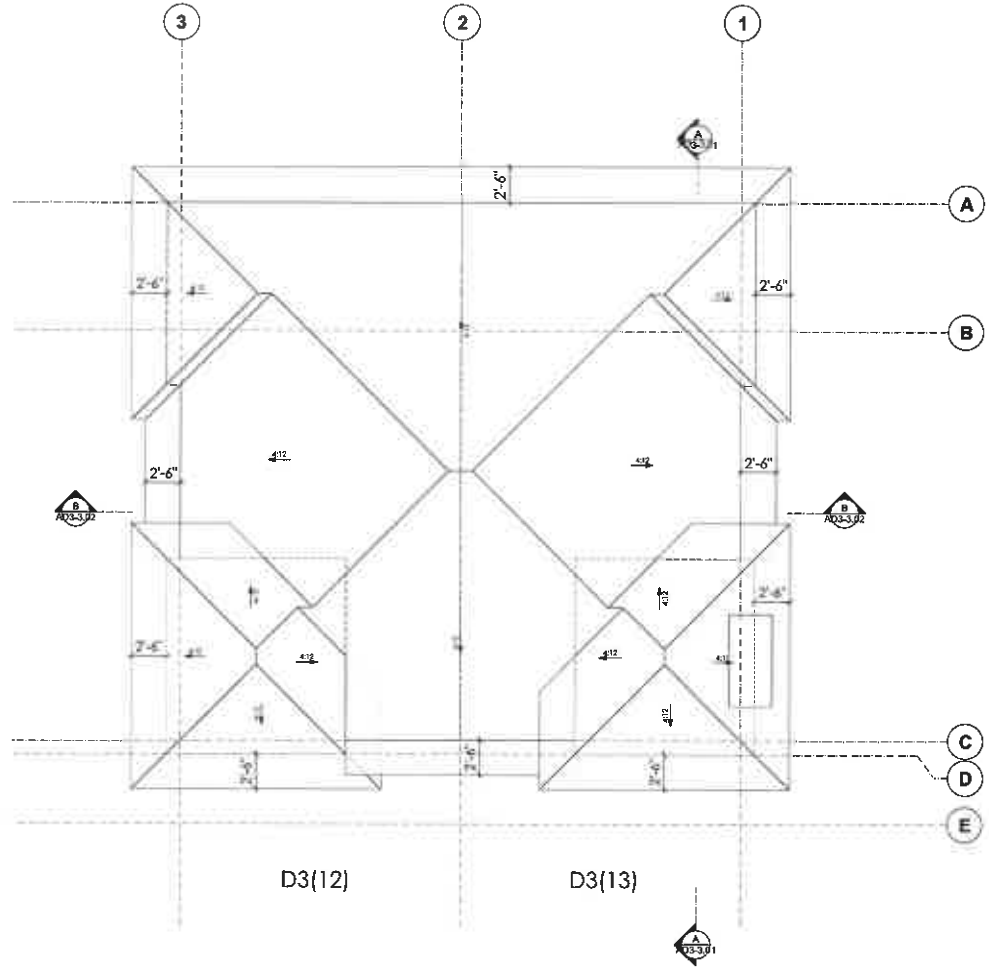
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D3

DRAWING
 UPPER FLOOR PLAN

PROJECT# 6000 SHEET
 SCALE 1/4"=1'-0" AD3-
 DATE MAY 12, 2023 2.03

These plans remain the ownership of Sterling Pacific

REVISIONS
Based for DP/Restoring Aug 31, 2021
GRCP Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023

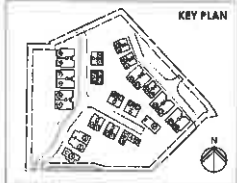


ROOF PLAN
UNIT D3



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D3

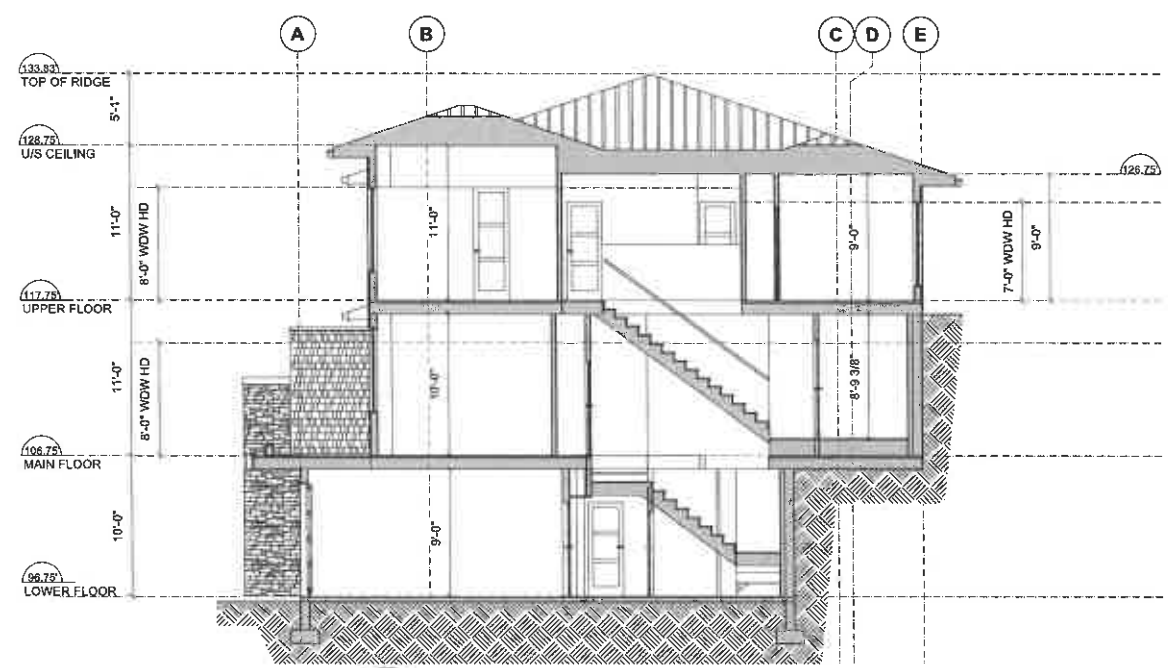
DRAWING
ROOF PLAN



PROJECT	SHEET
8030	AD3-2.04
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Build for OP/REWORKING Aug 31, 2024
 DRG/ Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023



A SECTION A
 Scale: 1/4" = 1'-0"



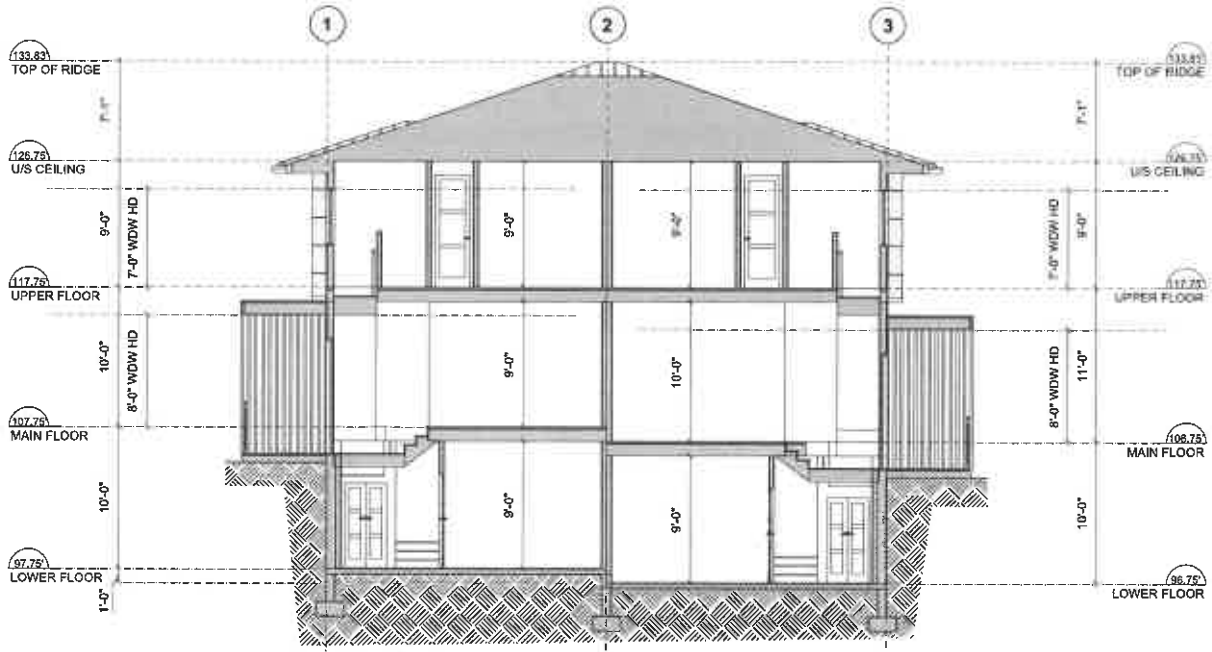
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D3

DRAWING
 SECTION A-A

PROJECT#	SHEET
8030	AD3-
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023
	3.01

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REVISIONS
 Issued for EIR/Rezoncing Aug 31, 2021
 DRCP Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



B Section B
 Scale: 1/4" = 1'-0"



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D3

DRAWING
 SECTION B-B

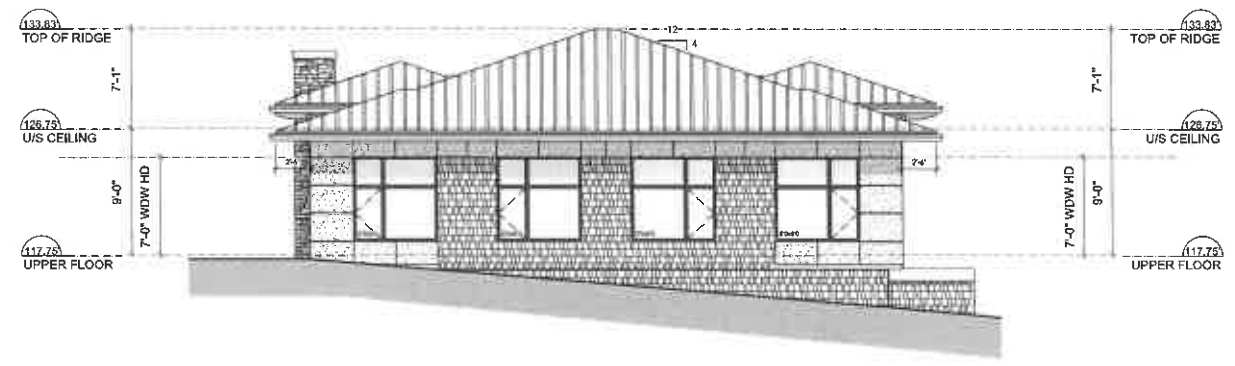
PROJECT#	800	SHEET	AD3-3.02
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

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REVISIONS
 based by DP/Planning Aug 31, 2021
 DRG Public Comment Review MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



LOWER FLOOR / BASEMENT EXEMPTIONS: = 100%
 FRONT ELEVATION
 UNIT D3



BACK ELEVATION
 UNIT D3



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D3

DRAWING
 FRONT & BACK
 ELEVATIONS

PROJECT#	8030	SHEET	AD3- 4.01
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

These plans remain the
ownership of Sterling Pacific

REVISIONS
Issued for OPR/Issuing Aug 31, 2021
DRCP Public Comment Review MAY 12, 2023
01, 02, 03 Phoenix JULY 31, 2023



D3(13)
EAST ELEVATION
UNIT D3
SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-52)
EXPOSED BUILDING FACE: 954.37 SF (89.59 SM)
LIMITING DISTANCE: 13.12' (4.00 M)
UNPROTECTED OPENING: 100.00 SF (9.29 SM)
PROPOSED OPENINGS: 10.37%
PERMITTED OPENINGS: 39.12%



D3(12)
WEST ELEVATION
UNIT D3
SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-51)
EXPOSED BUILDING FACE: 985.09 SF (91.51 SM)
LIMITING DISTANCE: 5.59' (1.72 M)
UNPROTECTED OPENING: 100.00 SF (9.29 SM)
PROPOSED OPENINGS: 10.15%
PERMITTED OPENINGS: 16.04%



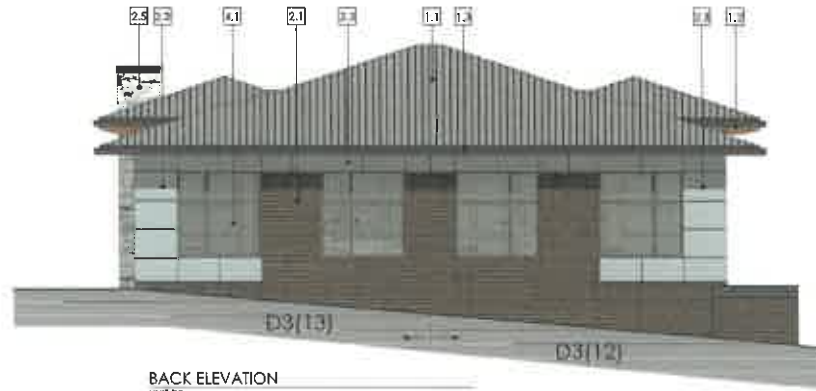
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D3

DRAWING
**EAST & WEST
ELEVATIONS**

PROJECTS	SHEET
SCALE	AD3-
DATE	4.02
	MAY 12, 2023



FRONT ELEVATION
UNIT D3



BACK ELEVATION
UNIT D3



No.	Material	Colour
1.1	1/2" x 4" Metal Roof	Charcoal Grey
1.2	1/2" x Cement Soffit	Rockport Gray BM - HC-105
1.3	1/2" x Soffit	Charcoal Grey
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Trails
2.2	Not Used	
2.3	Hardy Panel	Light Grey
2.4	Not used	
2.5	Stone	Random Granite
3.1	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
3.2	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
4.1	Charcoal Grey	Charcoal Grey
4.2	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Charcoal Grey	Charcoal Grey
4.4	Charcoal Grey	Charcoal Grey
5.1	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Charcoal Grey	Charcoal Grey
5.3	Charcoal Grey	Charcoal Grey

These plans remain the ownership of Sterling Pacific

REVISIONS
Based: for DP/Permitting Aug. 31, 2021
DRC/Public Comment Revisions MAY 12, 2022
01, 02, 03 Revisions JULY 31, 2023

PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D3

DRAWING
FRONT & BACK ELEVATIONS

PROJECT	8000	SHEET
SCALE	1/4" = 1'-0"	AD3-4.03
DATE	MAY 12, 2023	

These plans remain the
Ownership of Sterling Pacific

REVISIONS
Issued for ICF/Re-zoning Aug 31, 2021
DRCF Public Comment Revisions MAY 12, 2022
01, 02, 03 Revisions JULY 31, 2022



AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class 'AC' Metal Roof	Charcoal Grey
1.2	Fibre Cement Soffit	Rossburn Lime SW-HC-165
1.3	Gutter	Charcoal Grey
2.1	Fibre Cement Shingles	Woodstone Matrix Series Crabon Trak
2.2	Not used	
2.3	Waxy Panel	Light Mist
2.4	Not used	
2.5	None	Random Granite
3.1	Upper level any curb c/w precast	Wrought Iron BM - 2124 - 10
3.2	Lower level any curb c/w precast	Wrought Iron BM - 2124 - 10
4.1	Lightweight vinyl windows & doors	Charcoal Grey
4.2	Entry door painted c/w burson and c/w	Darkwood - Old Master Gal Steel c/w clear top coat - Special Walnut
4.3	Back door painted c/w burson and c/w	Charcoal Grey
4.4	Roachon glass quadrol system c/w cap	Charcoal Grey
5.1	rubble treated wood	Slitwood - Old Master Gal Steel c/w clear top coat - Special Walnut
5.2	brushed metal	Charcoal Grey
5.3	teal painted finish	Charcoal Grey

PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D3

DRAWING
**EAST & WEST
ELEVATIONS**

PROJECT# 8000
SCALE 1/4" = 1'-0"
DATE MAY 12, 2022
SHEET **AD3-4.04**



FRONT ELEVATION - CAMERA VIEW
UNIT D3



SIDE ELEVATION - CAMERA VIEW
UNIT D3



BACK ELEVATION - CAMERA VIEW
UNIT D3



SIDE ELEVATION - CAMERA VIEW
UNIT D3

These plans remain the ownership of Sterling Pacific

REVISED
Issued For CP/Reviewing Aug 31, 2021
DCCJ Public Comment Revisions MAY 12, 2023
D1, D2, D3 Revisions JAN 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D3

DRAWING
FRONT, BACK &
SIDE ELEVATIONS

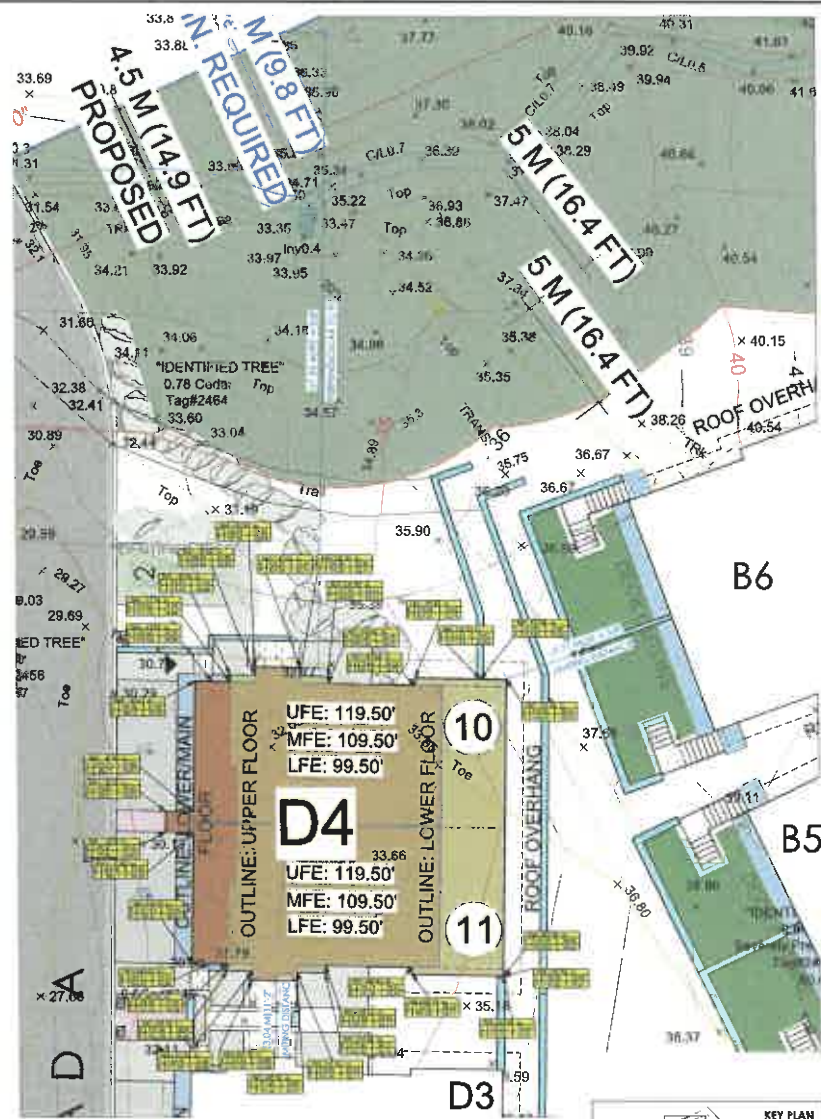
PROJECT	8020	SHEET	AD3- 4.05
SCALE	N12		
DATE	MAY 12, 2023		

AVERAGE EXISTING GRADE CALCULATION							
Stn #	PI	Ref #	Elevation	Distance	X	Y	Z
1	101.00	2	100.27	101.1	4.0	404.34	
2	100.27	4	100.00	100.86	4.0	399.71	
3	100.00	5	100.71	100.86	4.0	403.60	
4	100.71	5	100.00	100.21	15.50	189.01	
5	100.00	1	100.64	100.61	2.42	249.41	
6	100.64	1	100.80	100.78	2.0	266.72	
7	100.80	5	100.60	100.60	1.0	102.60	
8	100.60	1	100.64	100.41	1.0	366.90	
9	100.64	1	100.84	100.54	1.1	122.00	
10	100.84	11	100.34	100.45	6.31	87.1	
11	100.34	11	100.24	100.24	1.11	124.10	
12	100.24	1	100.41	100.48	4.0	427.48	
13	100.41	14	100.24	100.21	1.0	100.21	
14	100.24	1	100.29	100.29	12.03	1244.52	
15	100.29	11	100.34	100.39	1.0	100.39	
16	100.34	11	100.52	100.52	8.21	1007.21	
17	100.52	14	101.62	101.6	0.0	0.00	
18	101.62	18	120.06	120.64	2.0	443.10	
19	120.06	20	120.06	120.41	4.2	6042.16	
20	120.06	21	118.60	111.0	0.0	0.00	
21	118.60	22	118.60	111.0	0.0	0.00	
22	118.60	22	118.60	111.0	0.0	0.00	
23	118.60	22	118.60	111.0	0.0	0.00	
24	118.60	24	113.78	113.1	13.90	1497.41	
25	113.78	25	113.74	113.0	1.0	113.0	
26	113.74	26	113.84	112.2	12.36	1362.26	
27	113.84	27	113.81	111.1	1.0	111.1	
28	113.81	28	113.8	111.1	1.0	111.1	
29	113.8	28	113.8	111.1	1.0	111.1	
30	113.8	29	111.0	110.4	1.4	129.4	
31	111.0	30	106.44	106.4	8.3	4.0	
32	106.44	31	107.23	107.2	1.17	113.17	
33	107.23	32	106.14	106.54	3.0	378.41	
34	106.14	33	104.0	104.4	1.0	104.4	
35	104.0	34	104.1	104.4	2.0	208.44	
36	104.1	35	101.81	102.98	2.42	244.8	
37	101.81	1	101.1	101.1	18.00	1884.0	
38	101.1	1	101.1	101.1	18.00	1884.0	
39	101.1	1	101.1	101.1	18.00	1884.0	
40	101.1	1	101.1	101.1	18.00	1884.0	
41	101.1	1	101.1	101.1	18.00	1884.0	
42	101.1	1	101.1	101.1	18.00	1884.0	
43	101.1	1	101.1	101.1	18.00	1884.0	
44	101.1	1	101.1	101.1	18.00	1884.0	
45	101.1	1	101.1	101.1	18.00	1884.0	
46	101.1	1	101.1	101.1	18.00	1884.0	
47	101.1	1	101.1	101.1	18.00	1884.0	
48	101.1	1	101.1	101.1	18.00	1884.0	
49	101.1	1	101.1	101.1	18.00	1884.0	
50	101.1	1	101.1	101.1	18.00	1884.0	
51	101.1	1	101.1	101.1	18.00	1884.0	
52	101.1	1	101.1	101.1	18.00	1884.0	
53	101.1	1	101.1	101.1	18.00	1884.0	
54	101.1	1	101.1	101.1	18.00	1884.0	
55	101.1	1	101.1	101.1	18.00	1884.0	
56	101.1	1	101.1	101.1	18.00	1884.0	
57	101.1	1	101.1	101.1	18.00	1884.0	
58	101.1	1	101.1	101.1	18.00	1884.0	
59	101.1	1	101.1	101.1	18.00	1884.0	
60	101.1	1	101.1	101.1	18.00	1884.0	
61	101.1	1	101.1	101.1	18.00	1884.0	
62	101.1	1	101.1	101.1	18.00	1884.0	
63	101.1	1	101.1	101.1	18.00	1884.0	
64	101.1	1	101.1	101.1	18.00	1884.0	
65	101.1	1	101.1	101.1	18.00	1884.0	
66	101.1	1	101.1	101.1	18.00	1884.0	
67	101.1	1	101.1	101.1	18.00	1884.0	
68	101.1	1	101.1	101.1	18.00	1884.0	
69	101.1	1	101.1	101.1	18.00	1884.0	
70	101.1	1	101.1	101.1	18.00	1884.0	
71	101.1	1	101.1	101.1	18.00	1884.0	
72	101.1	1	101.1	101.1	18.00	1884.0	
73	101.1	1	101.1	101.1	18.00	1884.0	
74	101.1	1	101.1	101.1	18.00	1884.0	
75	101.1	1	101.1	101.1	18.00	1884.0	
76	101.1	1	101.1	101.1	18.00	1884.0	
77	101.1	1	101.1	101.1	18.00	1884.0	
78	101.1	1	101.1	101.1	18.00	1884.0	
79	101.1	1	101.1	101.1	18.00	1884.0	
80	101.1	1	101.1	101.1	18.00	1884.0	
81	101.1	1	101.1	101.1	18.00	1884.0	
82	101.1	1	101.1	101.1	18.00	1884.0	
83	101.1	1	101.1	101.1	18.00	1884.0	
84	101.1	1	101.1	101.1	18.00	1884.0	
85	101.1	1	101.1	101.1	18.00	1884.0	
86	101.1	1	101.1	101.1	18.00	1884.0	
87	101.1	1	101.1	101.1	18.00	1884.0	
88	101.1	1	101.1	101.1	18.00	1884.0	
89	101.1	1	101.1	101.1	18.00	1884.0	
90	101.1	1	101.1	101.1	18.00	1884.0	
91	101.1	1	101.1	101.1	18.00	1884.0	
92	101.1	1	101.1	101.1	18.00	1884.0	
93	101.1	1	101.1	101.1	18.00	1884.0	
94	101.1	1	101.1	101.1	18.00	1884.0	
95	101.1	1	101.1	101.1	18.00	1884.0	
96	101.1	1	101.1	101.1	18.00	1884.0	
97	101.1	1	101.1	101.1	18.00	1884.0	
98	101.1	1	101.1	101.1	18.00	1884.0	
99	101.1	1	101.1	101.1	18.00	1884.0	
100	101.1	1	101.1	101.1	18.00	1884.0	

AVERAGE FINISHED GRADE CALCULATION							
Stn #	PI	Ref #	Elevation	Distance	X	Y	Z
1	99.17	2	98.17	98.1	4.0	398.1	
2	98.17	4	98.17	98.1	4.0	292.51	
3	98.17	4	98.17	98.1	4.0	346.48	
4	98.17	4	98.17	98.1	10.0	1034.54	
5	98.17	6	101.50	100.34	6.0	243.81	
6	101.50	7	101.50	101.5	1.0	202.1	
7	101.50	7	101.50	101.1	1.1	118.45	
8	101.50	7	101.50	101.1	1.1	101.50	
9	101.50	7	101.50	101.1	1.1	101.50	
10	101.50	11	107.30	104.4	6.3	664.51	
11	107.30	12	107.30	107.1	1.0	107.1	
12	107.30	13	107.30	107.1	4.0	409.30	
13	107.30	14	107.30	107.1	1.0	107.1	
14	107.30	15	107.20	107.2	62.96	1377.84	
15	107.20	16	107.30	107.1	1.0	107.1	
16	107.30	16	107.30	107.1	1.0	107.1	
17	107.30	17	107.78	107.54	2.0	1003.6	
18	107.78	18	114.83	113.1	0.0	0.00	
19	114.83	19	114.83	111.1	3.0	431.08	
20	114.83	20	114.83	111.1	4.0	441.08	
21	114.83	21	114.83	111.1	0.0	0.00	
22	114.83	22	107.64	111.1	0.0	0.00	
23	107.64	23	107.1	107.4	13.00	1367.11	
24	107.1	26	107.1	107.1	1.0	107.1	
25	107.1	26	107.1	107.1	12.38	1332.7	
26	107.1	26	107.1	107.1	1.0	107.1	
27	107.1	27	107.1	107.1	4.0	4.0	
28	107.1	27	107.1	107.1	4.0	4.0	
29	107.1	28	107.1	107.30	1.1	1.1	
30	107.1	29	101.1	100.60	8.57	684.41	
31	101.1	30	101.1	101.50	1.1	1.1	
32	101.1	31	101.1	101.60	3.0	101.1	
33	101.1	32	101.1	101.50	1.0	101.1	
34	101.1	33	101.1	101.50	2.0	202.1	
35	101.1	34	98.17	100.34	2.42	242.51	
36	98.17	1	98.1	98.1	18.00	1834.81	
37	98.17	1	98.1	98.1	18.00	1834.81	
38	98.17	1	98.1	98.1	18.00	1834.81	
39	98.17	1	98.1	98.1	18.00	1834.81	
40	98.17	1	98.1	98.1	18.00	1834.81	
41	98.17	1	98.1	98.1	18.00	1834.81	
42	98.17	1	98.1	98.1	18.00	1834.81	
43	98.17	1	98.1	98.1	18.00	1834.81	
44	98.17	1	98.1	98.1	18.00	1834.81	
45	98.17	1	98.1	98.1	18.00	1834.81	
46	98.17	1	98.1	98.1	18.00	1834.81	
47	98.17	1	98.1	98.1	18.00	1834.81	
48	98.17	1	98.1	98.1	18.00	1834.81	
49	98.17	1	98.1	98.1	18.00	1834.81	
50	98.17	1	98.1	98.1	18.00	1834.81	
51	98.17	1	98.1	98.1	18.00	1834.81	
52	98.17	1	98.1	98.1	18.00	1834.81	
53	98.17	1	98.1	98.1	18.00	1834.81	
54	98.17	1	98.1	98.1	18.00	1834.81	
55	98.17	1	98.1	98.1	18.00	1834.81	
56	98.17	1	98.1	98.1	18.00	1834.81	
57	98.17	1	98.1	98.1	18.00	1834.81	
58	98.17	1	98.1	98.1	18.00	1834.81	
59	98.17	1	98.1	98.1	18.00	1834.81	
60	98.17	1	98.1	98.1	18.00	1834.81	
61	98.17	1	98.1	98.1	18.00	1834.81	
62	98.17	1	98.1	98.1	18.00	1834.81	
63	98.17	1	98.1	98.1	18.00	1834.81	
64	98.17	1	98.1	98.1	18.00	1834.81	
65	98.17	1	98.1	98.1	18.00	1834.81	
66	98.17	1	98.1	98.1	18.00	1834.81	
67	98.17	1					

AVERAGE EXISTING GRADE CALCULATION						
#	Elevation	Ref #	Elevation	Area	Distance	
1	101	2	100.27	101.00	4.00	404.24
1	106.27	3	100	100.24	4.00	360.72
1	100.26	4	101.1	100.88	4.00	403.52
1	101.71	5	102.30	102.01	18.50	1887
1	102.30	6	102.30	102.61	2.42	248.27
1	102.61	7	103.26	103.00	1.00	103.00
1	103.26	8	104.54	104.24	3.00	298.64
1	104.54	9	104.54	104.54	1.11	122.00
1	104.54	10	104.54	104.54	1.11	122.00
1	104.54	11	106.38	106.00	6.30	671.26
1	106.38	12	106.38	106.38	1.11	124.56
1	106.38	13	107.41	106.8	4.00	427.22
1	107.41	14	107.41	107.41	1.00	107.41
1	107.41	15	113.22	112.22	12.22	1504.14
1	113.22	16	113.22	113.22	1.00	113.22
1	113.22	17	113.22	113.22	1.00	113.22
1	113.22	18	113.22	113.22	1.00	113.22
1	113.22	19	120.25	120.24	3.47	413.1
1	120.25	20	120.25	120.25	42.00	5042.00
1	120.25	21	116.90	118.33	1.00	118.33
1	116.90	22	116.90	116.90	0.00	0.00
1	116.90	23	116.90	116.90	0.00	0.00
1	116.90	24	113.71	115.10	13.00	1497.41
1	113.71	25	113.71	113.71	1.00	113.71
1	113.71	26	113.84	112.71	12.30	1506.14
1	113.84	27	113.84	113.84	1.00	113.84
1	113.84	28	111	111	4.00	445.60
1	111	29	111	111	1.11	123.24
1	111	30	108.44	108.44	6.30	688.5
1	108.44	31	107.90	108.1	1.11	123.24
1	107.90	32	107.90	107.90	2.00	207.80
1	107.90	33	104.99	104.80	1.00	104.99
1	104.99	34	104.99	104.99	2.00	209.98
1	104.99	35	101.82	102.64	2.42	248.27
1	101.82	36	101.82	101.82	15.50	1584.1
Total					169.26	20912.8
Avg Existing Grade						115.44

AVERAGE FINISHED GRADE CALCULATION						
#	Elevation	Ref #	Elevation	Area	Distance	
1	98.17	2	98.17	98.17	4.00	392.68
1	98.17	3	98.17	98.17	4.00	392.68
1	98.17	4	98.17	98.17	4.00	392.68
1	98.17	5	98.17	98.17	18.50	1834.05
1	98.17	6	101	100.34	2.42	244.81
1	101	7	101	101.60	2.04	207.21
1	101.60	8	102.1	101.8	1.00	101.80
1	102.1	9	102.1	102.1	1.00	102.10
1	102.1	10	101	101	1.11	122.00
1	101	11	102.30	104	8.00	864.00
1	102.30	12	102.30	102.30	1.11	123.24
1	102.30	13	102.30	102.30	1.00	102.30
1	102.30	14	102.30	102.30	1.00	102.30
1	102.30	15	102.30	102.30	12.30	1504.14
1	102.30	16	102.30	102.30	1.00	102.30
1	102.30	17	102.30	102.30	1.00	102.30
1	102.30	18	102.30	102.30	1.00	102.30
1	102.30	19	102.30	102.30	1.00	102.30
1	102.30	20	102.30	102.30	1.00	102.30
1	102.30	21	102.30	102.30	1.00	102.30
1	102.30	22	102.30	102.30	1.00	102.30
1	102.30	23	102.30	102.30	1.00	102.30
1	102.30	24	102.30	102.30	1.00	102.30
1	102.30	25	102.30	102.30	1.00	102.30
1	102.30	26	102.30	102.30	1.00	102.30
1	102.30	27	102.30	102.30	1.00	102.30
1	102.30	28	102.30	102.30	1.00	102.30
1	102.30	29	102.30	102.30	1.00	102.30
1	102.30	30	101.80	104.40	4.00	408.80
1	101.80	31	101.80	101.80	1.00	101.80
1	101.80	32	101.80	101.80	1.00	101.80
1	101.80	33	101.80	101.80	1.00	101.80
1	101.80	34	99.1	100.34	2.42	244.81
1	99.1	35	99.1	99.1	18.50	1834.05
Total					169.26	20907.83
Avg Finish Grade						104.23



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - D4 (11)			TOP OF FINISH FLOOR - D11 (11)		
Lower	Main	Upper	Lower	Main	Upper
99.99	109.92	119.92	99.99	109.92	119.92

These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for CP/Re-zoning
D/C/ Public Engagement Review
01.02.03 Revisions

Aug. 31, 2021
MAY 12, 2022
JULY 31, 2022

PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D4

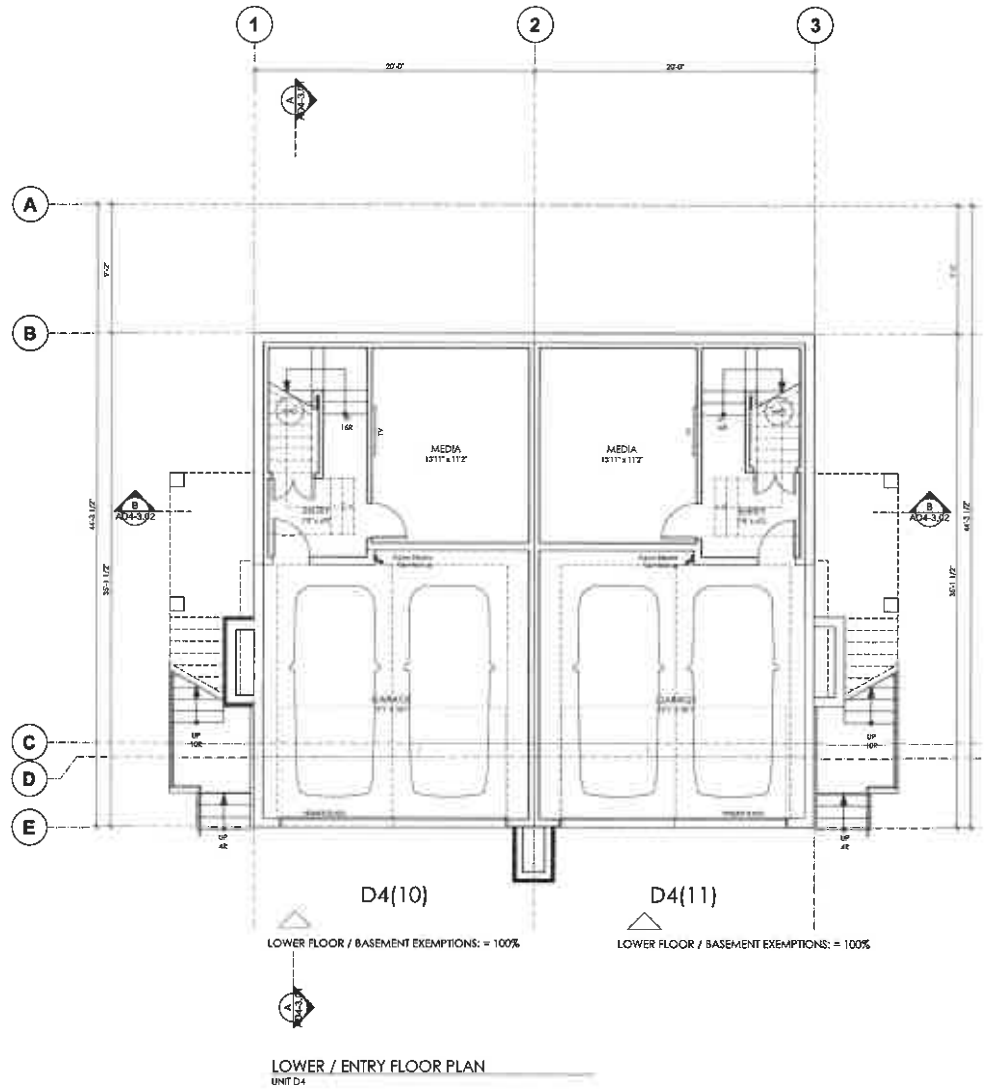
DRAWING
SITE PLAN

PROJECT # 9030
SCALE 1/8"=1'-0"
DATE MAY 12, 2022

SHEET
AD4-1.01

These plans remain the ownership of Sterling Pacific.

REVISIONS		
Issued for DP/Resolving	Aug 31, 2021	
DRZJ Public Comment Revisions	MAY 10, 2023	
Cl, G3, G3 Revisions	JULY 31, 2023	



UNIT 10 FLOOR AREAS IMPERIAL				
	LEVEL 1.50 FT	LEVEL 2.50 FT	LEVEL 3.50 FT	TOTAL
GROSS	702.5 SF	777.5 SF	810.5 SF	2290.5 SF
GARAGE EXCLUSIONS	389.4 SF	0.0 SF	0.0 SF	389.4 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	777.5 SF	810.5 SF	1587.5 SF

UNIT 10 FLOOR AREAS METRIC				
	LEVEL 1.50 M	LEVEL 2.50 M	LEVEL 3.50 M	TOTAL
GROSS	65.53M	74.35M	75.53M	215.41M
GARAGE EXCLUSIONS	36.24M	0.00M	0.00M	36.24M
BASEMENT EXCLUSIONS 100%	29.13M	0.00M	0.00M	29.13M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	74.35M	75.53M	149.88M

UNIT 11 FLOOR AREAS IMPERIAL				
	LEVEL 1.50 FT	LEVEL 2.50 FT	LEVEL 3.50 FT	TOTAL
GROSS	702.5 SF	777.5 SF	804.5 SF	2284.5 SF
GARAGE EXCLUSIONS	389.4 SF	0.0 SF	0.0 SF	389.4 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	777.5 SF	804.5 SF	1582.0 SF

UNIT 11 FLOOR AREAS METRIC				
	LEVEL 1.50 M	LEVEL 2.50 M	LEVEL 3.50 M	TOTAL
GROSS	65.53M	73.85M	74.75M	214.13M
GARAGE EXCLUSIONS	36.24M	0.00M	0.00M	36.24M
BASEMENT EXCLUSIONS 100%	29.13M	0.00M	0.00M	29.13M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	73.85M	74.75M	148.60M



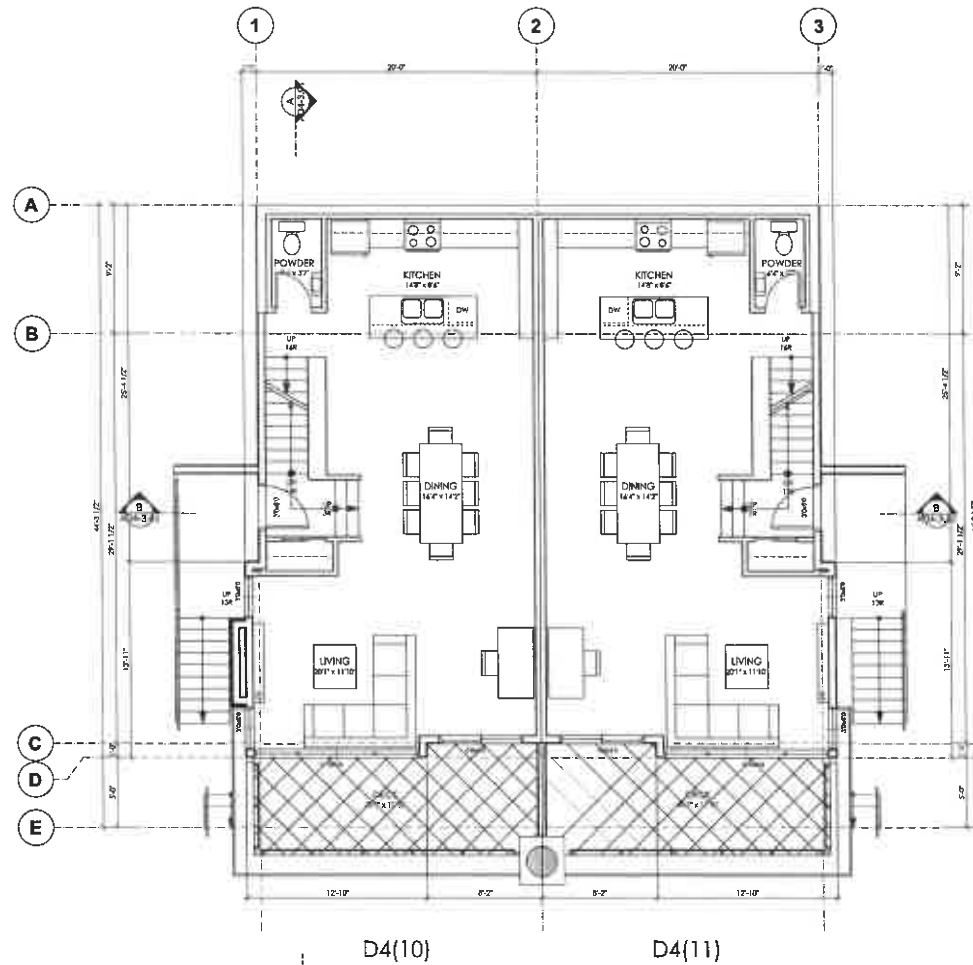
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D4

DRAWING
LOWER FLOOR PLAN

PROJECT#	8000	SHEET	AD4-2.01
SCALE	1/4" = 1'-0"		
DATE	MAY 10, 2023		

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REVISIONS
 Issued for OPI/Perching Aug. 31, 2021
 OPI/2 Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023

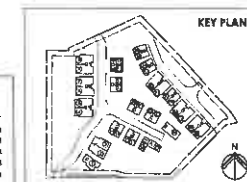


MAIN FLOOR PLAN
 UNIT D4



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D4

DRAWING
MAIN FLOOR PLAN



UNIT 10 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	797.3 SF	410.5 SF	1910.3 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.8 SF	0.0 SF	0.0 SF	312.8 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.3 SF	410.5 SF	1207.8 SF

UNIT 10 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.03M	74.15M	37.93M	177.11M
GARAGE EXCLUSIONS	36.22M	0.00M	0.00M	36.22M
BASEMENT EXCLUSIONS 100%	29.13M	0.00M	0.00M	29.13M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	74.15M	37.93M	112.08M

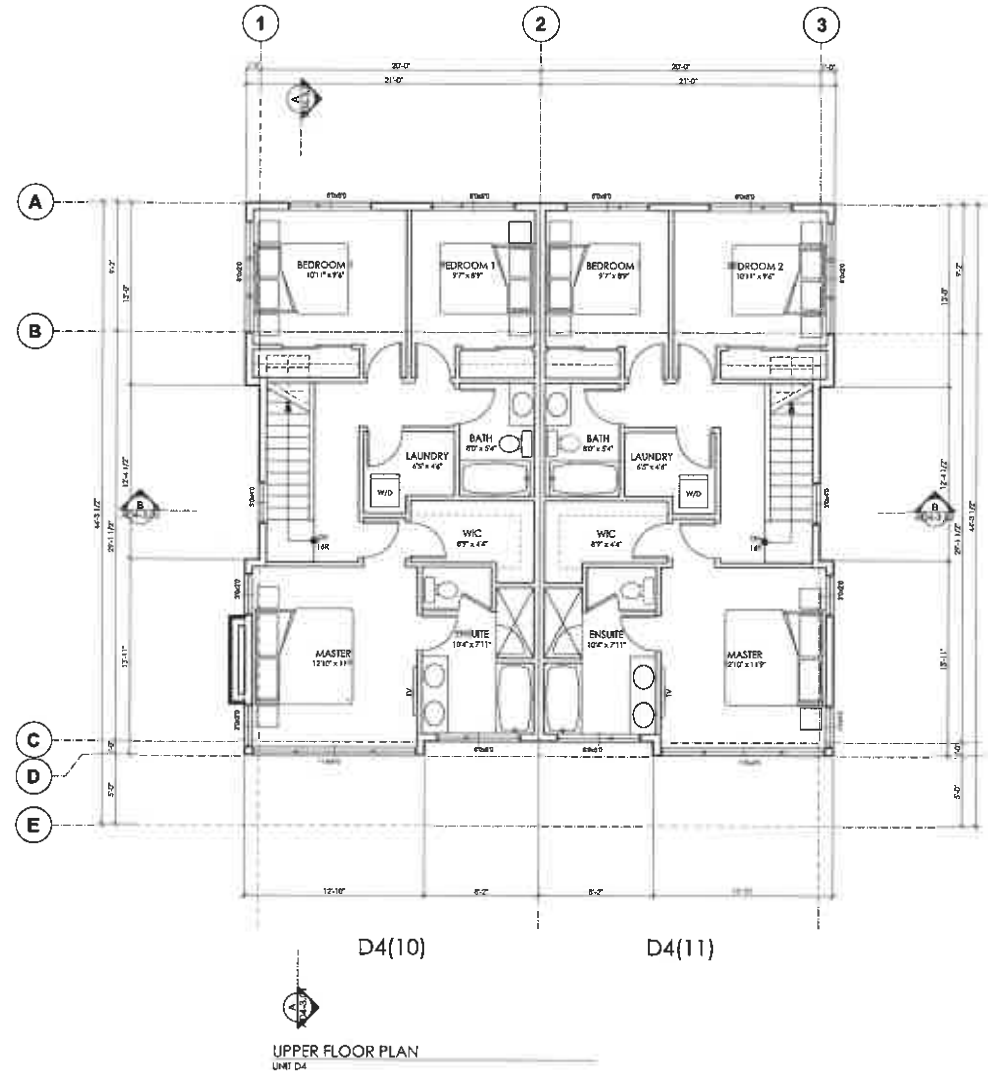
UNIT 11 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	404.4 SF	1908.5 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.8 SF	0.0 SF	0.0 SF	312.8 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.6 SF	404.4 SF	1196.0 SF

UNIT 11 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.03M	73.05M	37.47M	175.55M
GARAGE EXCLUSIONS	36.22M	0.00M	0.00M	36.22M
BASEMENT EXCLUSIONS 100%	28.15M	0.00M	0.00M	28.15M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	73.05M	37.47M	110.52M

PROJECT # 2020 SHEET
 SCALE 1/4" = 1'-0" AD4-
 DATE MAY 12, 2023 2.02

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REVISIONS
 Based on DP/Revising Aug 31, 2021
 DR/2 Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023

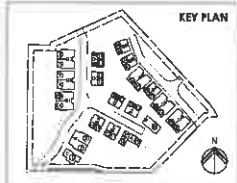


UPPER FLOOR PLAN
 UNIT D4



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D4

DRAWING
 UPPER FLOOR
 PLAN



UNIT 10 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.8 SF	777.3 SF	810.3 SF	2290.4 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	777.3 SF	810.3 SF	1487.6 SF

UNIT 10 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	64.55M	71.15M	75.35M	211.05M
GARAGE EXCLUSIONS	35.75M	0.00M	0.00M	35.75M
BASEMENT EXCLUSIONS 100%	28.91M	0.00M	0.00M	28.91M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	71.15M	75.35M	146.50M

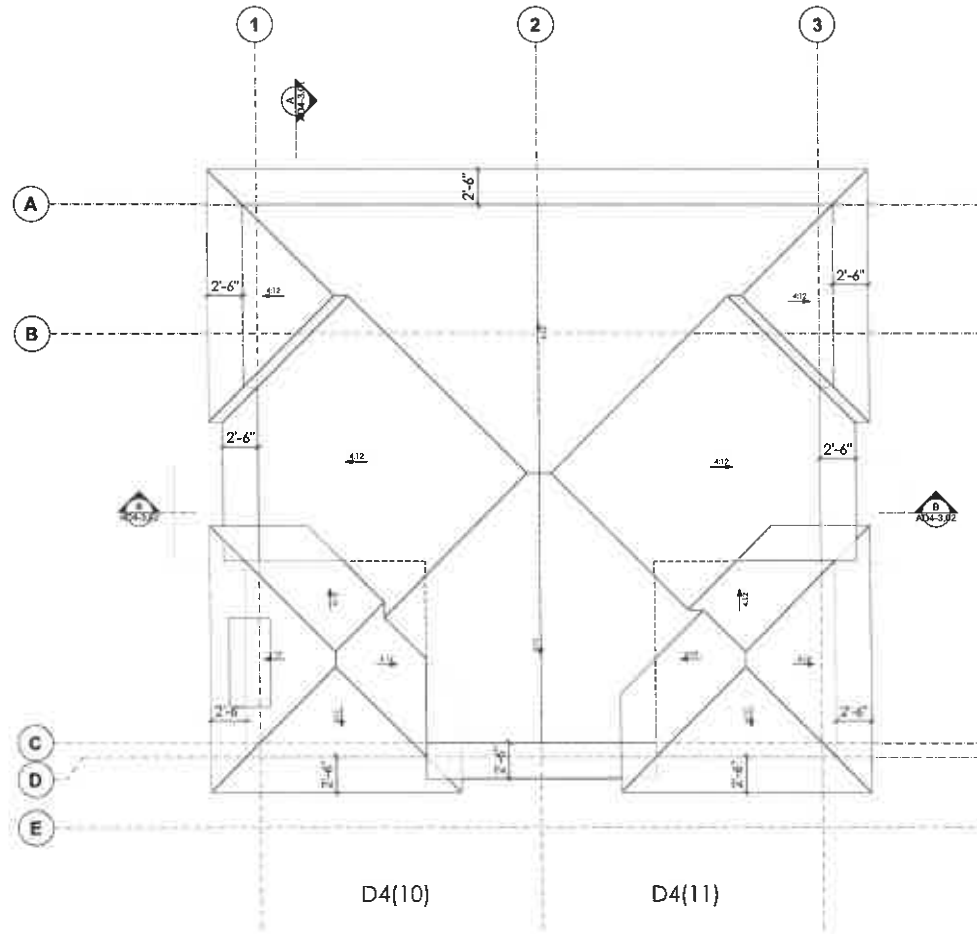
UNIT 11 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.8 SF	779.4 SF	804.6 SF	2286.8 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	779.4 SF	804.6 SF	1584.0 SF

UNIT 11 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	64.55M	72.55M	74.75M	211.85M
GARAGE EXCLUSIONS	35.75M	0.00M	0.00M	35.75M
BASEMENT EXCLUSIONS 100%	28.91M	0.00M	0.00M	28.91M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	72.55M	74.75M	147.30M

PROJECT# 9030 SHEET
 SCALE 1/4" = 1'-0" **AD4-**
 DATE MAY 12, 2023 **2.03**

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REVISIONS	
REVISED FOR OFFERING	AUG 31, 2021
DRGT PUBLIC COMMENT REVISIONS	MAY 12, 2022
01, 02, 03 REVISIONS	JULY 31, 2023

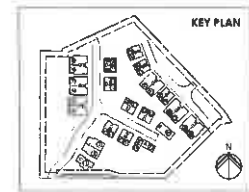


ROOF PLAN
UNIT D4



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D4

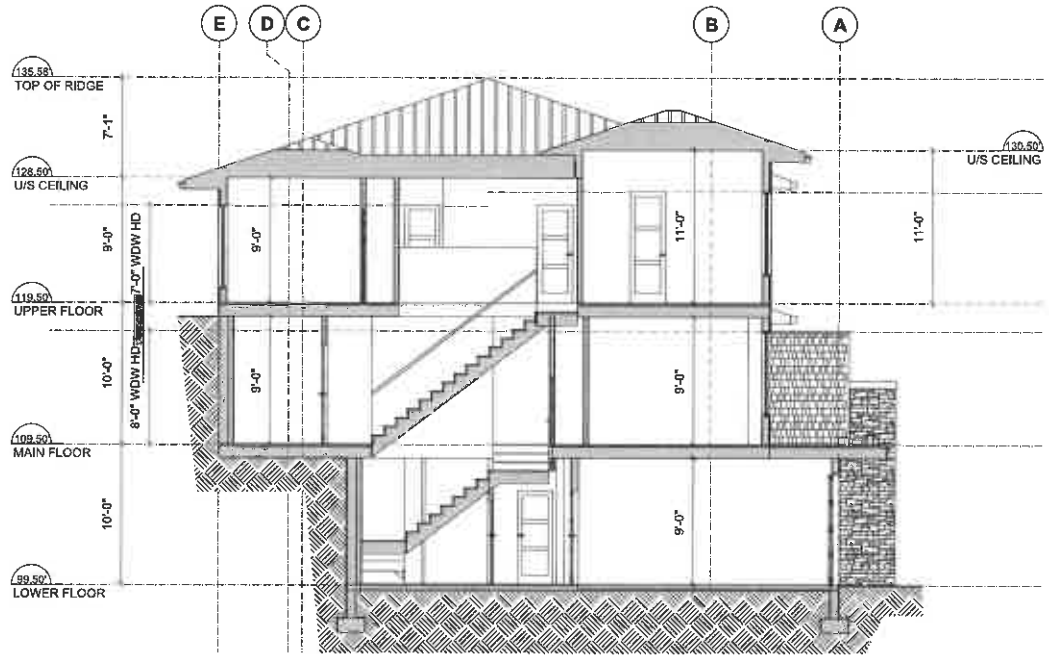
DRAWING
ROOF PLAN



PROJECT#	BHEET
NO00	AD4-
SCALE	2.04
DATE	MAY 12, 2022

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REVISIONS
 Issued for DP/Revisions Aug 31, 2021
 DRCD Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



A SECTION A
 Scale: 1/4" = 1'-0"



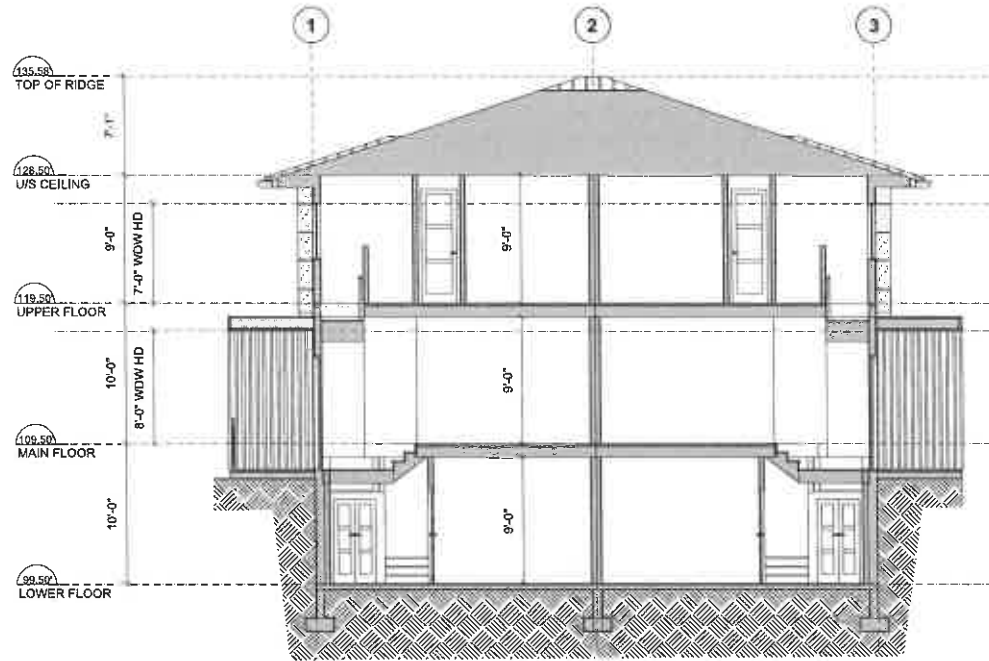
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D4

DRAWING
 SECTION A-A

PROJECT	SHEET
000	AD4-
SCALE 1/4" = 1'-0"	3.01
DATE MAY 12, 2023	

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REVISIONS
 Issued for DR/Revised Aug 31, 2021
 DR/DR Public Comment Revisions MAY 17, 2023
 01, 02, 03 Revisions MAY 31, 2023



B Section B
 Scale: 1/4" = 1'-0"



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D4

DRAWING
 SECTION B-B

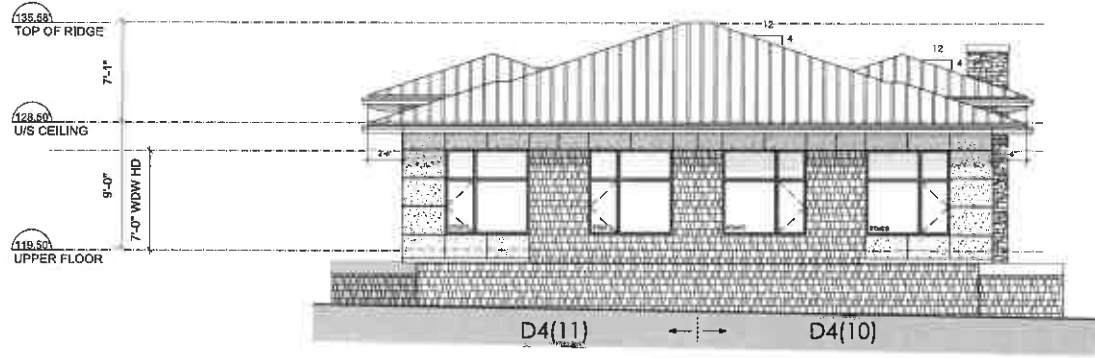
PROJECT#	000	SHEET
SCALE	1/4" = 1'-0"	AD4-
DATE	MAY 17, 2023	3.02

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REVISIONS	
Issued for DP/Revising	Aug 31, 2021
DIST Public Comment Review	MAY 12, 2022
01, 02, 03 Revisions	JULY 31, 2023



FRONT ELEVATION
UNIT D4



BACK ELEVATION
UNIT D4

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3, LD)

EXPOSED BUILDING FACE:	539.27 SF (51.96 SM)
LIMITING DISTANCE:	12.63' (3.86 M)
UNRESTRICTED OPENING:	144.00 SF (13.38 SM)
PROPOSED OPENING:	25.75%
PERMITTED OPENINGS:	45.16%



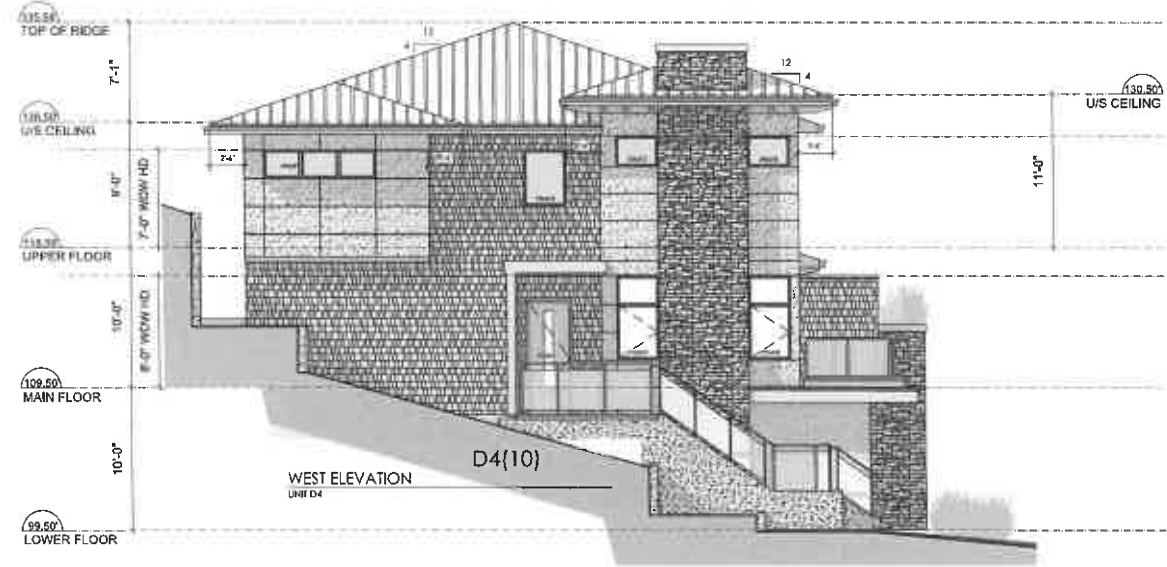
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D4

DRAWING
FRONT & BACK
ELEVATIONS B/W

PROJECT#	SHEET
8030	AD4-
SCALE	1/4"=1'-0"
DATE	4.01
	MAY 12, 2023

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REVISIONS
 Issued for DWP Reviewing Aug 31, 2021
 DRO Public Comment Reviewing MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT D4

DRAWING
 EAST & WEST ELEVATIONS B/W

PROJECT#	SHEET
0070	AD4-4.02
SCALE	1/2" = 1'-0"
DATE	MAY 12, 2023

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REVISIONS
 Issued for DP/Reopening AUG 31, 2021
 DR/C Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



FRONT ELEVATION
 UNIT D4



BACK ELEVATION
 UNIT D4



HARDY PANEL



FIBRE CEMENT SHINGLES -
 WOODTONE RUSTIC SERIES
 CARBON TRAILS



STONE CLADDING



METAL ROOF -
 CHARCOAL GRAY



ENTRY DOOR SILESTONE -
 OLD MASTER GEL STAIN C/W
 CLEAR TOP COAT - SPECIAL
 WALNUT



WINDOW / FASCIA/
 BARGE BOARDS & UPSTAND -
 CHARCOAL GRAY



SOFFIT -
 ROCKPORT GRAY BM - HC - 105



BALCONY -
 WROUGHT IRON BM - 2124-10

AQUILA
 EXTERIOR MATERIAL SCHEDULE

Item	Material	Colour
1.1	2" Hard Roof	Charcoal Gray
1.2	Cement Soffit	Rockport Gray BM - HC 105
1.3	Tile	Charcoal Gray
2.1	Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Hardy Panel	Light Gray
2.3	Hardy Panel	Light Gray
2.4	Hardy Panel	Light Gray
2.5	Stone	Random Granite
3.1	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
3.2	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
4.1	Charcoal Gray	Charcoal Gray
4.2	Silestone - Old Master Gel Stain C/W Clear Top Coat - Special Walnut	Silestone - Old Master Gel Stain C/W Clear Top Coat - Special Walnut
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
5.1	Silestone - Old Master Gel Stain C/W Clear Top Coat - Special Walnut	Silestone - Old Master Gel Stain C/W Clear Top Coat - Special Walnut
5.2	Charcoal Gray	Charcoal Gray
5.3	Charcoal Gray	Charcoal Gray



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, B.C.
 UNIT D4

DRAWING
**FRONT & BACK
 ELEVATIONS**

PROJECT# 000
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
AD4-4.03

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REVISIONS
 Issued for O/P/Permitting Aug. 31, 2021
 DREG Public Comment Response MAY 12, 2023
 OY, O2, O3 Revisions JULY 31, 2023



D4(11)
 EAST ELEVATION
 UNIT D4



D4(10)
 WEST ELEVATION
 UNIT D4

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Roof "A" Metal Roof	Charcoal Gray
1.2	Flare Cement Soffit	Ironstone Gray BM - HC-105
1.3	Jullier	Charcoal Gray
2.1	Flare Cement Shingles	Woodstone Rustic Series Carbon Trail
2.2	Not Used	
2.3	Wacky Panel	Light Mel
2.4	Not Used	
2.5	None	Random Granite
3.1	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
3.2	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
4.1	Charcoal Gray	Charcoal Gray
4.2	Stainwood - Old Master Gel Stain c/w clear top coat - Spiced Walnut	Stainwood - Old Master Gel Stain c/w clear top coat - Spiced Walnut
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
5.1	Stainwood - Old Master Gel Stain c/w clear top coat - Spiced Walnut	Stainwood - Old Master Gel Stain c/w clear top coat - Spiced Walnut
5.2	Charcoal Gray	Charcoal Gray
5.3	Charcoal Gray	Charcoal Gray

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D4

DRAWING
 EAST & WEST
 ELEVATIONS

PROJECT NO. 9020
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
 SHEET
AD4-4.04

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FRONT ELEVATION - CAMERA VIEW
UNIT D4



SIDE ELEVATION - CAMERA VIEW
UNIT D4



BACK ELEVATION - CAMERA VIEW
UNIT D4



SIDE ELEVATION - CAMERA VIEW
UNIT D4

REVISION B
Based for DP/Reopening
08/22 Public Comment Revisions
01, 02, 03 Revisions

AUG 31, 2021
MAY 18, 2023
MAY 31, 2023



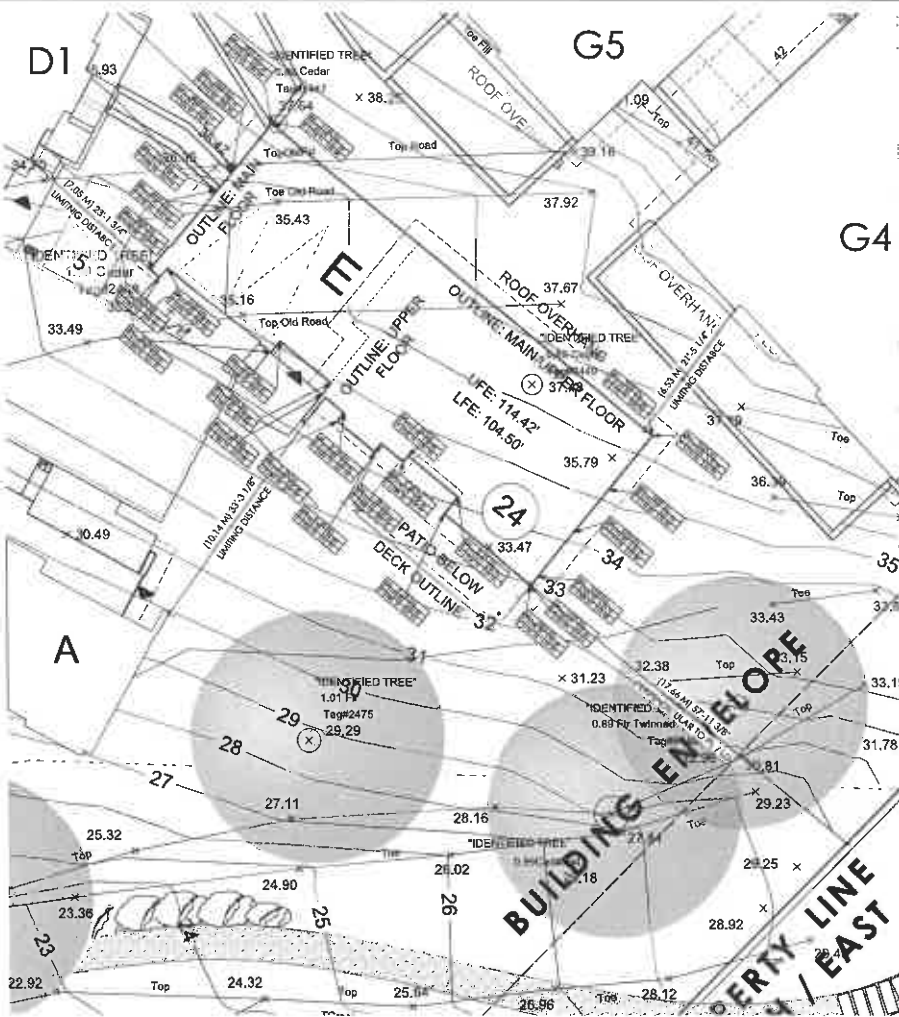
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D4

DRAWING
FRONT, BACK &
SIDE ELEVATIONS

PROJECT#	0030	SHEET	AD4- 4.05
SCALE	N.S.		
DATE	MAY 12, 2023		

E - AVERAGE FINISHED GRADE CALCULATION					
Ref #	Station	Elevation	A	Elevation/Distance	% Change
1	104.31	104.16	104.16	4.04	42.01
2	104.31	104.16	104.16	1.54	160.81
3	104.16	104.16	104.16	8.93	711.73
4	104.16	104.1	104.1	1.54	160.81
5	104.16	104.1	104.1	4.04	42.01
6	104.16	104.1	104.1	1	112.81
7	104.16	104.1	104.1	0.1	950
8	104.16	104.1	104.1	7	231.1
9	104.16	104.1	104.1	15.83	1644.1
10	104.1	104.1	104.1	0.00	0
11	107.44	107.26	107.26	207.13	1922.25
12	111	111.34	109.80	7.51	884.84
13	111.34	112.90	112.90	9.11	1014.76
14	114.62	114.83	114.83	8.33	962.25
15	118	118.11	118.47	0.00	0
16	118.11	118.11	118.11	69.79	6245.13
17	118.11	112.83	115.37	0	0
18	112.83	112.83	112.8	2	1011
19	112.83	108.49	110	0	0
20	108.4	108.49	108.4	3.41	382.82
21	108.4	108.49	108.49	6.08	670
22	108.4	104.06	104	16.77	1544.36
23	104.1	104.18	104.11	1.61	173
24	104.1	104.18	104.18	1.7	182.2
25	104.1	104.1	104.1	14.83	1361
26	104.1	104.1	104.18	2	218.97
27	104.1	104.1	104.1	4.41	486.87
28	104.1	104.1	104.1	2	218.97
Total			207.23	22840.54	
Avg Finish Grade	29.86			110.36	
Avg Strip Grade	29.86			142.21	

E - AVERAGE EXISTING GRADE CALCULATION					
Ref #	Station	Elevation	A	Elevation/Distance	% Change
1	113	113	113.72	4.64	469.64
2	113	113	113.20	1.54	174.75
3	113	113	112.81	8.83	718.85
4	112.81	112.81	112.84	1.54	174.00
5	112.81	112.81	112.9	14.91	1364.4
6	112.81	112.81	112.81	1	122.31
7	112.81	112.81	112	8.1	1027.2
8	112.81	112.81	112.4	3	332.7
9	110	108.97	109.4	16.93	1752
10	108	108.97	108	1	100
11	108	108	108.33	1.88	203
12	108	112.84	110.30	2.91	318
13	113	113.41	113.72	8.31	921.87
14	113.41	113.41	113.4	0.00	0
15	113.41	113.41	113.4	9.51	1158.14
16	113.41	113.41	113.4	18.79	1743.7
17	113.41	113.41	113.4	0	0
18	113.41	113.41	113.41	0	0
19	113.41	113.41	113.41	8	1060.54
20	113.41	113.41	113.41	0	0
21	113.41	113.41	113.42	3.41	400.1
22	113.41	113.41	113.37	116.57	1060.61
23	113.41	113.41	113.49	14.77	1690.61
24	113.41	113.41	113.20	1.67	187
25	113.41	113.41	112.78	1.36	157
26	113.41	113.41	113.64	16.83	2140.1
27	113.41	113.41	113.68	1	100
28	113.41	113.41	113.68	9.42	1079.84
Total			208.23	24043.73	
Avg Existing Grade	29.86			118.82	
Avg Strip Grade	29.86			142.77	



SITE PLAN
SCALE: 1/8"=1'

TOP OF FINISH FLOOR - E (24)	
Station	Elevation
31.85	34.88
104.50	114.42



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REVISIONS		
Model for DP/Revising	Aug 23, 2021	
DRD Public Comment Revisions	MAY 12, 2023	
G1, G2, G3 Revisions	MAY 31, 2023	



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT E

DRAWING
SITE PLAN

PROJECT	SHEET
8050	AE-1.
SCALE 1/8" = 1'	01
DATE MAY 12, 2023	

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REVISIONS		
Issued for CP/Permitting	Aug. 31, 2024	
2022 Public Comment Revisions	MAY 12, 2023	
01, 02, 03 Revisions	JULY 31, 2023	



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT E

DRAWING
BUILDING PLANS

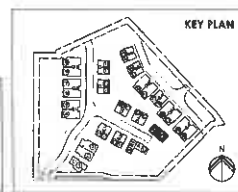
PROJECT#	SHEET
8000	AE-2.01
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023



LOWER FLOOR / BASEMENT EXEMPTIONS:
 (110.36' - 104.50' / 114.42' - 104.50') x 100 = 59.07%
 (1775.5 (gross area) - 441.0 (garage)) x 59.07% = 788.29 SF (exemption)
LOWER FLOOR
 UNIT E

UNIT 24 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1775.5 SF	1088.5 SF	0 SF	2864.0 SF
GARAGE EXCLUSIONS	441.0 SF	0 SF	0 SF	441.0 SF
BASEMENT EXCLUSIONS 59.07%	788.2 SF	0 SF	0 SF	788.2 SF
COVERED BALCONY EXCLUSIONS	0 SF	0 SF	0 SF	0 SF
NET	546.2 SF	1088.5 SF	0 SF	1634.7 SF

UNIT 24 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	164.9 SQ M	101.1 SQ M	0.0 SQ M	266.0 SQ M
GARAGE EXCLUSIONS	41.0 SQ M	0.0 SQ M	0.0 SQ M	41.0 SQ M
BASEMENT EXCLUSIONS 59.07%	73.2 SQ M	0.0 SQ M	0.0 SQ M	73.2 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	50.7 SQ M	101.1 SQ M	0.0 SQ M	151.8 SQ M



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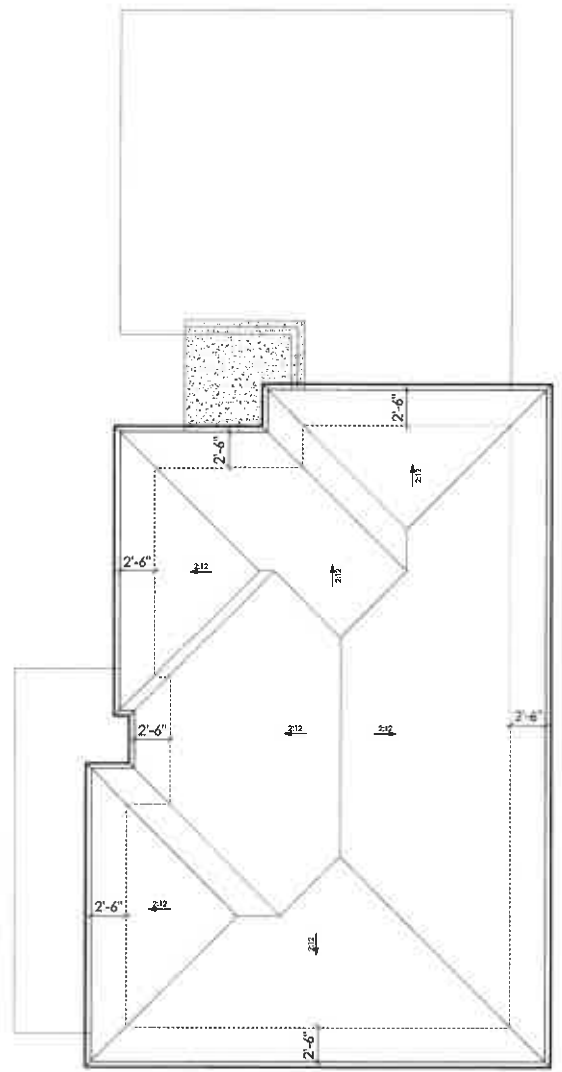
REVISION E
Issued for DP/Rebidding Aug 31, 2021
DRG/ Public Comment Response MAY 12, 2023
CV, GC, DR Redlines JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT E

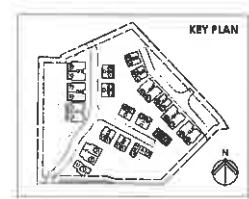
DRAWING
ROOF PLAN

PROJECT#	0770	SHEET	AE-2. 02	
SCALE	1/8" = 1'-0"	DATE		MAY 12, 2023
DATE	MAY 12, 2023			



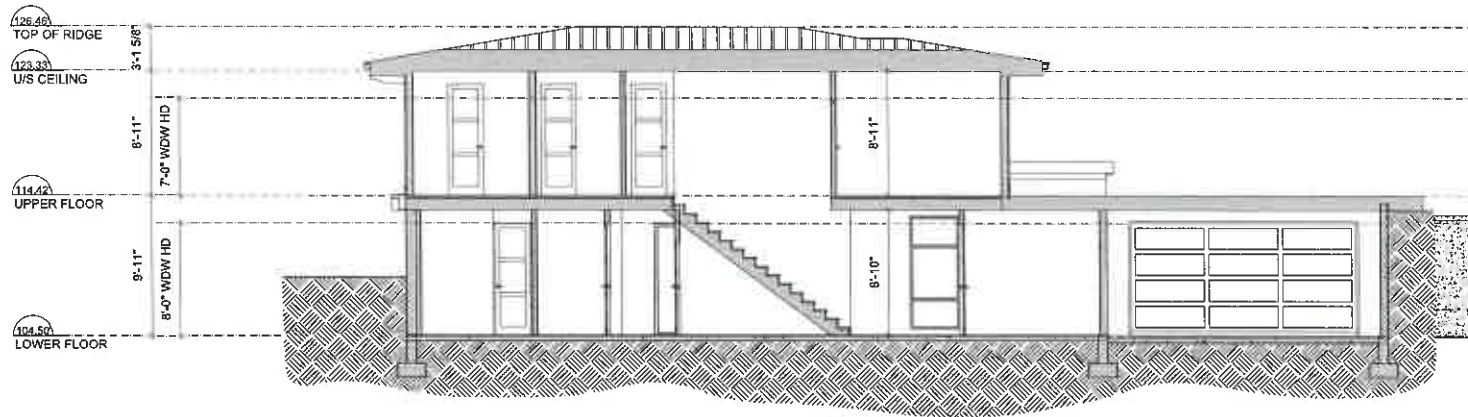
E(24)

ROOF PLAN
UNIT E

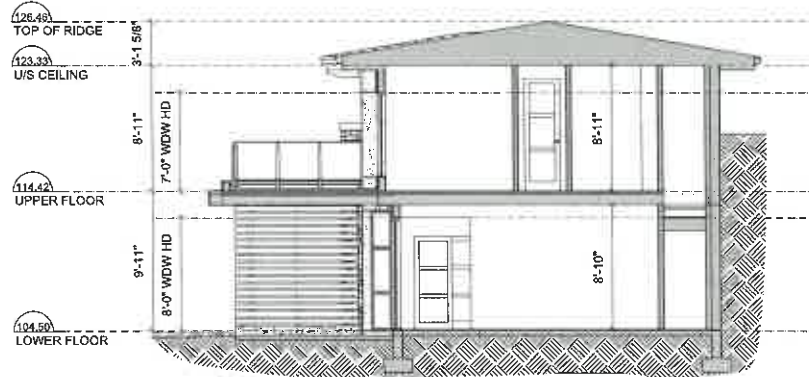


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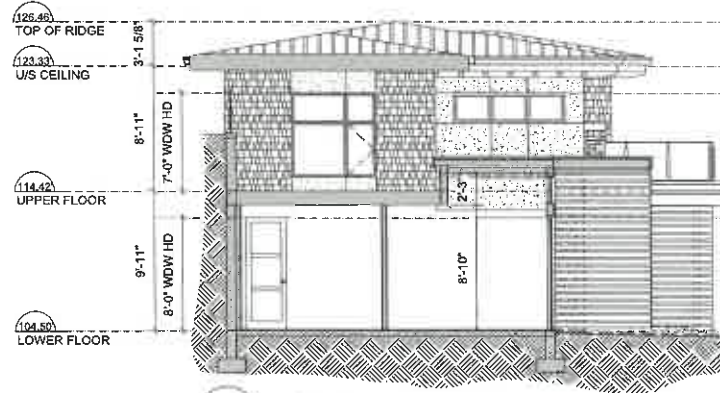
REVISIONS
 Build for DR/RAZING Aug 31, 2021
 DR/ Public Comment Review MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023



A Section A
 Scale: 1/4" = 1'-0"



B Section B
 Scale: 1/4" = 1'-0"



C Section C
 Scale: 1/4" = 1'-0"



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT E

DRAWING
 SECTIONS

PROJECT#	8020	SHEET	AE-3. 01
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

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REVISED FOR: Aug 31, 2021
 Issued for DP/Exemption MAY 12, 2023
 DRG/ Public Comment Review G1, G2, G3 Revisions JULY 31, 2023



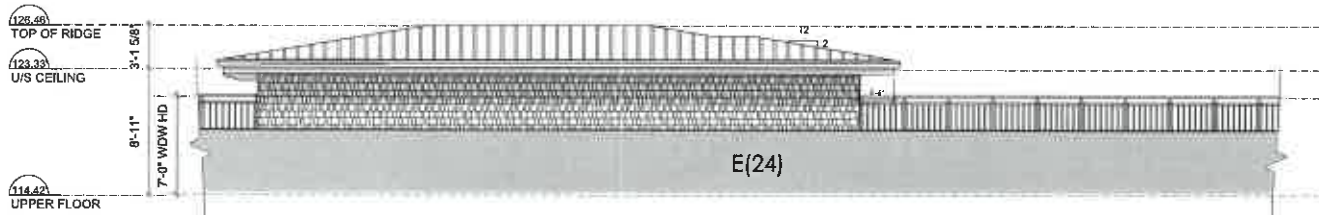
LOWER FLOOR / BASEMENT EXEMPTIONS:
 (110.36- 104.50' / 114.42- 104.50') x 100 = 59.07%
 (1775.5 (gross area) - 441.0 (garage)) x 59.07% = 788.29 SF (exemption)

SOUTH ELEVATION

UNIT E

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1.D)

EXPOSED BUILDING FACE: 1130.08 SF (104.99 SM)
 LIMITING DISTANCE: 16.63' (5.07 M)
 UNPROTECTED OPENING: 509.75 SF (47.36 SM)
 PROPOSED OPENING: 45.11%
 PERMITTED OPENINGS: 50.22%



NORTH ELEVATION

UNIT E



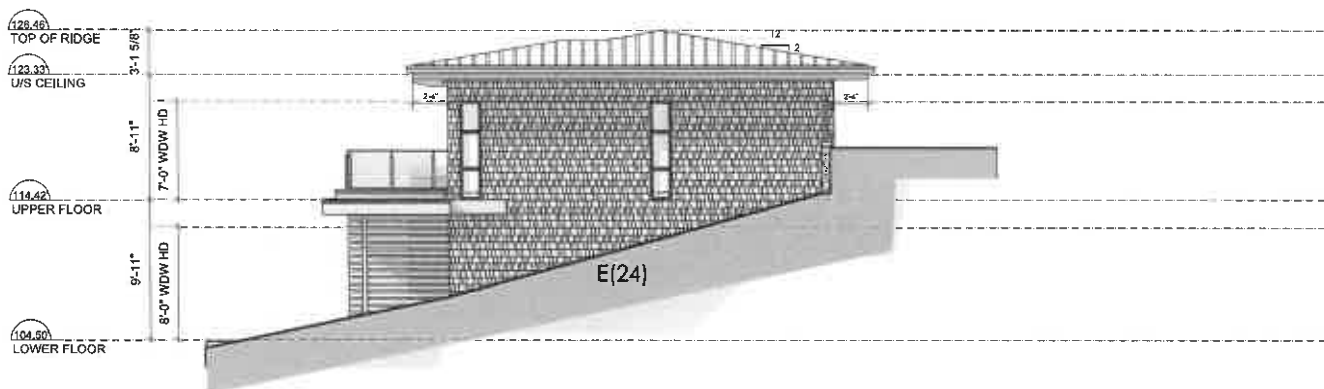
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT E

DRAWING
 SOUTH & NORTH
 ELEVATIONS B/W

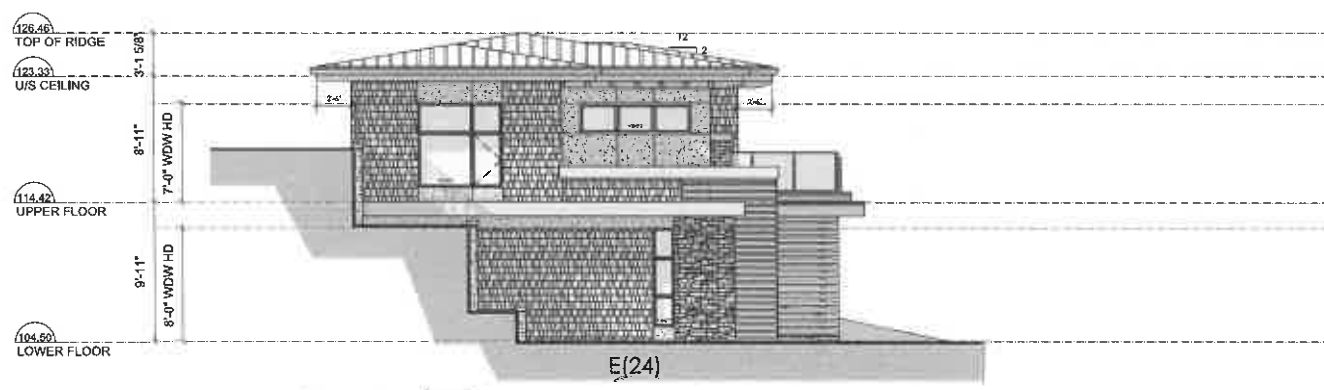
PROJECT	8030	SHEET AE-4. 01
SCALE	1/4" = 1'-0"	
DATE	MAY 12, 2023	

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REVISIONS
 based for DP/Permitting AUG 31, 2021
 DRCP Public Comment Response MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



SIDE ELEVATION (EAST)
 UNIT E



SIDE ELEVATION (WEST)
 UNIT E

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1.D1)
 EXPOSED BUILDING FACE: 426.07 SF (39.58 SM)
 LIMITING DISTANCE: 11.57' (3.53 M)
 UNPROTECTED OPENING: 63.83 SF (5.93 SM)
 PROPOSED OPENING: 14.28%
 PERMITTED OPENINGS: 53.16%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT E

DRAWING
 EAST & WEST
 ELEVATIONS B/W

PROJECT#	0020	SHEET	AE-4. 02
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

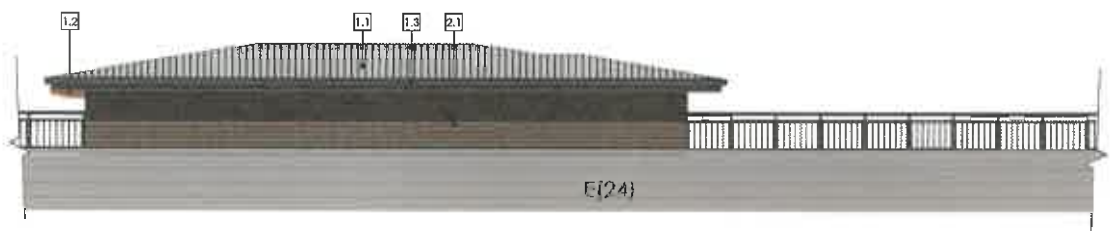
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REVISED
 Issued for DP/Archiving
 DSD/ Public Comment Reviews
 G.L. DL 02 Revision

Aug 31, 2021
 MAY 12, 2022
 MAY 31, 2023



SOUTH ELEVATION
 UNIT E



NORTH ELEVATION
 UNIT E

HARDY PANEL	FIBRE CEMENT SHINGLES - WOODTONE RUSTIC SERIES CARBON TRAILS
STONE CLADDING	METAL ROOF - CHARCOAL GRAY
ENTRY DOOR SLEWWOOD - OLD MASTER GEL STAIN C/W CLEAR TOP COAT - SPECIAL WALNUT	WINDOW / FASCIA / BARGE BOARDS & UPSTAND - CHARCOAL GRAY
SOFFIT - ROCKPORT GRAY BM - HC - 105	BALCONY - WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Asph/Flt Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM-HC-105
1.3	Roof Sill	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Hardy Panel	Light Mist
2.3	Stone Cladding	Random Granite
2.4	Window / Fascia	Charcoal Gray
2.5	Roof Sill	Charcoal Gray
3.1	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
3.2	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
4.1	Charcoal Gray	Charcoal Gray
4.2	Slewood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut	Charcoal Gray
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
5.1	Slewood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut	Charcoal Gray
5.2	Charcoal Gray	Charcoal Gray
5.3	Charcoal Gray	Charcoal Gray



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT E

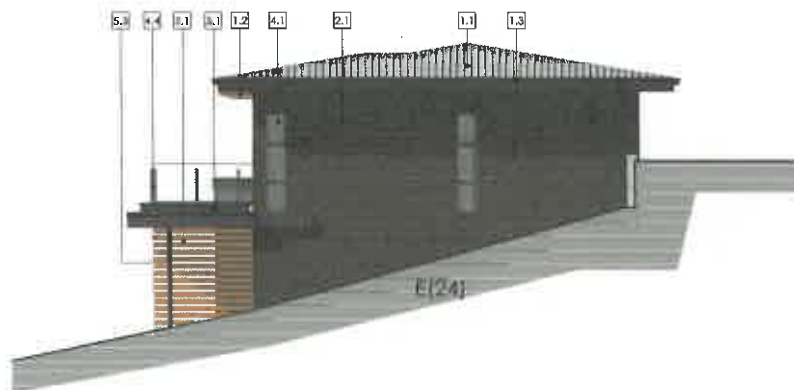
DRAWING
SOUTH & NORTH ELEVATIONS

PROJECT# 8000
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023

AE-4.03

These plans remain the ownership of Sterling Pacific

REVISED
 Based for DR/Permitting Aug 31, 2021
 DR/ Public Comment Response MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023



SIDE ELEVATION (EAST)
 UNIT E



SIDE ELEVATION (WEST)
 UNIT E

AQUILA EXTENDED MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "AC" metal roof	Charcoal
1.2	Flow Cement Soffit	Random Stone - HC-105
1.3	Roof Siller	Charcoal Gray
2.1	Flow Cement Shingles	Woodstone Baltic Series Carbon Falls
2.2	Hand Laid	
2.3	Handy Panel	Light Oak
2.4	Not Used	
2.5	None	Random Granite
3.1	Vertical Grey Cast Iron	Wrought Iron BM - 2124 - 10
3.2	Horizontal Grey Cast Iron	Wrought Iron BM - 2124 - 10
4.1	Charcoal Gray	Charcoal Gray
4.2	Shiny dark painted c/w random and light	Shelwood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Shiny dark painted garage	Charcoal Gray
4.4	Random glass quadrant system c/w glass cap	Charcoal Gray
5.1	Vertical brushed wood	Shelwood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Brushed metal	Charcoal Gray
5.3	Hand painted	Charcoal Gray



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT E

DRAWING
 EAST WEST
 ELEVATIONS

PROJECT# 8030
 SCALE 1/4" = 1'-0"
 DATE JULY 12, 2023
AE-4.
04

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REVISIONS
Issued for DP/Re zoning Aug. 31, 2021
2022 Public Comment Revisions MAY 12, 2022
S1, 02, 03 Revisions JULY 31, 2023



FRONT ELEVATION - CAMERA VIEW
UNIT E



SIDE ELEVATION - CAMERA VIEW
UNIT E



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, B.C.
UNIT E

DRAWING
FRONT & SIDE
ELEVATIONS -
CAMERA VIEW

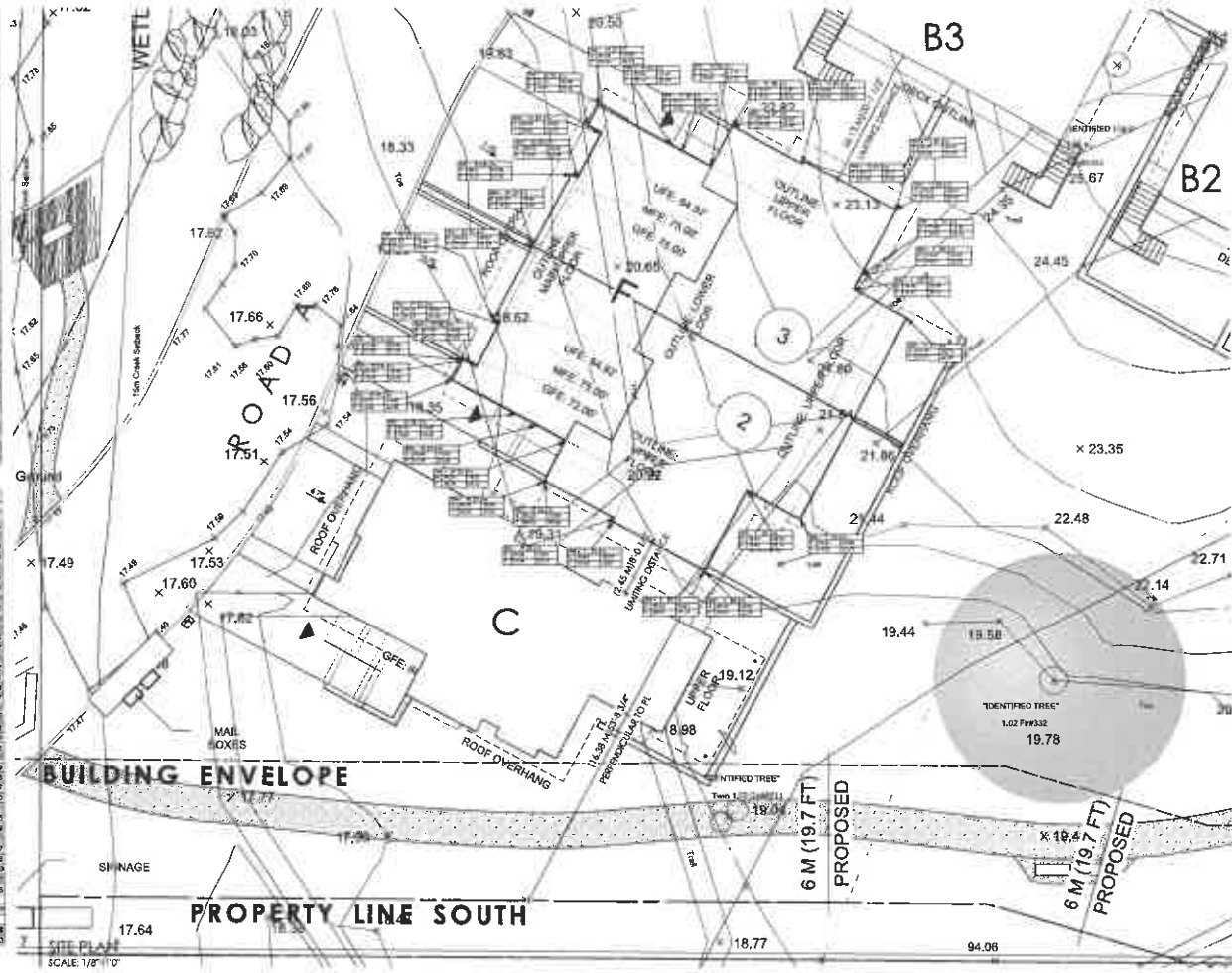
PROJECT#	8030	SHEET
SCALE	N.S.	AE-4.
DATE	MAY 12, 2023	05

- AVERAGE FINISHED GRADE CALCULATION

Stn #	Elevation	Stn #	Elevation	Distance	x	Distance
1	67.48	2	68.42	14.92	1021.81	
2	68.42	3	74.97	72.11	0.00	0
3	74.97	4	74.07	74.07	13.74	876.74
4	74.07	5	74.07	74.07	644.02	
5	74.07	6	74.07	74.07	24.74	172.11
6	74.07	7	74.07	74.07	6.5	444.02
7	74.07	8	74.07	74.07	2.31	172.11
8	74.07	9	75.46	75.67		
9	75.46	10	75.46	75.46	10.88	808.37
10	75.46	11	75	75.46	0.00	
11	75	12	75.46	75.46	1525.64	
12	75.46	13	75.46	75.46	0.50	37.73
13	75.46	14	76.48	76.48	11.53	866.18
14	76.48	15	76.55	76.55	0.00	
15	76.55	16	76.55	76.55	6.30	487.58
16	76.55	17	76.55	76	4.70	359.26
17	76	18	76.55	76.84	1.00	752.53
18	76.55	19	74.87	74	11.97	898
19	74.87	20	74.87	74.8		242.76
20	74.87	21	74.87	74.87	2.21	164.87
21	74.87	22	74.87	74.87	7.31	558.22
22	74.87	23	74.87	74.87	1.00	74.87
23	74.87	24	74.87	74.87	15.00	1143.71
24	74.87	25	71.87	73.17	0.00	
25	71.87	26	71.87	71.87	11.86	891.68
26	71.87	27	71.87	71.87	1.00	71.87
27	71.87	28	71.87	71.87	7.21	549.60
28	71.87	29	71.87	71.87	2.21	169.23
29	71.87	30	73.48	73.48	1.00	73.48
30	73.48	31	73.48	73.48	10	736.81
31	73.48	32	74.92	74	3.3	249.87
32	74.92	33	74.92	74	4.00	300
33	74.92	34	76.90	76	6.69	497.20
34	76.90	35	76.90	76	11.33	863.63
35	76.90	36	67.48	67.48		
36	67.48	37	67.48	67.48	11.33	863.63
37	67.48	1	67.48	67.48		312.74
Total					230.17	16687
Avg Finish Grade						73.95
Max. Min. Height Ft.						28.85

- AVERAGE EXISTING GRADE CALCULATION

Stn #	Elevation	Stn #	Elevation	Distance	x	Distance
1	64	2	66.32	66.62	14.82	978.85
2	66.32	3	66	66.52	0	0
3	66	4	68	67.51	13.00	977.93
4	68	5	68.24	68.24	8.00	589.40
5	68.24	6	72.68	71	32.47	231
6	72.68	7	74.88	74		543.23
7	74.88	8	74.88	74	2.21	167.29
8	74.88	9	73.89	74	0.00	0
9	73.89	10	76.47	75.1	10.86	803.82
10	76.47	11	76.47	76.4	0.00	0
11	76.47	12	74.75	74	14.12	1122.11
12	74.75	13	74.84	74		37.34
13	74.84	14	72.45	73.33	11.33	853.32
14	72.45	15	72	72.42	0	0
15	72	16	71.27	71.90	8.80	667.22
16	71.27	17	70.17	70.71	4.30	324.41
17	70.17	18	69.82	70	1.00	73.48
18	69.82	19	67.48	68.7	11.97	892.57
19	67.48	20	67.19	67.41	3	218.1
20	67.19	21	67.67	67.4	2.31	172.11
21	67.67	22	68.46	67.4	7.31	558.22
22	68.46	23	66.47	67.1	1.00	74.87
23	66.47	24	64.53	65.20	11.86	777.81
24	64.53	25	64.53	64.53		
25	64.53	26	63.24	63.44	11.88	763.29
26	63.24	27	62	62.48	1.00	74.87
27	62	28	61.7	62.44	7.41	561.62
28	61.7	29	61.88	61.87	2.21	166.60
29	61.88	30	61.88	61.88	0	0
30	61.88	31	61.11	61	1.00	73.48
31	61.11	32	62.29	61	10.30	837.19
32	62.29	33	63.06	62.74	3.31	256.1
33	63.06	34	64.1	64	4	300.37
34	64.1	35	64.23	64	6	419.25
35	64.23	36	64.23	64.2	0	0
36	64.23	37	65.00	64.62	11.11	736.11
37	65.00	1	64.82	64.96		32.48
Total					230.17	15762.41
Avg Existing Grade						63.48
Max. Min. Height Ft.						28.85



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REVISIONS

Issued for DFR Review	Aug 31, 2021
DRS Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT F

DRAWING
 SITE PLAN

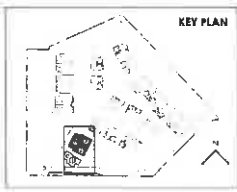
PROJECT#	000	SHEET	AF-1
SCALE	1/8" = 1'-0"	DATE	JULY 12, 2023
		NO.	01

TOP OF FINISH FLOOR - F (2)

Storage	Min	Upper
21.66	22.06	22.88
72.07	75.07	84.87

TOP OF FINISH FLOOR - F (3)

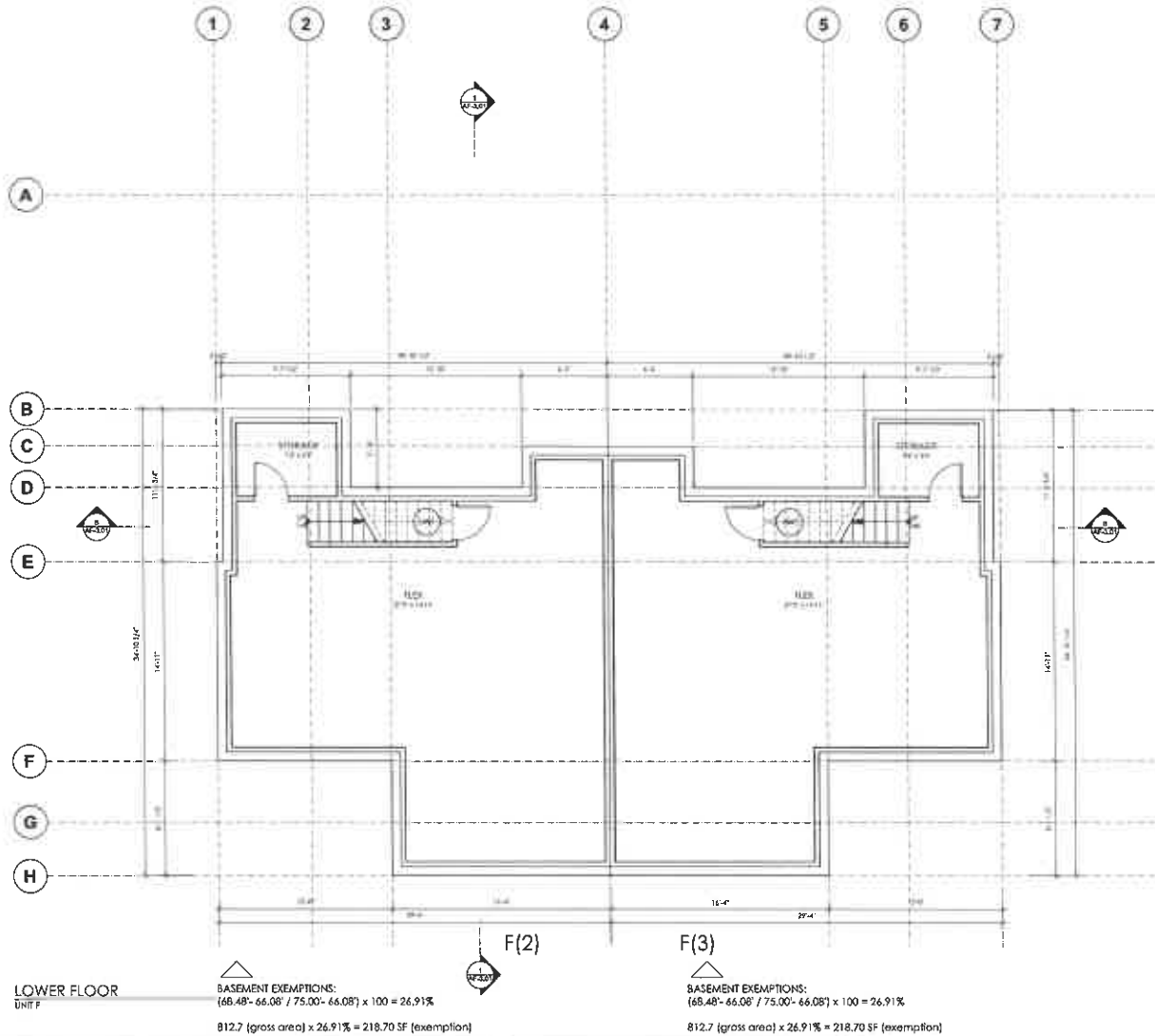
Min	Upper
21.85	22.88
75.99	75.09
	84.87



- AVERAGE FINISHED GRADE CALCULATION					
# of	Elevation	# of	Elevation	Distance	Distance
1	2	3	4	5	6
1	87.44	2	89.52	68.30	14.11
2	89.52	3	74.87	72.15	102.91
3	74.87	4	74.8	74.87	13.00
4	74.8	5	74.8	74.87	0.87
5	74.8	6	74.87	74.87	0.07
6	74.87	7	74.87	74.87	8.81
7	74.87	8	74.87	74.87	2.51
8	74.87	9	78.46	76.07	0.00
9	78.46	10	78.46	76.45	10.88
10	78.46	11	78.46	75.64	0.20
11	78.46	12	78.46	75.45	14.80
12	78.46	13	78.46	76.45	0.00
13	78.46	14	78.46	76.45	11.23
14	78.46	15	78.50	76.04	0.00
15	78.50	16	78.50	76.50	6.50
16	78.50	17	78.50	76.50	4.70
17	78.50	18	75.13	75.84	1.12
18	75.13	19	74.87	74.87	11.97
19	74.87	20	74.87	74.87	2.21
20	74.87	21	74.87	74.87	2.21
21	74.87	22	74.87	74.87	1.09
22	74.87	23	74.87	74.87	11.88
23	74.87	24	74.87	74.87	0.00
24	74.87	25	71.87	71.87	11.88
25	71.87	26	71.87	71.87	1.67
26	71.87	27	71.87	71.87	2.21
27	71.87	28	71.87	71.87	2.21
28	71.87	29	71.87	71.87	2.21
29	71.87	30	71.87	71.87	2.21
30	71.87	31	71.87	71.87	2.21
31	71.87	32	71.87	71.87	2.21
32	71.87	33	71.87	71.87	2.21
33	71.87	34	71.87	71.87	2.21
34	71.87	35	71.87	71.87	2.21
35	71.87	36	71.87	71.87	2.21
36	71.87	37	67.48	68.94	11.33
37	67.48	38	67.48	67.48	0.00
38	67.48	39	67.48	67.48	33.74
39	67.48	40	67.48	67.48	0.00
40	67.48	41	67.48	67.48	0.00
41	67.48	42	67.48	67.48	0.00
42	67.48	43	67.48	67.48	0.00
43	67.48	44	67.48	67.48	0.00
44	67.48	45	67.48	67.48	0.00
45	67.48	46	67.48	67.48	0.00
46	67.48	47	67.48	67.48	0.00
47	67.48	48	67.48	67.48	0.00
48	67.48	49	67.48	67.48	0.00
49	67.48	50	67.48	67.48	0.00
50	67.48	51	67.48	67.48	0.00
51	67.48	52	67.48	67.48	0.00
52	67.48	53	67.48	67.48	0.00
53	67.48	54	67.48	67.48	0.00
54	67.48	55	67.48	67.48	0.00
55	67.48	56	67.48	67.48	0.00
56	67.48	57	67.48	67.48	0.00
57	67.48	58	67.48	67.48	0.00
58	67.48	59	67.48	67.48	0.00
59	67.48	60	67.48	67.48	0.00
60	67.48	61	67.48	67.48	0.00
61	67.48	62	67.48	67.48	0.00
62	67.48	63	67.48	67.48	0.00
63	67.48	64	67.48	67.48	0.00
64	67.48	65	67.48	67.48	0.00
65	67.48	66	67.48	67.48	0.00
66	67.48	67	67.48	67.48	0.00
67	67.48	68	67.48	67.48	0.00
68	67.48	69	67.48	67.48	0.00
69	67.48	70	67.48	67.48	0.00
70	67.48	71	67.48	67.48	0.00
71	67.48	72	67.48	67.48	0.00
72	67.48	73	67.48	67.48	0.00
73	67.48	74	67.48	67.48	0.00
74	67.48	75	67.48	67.48	0.00
75	67.48	76	67.48	67.48	0.00
76	67.48	77	67.48	67.48	0.00
77	67.48	78	67.48	67.48	0.00
78	67.48	79	67.48	67.48	0.00
79	67.48	80	67.48	67.48	0.00
80	67.48	81	67.48	67.48	0.00
81	67.48	82	67.48	67.48	0.00
82	67.48	83	67.48	67.48	0.00
83	67.48	84	67.48	67.48	0.00
84	67.48	85	67.48	67.48	0.00
85	67.48	86	67.48	67.48	0.00
86	67.48	87	67.48	67.48	0.00
87	67.48	88	67.48	67.48	0.00
88	67.48	89	67.48	67.48	0.00
89	67.48	90	67.48	67.48	0.00
90	67.48	91	67.48	67.48	0.00
91	67.48	92	67.48	67.48	0.00
92	67.48	93	67.48	67.48	0.00
93	67.48	94	67.48	67.48	0.00
94	67.48	95	67.48	67.48	0.00
95	67.48	96	67.48	67.48	0.00
96	67.48	97	67.48	67.48	0.00
97	67.48	98	67.48	67.48	0.00
98	67.48	99	67.48	67.48	0.00
99	67.48	100	67.48	67.48	0.00
100	67.48	101	67.48	67.48	0.00
101	67.48	102	67.48	67.48	0.00
102	67.48	103	67.48	67.48	0.00
103	67.48	104	67.48	67.48	0.00
104	67.48	105	67.48	67.48	0.00
105	67.48	106	67.48	67.48	0.00
106	67.48	107	67.48	67.48	0.00
107	67.48	108	67.48	67.48	0.00
108	67.48	109	67.48	67.48	0.00
109	67.48	110	67.48	67.48	0.00
110	67.48	111	67.48	67.48	0.00
111	67.48	112	67.48	67.48	0.00
112	67.48	113	67.48	67.48	0.00
113	67.48	114	67.48	67.48	0.00
114	67.48	115	67.48	67.48	0.00
115	67.48	116	67.48	67.48	0.00
116	67.48	117	67.48	67.48	0.00
117	67.48	118	67.48	67.48	0.00
118	67.48	119	67.48	67.48	0.00
119	67.48	120	67.48	67.48	0.00
120	67.48	121	67.48	67.48	0.00
121	67.48	122	67.48	67.48	0.00
122	67.48	123	67.48	67.48	0.00
123	67.48	124	67.48	67.48	0.00
124	67.48	125	67.48	67.48	0.00
125	67.48	126	67.48	67.48	0.00
126	67.48	127	67.48	67.48	0.00
127	67.48	128	67.48	67.48	0.00
128	67.48	129	67.48	67.48	0.00
129	67.48	130	67.48	67.48	0.00
130	67.48	131	67.48	67.48	0.00
131	67.48	132	67.48	67.48	0.00
132	67.48	133	67.48	67.48	0.00
133	67.48	134	67.48	67.48	0.00
134	67.48	135	67.48	67.48	0.00
135	67.48	136	67.48	67.48	0.00
136	67.48	137	67.48	67.48	0.00
137	67.48	138	67.48	67.48	0.00
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REV 1: 01/04/19
 Issued for EPP/Planning Aug. 31, 2022
 IBCZ Public Consultation Review MAY 12, 2023
 I1, I2, I3 Revisions JULY 31, 2023



LOWER FLOOR
UNIT F

BASEMENT EXEMPTIONS:
(66.48'-66.08' / 75.00'-66.08') x 100 = 26.91%

812.7 (gross area) x 26.91% = 218.70 SF (exemption)

BASEMENT EXEMPTIONS:
(66.48'-66.08' / 75.00'-66.08') x 100 = 26.91%

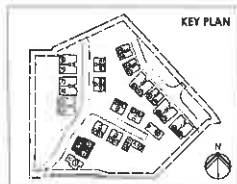
812.7 (gross area) x 26.91% = 218.70 SF (exemption)

UNIT F(2) FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	812.7 SF	1368.3 SF	1138.2 SF	2319.2 SF
GARAGE EXCLUSIONS	0.0 SF	441.8 SF	0.0 SF	441.8 SF
BASEMENT EXCLUSIONS 26.91%	218.7 SF	0.0 SF	0.0 SF	218.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	594.0 SF	926.5 SF	1138.2 SF	2358.7 SF

UNIT F(2) FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	75.5 SQ M	117.4 SQ M	103.7 SQ M	296.6 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	41.0 SQ M	0.0 SQ M	41.0 SQ M
BASEMENT EXCLUSIONS 26.91%	20.3 SQ M	0.0 SQ M	0.0 SQ M	20.3 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	55.2 SQ M	76.4 SQ M	103.7 SQ M	235.3 SQ M

UNIT F(3) FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	812.7 SF	1265.3 SF	1138.2 SF	2316.2 SF
GARAGE EXCLUSIONS	0.0 SF	441.8 SF	0.0 SF	441.8 SF
BASEMENT EXCLUSIONS 26.91%	218.7 SF	0.0 SF	0.0 SF	218.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	594.0 SF	823.5 SF	1138.2 SF	2355.7 SF

UNIT F(3) FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	75.5 SQ M	117.4 SQ M	103.7 SQ M	296.6 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	41.0 SQ M	0.0 SQ M	41.0 SQ M
BASEMENT EXCLUSIONS 26.91%	20.3 SQ M	0.0 SQ M	0.0 SQ M	20.3 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	55.2 SQ M	76.4 SQ M	103.7 SQ M	235.3 SQ M



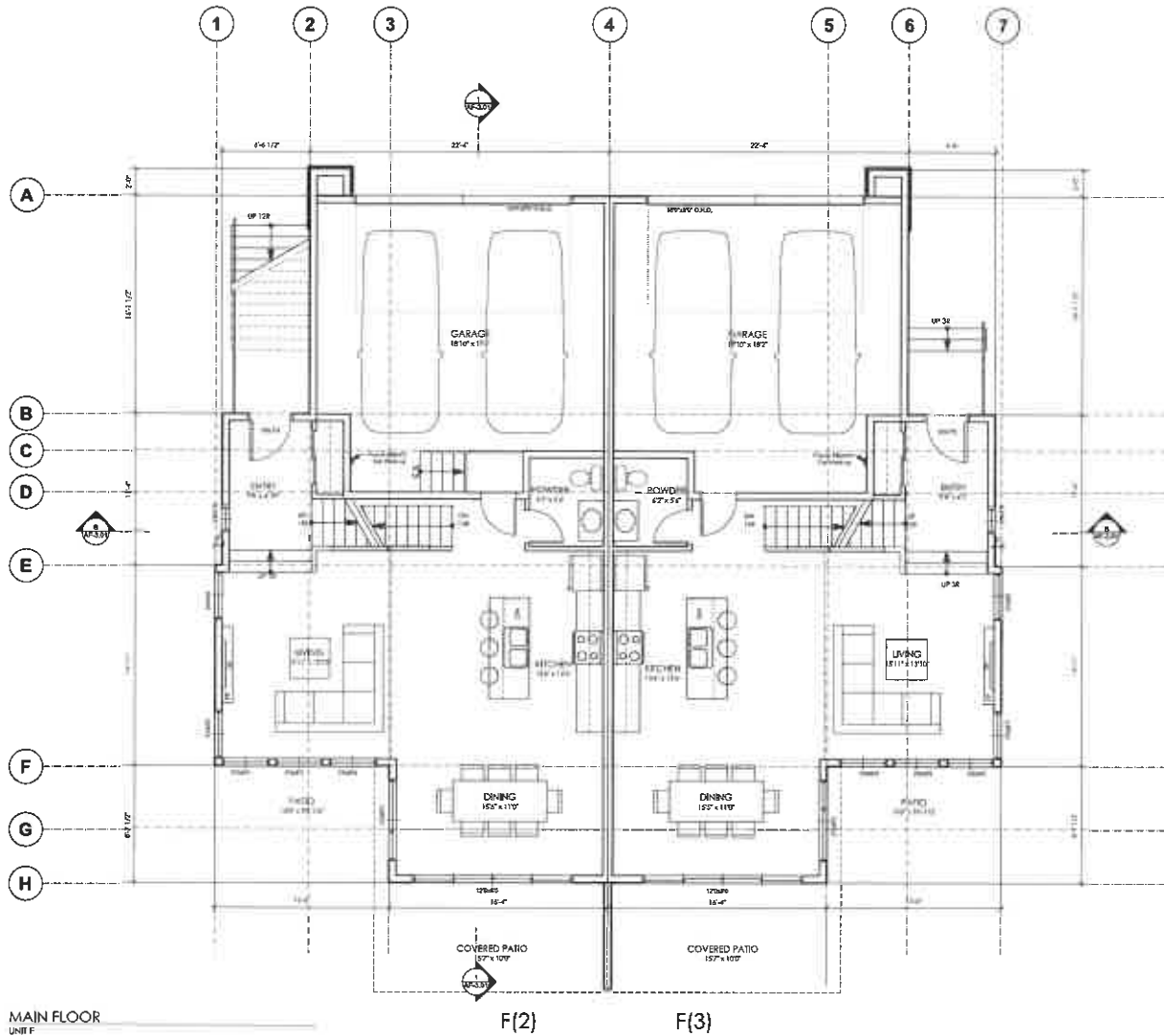
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, B.C.
 UNIT F

DRAWING
 LOWER FLOOR

PROJECT# 0030 SHEET
 SCALE 1/4" = 1'-0" **AF-2**
 DATE MAY 12, 2023 **.01**

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REVISIONS
 Issued for DR/Archiving Aug 31, 2021
 DR/2 Public Comment Remarks MAY 12, 2023
 01, 02, 03 Revisions MAY 31, 2023



MAIN FLOOR
UNIT F

F(2) F(3)

UNIT F(2) FLOOR AREAS IMPERIAL	LEVEL 1 SLO FT			TOTAL
	LEVEL 2 SLO FT	LEVEL 3 SLO FT		
GROSS	812.5 SF	1265.3 SF	1738.2 SF	2816.0 SF
GARAGE EXCLUSIONS	0.0 SF	441.0 SF	0.0 SF	441.0 SF
BASEMENT EXCLUSIONS 24.91%	218.7 SF	0.0 SF	0.0 SF	218.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	33.5 SF	0.0 SF	33.5 SF
NET	593.8 SF	824.3 SF	1138.2 SF	1646.3 SF

UNIT F(2) FLOOR AREAS METRIC	LEVEL 1 SLO M			TOTAL
	LEVEL 2 SLO M	LEVEL 3 SLO M		
GROSS	75.53M	117.65M	162.75M	295.93M
GARAGE EXCLUSIONS	0.00M	41.03M	0.00M	41.03M
BASEMENT EXCLUSIONS 24.91%	20.33M	0.00M	0.00M	20.33M
COVERED BALCONY EXCLUSIONS	0.00M	3.09M	0.00M	3.09M
NET	55.20M	76.62M	162.75M	191.85M

UNIT 3 FLOOR AREAS IMPERIAL	LEVEL 1 SLO FT			TOTAL
	LEVEL 2 SLO FT	LEVEL 3 SLO FT		
GROSS	812.5 SF	1265.3 SF	1738.2 SF	2816.0 SF
GARAGE EXCLUSIONS	0.0 SF	441.0 SF	0.0 SF	441.0 SF
BASEMENT EXCLUSIONS 24.91%	218.7 SF	0.0 SF	0.0 SF	218.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	33.5 SF	0.0 SF	33.5 SF
NET	593.8 SF	824.3 SF	1138.2 SF	1646.3 SF

UNIT 3 FLOOR AREAS METRIC	LEVEL 1 SLO M			TOTAL
	LEVEL 2 SLO M	LEVEL 3 SLO M		
GROSS	75.53M	117.65M	162.75M	295.93M
GARAGE EXCLUSIONS	0.00M	41.03M	0.00M	41.03M
BASEMENT EXCLUSIONS 24.91%	20.33M	0.00M	0.00M	20.33M
COVERED BALCONY EXCLUSIONS	0.00M	3.09M	0.00M	3.09M
NET	55.20M	76.62M	162.75M	191.85M



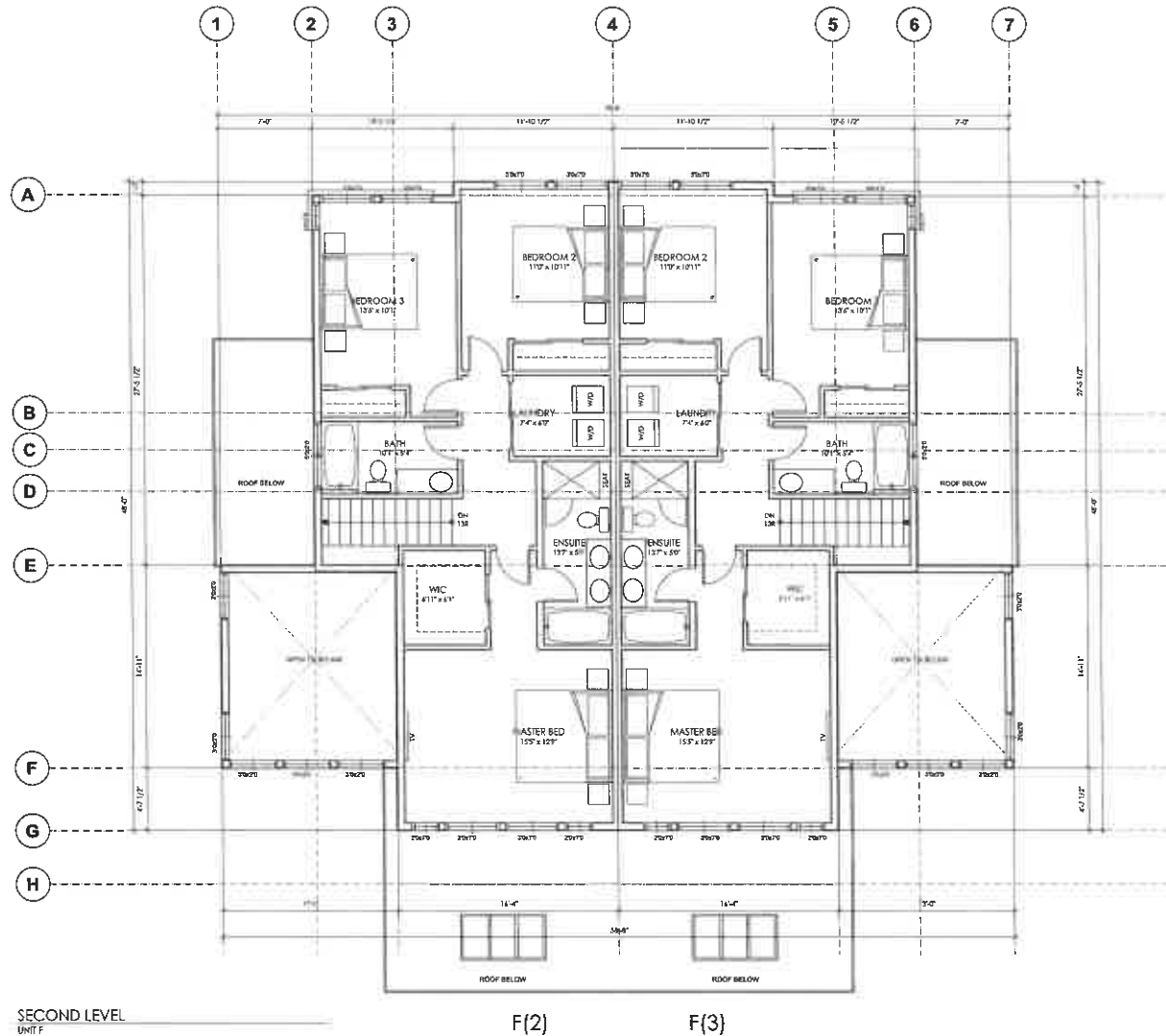
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT F

DRAWING
 MAIN LEVEL

PROJECT# 0030
 SHEET
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
AF-2
.02

These plans remain the ownership of Sterling Pacific

REVISIONS		
Revised for DP/Marketing	Aug 31, 2021	
ORC Public Comment Response	MAY 12, 2023	
01, 02, 03 Revisions	JUL 31, 2023	



SECOND LEVEL
UNIT F

F(2) F(3)

UNIT F 2 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	812.7 SF	1260.3 SF	1198.2 SF	3271.2 SF
GARAGE EXCLUSIONS	0.0 SF	441.3 SF	0.0 SF	441.3 SF
BASEMENT EXCLUSIONS 36.91%	290.7 SF	60.8 SF	0.0 SF	351.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	522.0 SF	819.0 SF	1198.2 SF	2539.2 SF

UNIT F 2 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	75.5 SQM	117.6 SQM	105.7 SQM	298.8 SQM
GARAGE EXCLUSIONS	0.0 SQM	41.0 SQM	0.0 SQM	41.0 SQM
BASEMENT EXCLUSIONS 36.91%	26.9 SQM	5.6 SQM	0.0 SQM	32.5 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
NET	48.6 SQM	76.6 SQM	105.7 SQM	230.9 SQM

UNIT 3 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	812.7 SF	1260.3 SF	1198.2 SF	3271.2 SF
GARAGE EXCLUSIONS	0.0 SF	441.3 SF	0.0 SF	441.3 SF
BASEMENT EXCLUSIONS 36.91%	290.7 SF	60.8 SF	0.0 SF	351.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	522.0 SF	819.0 SF	1198.2 SF	2539.2 SF

UNIT 3 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	75.5 SQM	117.6 SQM	105.7 SQM	298.8 SQM
GARAGE EXCLUSIONS	0.0 SQM	41.0 SQM	0.0 SQM	41.0 SQM
BASEMENT EXCLUSIONS 36.91%	26.9 SQM	5.6 SQM	0.0 SQM	32.5 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
NET	48.6 SQM	76.6 SQM	105.7 SQM	230.9 SQM

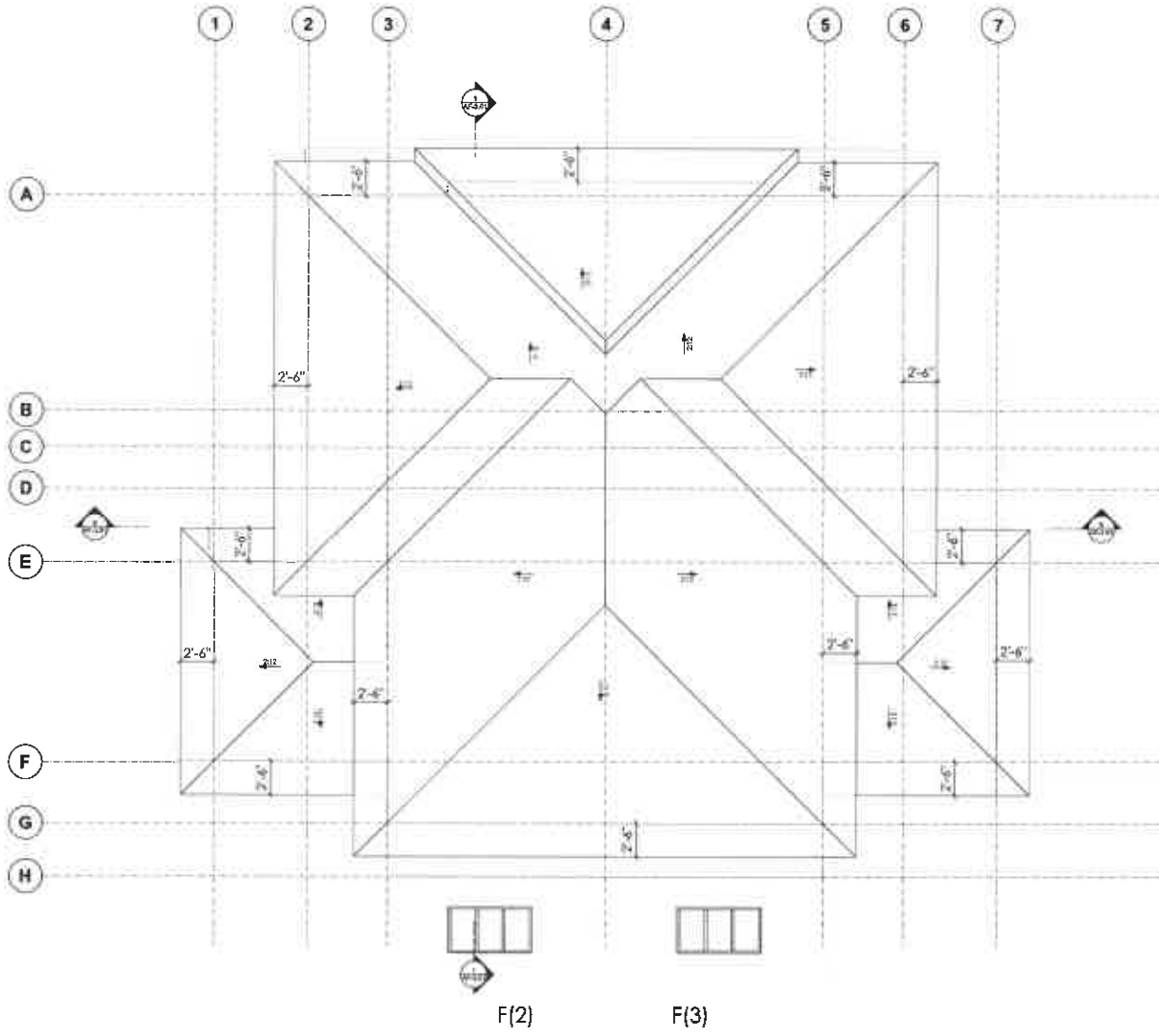


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT F

DRAWING
UPPER FLOOR

PROJECT # 2020 SHEET
SCALE 1/4" = 1'-0" **AF-2**
DATE MAY 12, 2023 **.03**

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ROOF PLAN
0415

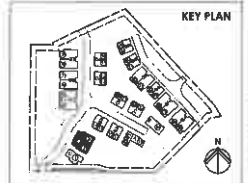
REVISION 6
Issued for DR/Permitting
08/2 Public Comment Revisions
01, 02, 03 Revisions

AUG 31, 2021
MAY 12, 2023
AUG 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT F

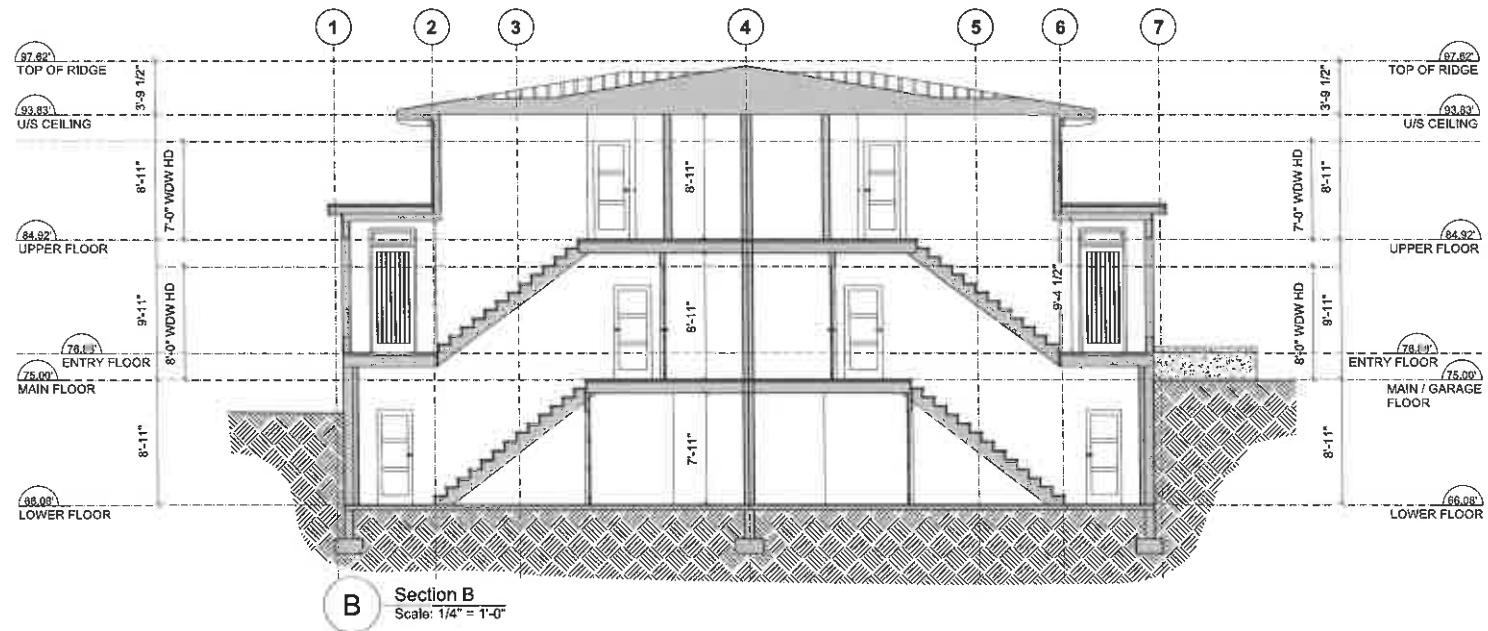
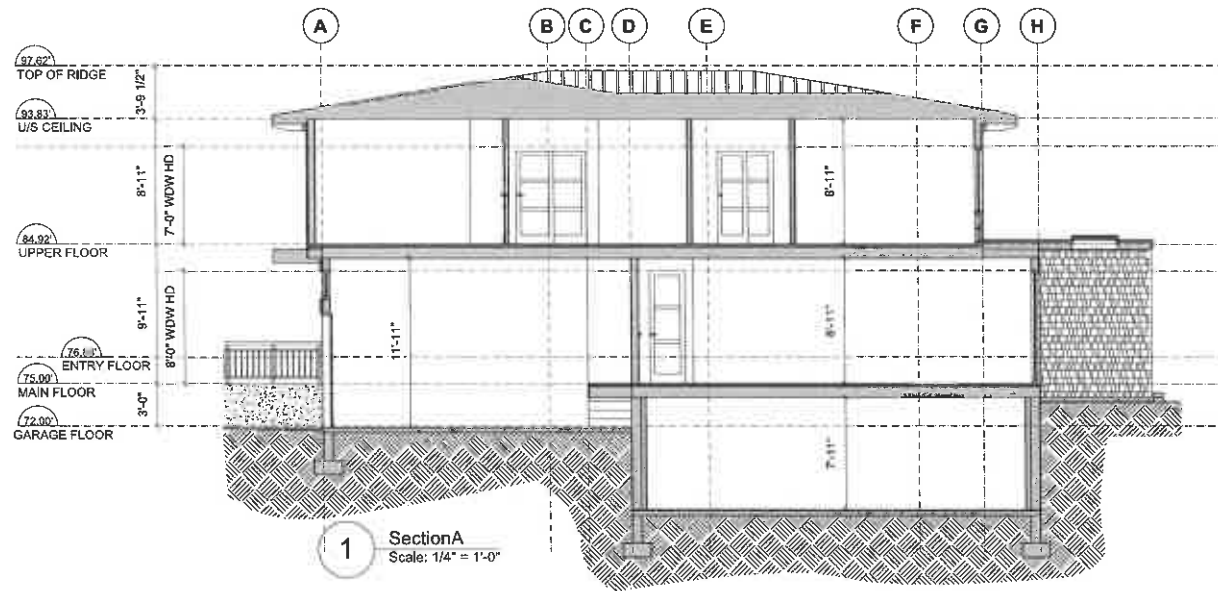
DRAWING
ROOF PLAN



PROJECT#	SHEET
0030	AF-2
SCALE 1/8" = 1'-0"	.04
DATE MAY 12, 2023	

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REVISIONS
 Revis: for DPT/adding
 DRGT Public Covered Rinkroom
 01, 02, 03 Revisions
 Aug. 31, 2021
 MAY 12, 2023
 JULY 31, 2023

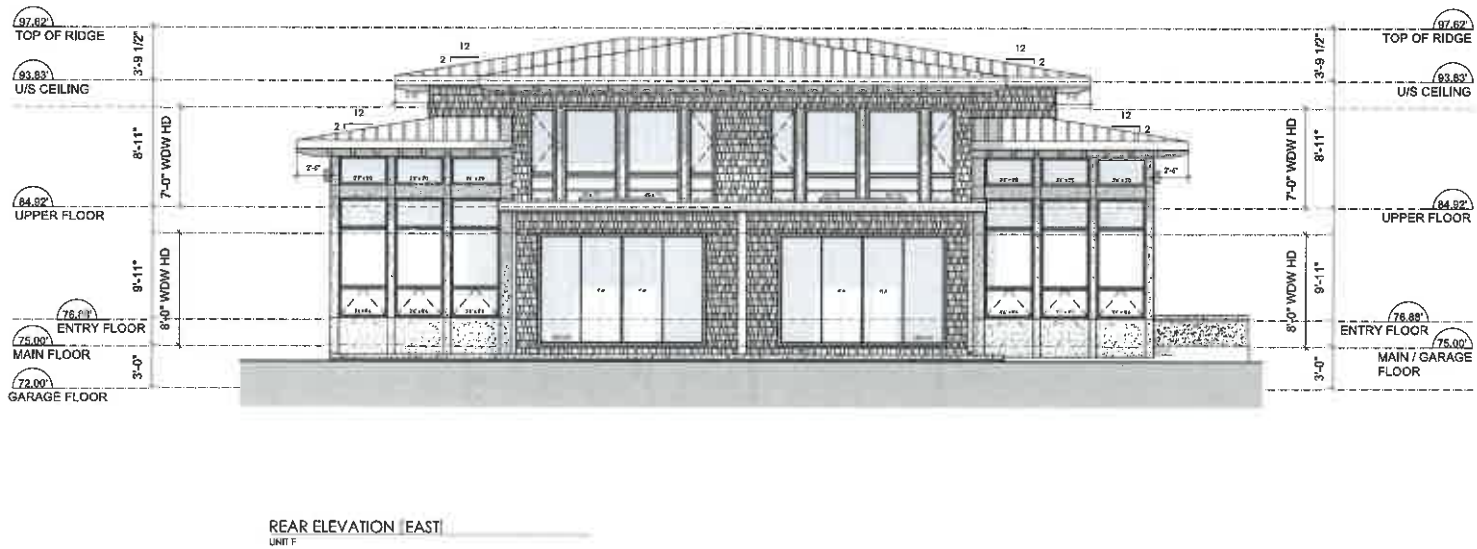
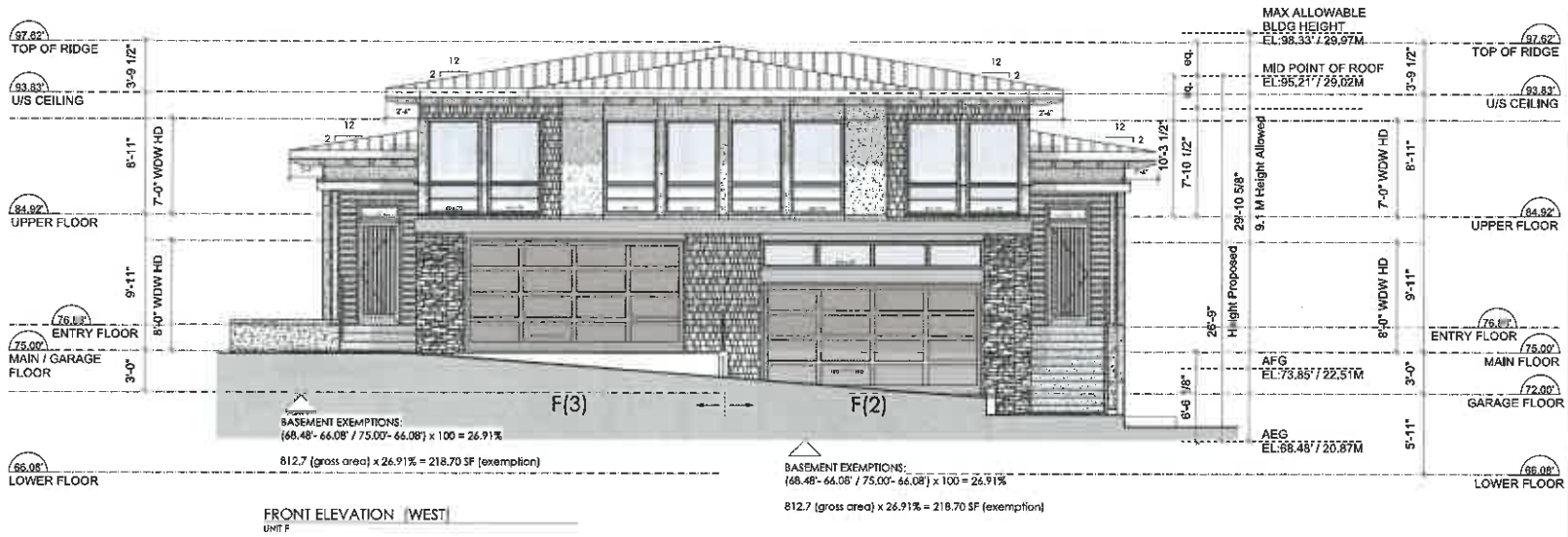


PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT F

DRAWING
 SECTIONS

PROJECT#	8000	SHEET	AF-3 .01
DATE	1/24/21		
DATE	MAY 12, 2023		

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REVISION B
 Revis for DP/Reporting Aug 31, 2021
 DRCR Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023



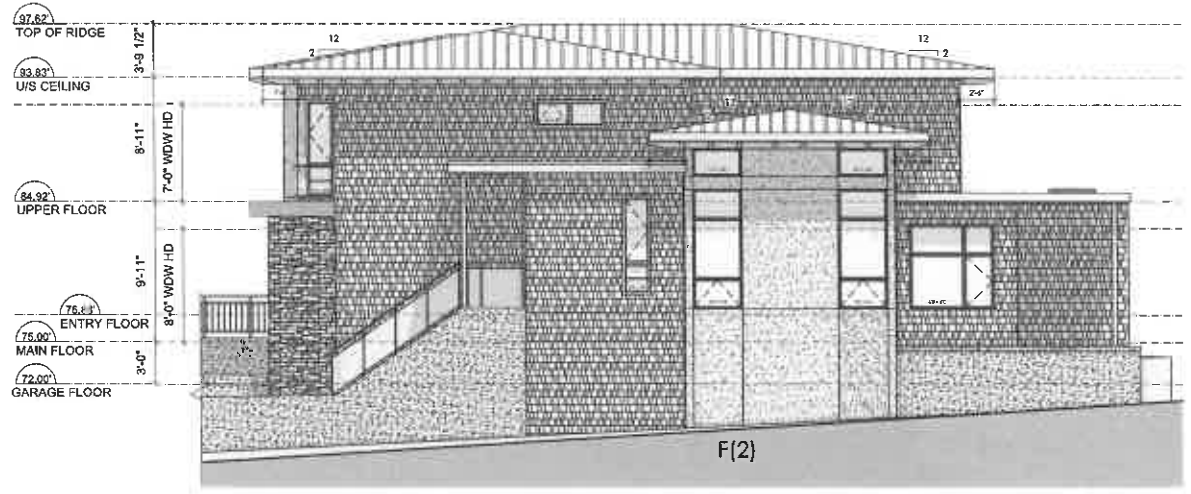
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, B.C.
 UNIT F

DRAWING
 FRONT & REAR
 ELEVATIONS B/W

PROJECT	SHEET
0000	AF-4
SCALE	.01
DATE	
MAY 12, 2023	

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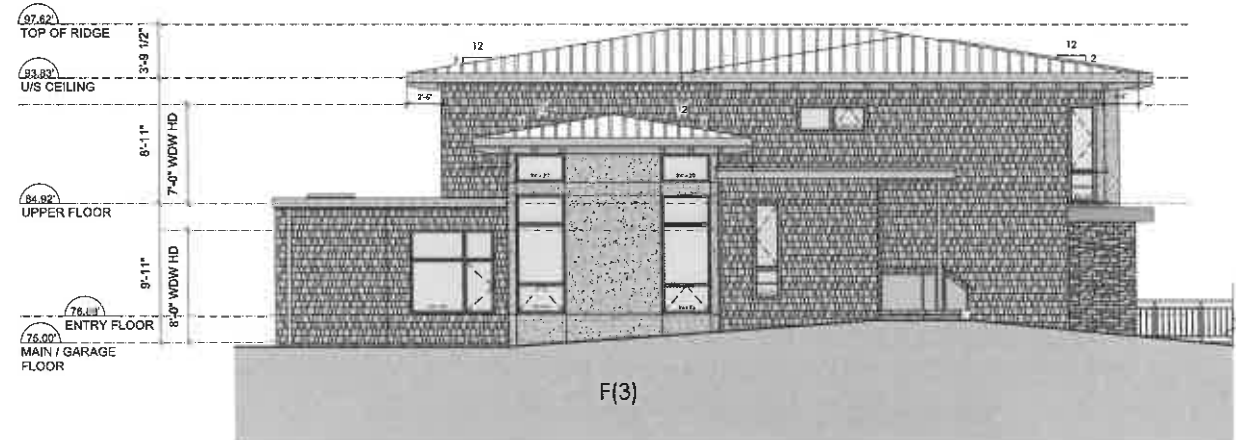
REVISIONS	
Issued for OPR/Permitting	AUG 31, 2023
DRCF Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



SOUTH ELEVATION
UNIT F

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1222.75 SF (113.60 SM)
LIMITING DISTANCE:	4.02' (1.22 M)
UNPROTECTED OPENING:	147.50 SF (13.70 SM)
PROPOSED OPENING:	12.06%
PERMITTED OPENINGS:	14.00%



NORTH ELEVATION
UNIT F

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	879.62 SF (81.72 SM)
LIMITING DISTANCE:	10.08' (3.07 M)
UNPROTECTED OPENING:	147.50 SF (13.70 SM)
PROPOSED OPENING:	16.77%
PERMITTED OPENINGS:	28.90%

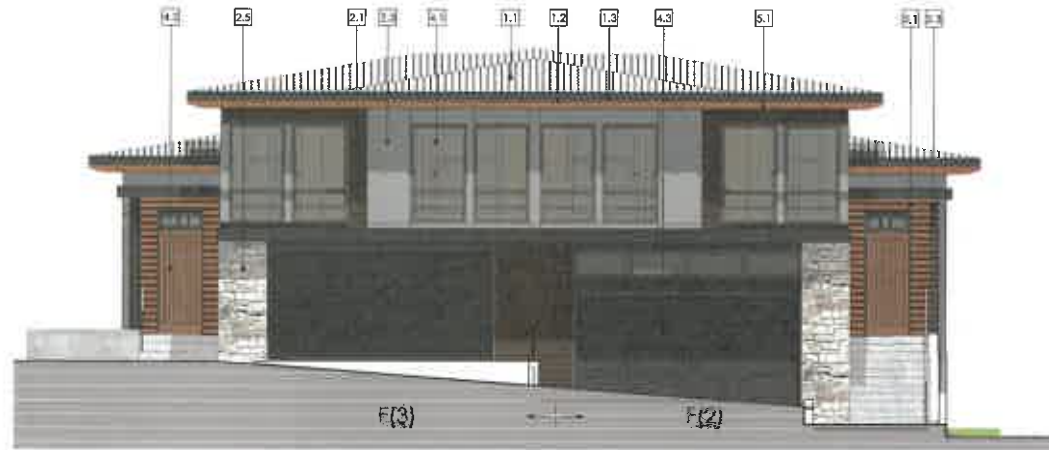


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT F

DRAWING
SOUTH & NORTH
ELEVATIONS B/W

PROJECT#	SHEET
8030	AF-4
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023
	.02

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FRONT ELEVATION (WEST)
UNIT F



SOUTH ELEVATION
UNIT F



HARDY PANEL

FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING

METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT

WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105

BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA
EXTERIOR MATERIAL SCHEDULE

No.	Material	Colour
1.1	Cross "A" metal roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM - HC - 105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not Used	
2.3	Hardy Panel	Light mist
2.4	Not Used	
2.5	Stone	Stone Cladding
3.1	Upstand / Fascia / Barge Board / Soffit	Wrought Iron BM - 2124 - 10
3.2	Window / Fascia / Barge Board / Soffit	Wrought Iron BM - 2124 - 10
4.1	Stone Cladding	Charcoal Gray
4.2	Entry door painted c/w hardware and handle	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Window / Fascia / Barge Board / Soffit	Charcoal Gray
4.4	Roof / Soffit / Gutter / Soffit / Soffit	Charcoal Gray
5.1	Not Used	
5.2	Not Used	
5.3	Not Used	

REVISIONS
Issued for DP/Revising
D&C Public Comment Revisions
01.02.03 Revisions

AUG 31.2021
MAY 12.2022
JULY 31.2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT F

DRAWING
**FRONT & SOUTH
ELEVATIONS**

PROJECT# 6030
SCALE 1/4" = 1'-0"
DATE MAY 12, 2023

SHEET
AF-4
.03

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REVISION 8
 Issued for DP/PA/PPWP Aug. 31, 2023
 DP/2 Public Comment Response MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



BACK ELEVATION EAST
 UNIT F



NORTH ELEVATION
 UNIT F

AQUILA EXTENDED MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class 74 Metal Roof	Charcoal Gray
1.2	Wire Cement Soffit	Blackstone Gray - SW-101/05
1.3	Soffit	Charcoal Gray
2.1	Stone Cement Sillings	Woodstone Rustic Select Carbon Trills
2.2	Stone Sillings	
2.3	Stone Panel	Light Mist
2.4	Stone Sillings	
2.5	Stone	Random Granite
3.1	Upper level iron gate c/w wrought iron post	Wrought Iron BM - 2124 - 10
3.2	Lower level iron gate c/w wrought iron post	Wrought Iron BM - 2124 - 10
4.1	Charcoal Gray	Charcoal Gray
4.2	Entry floor painted c/w transom and trim	Silverwood - Old Master Gal Steel c/w clear top coat - Special Walnut
4.3	High panel garage	Charcoal Gray
4.4	Machine glass guardrail system c/w post	Charcoal Gray
E1	Vertical treated wood	Silverwood - Old Master Gal Steel c/w clear top coat - Special Walnut
E2	Horizontal metal S	Charcoal Gray
E3	Horizontal panels	Charcoal Gray



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT F

DRAWING
**BACK & NORTH
 ELEVATIONS**

PROJECT# 0030 SHEET
 SCALE 1/4" = 1'-0" **AF-4**
 DATE MAY 12, 2023 **.04**



FRONT ELEVATION - CAMERA VIEW
UNIT F



BACK ELEVATION - CAMERA VIEW
UNIT F

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REVISIONS
Issued for DP/Resolving Aug 31, 2021
PDCI Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023



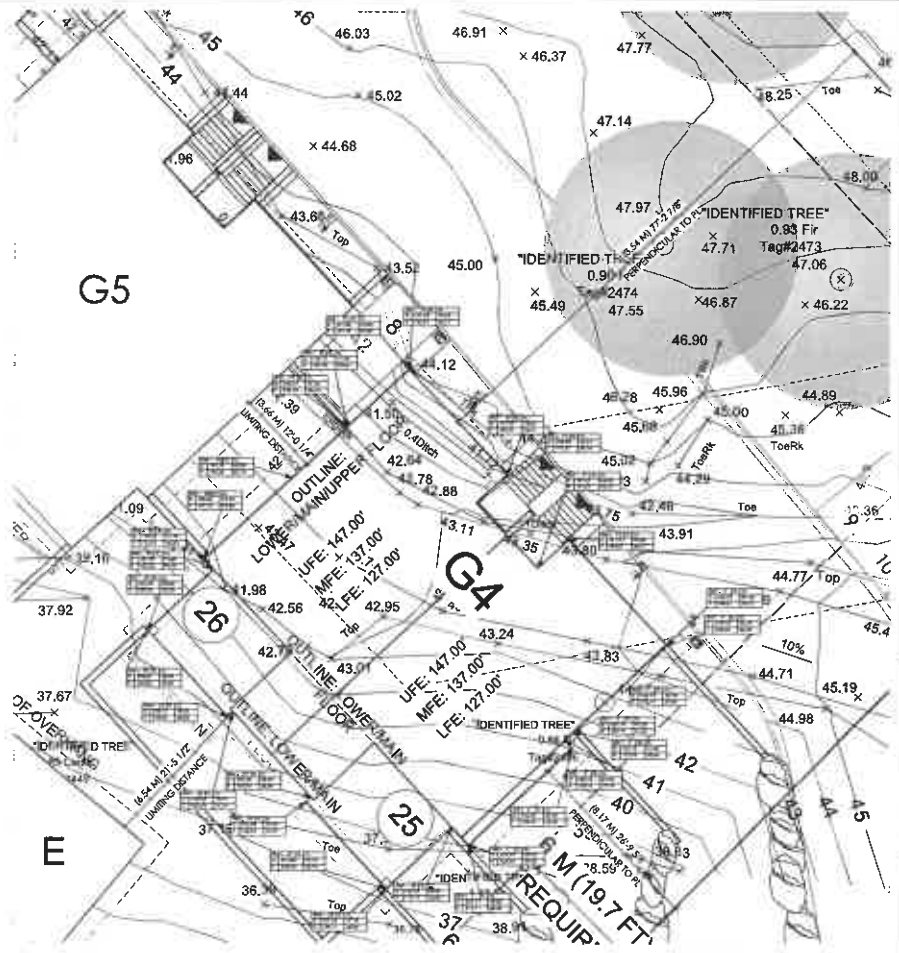
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT F

DRAWING
FRONT & BACK
ELEVATIONS -
CAMERA VIEW

PROJECT#	8000	SHEET	AF-4
SCALE	NIS		.05
DATE	MAY 12, 2023		

AVERAGE FINISHED GRADE CALCULATION						
#	Ref #	Elevation	Dist	Elevation	Distance	x Distance
1	118.11	2	128.87	131.36	0	0
2	123.59	3	129.59	129.15	20.1	2051.4
3	128.56	4	135.50	128.56	1	184
4	128.56	5	128.89	128.59	1	216.1
5	128.89	6	138.16	132.87	0	0
6	136.15	7	136.15	136.16	18.2	2479.8
7	136.16	8	148.00	141.06	0	0
8	145.00	9	149.87	148.14	0	0
9	148.87	10	148.87	148.87	0	0
10	148.87	11	141.87	144.17	0	0
11	141.87	12	141.87	141.87	18.1	1816
12	141.87	13	148.87	144.17	9	866.02
13	148.87	14	148.87	148.87	20	2016.84
14	148.8	15	147.14	145.81	0	0
15	147.14	16	147.83	147.3	32.10	1763.21
16	147.83	17	146.78	144.21	0	0
17	146.7	18	138.35	136.56	10.84	1447.66
18	138.3	19	137.19	136.09	17.26	2380.15
19	137.1	20	132.22	135.01	0	0
20	132.22	21	132.22	132.22	19.8	1889
21	132.22	22	128.85	129.28	0	0
22	128.85	23	126.85	126.50	16.79	2125
23	126.85	24	126	126.56	0	0
24	126.56	25	126.56	126.56	14.4	2077.5
25	126.56	26	126	126.55	1	126.7
26	126	27	126	126.50	16.7	2124
27	126	28	118.11	122.33	0	0
28	118.11	29	118.11	118.11	32.1	3513.7
29	118.11	30	118.11	118.11	3	413.3
Total					2300	31155
Avg Finish Grade						184
Total Area						28.25

AVERAGE EXISTING GRADE CALCULATION						
#	Elevation	Dist	Elevation	Distance	x Distance	Area
1	124	1	124.76	124.76	0	0
2	124	2	134.86	128.75	20.1	2010.21
3	124	3	135.15	134.80	1	202.35
4	124	4	130.76	124.46	1	224.96
5	124	5	133.28	133.78	0	0
6	124	6	144.20	140.22	18.22	2554
7	144.2	7	144.20	144.20	0	0
8	144.2	8	141.78	143.99	20.58	2847
9	144.2	9	141.87	141.40	0	0
10	141.87	10	140.00	140.58	12.85	1803
11	141.87	11	137.80	138.50	8	833
12	140	12	141.80	141	0	0
13	137	13	141.80	141	0	0
14	141	14	138.15	136.15	0	0
15	138.1	15	132.78	130.9	30.88	4460.1
16	132.7	16	136.82	137.01	12.24	2051.64
17	136.82	17	137.22	137	2	274.06
18	137.22	18	130.85	133.24	12.83	1770
19	130.8	19	129.25	129	0	0
20	129.25	20	128.77	129.01	18.7	2188
21	128.77	21	129.14	129.14	4.06	128.1
22	129.14	22	127	127	18.42	2062.5
23	127	23	127.84	127.84	9	126
24	127.84	24	123	123	16	207
25	123	25	121.89	121.89	0	0
26	121.89	26	120.89	120.89	12	1400
27	120.89	27	120.89	120.89	12	1400
28	120.89	28	120.89	120.89	12	1400
29	120.89	29	120.89	120.89	12	1400
30	120.89	30	120.89	120.89	12	1400
Total					247.81	354
Avg Existing Grade						184.61



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - G4 (25)			
Lower	Min	Max	Avg
38.21 m	41.78 m	44.81 m	41.60 m
127.00'	137.00'	147.00'	137.00'

TOP OF FINISH FLOOR - G4 (25)			
Lower	Min	Max	Avg
38.21 m	41.78 m	44.81 m	41.60 m
127.00'	137.00'	147.00'	137.00'



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REVISIONS		
Build for DR/Reboring	Aug 31, 2021	
DRG Public Comment Revisions	MAY 12, 2023	
G1, G2, G3 Revisions	JULY 31, 2023	



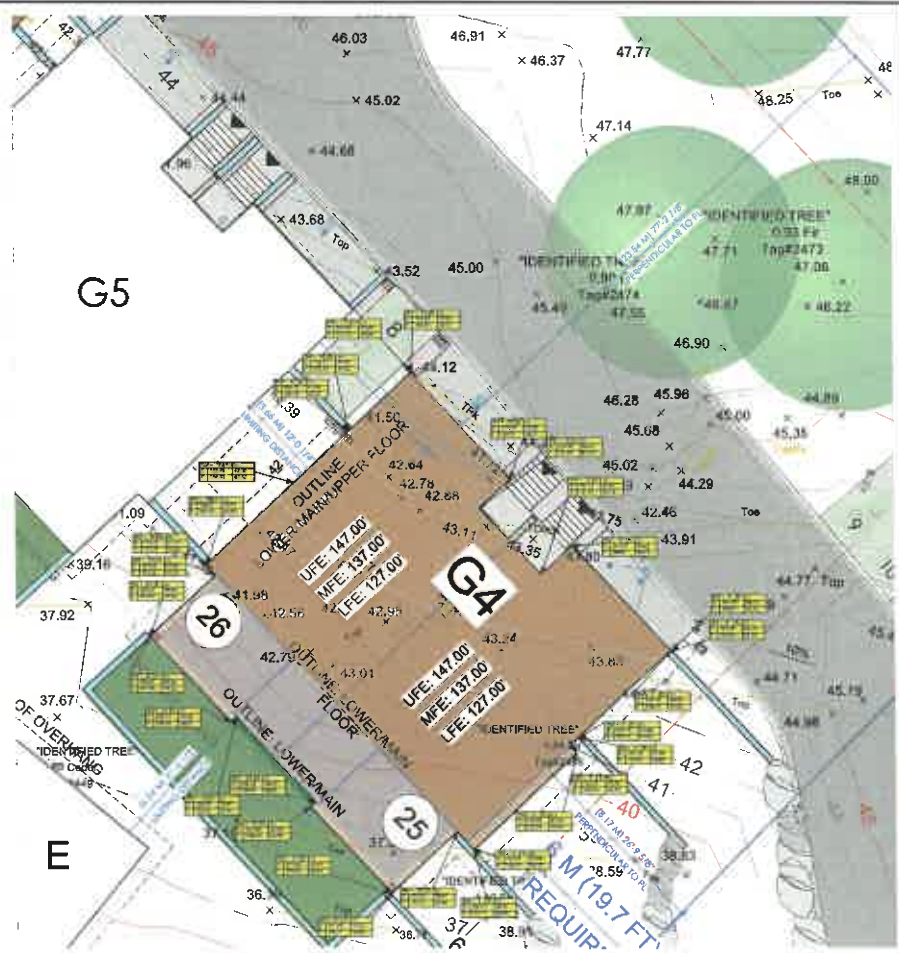
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G4

DRAWING
SITE PLAN

PROJECT#	2020	SHEET	AG4-1.01
SCALE	1/8" = 1'-0"	DATE	
DATE	MAY 12, 2023		

G4 - AVERAGE FINISH GRADE CALCULATION						
Ref #	Elevation	Ref #	Elevation	A	Elevation	x Distance
1	118.11	2	124.87	121	0	0
2	124.87	3	129.59	122.12	20.1	2854.4
3	129.59	4	129.59	129.59	1	141
4	129.59	5	129.59	129.59	1	218.1
5	129.59	6	135.15	132.87	0	0
6	135.15	7	135.15	135.15	1	247.9
7	135.15	8	149	141.06	0	0
8	149	9	149.67	148.34	0	0
9	149.67	10	149.67	149.67	0	0
10	149.67	11	147.87	144.17	8	863
11	147.87	12	147.87	147.87	11	1918.1
12	147.87	13	148.67	144.27	8	863.1
13	148.67	14	145.07	146.87	20.50	2819.1
14	145.07	15	147.14	146.14	0	0
15	147.14	16	147.83	147.38	52.10	1713.1
16	147.83	17	146.78	144.21	0	0
17	146.78	18	139.33	139.36	10	1407.1
18	139.33	19	137.70	138.06	17.24	2386.1
19	137.70	20	132.22	136.91	0	0
20	132.22	21	132.22	132.22	2	218.1
21	132.22	22	132.22	132.22	12.8	1648.
22	132.22	23	128.56	128.56	1	129.56
23	128.56	24	128.56	128.56	1	129.56
24	128.56	25	126.15	126.50	16.42	2077.1
25	126.15	26	126	126.90	1	129.56
26	126	27	128	128	1.6	2125.1
27	128	28	118.11	121.31	0	0
28	118.11	29	118.11	118.11	12.82	1816.74
29	118.11	1	118.11	118.11	3	413.
total				230.11		31165.9
AVG Finish Grade						134.9
Max. High				29		149.9

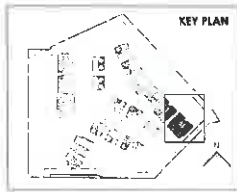
G4 - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation	Ref #	Elevation	A	Elevation	x Distance
1	124.75	2	124.7	124.7	0	0
2	124.7	3	124.50	124.6	20.12	2816.74
3	124.50	4	133.15	134	1	224.1
4	133.15	5	133.76	136.46	1	224.1
5	133.76	6	133.76	133.76	0	0
6	133.76	7	144.70	143.23	11	2564.
7	144.70	8	144.70	144.70	1	141
8	144.70	9	144.70	144.70	0	0
9	144.70	10	147.72	145.22	11	2947.
10	147.72	11	147.07	144.40	8	849.40
11	147.07	12	140	142.24	11.81	1823.
12	140	13	137.80	138.80	8.81	833.40
13	137.80	14	141	138.80	11	2378.5
14	141	15	141	141	0	0
15	141	16	136.15	136.07	12.10	1642.
16	136.15	17	136.15	136.1	0	0
17	136.15	18	137.79	136.97	10.66	1460.1
18	137.79	19	136.1	137.31	17.50	2314.1
19	136.1	20	136.82	136.63	17.94	2356.
20	136.82	21	137.22	137.03	2	274.1
21	137.22	22	126.25	132.24	12.8	1718.1
22	126.25	23	126.25	126.25	1	129.56
23	126.25	24	128.77	129.01	16.71	2168.
24	128.77	25	126	126.14	1	129.56
25	126	26	126.26	127.85	18.42	2509.5
26	126.26	27	125	125.84	1	129.56
27	125	28	121	123.7	15.72	2077.1
28	121	29	121.86	121	0	0
29	121.86	1	121.86	121.86	12.82	1816.74
30	121.86	1	121.86	121.86	3	413.
total				47.11		61165.9
AVG Existing Grade						134.9
Max. High				29		149.9



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - G4 (25)		
Lower	Min	Upper
127.00	127.00	127.00

TOP OF FINISH FLOOR - G4 (26)		
Lower	Min	Upper
127.00	127.00	127.00



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REVISIONS		
Issued for OPR Review	Aug 31, 2021	
DRG/PUB: General Revisions	MAY 12, 2023	
01, 02, 03 Revisions	JUL 31, 2023	



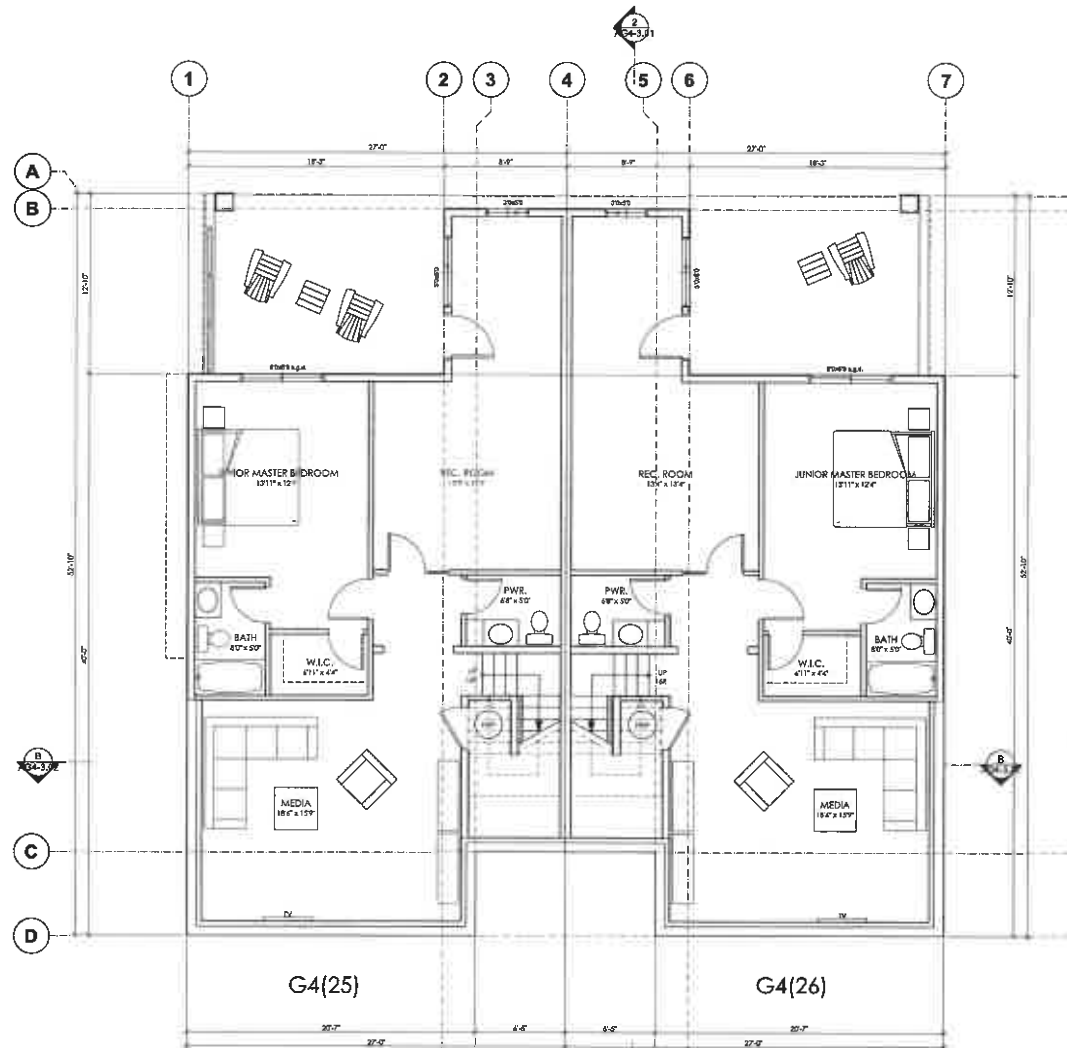
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G4

DRAWING
SITE PLAN

PROJECT#	SHEET
0000	AG4-1.01
SCALE	1/8" = 1'-0"
DATE	MAY 12, 2023

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REVISION 0
 Issued for EIR/Revisions Aug 24, 2021
 DRG/ Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



LOWER FLOOR PLAN
 UNIT G4

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

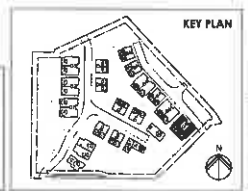
LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

UNIT 25 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1364.3 SF	1384.3 SF	2793.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	404.8 SF	404.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
COVERED W/RENT INCLUSION	0.0 SF	0.0 SF	419.0 SF	419.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	0.0 M	1265.9 SF	1024.5 SF	2313.4 SF

UNIT 25 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SQM	126.6 SQM	128.4 SQM	263.4 SQM
GARAGE EXCLUSIONS	0.0 SQM	0.0 SQM	37.8 SQM	37.8 SQM
BASEMENT EXCLUSIONS 100%	106.4 SQM	0.0 SQM	0.0 SQM	106.4 SQM
COVERED W/RENT INCLUSION	0.0 SQM	0.0 SQM	41.5 SQM	41.5 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	9.1 SQM	0.0 SQM	9.1 SQM
NET	0.0 SQM	117.3 SQM	92.4 SQM	214.7 SQM

UNIT 24 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.3 SF	1354.3 SF	2853.6 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	404.8 SF	404.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
COVERED W/RENT INCLUSION	0.0 SF	0.0 SF	419.0 SF	419.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	0.0 SF	1255.7 SF	714.5 SF	2232.0 SF

UNIT 24 FLOOR AREAS METRIC 100%				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SQM	125.8 SQM	125.8 SQM	258.0 SQM
GARAGE EXCLUSIONS	0.0 SQM	0.0 SQM	37.8 SQM	37.8 SQM
BASEMENT EXCLUSIONS	106.4 SQM	0.0 SQM	0.0 SQM	106.4 SQM
COVERED W/RENT INCLUSION	0.0 SQM	0.0 SQM	41.5 SQM	41.5 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	9.1 SQM	0.0 SQM	9.1 SQM
NET	0.0 SQM	116.7 SQM	72.4 SQM	209.3 SQM



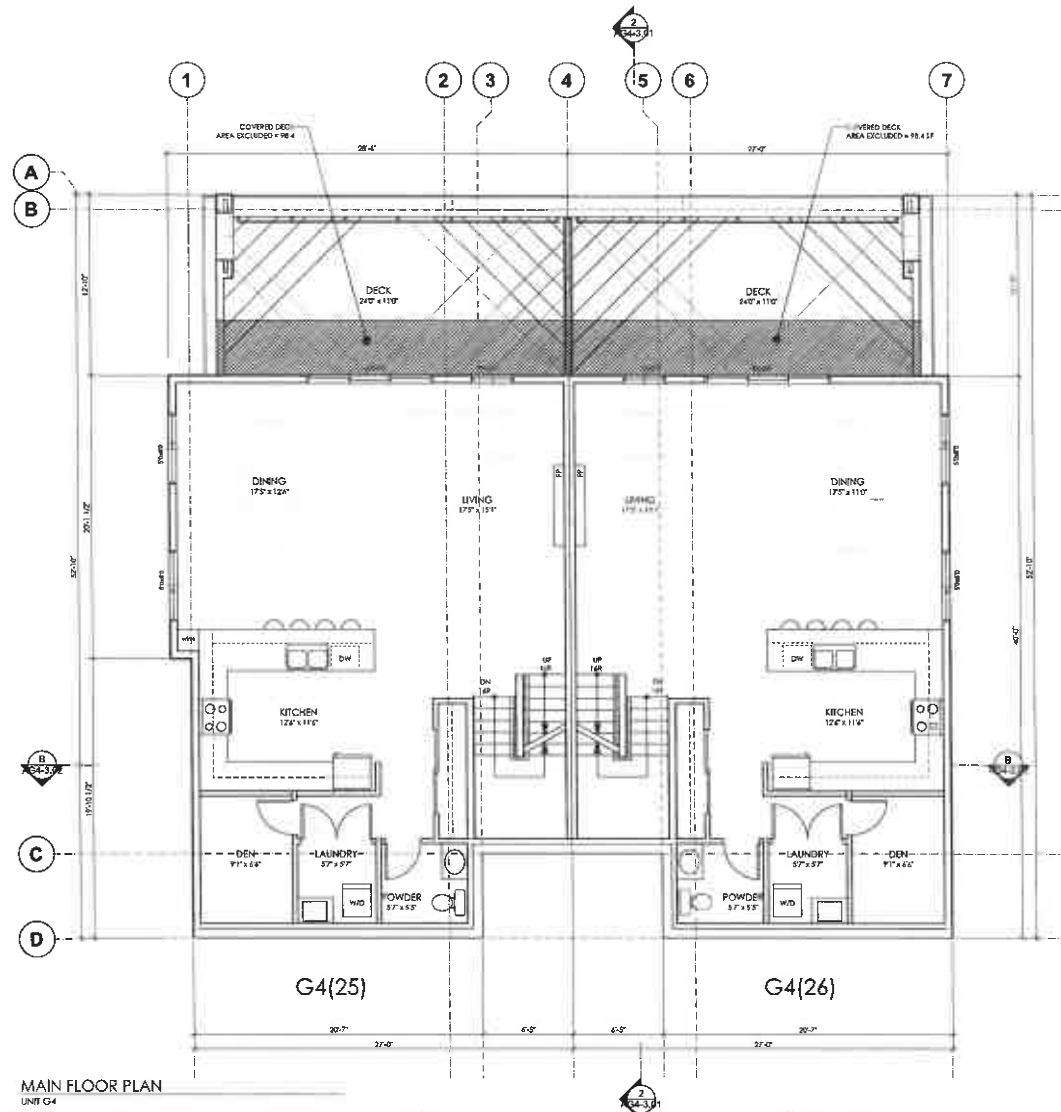
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G4

DRAWING
LOWER FLOOR PLAN

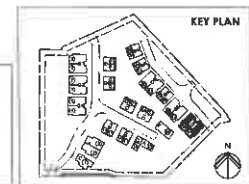
PROJECT# 8030
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
 SHEET
AG4-2.01

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REVISION 8
 ISSUED FOR PERMITTING Aug 31, 2021
 DRGZ Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



MAIN FLOOR PLAN
 UNIT G4



UNIT 25 FLOOR AREAS (IMPERIAL)	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
	GROSS	1140.0 SF	1354.3 SF	
TANKS/RE EXCLUSIONS	0.0 SF	0.0 SF	408.0 SF	408.0 SF
BASEMENT EXCLUSIONS 100%	1140.0 SF	0.0 SF	0.0 SF	1140.0 SF
OVERLAP HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	96.4 SF	0.0 SF	96.4 SF
NET	0.0 SF	1257.9 SF	1026.3 SF	2312.4 SF

UNIT 25 FLOOR AREAS METRIC	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
	GROSS	106.4 SQ M	128.6 SQ M	
TANKS/RE EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.5 SQ M	37.5 SQ M
BASEMENT EXCLUSIONS 100%	106.4 SQ M	0.0 SQ M	0.0 SQ M	106.4 SQ M
OVERLAP HEIGHT INCLUSION	0.0 SQ M	0.0 SQ M	4.6 SQ M	4.6 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	9.1 SQ M	0.0 SQ M	9.1 SQ M
NET	0.0 SQ M	119.5 SQ M	94.4 SQ M	214.0 SQ M

UNIT 26 FLOOR AREAS (IMPERIAL)	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
	GROSS	1140.0 SF	1354.3 SF	
TANKS/RE EXCLUSIONS	0.0 SF	0.0 SF	408.0 SF	408.0 SF
BASEMENT EXCLUSIONS 100%	1140.0 SF	0.0 SF	0.0 SF	1140.0 SF
OVERLAP HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	96.4 SF	0.0 SF	96.4 SF
NET	0.0 SF	1257.9 SF	974.5 SF	2282.6 SF

UNIT 26 FLOOR AREAS METRIC 100%	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
	GROSS	106.4 SQ M	128.6 SQ M	
TANKS/RE EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.5 SQ M	37.5 SQ M
BASEMENT EXCLUSIONS	106.4 SQ M	0.0 SQ M	0.0 SQ M	106.4 SQ M
OVERLAP HEIGHT INCLUSION	0.0 SQ M	0.0 SQ M	4.6 SQ M	4.6 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	9.1 SQ M	0.0 SQ M	9.1 SQ M
NET	0.0 SQ M	114.7 SQ M	92.4 SQ M	207.2 SQ M

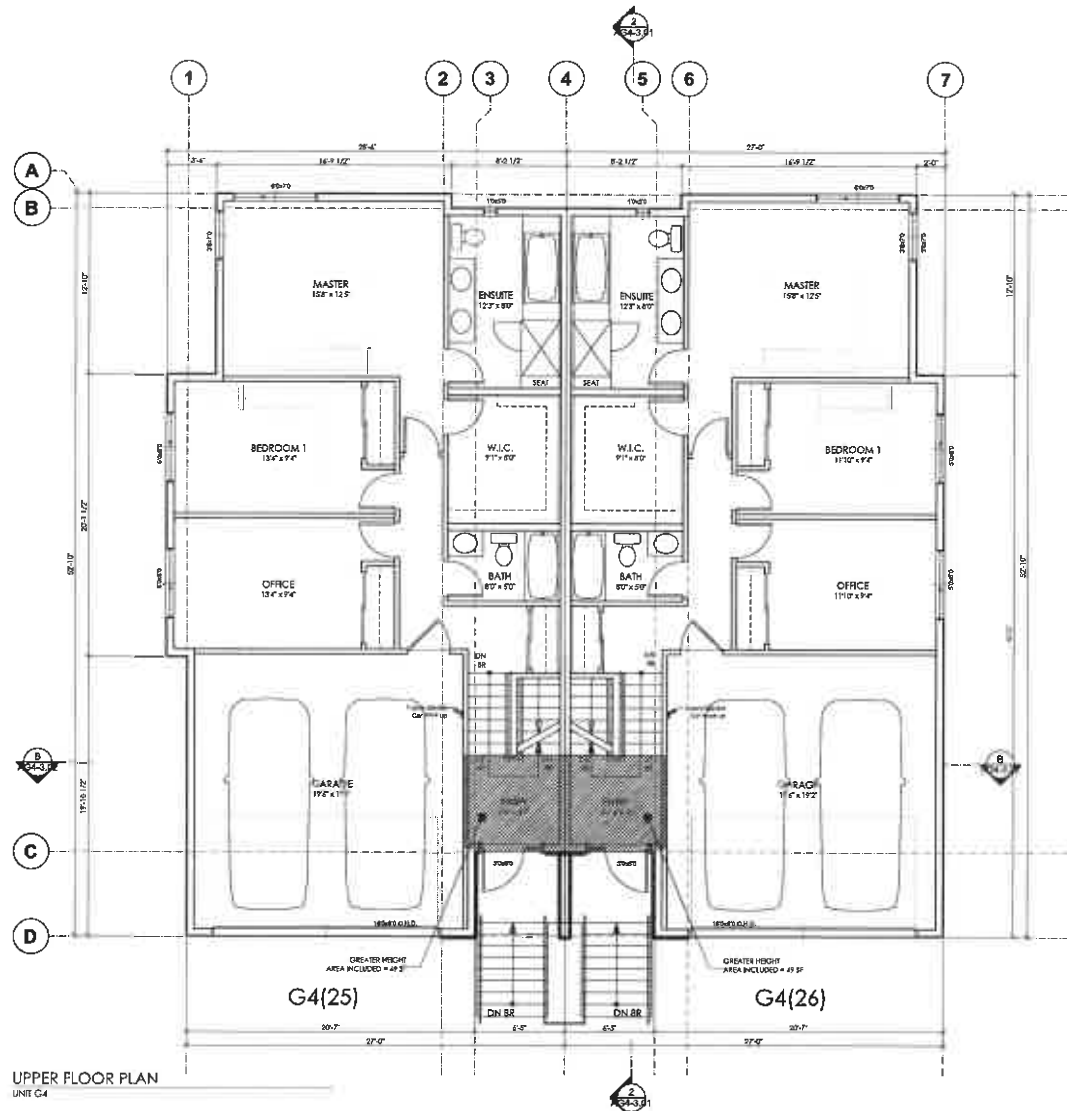
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G4

DRAWING
 MAIN FLOOR PLAN

PROJECT# 0000
 SHEET
 SCALE 1/4"=1'-0"
 DATE MAY 12, 2023
AG4-2.02

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based for DP/Revising Aug 31, 2021
 GRD Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023



UPPER FLOOR PLAN
 UNIT G4

UNIT 25 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1304.3 SF	1356.3 SF	3805.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	408.8 SF	408.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
COVERED HEIGHT INCLUSIONS	0.0 SF	0.0 SF	408.8 SF	408.8 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	0.0 SF	1285.9 SF	1026.5 SF	2312.4 SF

UNIT 25 FLOOR AREAS METRIC

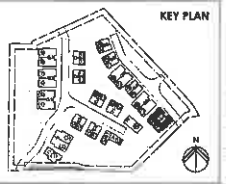
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	104.4 SQ M	128.4 SQ M	125.6 SQ M	343.4 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.8 SQ M	37.8 SQ M
BASEMENT EXCLUSIONS 100%	104.4 SQ M	0.0 SQ M	0.0 SQ M	104.4 SQ M
COVERED HEIGHT INCLUSIONS	0.0 SQ M	0.0 SQ M	40.8 SQ M	40.8 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	9.1 SQ M	0.0 SQ M	9.1 SQ M
NET	0.0 SQ M	119.5 SQ M	95.4 SQ M	214.9 SQ M

UNIT 26 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1356.3 SF	3855.4 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	408.8 SF	408.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
COVERED HEIGHT INCLUSIONS	0.0 SF	0.0 SF	408.8 SF	408.8 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	0.0 SF	1255.7 SF	994.3 SF	2250.0 SF

UNIT 26 FLOOR AREAS METRIC 100%

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SQ M	125.8 SQ M	125.6 SQ M	358.0 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.8 SQ M	37.8 SQ M
BASEMENT EXCLUSIONS 100%	106.4 SQ M	0.0 SQ M	0.0 SQ M	106.4 SQ M
COVERED HEIGHT INCLUSIONS	0.0 SQ M	0.0 SQ M	40.8 SQ M	40.8 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	9.1 SQ M	0.0 SQ M	9.1 SQ M
NET	0.0 SQ M	116.7 SQ M	92.6 SQ M	209.3 SQ M



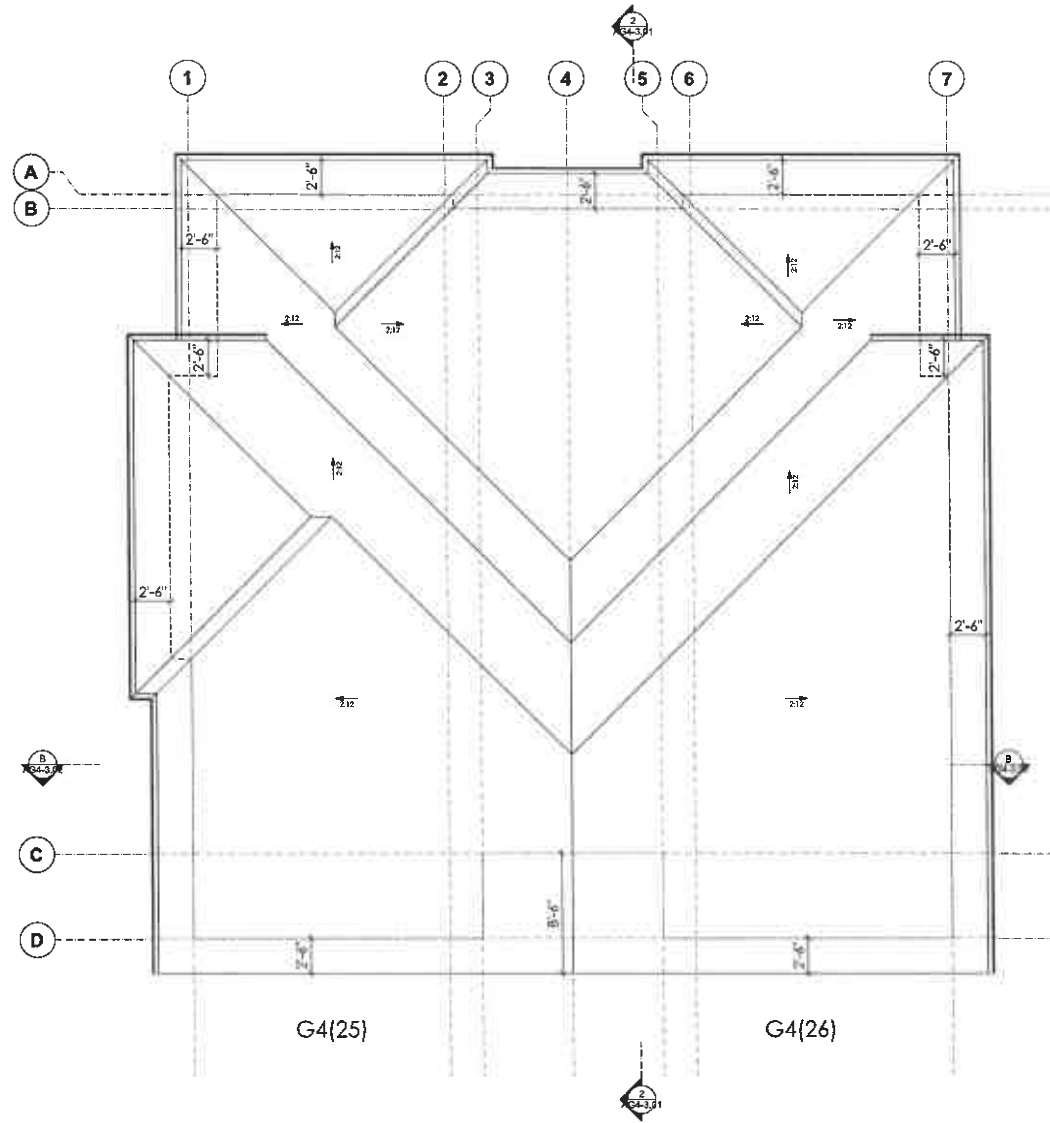
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G 4

DRAWING
UPPER FLOOR PLAN

PROJECT# 0030
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
AG4-2.03

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REVISIONS		
Revised for OFF-planing	Aug 31, 2021	
DRG Public Comment Revisions	MAY 12, 2023	
01, 02, 03 Revisions	JAY 31, 2023	

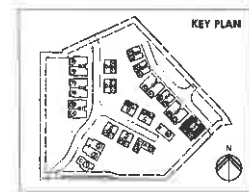


ROOF PLAN
UNIT G4



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G4

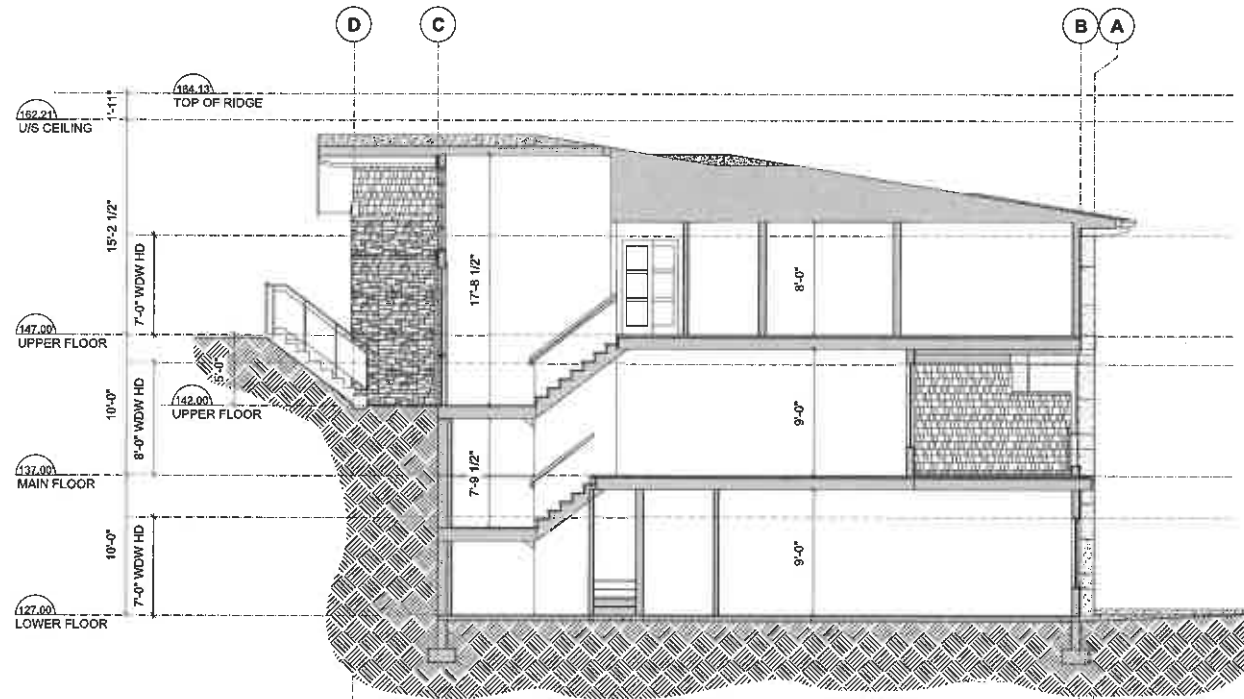
DRAWING
ROOF PLAN



PROJECT#	SHEET
000	AG4-
SCALE 1/4"=1'-0"	2.04
DATE MAY 12, 2023	

These plans remain the ownership of Sterling Pacific

REVISIONS	
Revised for DP/Revising	Aug 31, 2021
ORD Public Consultation Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



2 SECTION A-A
Scale: 1/4" = 1'-0"



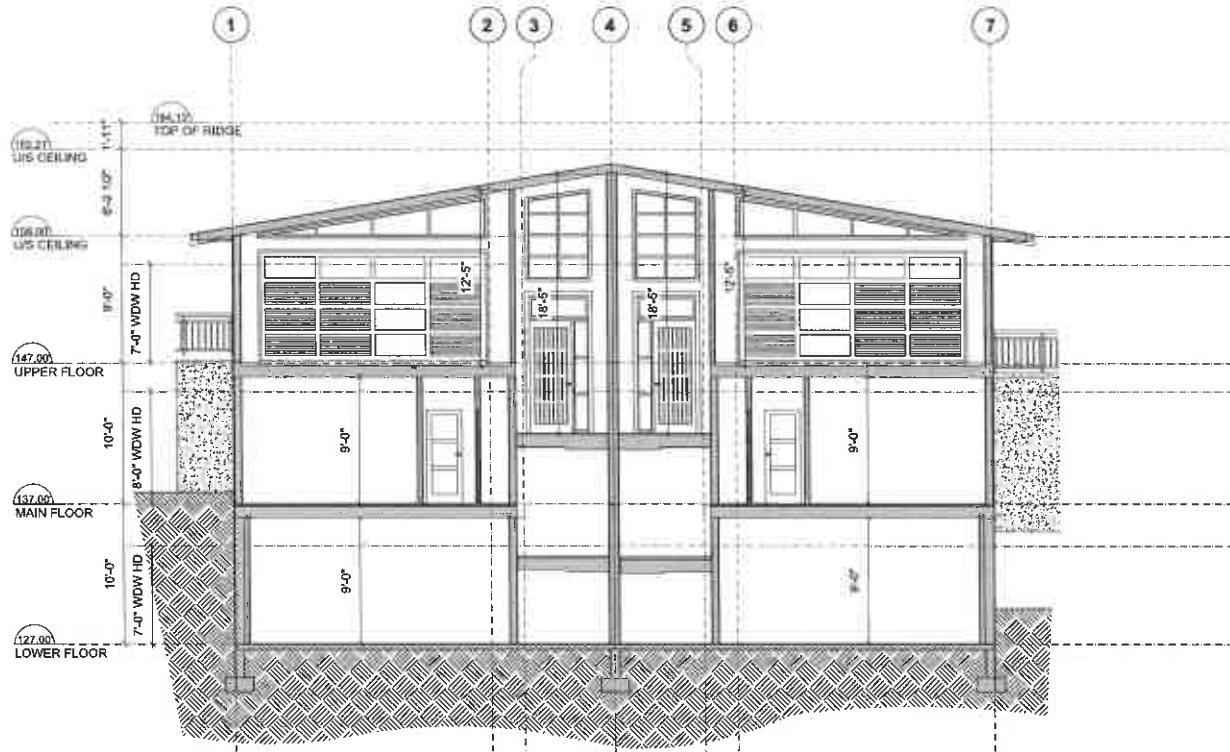
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G 4

DRAWING
SECTION A-A

PROJECT#	SHEET
0630	AG4-
SCALE 1/4" = 1'-0"	3.01
DATE MAY 12, 2023	

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REVISIONS	
Issued for DR/Resubmit	Aug 31, 2021
DR/ Public Comment Revisions	MAY 12, 2023
DR/ GC Revisions	MAY 31, 2023



B SECTION B-B
Scale: 1/4" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G4

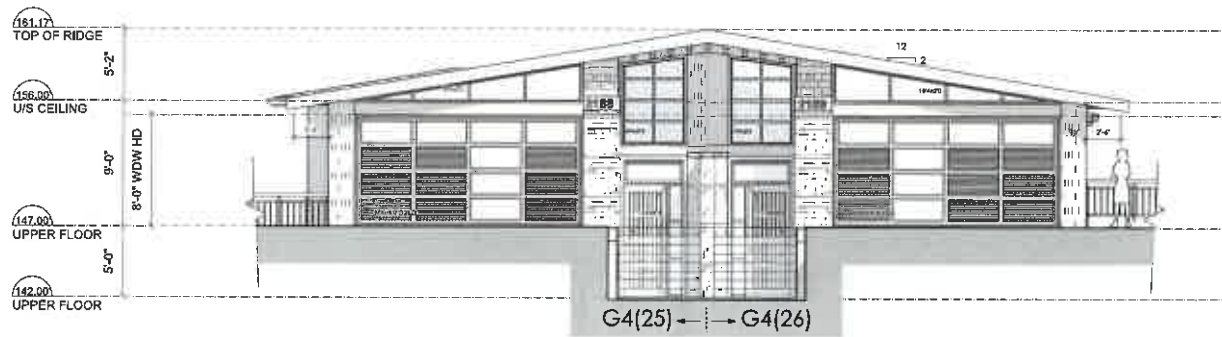
DRAWING

SECTION B-B

PROJECT#	SHEET
8030	AG4-
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023
	3.02

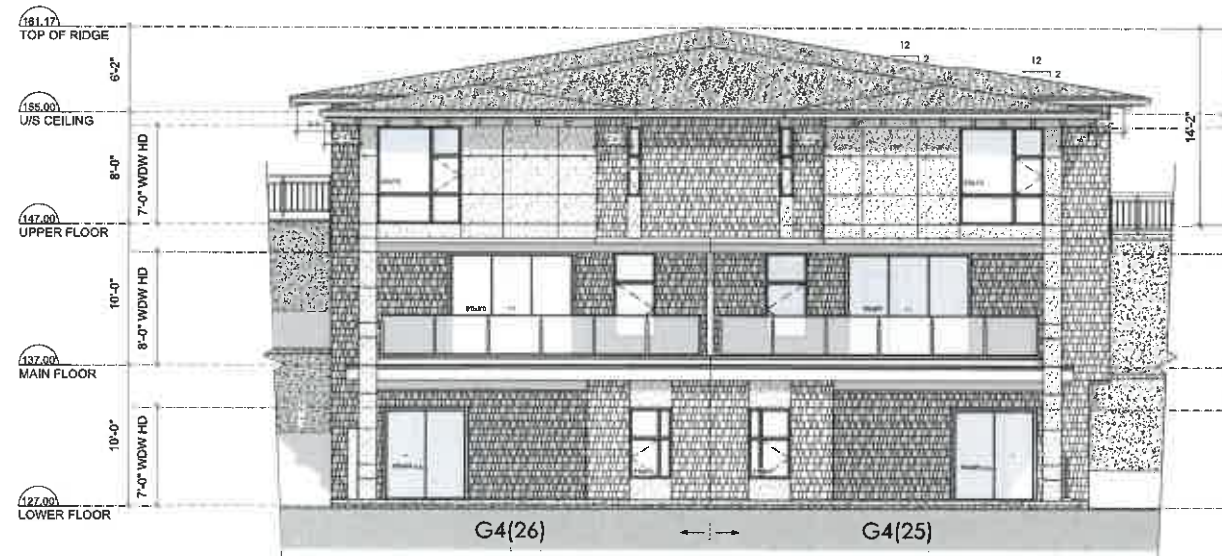
These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for OIP/Reviewing Aug. 31, 2021
 DR/ Public Comment Revisions MAY 12, 2023
 01, 03, 03 Revisions MAY 31, 2023



FRONT / ENTRY ELEVATION
 UNIT G4

MAX ALLOWABLE
 BLDG HEIGHT
 EL: 164.51' / 50.14M



BACK ELEVATION
 UNIT G4

MIDPOINT OF ROOF
 EL: 161.17' / 49.12M

AFG
 EL: 135.07' / 41.16M
 AEG
 EL: 134.66' / 41.04M

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-2):
 EXPOSED BUILDING FACE: 1564.84 SF (145.38 SM)
 LIMITING DISTANCE: 10.73' (3.27 M)
 UNPROTECTED OPENING: 384.00 SF (35.67 SM)
 PROPOSED OPENING: 24.54%
 PERMITTED OPENINGS: 24.69%



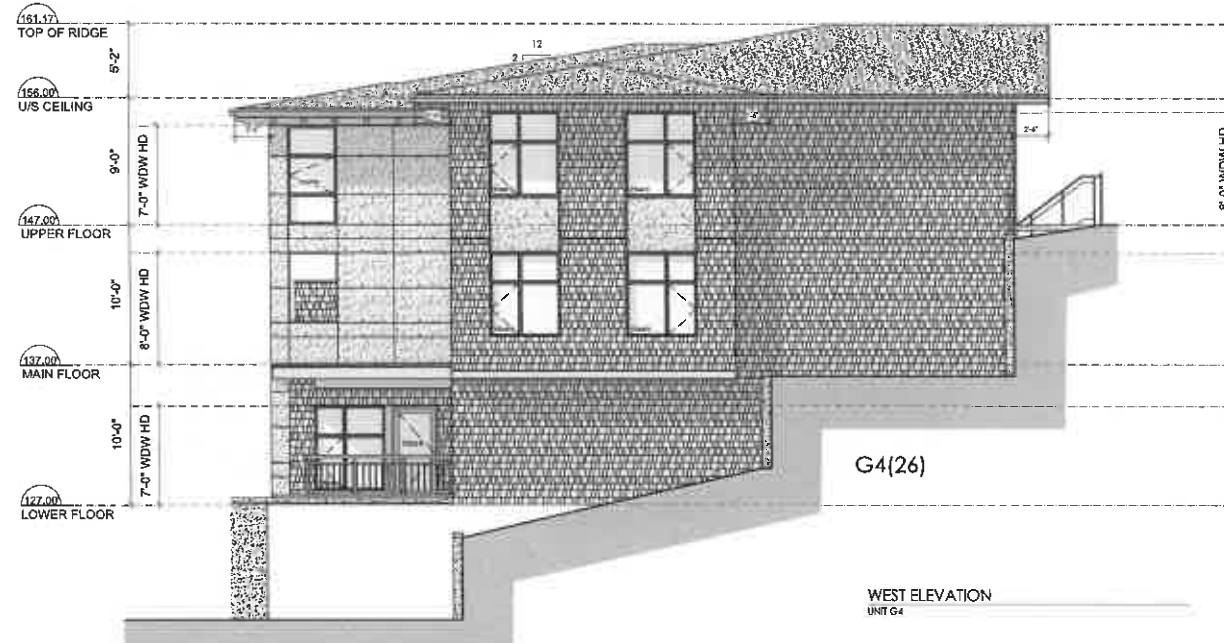
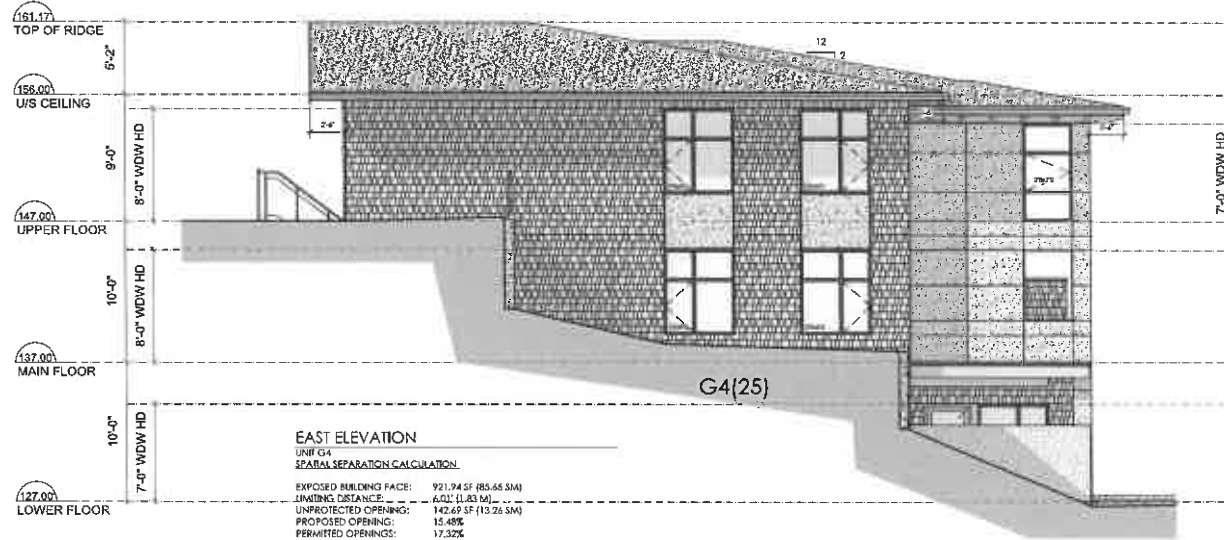
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G4

DRAWING
 FRONT & BACK
 ELEVATIONS B/W

PROJECT	9030	SHEET	AG4-4.01
SCALE	1/4"=1'-0"		
DATE	MAY 12, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Reviewing AUG 31, 2021
 ORCA Public Comment Response MAY 12, 2023
 G1, D2, D3 Revisions JUNE 31, 2023

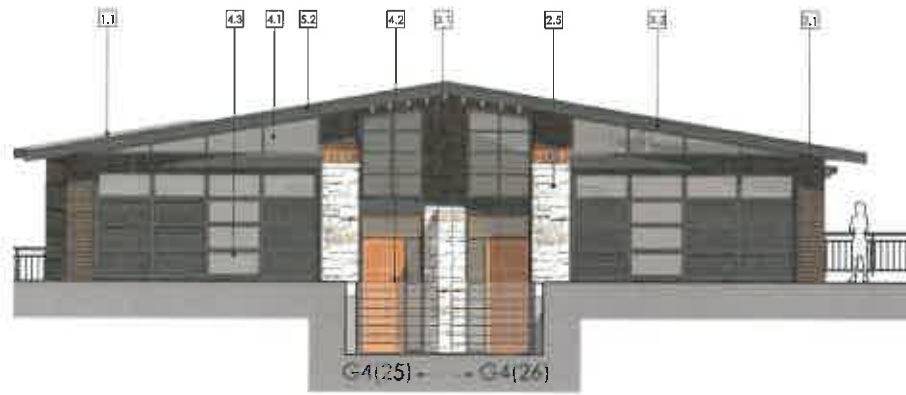


PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, B.C.
 UNIT G4

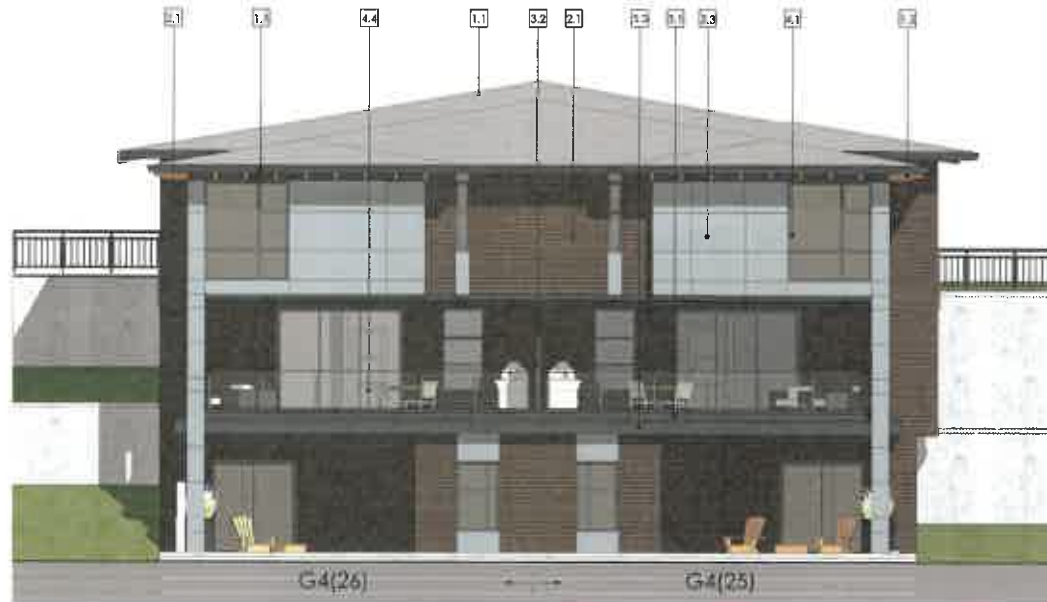
DRAWING
 EAST & WEST ELEVATIONS B/W

PROJECT#	SHEET
9930	AG4-4.02
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023

These plans remain the ownership of Sterling Pacific



FRONT / ENTRY ELEVATION
UNIT G4



BACK ELEVATION
UNIT G4



HARDY PANEL

FIBRE CEMENT SHINGLES -
WOODSTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING

METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR SILESTONE -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT

WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105

BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		Colour
1.1	Hardy Panel	Light Mist
1.2	Hardy Panel	Light Mist
1.3	Hardy Panel	Light Mist
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Trails
2.2	Not Used	
2.3	Hardy Panel	Light Mist
2.4	Not Used	
2.5	None	Random Granite
3.1	Wrought Iron BM	Wrought Iron BM - 2124 - 10
3.2	Wrought Iron BM	Wrought Iron BM - 2124 - 10
4.1	Charcoal Gray	Charcoal Gray
4.2	Entry door painted c/w Ironstone and Walnut	Silestone - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Charcoal Gray	Charcoal Gray
4.4	Roofing glass guardrail system c/w cap	Charcoal Gray
5.1	Reductive bleached wood	Silestone - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Brushed metal	Charcoal Gray
5.3	Painted metal	Charcoal Gray

REVISIONS
Based for DPR/Archiving
DPR/ Public Comment Revisions
D1, D2, G3 Revisions

Aug 31, 2021
MAY 12, 2022
JULY 31, 2023



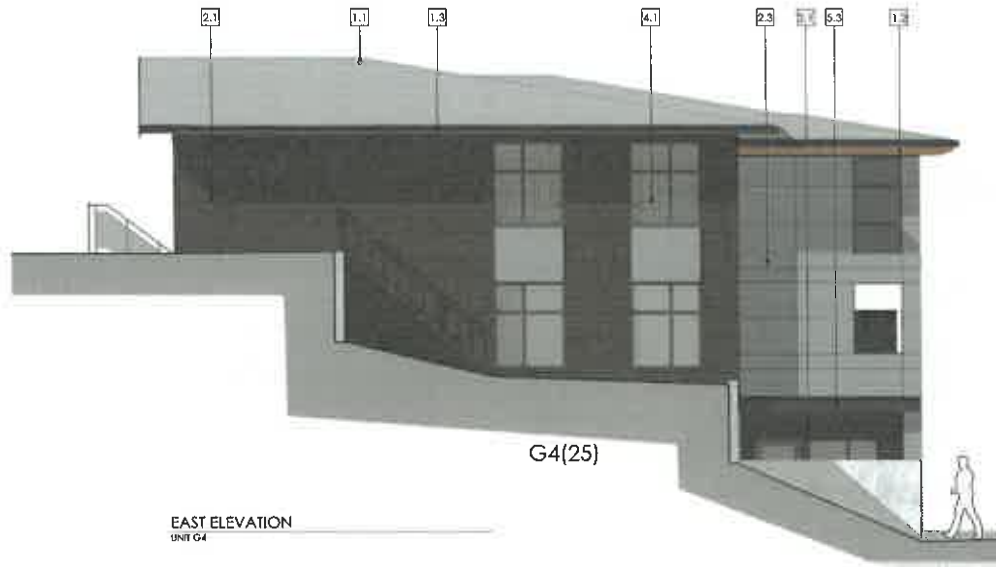
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G4

DRAWING
**FRONT & BACK
ELEVATIONS**

PROJECT# 802
SCALE 1/4" = 1'-0"
DATE MAY 12, 2022
SHEET
**AG4-
4.03**

These plans remain the ownership of Sterling Pacific

REVISIONS		
Issued for DR/Rebidding	Aug 31, 2021	
DR/2 Public Comment Revisions	MAY 12, 2023	
01, 02, 03 Revisions	JULY 31, 2023	



G4(25)

EAST ELEVATION
UNIT G4



G4(26)

WEST ELEVATION
UNIT G4

AQUILA EXTERIOR MATERIAL SCHEDULE		
#	Material	Colour
1.1	2" Metal Roof	Charcoal Gray
1.2	Cement Soffit	Charcoal Gray
1.3	soffit	Charcoal Gray
2.1	Flite Cement Shingles	Woodline Resile Series Carbon Tone
2.2	Not used	
2.3	Moody Panel	Light mist
2.4	Not used	
2.5	Stone	Weathered Stone
3.1	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
3.2	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
4.1	Charcoal Gray	Charcoal Gray
4.2	Slabwood - Old Master Gel Stain c/w clear top coat - Special Walnut	Slabwood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
5.1	Slabwood - Old Master Gel Stain c/w clear top coat - Special Walnut	Slabwood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Charcoal Gray	Charcoal Gray
5.3	Charcoal Gray	Charcoal Gray

PROJECT
AQUILA
DAFFOIL DRIVE, WEST
VANCOUVER, BC
UNIT G4

DRAWING
**EAST & WEST
ELEVATIONS**

PROJECT#	800	SHEET	AG4- 4.04
SCALE	1/4"=1'-0"		
DATE	MAY 12, 2023		



These plans remain the ownership of Sterling Pacific



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT G4



BACK ELEVATION - CAMERA VIEW
UNIT G4



BACK ELEVATION - CAMERA VIEW
UNIT G4

REVISIONS
Issued for DP/Resolving Aug 31, 2021
DR/CI Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G4

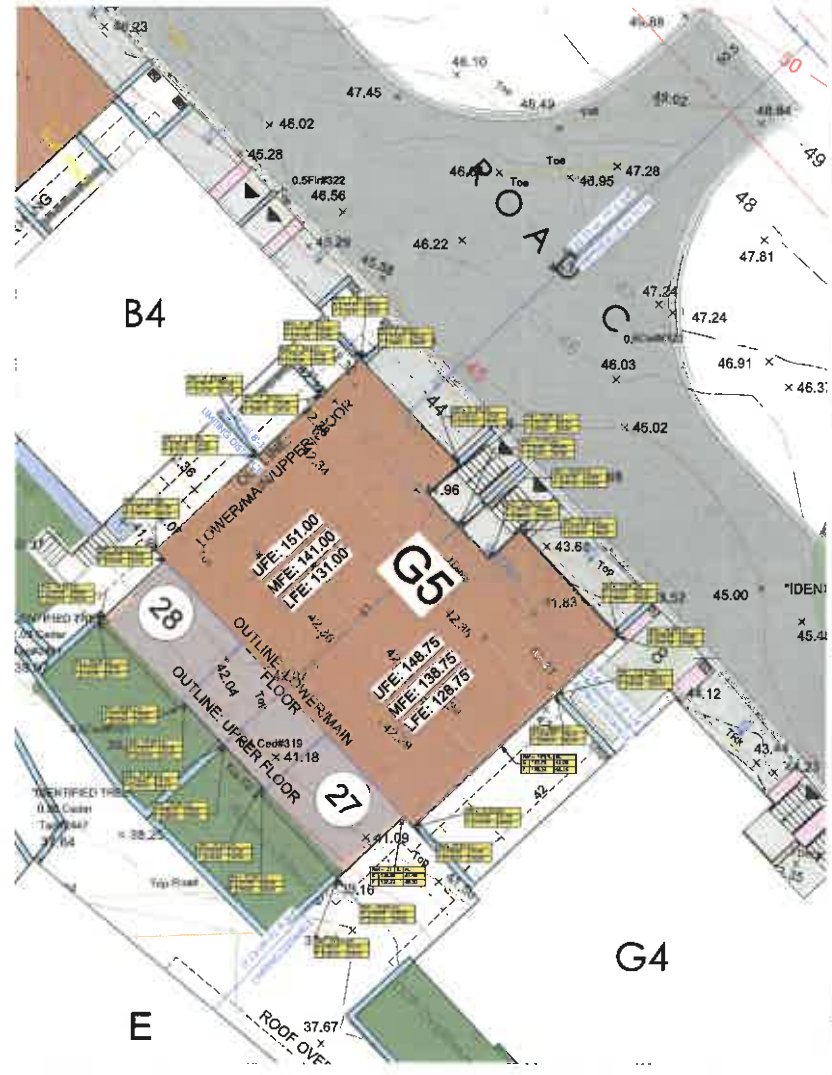
DRAWING
FRONT & BACK
ELEVATIONS
-CAMERA VIEW

PROJECT#	SHEET
9000	AG4-
SCALE	N.S.
DATE	4.05
	MAY 12, 2023

G5 - AVERAGE FINISH GRADE CALCULATION				
Ref #	Elevation	#	Elevation	Distance
1	131.33	2	133.76	135.55
2	133.76	3	137.80	129.76
3	137.80	4	139.80	129.80
4	139.80	5	138.88	133.24
5	138.88	6	141.04	133.95
6	141.04	7	143.92	144.98
7	143.92	8	150.67	149.30
8	150.67	9	155.97	150.67
9	155.97	10	148.55	148.55
10	148.55	11	144.66	144.66
11	144.66	12	142.50	142.50
12	142.50	13	144.66	144.66
13	144.66	14	148.41	148.41
14	148.41	15	148.41	148.41
15	148.41	16	147.84	147.84
16	147.84	17	147.83	147.84
17	147.83	18	148.78	148.78
18	148.78	19	138.33	138.33
19	138.33	20	137.79	137.79
20	137.79	21	132.22	132.22
21	132.22	22	129.22	129.22
22	129.22	23	128.22	128.22
23	128.22	24	128.22	128.22
24	128.22	25	128.22	128.22
25	128.22	26	128.22	128.22
26	128.22	27	130.50	130.50
27	130.50	28	130.50	130.50
28	130.50	29	130.50	130.50
29	130.50	30	130.50	130.50
30	130.50	31	130.50	130.50
31	130.50	32	130.50	130.50
32	130.50	33	131.33	131.33
33	131.33	34	131.33	131.33
34	131.33	35	131.33	131.33
35	131.33	36	131.33	131.33
36	131.33	37	131.33	131.33
37	131.33	38	131.33	131.33
38	131.33	39	131.33	131.33
39	131.33	40	131.33	131.33
40	131.33	41	131.33	131.33
41	131.33	42	131.33	131.33
42	131.33	43	131.33	131.33
43	131.33	44	131.33	131.33
44	131.33	45	131.33	131.33
45	131.33	46	131.33	131.33
46	131.33	47	131.33	131.33
47	131.33	48	131.33	131.33
48	131.33	49	131.33	131.33
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55	131.33	56	131.33	131.33
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57	131.33	58	131.33	131.33
58	131.33	59	131.33	131.33
59	131.33	60	131.33	131.33
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68	131.33	69	131.33	131.33
69	131.33	70	131.33	131.33
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71	131.33	72	131.33	131.33
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210	131.33	211	131.33	131.33
211	131.33	212	131.33	131.33
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224	131.33	225	131.33	131.33
225	131.33	226	131.33	131.33
226	131.33	227	131.33	131.33
227	131.33	228	131.33	131.33
228	131.33	229	131.33	131.33
229	131.33	230	131.33	131.33
230	131.33	231	131.33	131.33
231	131.33	232	131.33	131.33
232</				

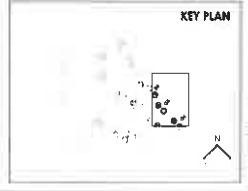
B - AVERAGE FINISH GRADE CALCULATION						
#	n	Ref #	Elevation	Distance	x	Distance
1	131.33	2	133.76	132.56	0.0	0.0
2	132.78	2	137.05	136.18	0.0	0.0
3	137.05	4	139.15	138.50	12.0	173.3
4	139.15	4	138.85	139.04	0.0	0.0
5	138.85	1	141.04	139.96	7.64	1097.5
6	141.04	6	148.82	144.99	0.0	0.0
7	148.82	6	150.57	148.40	0.0	0.0
8	150.57	1	151.04	150.87	20.26	3191.24
9	151.04	1	145.67	145.17	6.0	1.02
10	145.67	13	145.59	145.27	6.0	234.76
11	145.59	12	144.48	143.17	0.0	0.0
12	144.48	13	144.66	144.89	8.0	528.28
13	144.66	14	149.41	146.54	6.0	372.31
14	149.41	1	148.41	146.41	20.04	3054.1
15	148.41	1	147.64	146.03	0.0	0.0
16	147.64	1	147.63	147.84	12.16	1759.43
17	147.63	16a	146.78	144.21	0.0	0.00
18a	146.78	16b	139.33	138.0	10.66	1487.66
18b	139.33	18	137.78	138.0	17.24	2380.16
19	137.78	20	132.52	135.03	0.0	0.0
20	132.52	21	132.22	132.0	3.0	469.0
21	132.22	22	129.96	130.61	12.43	1673.72
22	129.96	23	128.25	128.0	0.0	0.0
23	128.25	24	128.25	128.25	15.79	2153.15
24	128.25	25	128.25	128.25	1.0	128.25
25	128.25	26	128.25	128.25	8.21	1052.0
26	128.25	27	130.00	129.38	0.62	80.0
27	130.00	28	130.00	130.00	8.21	1071.1
28	130.00	29	130.00	130.00	1.0	130.00
29	130.00	30	130.00	130.00	15.79	2154.2
30	130.00	31	130.00	130.00	12.8	1673.6
31	130.00	32	131.00	130.93	2.0	271.0
32	131.00	1	131.00	130.82	0.0	0.0
Total					211.64	28888.8
AVG Finish Grade						138.8
1/8" = 10' 0"			29.65'			138.8

C - AVERAGE FINISH GRADE CALCULATION						
#	n	Ref #	Elevation	Distance	x	Distance
1	132.74	2	138.17	135.45	16.84	2716.4
2	138.17	2	138.17	138.17	0.0	0.0
3	138.17	4	140.48	139.02	12.02	1700.0
4	140.48	4	140.48	140.48	0.0	0.0
5	140.48	7	141.82	141.12	7.84	1106.0
6	141.82	8	141.82	141.82	0.0	0.0
7	141.82	8	141.82	141.82	0.0	0.0
8	141.82	9	142.02	141.0	20.54	2821.96
9	142.02	10	137.84	138.65	0.0	0.0
10	137.84	11	137.82	137.0	8.0	864.96
11	137.82	12	137.82	137.82	0.0	0.0
12	137.82	13	137.82	137.0	8.42	1114.0
13	137.82	14	142.02	138.61	9.0	1215.4
14	142.02	15	139.44	140.0	20.64	2895.0
15	139.44	16	139.44	139.44	0.0	0.0
16	139.44	17	140.78	140.11	12.12	1668.4
17	140.78	18	140.78	140.78	0.0	0.0
18	140.78	19	137.0	138.25	10.66	1484.7
19	137.0	20	138.85	137.85	17.24	2380.16
20	138.85	21	138.85	138.85	0.0	0.0
21	138.85	21	138.85	138.85	3.0	469.0
22	138.85	22	138.85	138.85	12.43	1673.72
23	138.85	23	130.41	133.41	0.0	0.0
24	130.41	24	130.00	130.00	16.79	2184.2
25	130.00	25	131.54	131.21	1.0	131.21
26	131.54	26	132.21	131.86	6.21	1062.4
27	132.21	27	132.21	132.21	0.21	1006.41
28	132.21	28	132.5	132.21	1.0	132.21
29	132.5	29	133.0	133.0	15.0	2250.0
30	133.0	30	133.0	133.0	14.61	1999.0
31	133.0	31	137.74	136.57	1.0	136.57
32	137.74	32	137.0	137.0	2.0	271.0
Total					230.1	31423.64
AVG Grade						137.1
1/8" = 10' 0"			29.65'			137.1



SITE PLAN
SCALE: 1/8"=10'

TOP OF FINISH FLOOR - 02 (2)	
Lower	Main
138.75	138.75



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REVISIONS
Based for DR/Revisions
DR/DR Public Comment Revisions
G1, G2, G3 Revisions

AUG 31, 2021
MAY 12, 2022
JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G5

DRAWING
SITE PLAN

PROJECT# 8000
SCALE 1/8" = 10'
DATE MAY 12, 2022

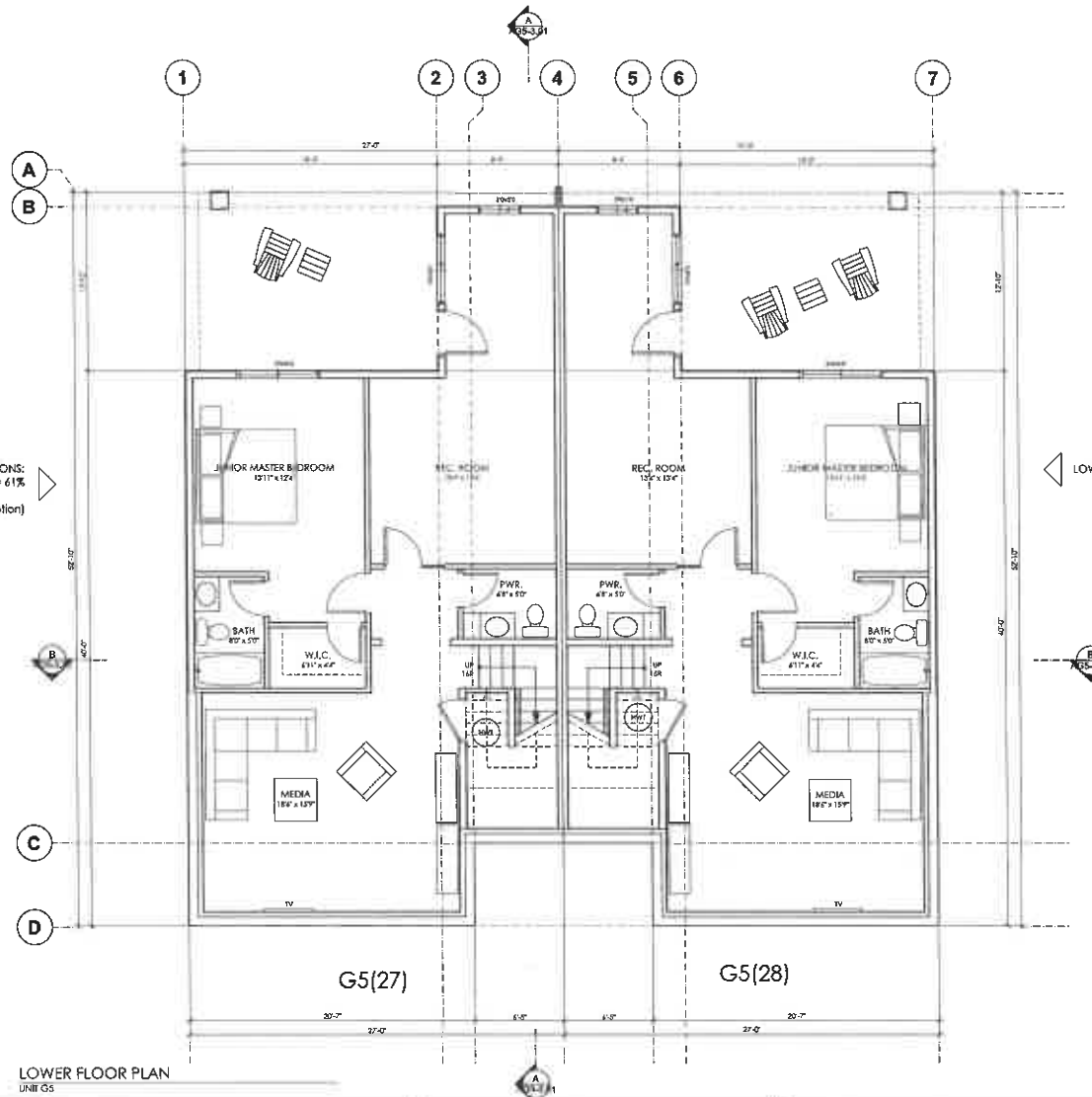
ASSET
AG5-1.01

These plans remain the ownership of Sterling Pacific

REVISIONS	DATE
Issued for DPM/Planning	Aug 31, 2023
DRC/ Public Council Review	MAY 12, 2023
G2, Q2 Revisions	JULY 31, 2023

LOWER FLOOR / BASEMENT EXEMPTIONS:
 $(137.10' - 131.00' / 141.00' - 131.00') \times 100 = 61\%$
 $1,145$ (gross area) $\times 61\% = 698.45$ SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%



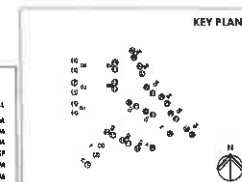
LOWER FLOOR PLAN
UNIT G5

UNIT 27 FLOOR AREAS IMPERIAL				
	LEVEL 1 350 FT	LEVEL 2 340 FT	LEVEL 3 350 FT	TOTAL
GROSS	1149.0 SF	1354.3 SF	1304.3 SF	3807.6 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 41%	498.3 SF	0.0 SF	0.0 SF	498.3 SF
OVERLAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	37.1 SF	37.1 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	90.4 SF	0.0 SF	90.4 SF
NET	446.4 SF	1255.7 SF	964.4 SF	2666.7 SF

UNIT 27 FLOOR AREAS METRIC				
	LEVEL 1 350 M	LEVEL 2 350 M	LEVEL 3 350 M	TOTAL
GROSS	104.4 SM	1259.8 SM	1219.2 SM	3523.4 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	372.5 SM	372.5 SM
BASEMENT EXCLUSIONS 41%	44.9 SM	0.0 SM	0.0 SM	44.9 SM
OVERLAGE HEIGHT INCLUSION	0.0 SM	0.0 SM	3.4 SM	3.4 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	81.3 SM	0.0 SM	81.3 SM
NET	41.5 SM	1147.5 SM	91.4 SM	2490.4 SM

UNIT 28 FLOOR AREAS IMPERIAL				
	LEVEL 1 350 FT	LEVEL 2 350 FT	LEVEL 3 350 FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.2 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
OVERLAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	79.4 SF	0.0 SF	79.4 SF
NET	0.0 SF	1255.7 SF	994.5 SF	2250.2 SF

UNIT 28 FLOOR AREAS METRIC				
	LEVEL 1 350 M	LEVEL 2 350 M	LEVEL 3 350 M	TOTAL
GROSS	104.4 SM	1259.8 SM	1219.2 SM	3523.4 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	372.5 SM	372.5 SM
BASEMENT EXCLUSIONS 100%	104.4 SM	0.0 SM	0.0 SM	104.4 SM
OVERLAGE HEIGHT INCLUSION	0.0 SM	0.0 SM	4.4 SM	4.4 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	71.3 SM	0.0 SM	71.3 SM
NET	0.0 SM	1147.5 SM	92.6 SM	2490.1 SM



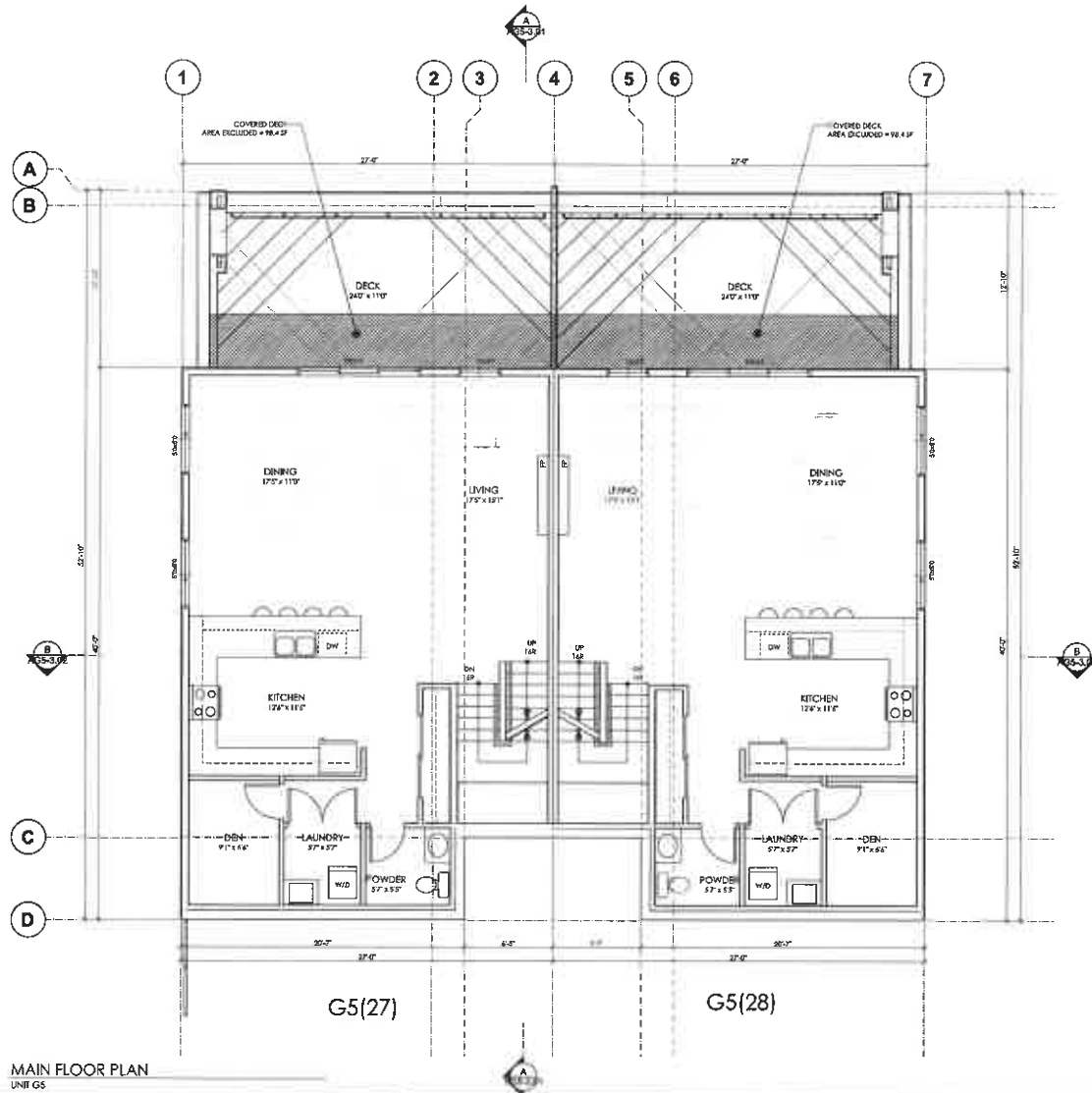
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G5

DRAWING
 LOWER FLOOR
 PLAN

PROJECT#	3030	SHEET	AG5-
SCALE	1/4" = 1'-0"		2.01
DATE	MAY 12, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Revised Aug. 31, 2021
 DRG/ Public Comment Revisions MAY 12, 2022
 O1, O2, O3 Revisions JULY 31, 2023



MAIN FLOOR PLAN
 UNIT G5

UNIT 27 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.2 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 41'S	496.5 SF	0.0 SF	0.0 SF	496.5 SF
COVERED HEIGHT INCLUSION	0.0 SF	0.0 SF	37.1 SF	37.1 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	98.4 SF	98.4 SF
NET	448.5 SF	1253.7 SF	956.9 SF	2659.1 SF

UNIT 27 FLOOR AREAS METRIC

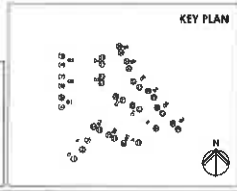
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	104.4 SQ M	125.8 SQ M	125.8 SQ M	356.0 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.9 SQ M	37.9 SQ M
BASEMENT EXCLUSIONS 41'S	44.9 SQ M	0.0 SQ M	0.0 SQ M	44.9 SQ M
COVERED HEIGHT INCLUSION	0.0 SQ M	0.0 SQ M	3.4 SQ M	3.4 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	9.1 SQ M	9.1 SQ M
NET	41.5 SQ M	115.7 SQ M	91.4 SQ M	248.6 SQ M

UNIT 28 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.2 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 41'S	496.5 SF	0.0 SF	0.0 SF	496.5 SF
COVERED HEIGHT INCLUSION	0.0 SF	0.0 SF	37.1 SF	37.1 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	98.4 SF	98.4 SF
NET	0.0 SF	1253.7 SF	956.9 SF	2207.6 SF

UNIT 28 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	104.4 SQ M	125.8 SQ M	125.8 SQ M	356.0 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.9 SQ M	37.9 SQ M
BASEMENT EXCLUSIONS 41'S	44.9 SQ M	0.0 SQ M	0.0 SQ M	44.9 SQ M
COVERED HEIGHT INCLUSION	0.0 SQ M	0.0 SQ M	3.4 SQ M	3.4 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	9.1 SQ M	9.1 SQ M
NET	0.0 SQ M	115.7 SQ M	91.4 SQ M	207.1 SQ M



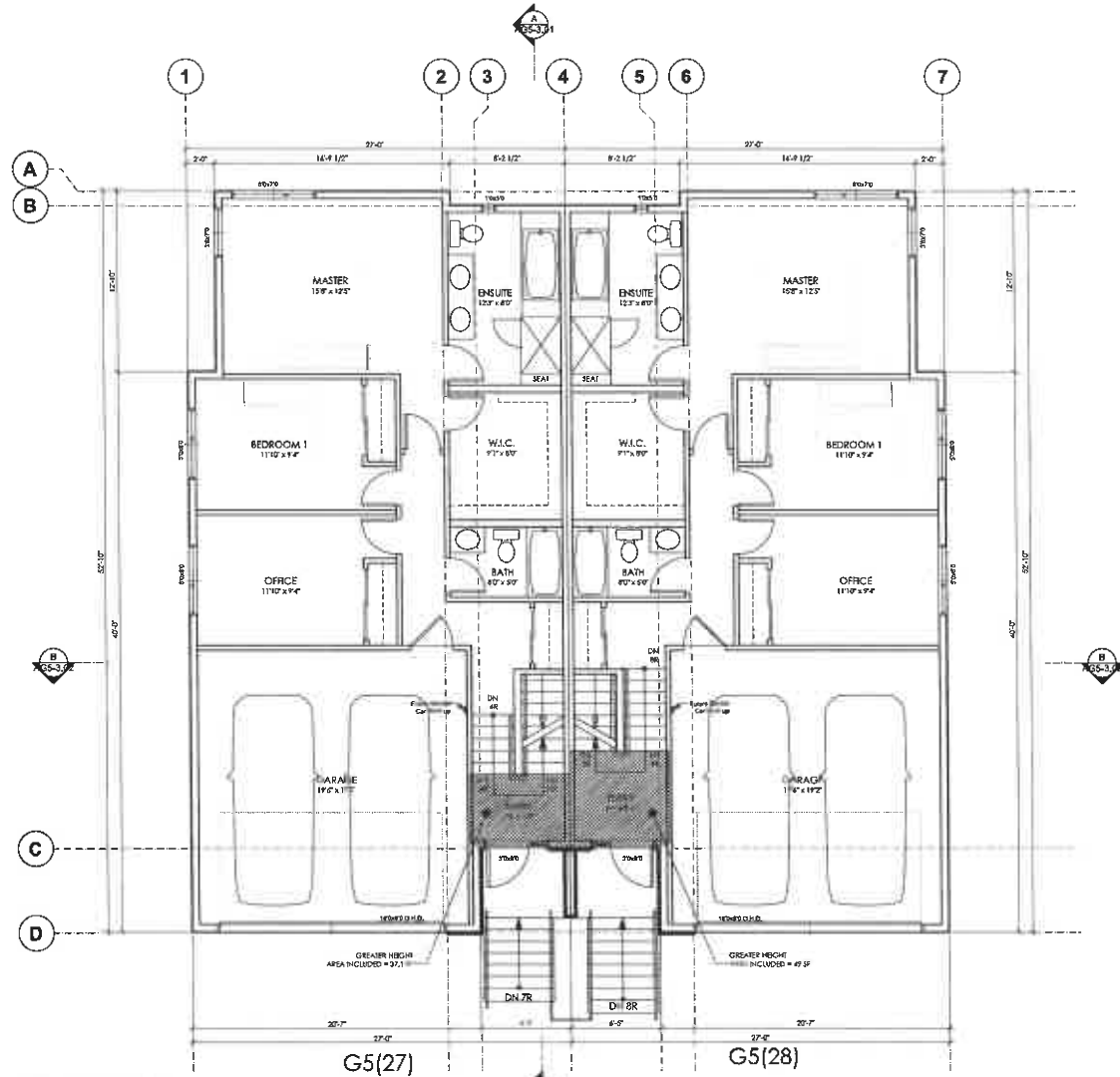
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, B.C.
 UNIT G5

DRAWING
MAIN FLOOR PLAN

PROJECT# 3030 SHEET
 SCALE 1/4"=1'-0" **AG5-2.02**
 DATE MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Revising Aug 31, 2021
 DR/CP/ Public Consult Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



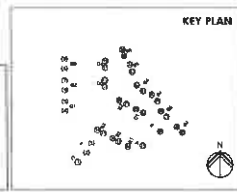
UPPER FLOOR PLAN
 UNIT G5

UNIT 27 FLOOR AREAS IMPERIAL			
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT
GROSS	1145.0 SF	1354.1 SF	1354.1 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	404.8 SF
BASEMENT EXCLUSIONS 81%	478.5 SF	0.0 SF	0.0 SF
OVERHANG HEIGHT INCLUSIONS	0.0 SF	0.0 SF	371.1 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	78.4 SF	0.0 SF
NET	446.5 SF	1255.7 SF	784.4 SF
TOTAL			2864.7 SF

UNIT 27 FLOOR AREAS METRIC			
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M
GROSS	104.4 SQ M	125.8 SQ M	125.8 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.8 SQ M
BASEMENT EXCLUSIONS 81%	44.3 SQ M	0.0 SQ M	0.0 SQ M
OVERHANG HEIGHT INCLUSIONS	0.0 SQ M	0.0 SQ M	34.8 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	9.1 SQ M	0.0 SQ M
NET	41.5 SQ M	116.7 SQ M	71.4 SQ M
TOTAL			249.3 SQ M

UNIT 28 FLOOR AREAS IMPERIAL			
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT
GROSS	1145.0 SF	1354.1 SF	1354.1 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	404.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF
OVERHANG HEIGHT INCLUSIONS	0.0 SF	0.0 SF	478.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	78.4 SF	0.0 SF
NET	0.0 SF	1255.7 SF	784.4 SF
TOTAL			2864.7 SF

UNIT 28 FLOOR AREAS METRIC			
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M
GROSS	104.4 SQ M	125.8 SQ M	125.8 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.8 SQ M
BASEMENT EXCLUSIONS 100%	104.4 SQ M	0.0 SQ M	0.0 SQ M
OVERHANG HEIGHT INCLUSIONS	0.0 SQ M	0.0 SQ M	44.3 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	9.1 SQ M	0.0 SQ M
NET	0.0 SQ M	116.7 SQ M	71.4 SQ M
TOTAL			249.3 SQ M



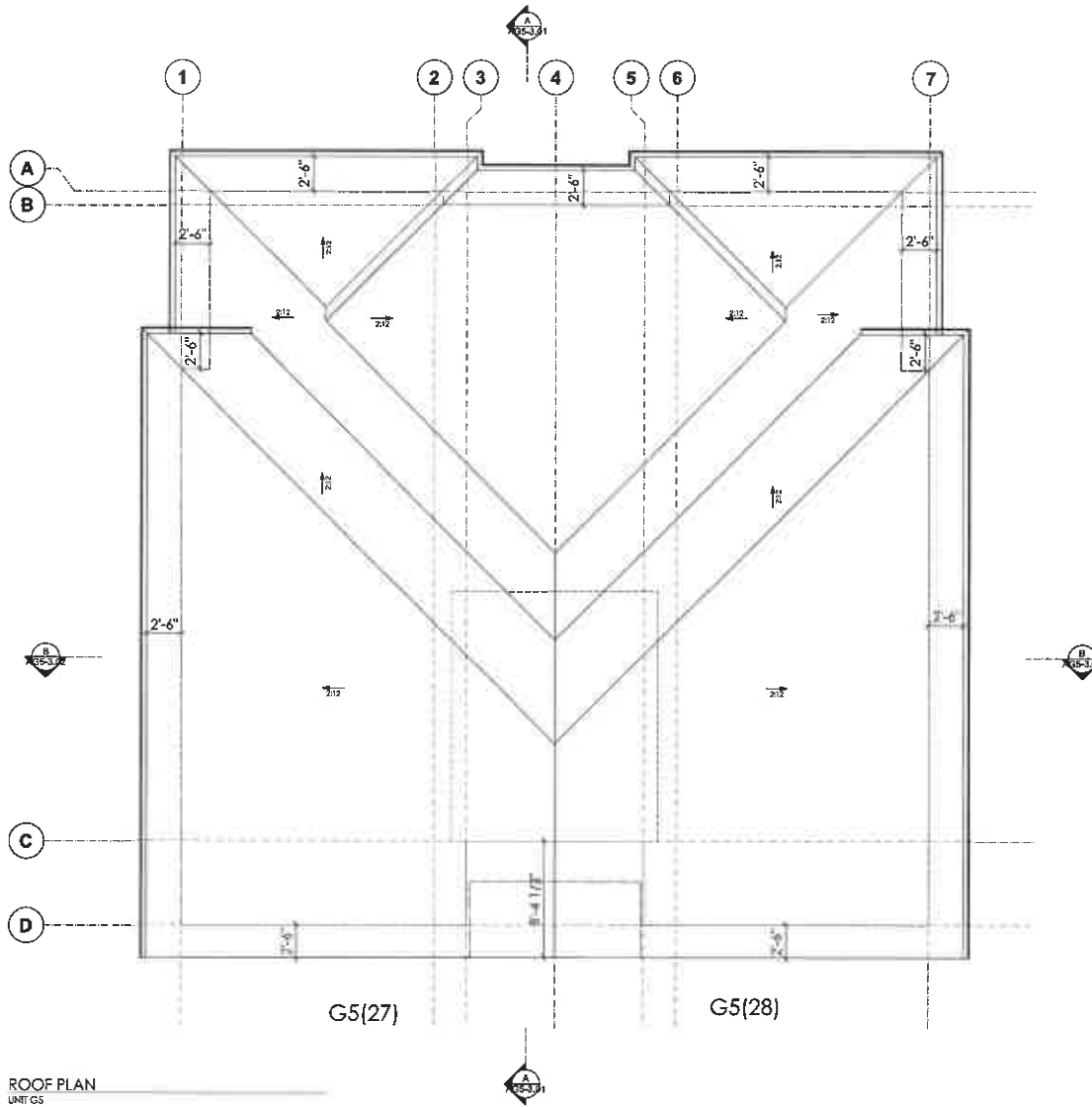
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G5

DRAWING
 UPPER FLOOR PLAN

PROJECT# 8030 SHEET
 SCALE 1/4" = 1'-0" **AG5-**
 DATE MAY 12, 2023 **2.03**

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REVISIONS
Issued for OPR/Marketing Aug 31, 2023
DRCP Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023

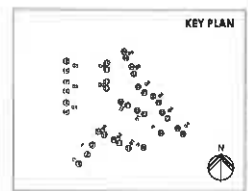


ROOF PLAN
UNIT G5



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G5

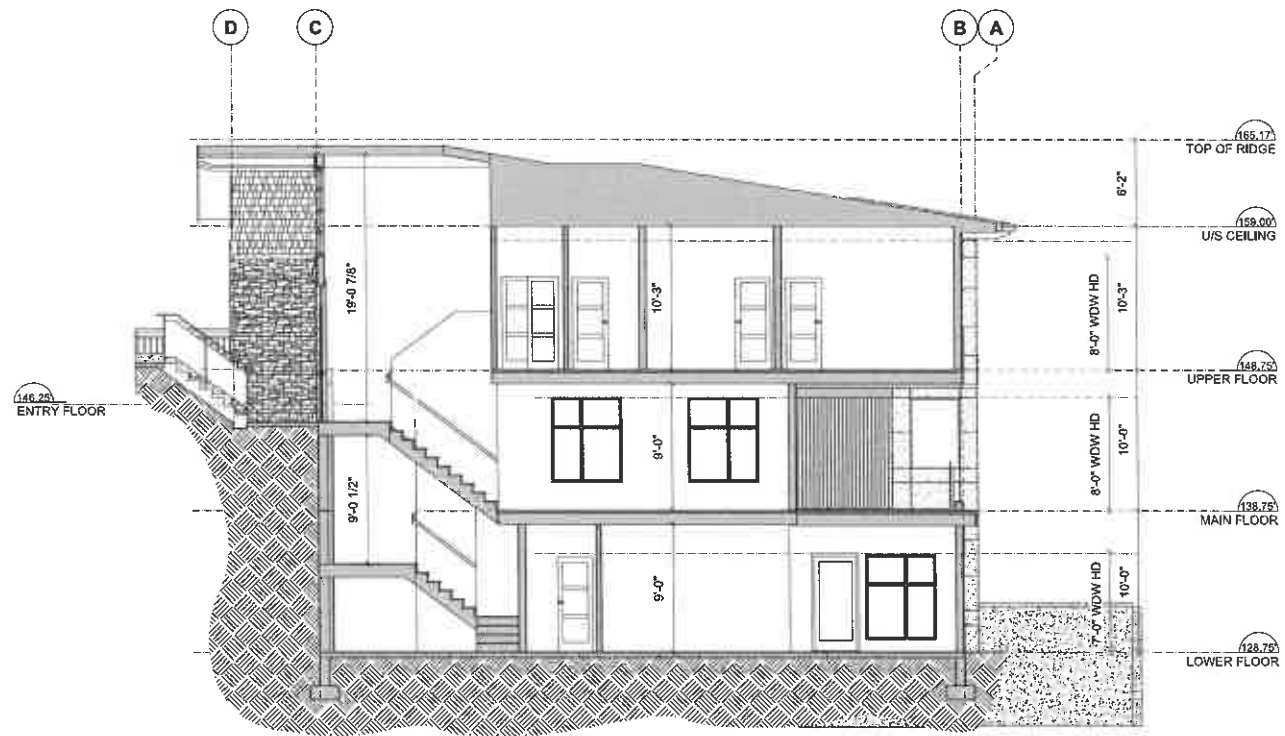
DRAWING
ROOF PLAN



PROJECT# 8020
SCALE 3/4" = 1'-0"
DATE MAY 12, 2023
SHEET
AG5-2.04

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DR/Reaming Aug. 31, 2021
 GRD/Public Comment Review MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023



A SECTION A-A
 Scale: 1/4" = 1'-0"



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G5

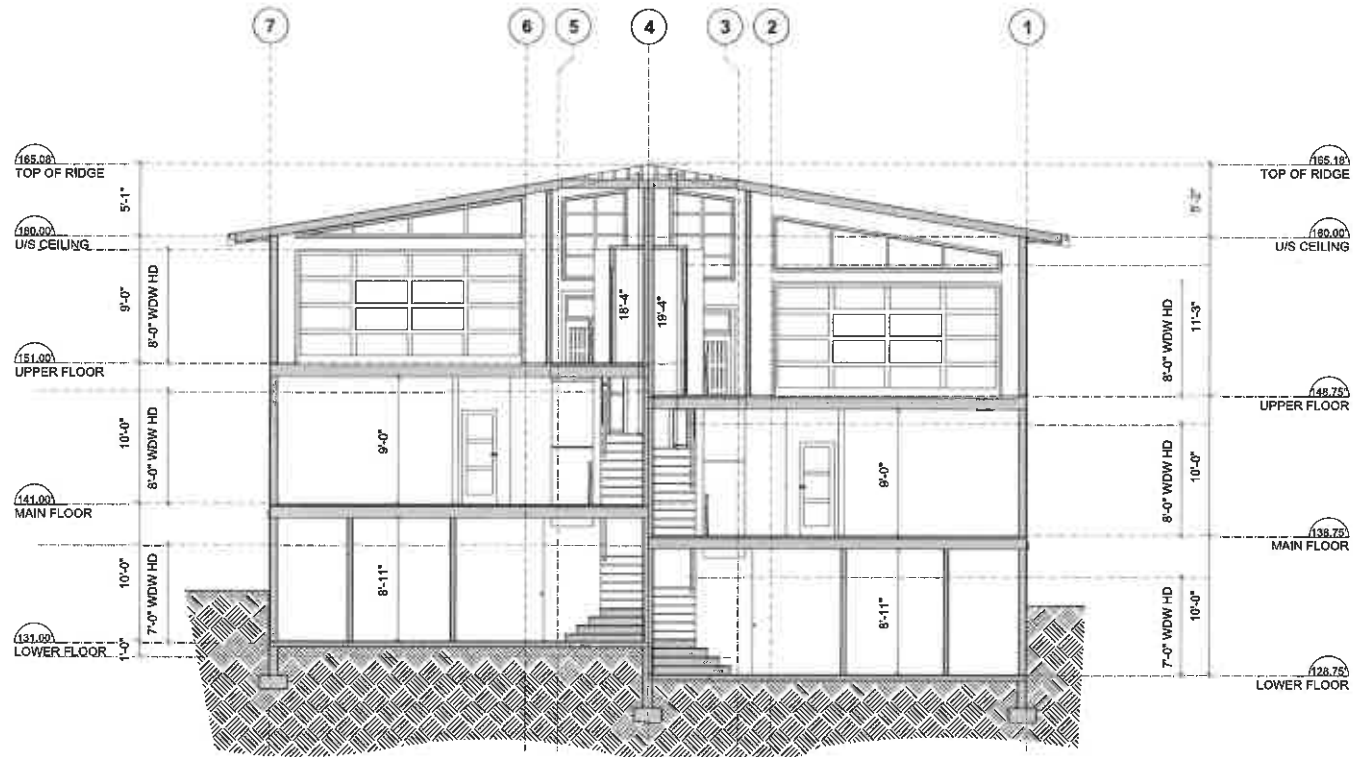
DRAWING
 SECTION A-A

PROJECT#	8200	BHEET	
SCALE	1/4" = 1'-0"	AG5-	
DATE	MAY 12, 2023	3.01	

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REVISED
Issued for DP/Resolving
DSD/Public Comment Revisions
G1, G2, G3 Revisions

Aug 31, 2021
MAY 12, 2022
MAY 31, 2023



B SECTION B-B
Scale: 1/4" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G5

DRAWING
SECTION B-B

PROJECT	SHEET
8030	AG5-3.02
SCALE	
DATE	

1/4" = 1'-0"
MAY 12, 2022

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REVISIONS	
Revised for OPR Review	Aug 31, 2021
DRG Public Comment Revisions	MAY 12, 2023
G3, G3 Revisions	JULY 31, 2023



FRONT / ENTRY ELEVATION
UNITS



BACK ELEVATION
UNIT G5

LOWER FLOOR / BASEMENT EXEMPTIONS:
(137.10' - 131.00' / 141.00' - 131.00') x 100 = 61%
1,145 (gross area) x 61% = 698.45 SF (exemption)

SPATIAL SEPARATION CALCULATION

EXPOSED BUILDING FACE:	1579.05 SF (146.70 SM)
MINIMUM DISTANCE:	12.86' (3.92 M)
UNPROTECTED OPENING:	384.00 SF (35.67 SM)
PROPOSED OPENING:	24.43%
PERMITTED OPENINGS:	29.74%

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%



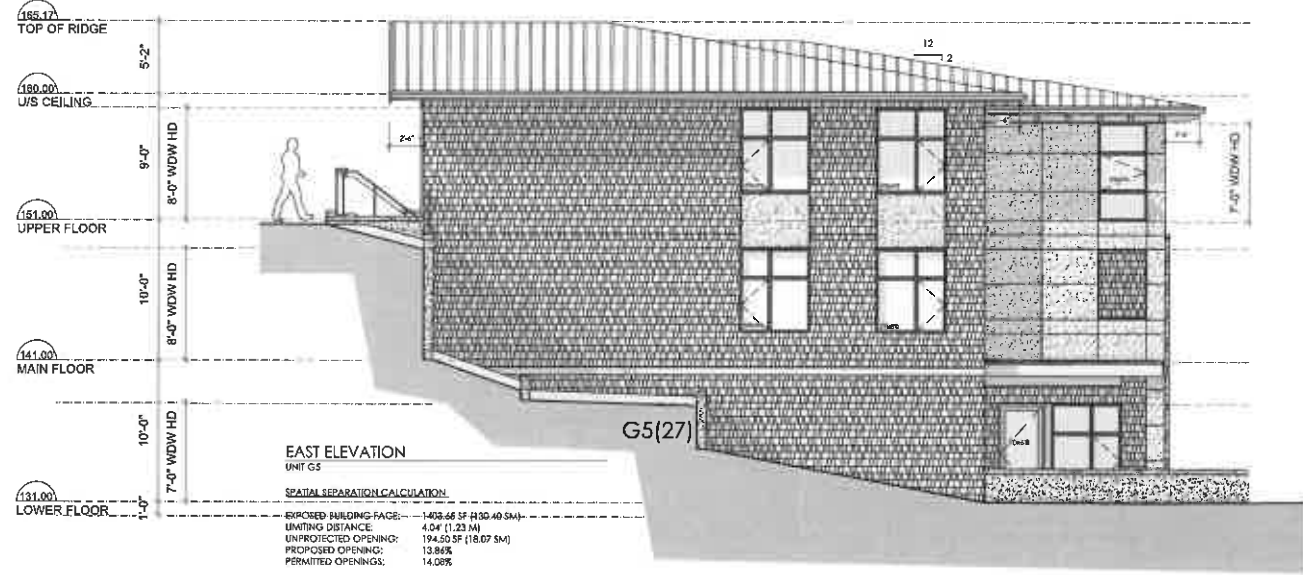
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G5

DRAWING
FRONT & BACK
ELEVATIONS B/W

PROJECT	SHEET
0000	AG5-4.01
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023

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REVISIONS
 Based for DR/Revising: AUG 31, 2021
 DRG Public Comment Revisions: MAY 12, 2023
 G1, G2, G3 Revisions: JULY 31, 2023

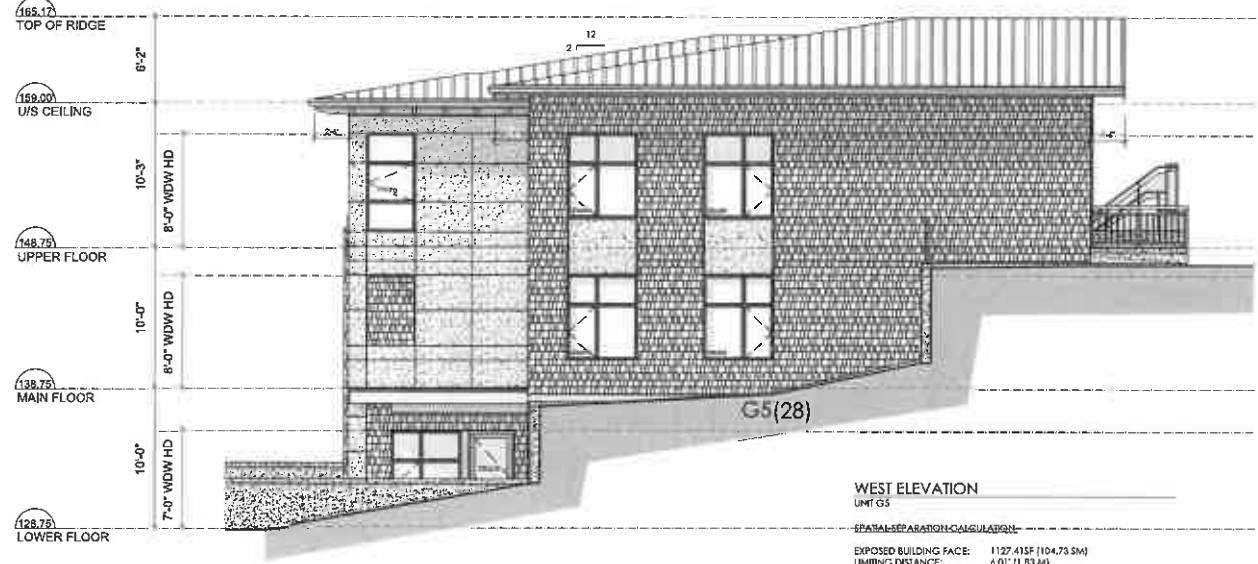


EAST ELEVATION
UNIT G5

SPATIAL SEPARATION CALCULATION

EXPOSED BUILDING FACE:	1408.66 SF (130.40 SM)
LIMITING DISTANCE:	4.04' (1.23 M)
UNPROTECTED OPENING:	194.50 SF (18.07 SM)
PROPOSED OPENING:	13.84%
PERMITTED OPENINGS:	14.08%

PLEASE REVISE



WEST ELEVATION
UNIT G5

SPATIAL SEPARATION CALCULATION

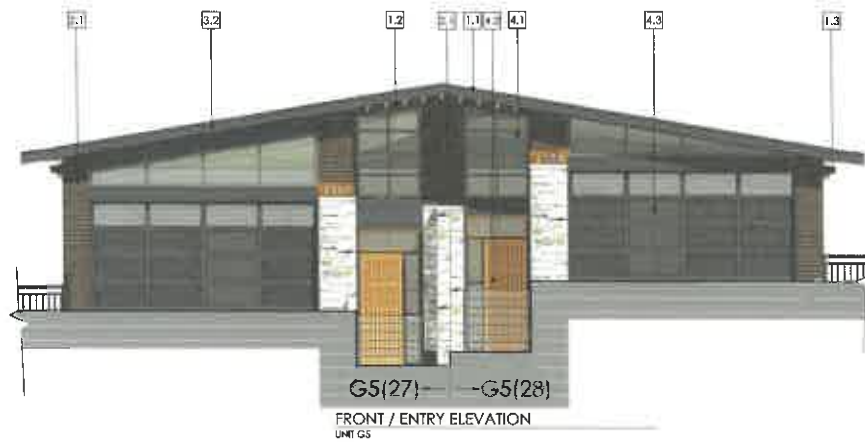
EXPOSED BUILDING FACE:	1127.41 SF (104.73 SM)
LIMITING DISTANCE:	6.01' (1.83 M)
UNPROTECTED OPENING:	182.07 SF (16.91 SM)
PROPOSED OPENING:	16.15%
PERMITTED OPENINGS:	17.11%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT G5

DRAWING
 EAST & WEST ELEVATIONS B/W

PROJECT#	8000	SHEET
SCALE	1/4" = 1'-0"	AG5-4.02
DATE	MAY 12, 2023	



AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Color
1.1	1/2" x 4" Metal Roof	Charcoal Gray
1.2	Stone Cement Soffit	Rev - 1 Layer BM - HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon trails
2.2	3/4" Hard	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	None	Random Granite
3.1	Upstand on entry curb c/w pre	Wrought Iron BM - 2124 + 10
3.2	Upstand on entry curb c/w pre	Wrought Iron BM - 2124 + 10
4.1	Entry door	Charcoal Gray
4.2	Entry door painted c/w transom and	Stilewood - Old Master Gel Stain c/w
4.3	Entry door painted c/w transom and	Clear Top Coat - Special Walnut
4.4	Back on glass guardrail system c/w	Charcoal Gray
5.1	Pre treated treated wood	Stilewood - Old Master Gel Stain c/w
5.2	Finished metal	Charcoal Gray
5.3	Steel	Charcoal Gray

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REVISIONS		
Issued for Off/Securing	Aug 31, 2021	
DRG/Plan: General Revision	MAY 12, 2023	
01, 02, 03 Revisions	JULY 31, 2023	



PROJECT

AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT G5

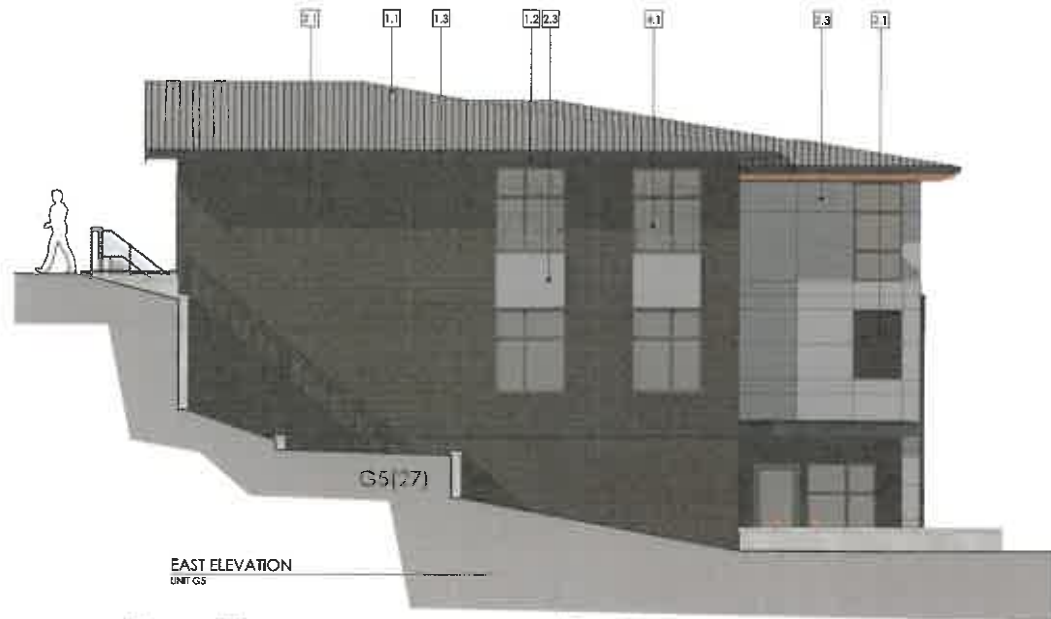
DRAWING

FRONT & BACK ELEVATIONS

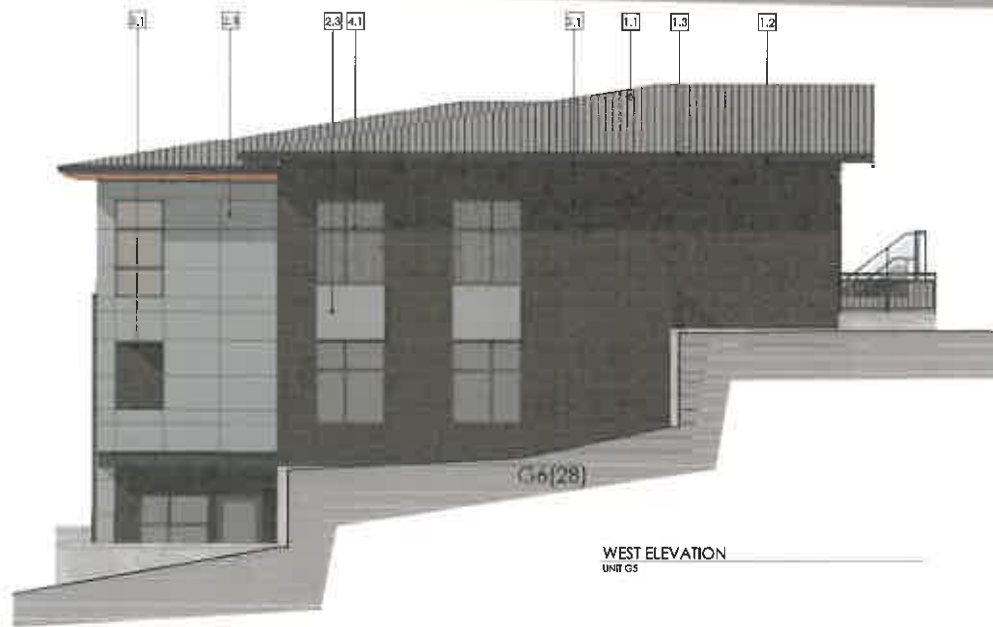
PROJECT #	BHEET
600	AG5-4.03
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISION 6
 Revisé for DP/Revising Aug 31, 2024
 DRG Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023



EAST ELEVATION
 UNIT G5



WEST ELEVATION
 UNIT G5

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	1/2" x 4" Hard Board	Charcoal Grey
1.2	Cement Soffit	Reddish Grey BM-HC-105
1.3	Tile	Charcoal Grey
2.1	Cement Bricks	Woodstone Rustic Series Carbon Brick
2.2	Tile	
2.3	Hardy Panel	Light mist
2.4	Not used	
3.1	Stone	Bondans Granite
4.1	Wrought Iron BM-2124-10	
4.2	Wrought Iron BM-2124-10	
4.3	Charcoal Grey	
4.4	Stainless Steel	
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Unfinished metal	Charcoal Grey
5.3	Steel	Charcoal Grey



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G5

DRAWING
**EAST & WEST
 ELEVATIONS**

PROJECT# 8030
 SHEET **AG5-4.04**
 SCALE 1/4"=1'-0"
 DATE MAY 12, 2023

These plans remain the ownership of Sterling Pacific



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT G5



BACK ELEVATION - CAMERA VIEW
UNIT G5



BACK ELEVATION - CAMERA VIEW
UNIT G5

REVISIONS
Issued for OPR Reviewing AUG. 31, 2021
ORCA Public Comment Revisions MAY 13, 2022
11, 02, 03 Revisions JULY 31, 2023



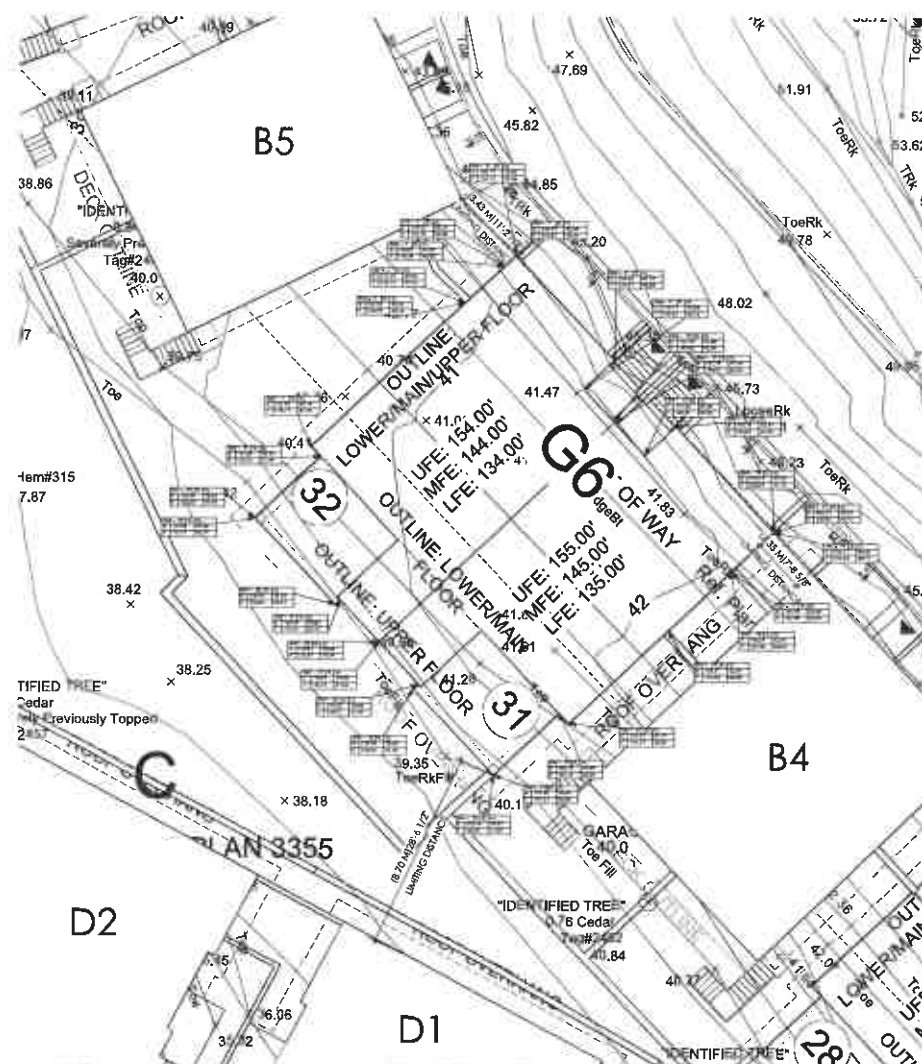
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G5

DRAWING
FRONT & BACK
ELEVATION
-CAMERA VIEW

PROJECT#	ROOM	SHEET
		AG5-
SCALE		N1:1
DATE		4.05
		MAY 12, 2023

AVERAGE FINISHED GRADE CALCULATION					
Stn #	Elevation	Stn #	Elevation	Distance	x Distance
1	134.79	2	135.41	130.48	30.92
2	135.19	3	142.12	140.91	0.00
3	142.12	4	144.30	141.11	7.74
4	144.30	5	152.18	152.18	0.00
5	152.18	6	152.18	152.18	2.24
6	152.18	7	153.87	153.11	0.00
7	153.87	8	149.92	151.11	20.38
8	149.92	9	149.92	149.92	6.00
9	149.92	10	149.92	149.92	6.42
10	149.92	11	149.92	149.92	6.00
11	149.92	12	149.92	149.92	6.42
12	149.92	13	154.8	154.8	912.02
13	154.8	14	154.8	154.8	211.87
14	154.8	15	152.82	153.11	0.00
15	152.82	16	146.04	149.92	0.00
16	146.04	17	142.12	144.48	8.30
17	142.12	18	137.1	140.11	0.00
18	137.1	19	137.1	137.1	0.00
19	137.1	20	134.3	135.11	16.37
20	134.3	21	134.3	134.3	0.00
21	134.3	22	134.3	134.3	0.00
22	134.3	23	134.3	134.3	16.71
23	134.3	24	134.3	134.3	3.11
24	134.3	25	134.3	134.3	8.21
25	134.3	26	133.1	134.1	0.00
26	133.1	27	133.1	133.1	0.00
27	133.1	28	133.1	133.1	1.11
28	133.1	29	133.1	133.1	16.71
29	133.1	30	133.1	133.1	12.81
30	133.1	31	134.1	134.1	0.00
31	134.1	1	134.79	134.1	2.89
Total				227.67	3007.8
AVG F.F. Grade					140.90
Max. Slope					29.86

AVERAGE EXISTING GRADE CALCULATION					
Stn #	Elevation	Stn #	Elevation	Distance	x Distance
1	131.1	2	131.1	131.1	30.00
2	134.3	3	134.3	134.3	0.00
3	134.3	4	129.02	131.11	7.74
4	136.1	5	137.1	136.61	0.00
5	136.61	6	140.7	140.7	2.24
6	140.7	7	140.7	140.7	0.00
7	140.7	8	141.1	141.1	20.38
8	141.1	9	137.1	141.1	6.00
9	137.1	10	127.2	132.11	6.42
10	127.2	11	137.1	137.1	0.00
11	137.1	12	137.1	137.1	6.42
12	137.1	13	143.1	143.1	28.70
13	143.1	14	143.1	143.1	0.00
14	143.1	15	143.1	143.1	0.00
15	143.1	16	143.1	143.1	0.00
16	143.1	17	140.9	140.9	11.87
17	140.9	18	140.9	140.9	0.00
18	140.9	19	139.85	139.85	17.23
19	139.85	20	136.11	136.11	19.07
20	136.11	21	136.11	136.11	271.87
21	136.11	22	130.8	133.33	0.00
22	130.8	23	130.8	130.8	12.81
23	130.8	24	130.8	130.8	16.71
24	130.8	25	130.8	130.8	0.00
25	130.8	26	130.8	130.8	0.00
26	130.8	27	130.8	130.8	1.11
27	130.8	28	130.8	130.8	16.71
28	130.8	29	130.8	130.8	12.81
29	130.8	30	131.8	131.8	0.00
30	131.8	31	131.8	131.8	0.00
31	131.8	1	131.8	131.8	2.89
Total				227.67	3104.38
AVG Ex. Grade					136.33
Max. Slope					29.86



SITE PLAN
SCALE: 1/8"=1'-0"



TOP OF FINISH FLOOR - G6 (1)				TOP OF FINISH FLOOR - B4 (3)			
Lower	Main	Upper	Level	Lower	Main	Upper	Level
41.10 m	44.00 m	47.24 m	43.88 m	43.88 m	45.95 m	48.95 m	46.00 m
126.07	141.00	146.00	134.00	144.00	146.00	146.00	146.00

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REVISIONS
Issued for DFP/Planning Aug 31, 2021
DRC Public Comment Review MAY 12, 2023
01, 02, 03 Revisions JAL 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G6

DRAWING
SITE PLAN

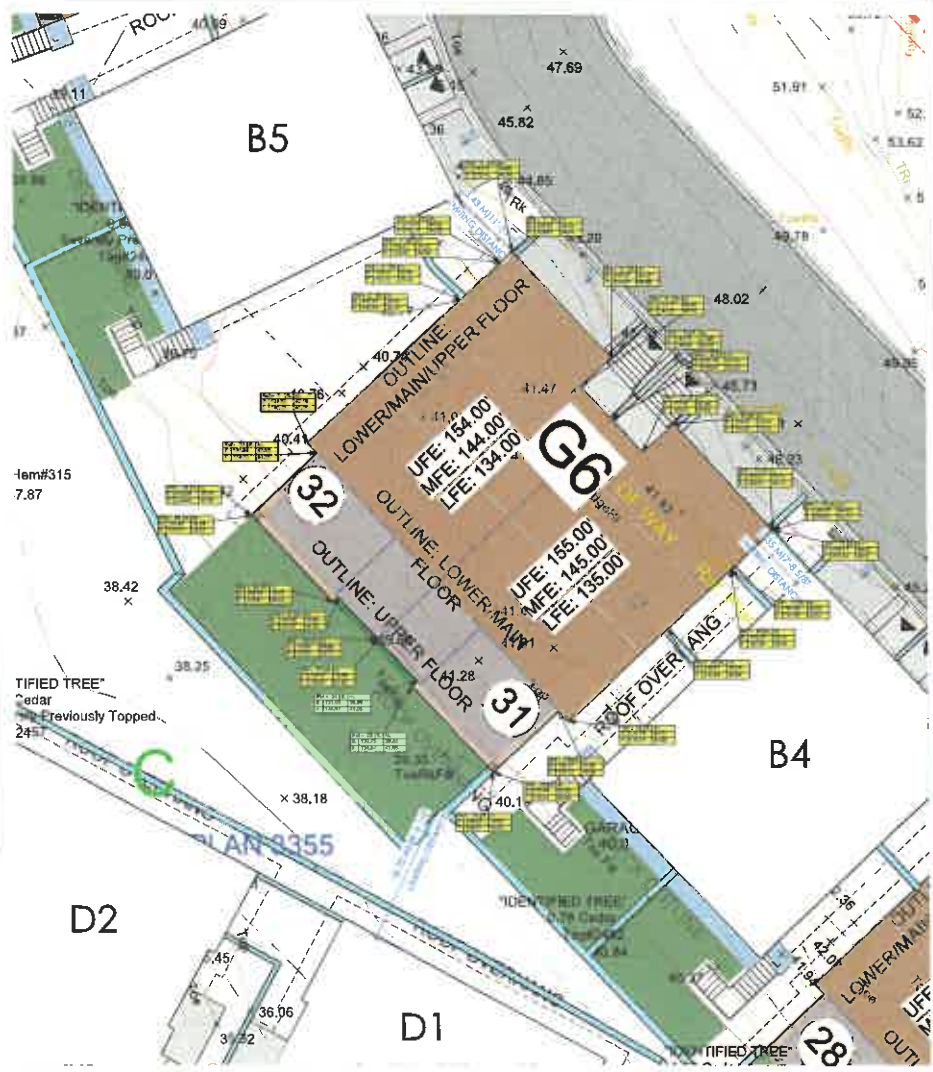
PROJECT# 800
SCALE 1/8" = 1'-0"
DATE MAY 12, 2023
SHEET **AG6-1.01**

These plans remain the ownership of Sterling Pacific

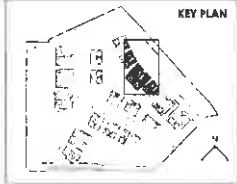
REVISIONS
 1. Initial Issued for Approval Aug 31, 2021
 2. Public Consultation Reference MAY 12, 2023
 3. 02.03 Reference MAY 31, 2023

Ref #	Icon	#	Elevation	Distance	x Distance
1		134.79	134.1	134	20.02
2		138.14	142.1	145.1	0.00
3		142.12	144	143.24	7.74
4		144.36	152.1	142	0.00
5		150.14	151	152.1	2
6		152.14	153.4	152.9	0.00
7		152.1	148.52	151	20.54
8		148.52	148.52	148.52	0.00
9		149.82	149.82	149.97	6.4
10		149.82	149.8	149.80	0.00
11		149.87	149.87	149.97	8.42
12		149.87	154	152.1	6
13		154.87	154	154.5	20.58
14		154.87	153.82	153.89	0.00
15		152.82	148.54	149.48	0.00
16		149.84	142	144.44	0.00
17		142.88	137	142	0.00
18		137.90	137	137.9	12.32
19		137	134.3	134.3	18.27
20		134.32	134.3	134.3	2
21		134.32	134	134	32.61
21.5		134.32	134.07	134	0.00
22		134.07	134.6	134.8	18.79
23		134.6	134.6	134.87	134
24		134.6	134.6	134.61	8.21
25		134.6	133.97	134.17	0.00
26		133.97	133	133.1	8.51
27		133.8	133	133.1	1
28		133.87	133.8	133.5	18.79
29		133.87	133.8	133	17.15
30		133.87	134	134	0.00
31		134.79	134	134.1	2
total				227.87	32078
WS Finish Grade					140
WS Existing					170

Ref #	Ft	#	Elevation	Distance	x Distance
1		131.82	134	132	20.02
2		134.35	134	134.35	0.00
3		134.35	132	134.84	7.7
4		133.12	132.82	132.89	0.00
5		138.32	140.7	140.14	2.34
6		140.7	140.7	140.7	0.00
7		140.7	140	140.58	26.45
8		145.43	137	141	8
9		137.17	137	137	6.42
10		137	137.76	137.7	0.00
11		137	137.82	137.84	6.41
12		137.82	143.1	140.95	8
13		143.17	143.51	144.34	20.58
14		143.51	143.51	143.51	0.00
15		145.51	145.51	145.61	9.00
16		145.51	130	143	8.30
17		140.59	140	142	0.00
18		140.59	139.17	139	12.32
19		139.17	139.17	139.17	16.37
20		139.17	139.17	139.17	2
21		139.17	139.17	139.17	0.00
21.5		139.17	139.17	139.17	18.79
22		139.17	139.17	139.17	18.79
23		139.17	139.17	139.17	18.79
24		139.17	139.17	139.17	18.79
25		139.17	139.17	139.17	18.79
26		139.17	139.17	139.17	18.79
27		139.17	139.17	139.17	18.79
28		139.17	139.17	139.17	18.79
29		139.17	139.17	139.17	18.79
30		139.17	139.17	139.17	18.79
31		139.17	139.17	139.17	18.79
total				227.87	31034
WS Existing					156.25
WS Existing					186.1



SITE PLAN
 SCALE: 1/8"=1'-0"



TOP OF FINISH FLOOR - 06 (31)				TOP OF FINISH FLOOR - 06 (32)			
Corner	North	West	South	Corner	North	West	South
134.00	145.00	145.00	134.00	134.00	144.00	144.00	134.00
145.00	145.00	145.00	145.00	144.00	144.00	144.00	144.00



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT G6

DRAWING
SITE PLAN

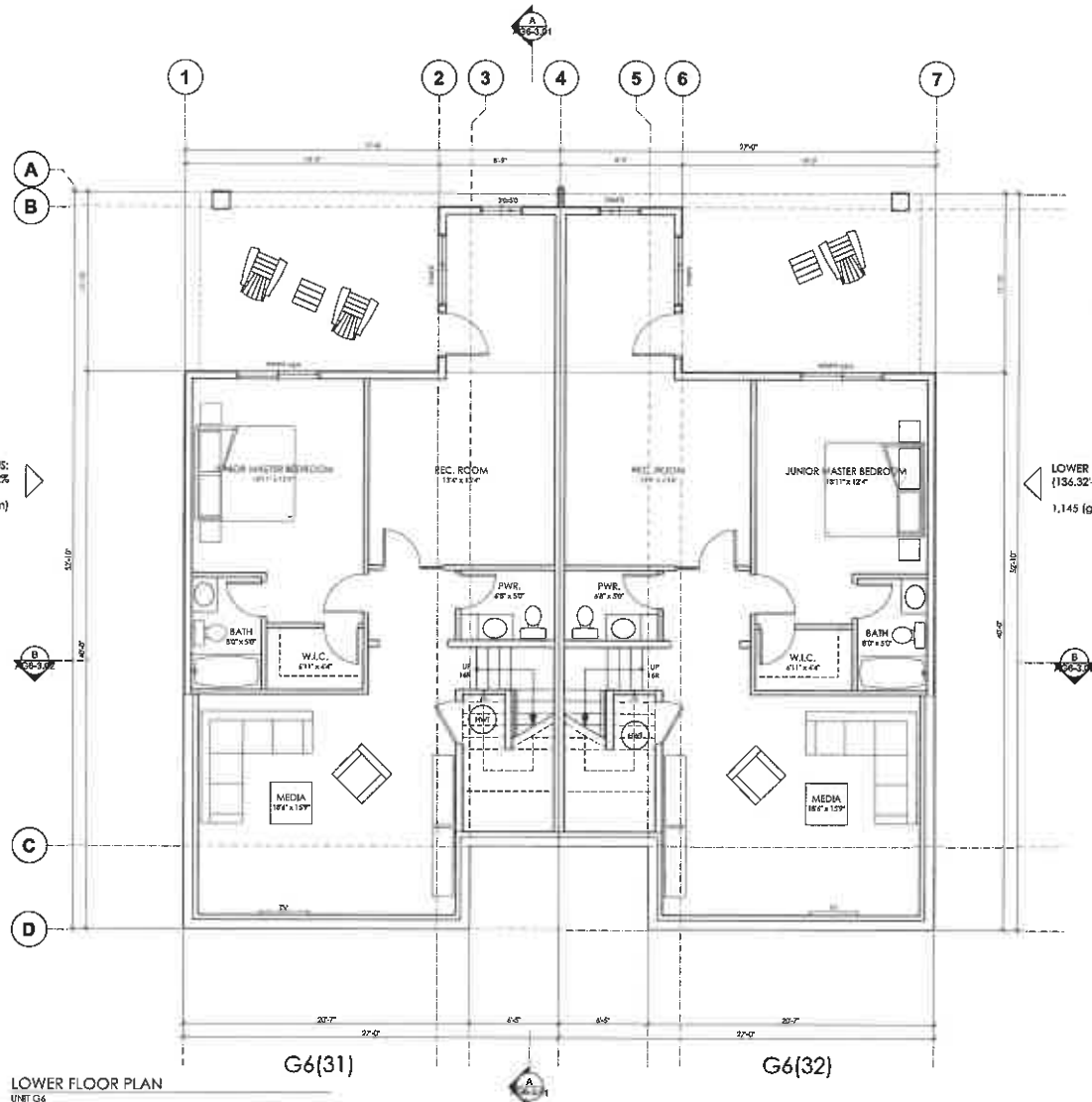
PROJECT # 8030
 SCALE 1/8" = 1'-0"
 DATE MAY 12, 2023
SHEET AG6-1.01

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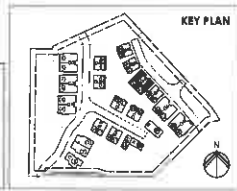
REVISIONS	DATE
Revised for OPI/Re zoning	Aug 31, 2021
DRP/ Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (136.32- 134.00' / 144.00'- 134.00') x 100 = 23.2%
 1,145 (gross area) x 23.2% = 265.64SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (136.32- 135.00' / 145.00'- 135.00') x 100 = 13.2%
 1,145 (gross area) x 13.2% = 151.14 SF (exemption)



LOWER FLOOR PLAN
UNIT G6



UNIT 31 FLOOR AREAS (IMPERIAL)			
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT
GROSS	1145.0 SF	1354.1 SF	1354.1 SF
GARAGE EXCLUSIONS	0.0 SF	404.8 SF	404.8 SF
BASEMENT EXCLUSIONS 23.2%	265.6 SF	0.0 SF	0.0 SF
COVERED HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF
NET	879.4 SF	1255.7 SF	999.3 SF

UNIT 31 FLOOR AREAS (METRIC)			
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M
GROSS	106.4 SQ M	125.8 SQ M	125.8 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	37.8 SQ M	37.8 SQ M
BASEMENT EXCLUSIONS 23.2%	24.7 SQ M	0.0 SQ M	0.0 SQ M
COVERED HEIGHT INCLUSION	0.0 SQ M	0.0 SQ M	4.6 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	9.1 SQ M	0.0 SQ M
NET	81.7 SQ M	116.7 SQ M	72.6 SQ M

UNIT 32 FLOOR AREAS (IMPERIAL)			
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT
GROSS	1145.0 SF	1354.1 SF	1354.1 SF
GARAGE EXCLUSIONS	0.0 SF	404.8 SF	404.8 SF
BASEMENT EXCLUSIONS 13.2%	151.1 SF	0.0 SF	0.0 SF
COVERED HEIGHT INCLUSION	0.0 SF	0.0 SF	37.4 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF
NET	993.9 SF	1257.7 SF	954.4 SF

UNIT 32 FLOOR AREAS (METRIC)			
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M
GROSS	106.4 SQ M	125.8 SQ M	125.8 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	37.8 SQ M	37.8 SQ M
BASEMENT EXCLUSIONS 13.2%	14.0 SQ M	0.0 SQ M	0.0 SQ M
COVERED HEIGHT INCLUSION	0.0 SQ M	0.0 SQ M	3.4 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	9.1 SQ M	0.0 SQ M
NET	92.3 SQ M	116.7 SQ M	91.4 SQ M

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G 6

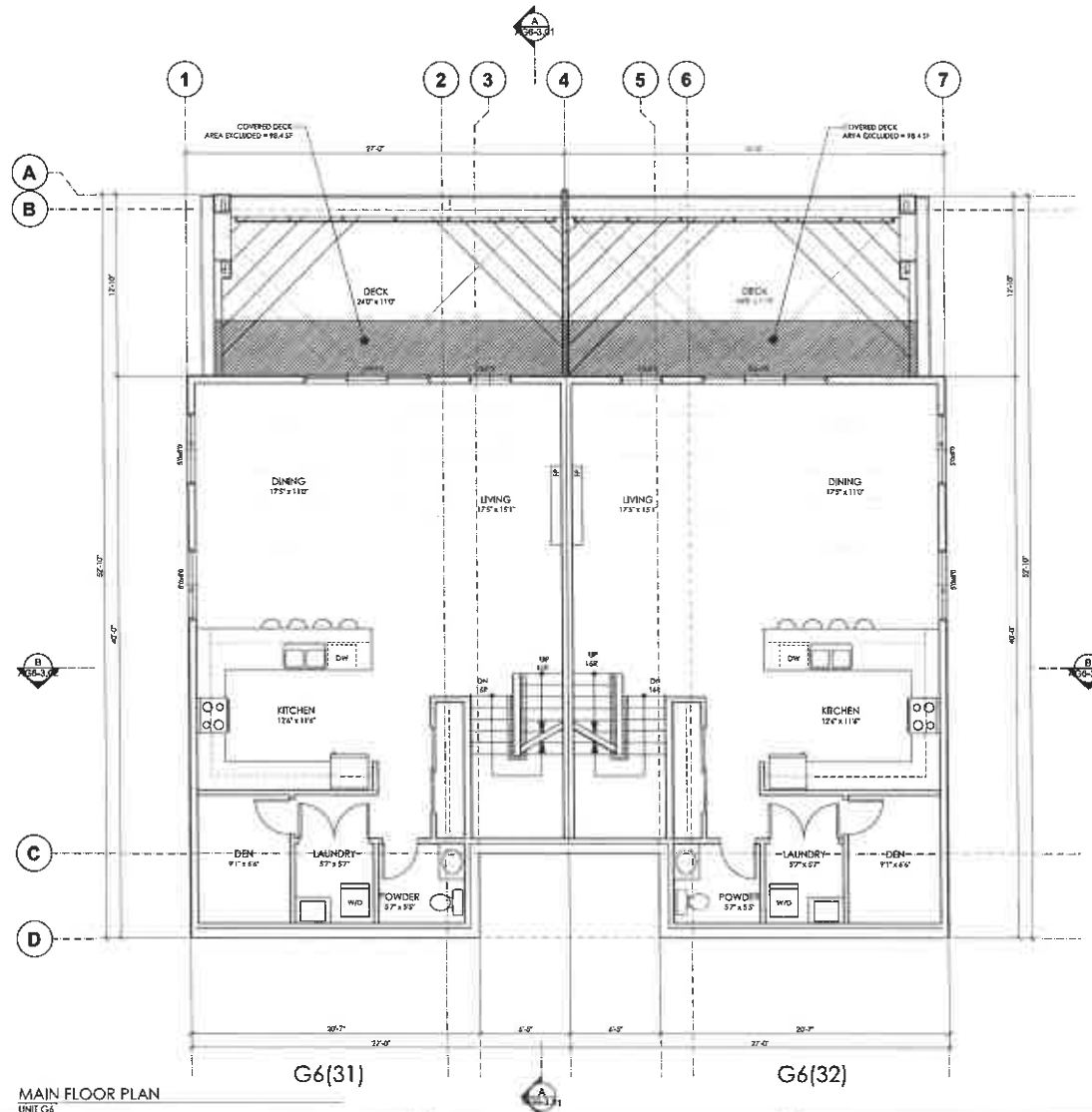
DRAWING
LOWER FLOOR PLAN

PROJECT#	850
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023

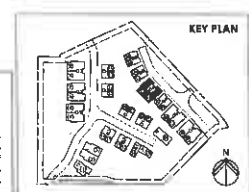
SHEET
AG6-2.01

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REVISIONS	
Issued for DR/Permitting	AUG 31, 2021
DR/EP Public Comment Response	MAY 12, 2023
G1, G2, G3 Review	JULY 31, 2023



MAIN FLOOR PLAN
UNIT G6



UNIT 31 FLOOR AREAS IMPERIAL				
	LEVEL 1 3/2 FT	LEVEL 2 3/2 FT	LEVEL 3 3/2 FT	TOTAL
GROSS	114.52 SF	1354.13 SF	1354.13 SF	3862.78 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	404.8 SF	404.8 SF
BASEMENT EXCLUSIONS 23.2%	265.5 SF	0.0 SF	0.0 SF	265.5 SF
OVERLAP HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	190.25 SF	0.0 SF	190.25 SF
NET	879.0 SF	1254.1 SF	194.3 SF	3127.4 SF

UNIT 31 FLOOR AREAS METRIC				
	LEVEL 1 3/2 M	LEVEL 2 3/2 M	LEVEL 3 3/2 M	TOTAL
GROSS	106.43 M	1259.54 M	1259.54 M	3625.51 M
GARAGE EXCLUSIONS	0.0 M	0.0 M	37.6 M	37.6 M
BASEMENT EXCLUSIONS 23.2%	247.5 M	0.0 M	0.0 M	247.5 M
OVERLAP HEIGHT INCLUSION	0.0 M	0.0 M	4.4 M	4.4 M
COVERED BALCONY EXCLUSIONS	0.0 M	171.5 M	0.0 M	171.5 M
NET	811.5 M	1167.5 M	92.0 M	2971.0 M

UNIT 32 FLOOR AREAS IMPERIAL				
	LEVEL 1 3/2 FT	LEVEL 2 3/2 FT	LEVEL 3 3/2 FT	TOTAL
GROSS	1149.02 SF	1354.13 SF	1354.13 SF	4857.28 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	404.8 SF	404.8 SF
BASEMENT EXCLUSIONS 13.2%	151.1 SF	0.0 SF	0.0 SF	151.1 SF
OVERLAP HEIGHT INCLUSION	0.0 SF	0.0 SF	37.1 SF	37.1 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	190.2 SF	0.0 SF	190.2 SF
NET	997.9 SF	1254.1 SF	194.4 SF	3446.4 SF

UNIT 32 FLOOR AREAS METRIC				
	LEVEL 1 3/2 M	LEVEL 2 3/2 M	LEVEL 3 3/2 M	TOTAL
GROSS	106.43 M	1259.54 M	1259.54 M	3625.51 M
GARAGE EXCLUSIONS	0.0 M	0.0 M	37.6 M	37.6 M
BASEMENT EXCLUSIONS 13.2%	140.3 M	0.0 M	0.0 M	140.3 M
OVERLAP HEIGHT INCLUSION	0.0 M	0.0 M	3.4 M	3.4 M
COVERED BALCONY EXCLUSIONS	0.0 M	171.5 M	0.0 M	171.5 M
NET	92.3 M	1167.5 M	91.4 M	3064.2 M

PROJECT: AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G6

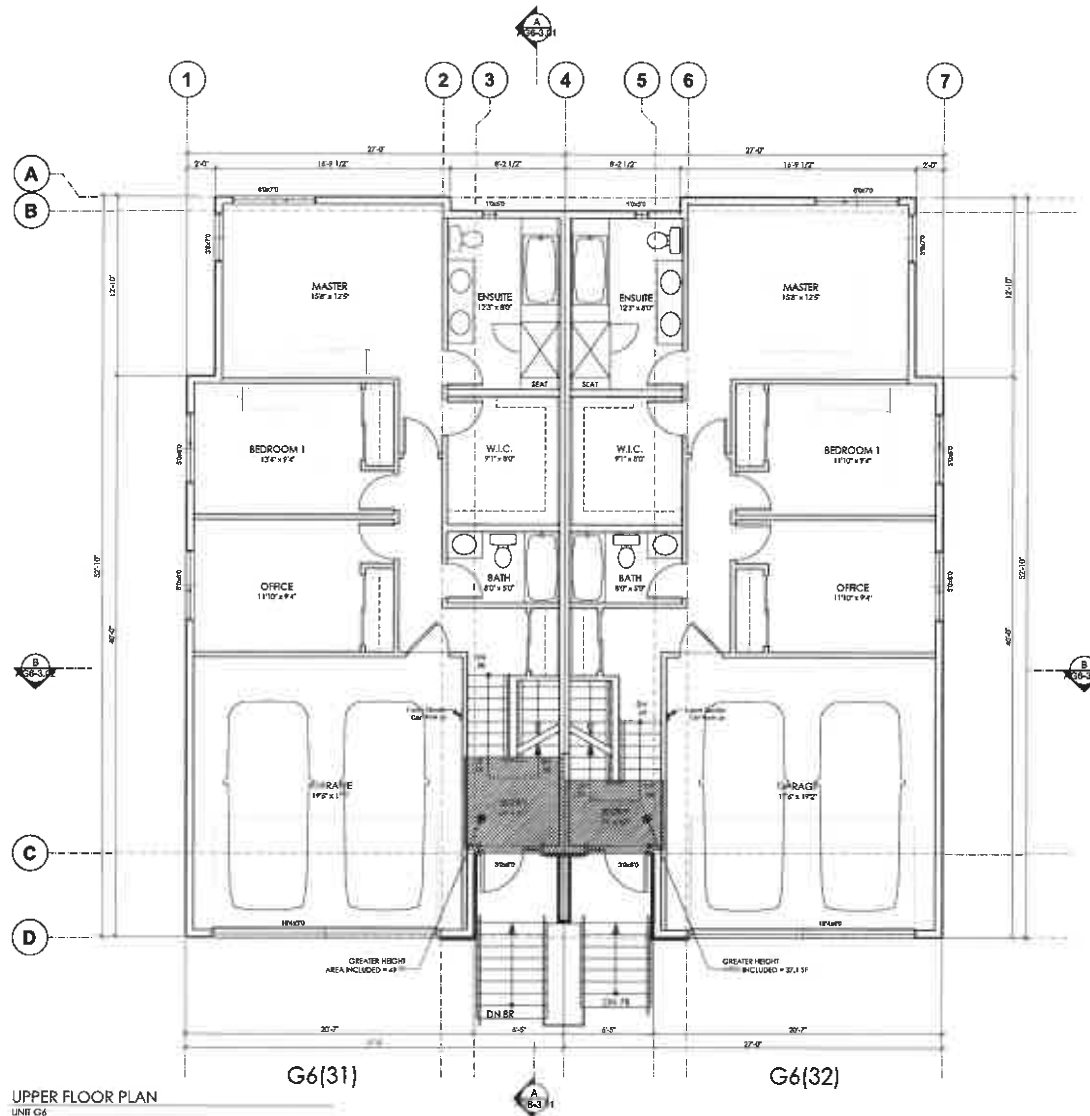
DRAWING: MAIN FLOOR PLAN

PROJECT #	8020	SHEET	AG6-2.02
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

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REVISIONS
Issued for DR/Revising
DR/D Public Comment Revisions
01, 02, 03 Revisions

Aug 31, 2021
May 12, 2022
July 31, 2023



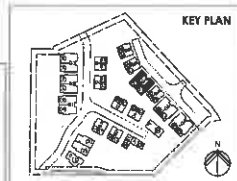
UPPER FLOOR PLAN
UNIT G6

UNIT 31 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.2 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	404.8 SF	404.8 SF
BALCONY EXCLUSIONS 25.2%	365.5 SF	0.0 SF	0.0 SF	365.5 SF
COVERED BALCONY INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	78.4 SF	0.0 SF	0.0 SF	78.4 SF
NET	679.4 SF	1255.1 SF	949.3 SF	2131.4 SF

UNIT 31 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SQ M	125.8 SQ M	125.8 SQ M	358.0 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.8 SQ M	37.8 SQ M
BALCONY EXCLUSIONS 25.2%	34.7 SQ M	0.0 SQ M	0.0 SQ M	34.7 SQ M
COVERED BALCONY INCLUSION	0.0 SQ M	0.0 SQ M	4.6 SQ M	4.6 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	61.7 SQ M	116.7 SQ M	92.6 SQ M	279.0 SQ M

UNIT 32 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.2 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	404.8 SF	404.8 SF
BALCONY EXCLUSIONS 25.2%	151.1 SF	0.0 SF	0.0 SF	151.1 SF
COVERED BALCONY INCLUSION	0.0 SF	0.0 SF	27.1 SF	27.1 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	78.4 SF	0.0 SF	78.4 SF
NET	993.9 SF	1255.7 SF	984.4 SF	3234.0 SF

UNIT 32 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SQ M	125.8 SQ M	125.8 SQ M	358.0 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.8 SQ M	37.8 SQ M
BALCONY EXCLUSIONS 25.2%	14.0 SQ M	0.0 SQ M	0.0 SQ M	14.0 SQ M
COVERED BALCONY INCLUSION	0.0 SQ M	0.0 SQ M	2.6 SQ M	2.6 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	7.3 SQ M	0.0 SQ M	7.3 SQ M
NET	92.3 SQ M	116.7 SQ M	91.4 SQ M	300.4 SQ M



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, B.C.
UNIT G 6

DRAWING
UPPER FLOOR PLAN

PROJECT# 8000
SCALE 1/4" = 1'-0"
DATE MAY 12, 2023
SHEET **AG6-2.03**

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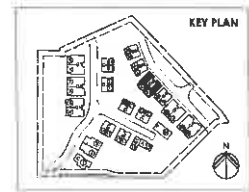
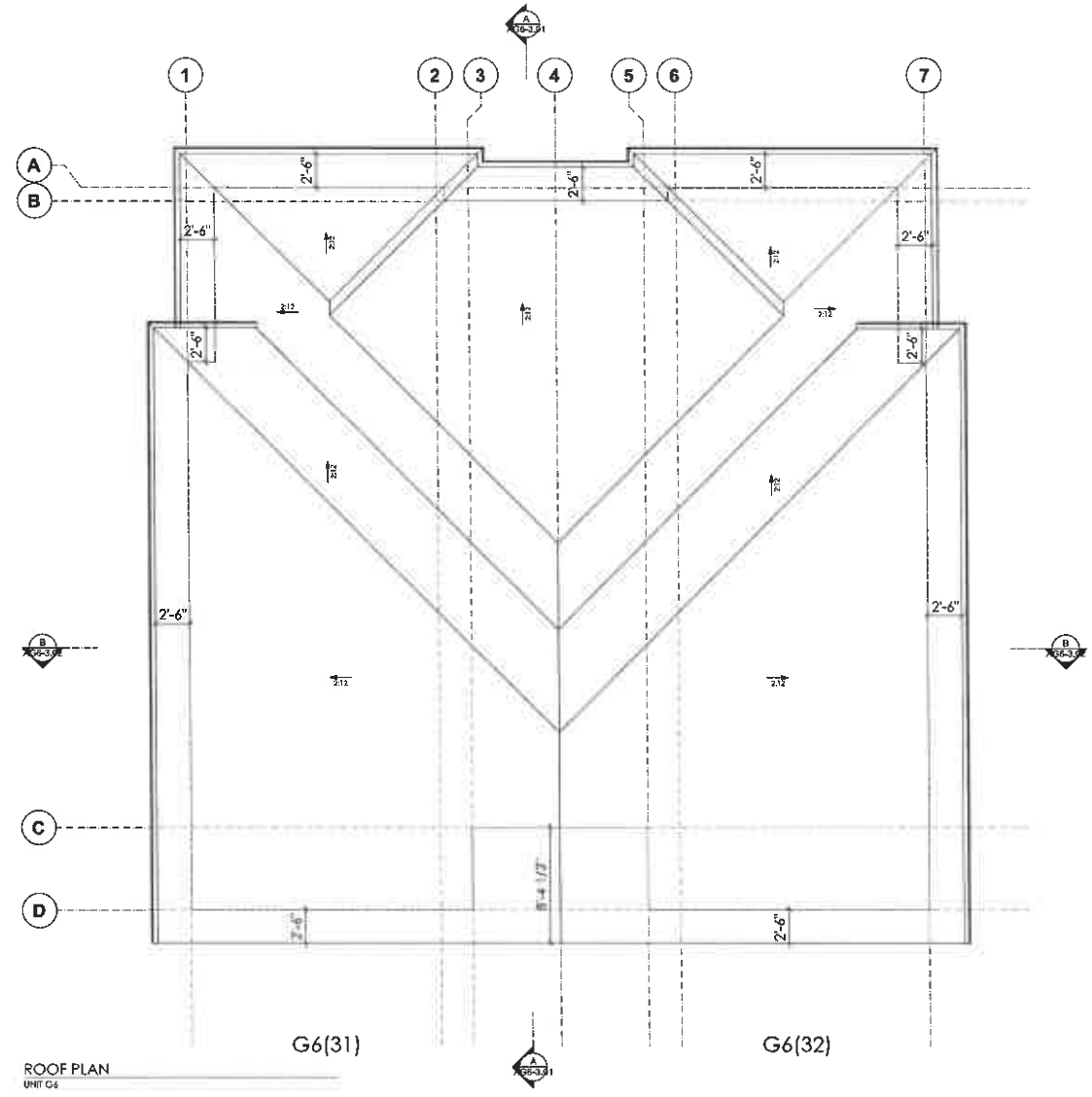
REVISIONS		
Issued for DRP/Planning	Aug 31, 2021	
DRP/ Public Comment Review	MAY 12, 2023	
GL Q3 Review	JULY 31, 2023	



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G6

DRAWING
ROOF PLAN

PROJECT#	SHEET
8020	AG6-
SCALE	1/4"=1'-0"
DATE	MAY 12, 2023
	2.04



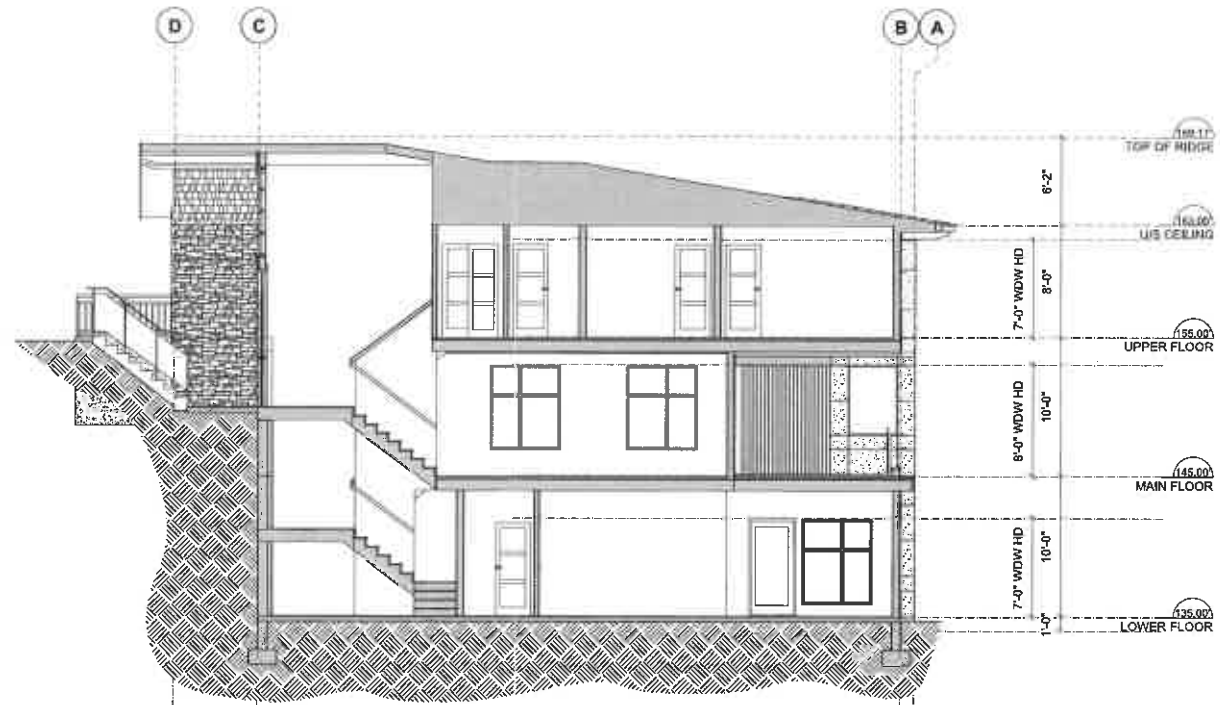
ROOF PLAN
UNIT G6

G6(31)

G6(32)

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REVISIONS
 Based for CR/Revising Aug. 31, 2024
 GRD Public Comment Revisions MAY 12, 2023
 Q1, Q2, Q3 Revisions JULY 31, 2022



A SECTION A-A
 Scale: 1/4" = 1'-0"



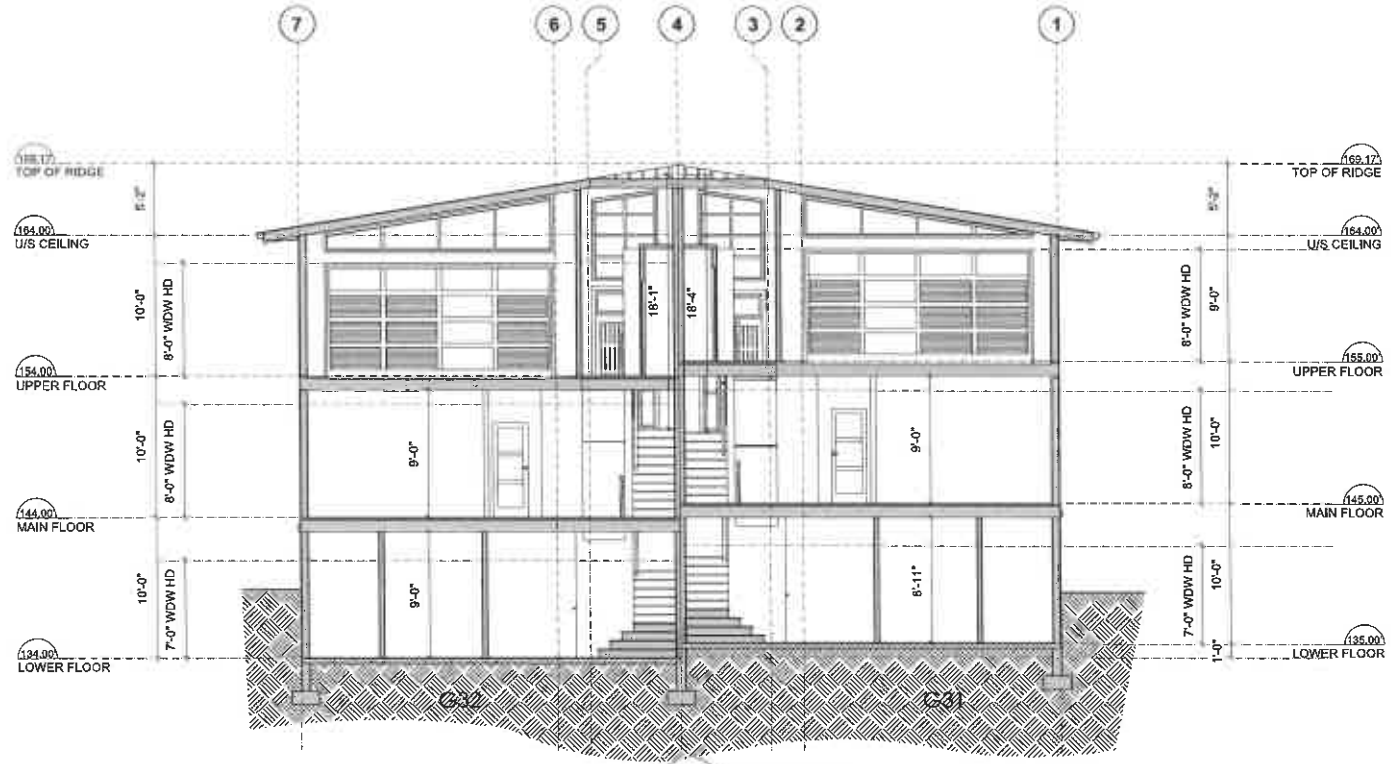
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G-6

DRAWING
 SECTION A-A

PROJECT#	SHEET
8000	AG6-
SCALE 1/4" = 1'-0"	3.01
DATE MAY 12, 2022	

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REVISIONS		
Issued for DR/Retaining	Aug 31, 2021	
DRD Public Comment Revisions	MAY 12, 2023	
01, 02, 03 Revisions	JULY 31, 2023	



B SECTION B-B
Scale: 1/4" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G6

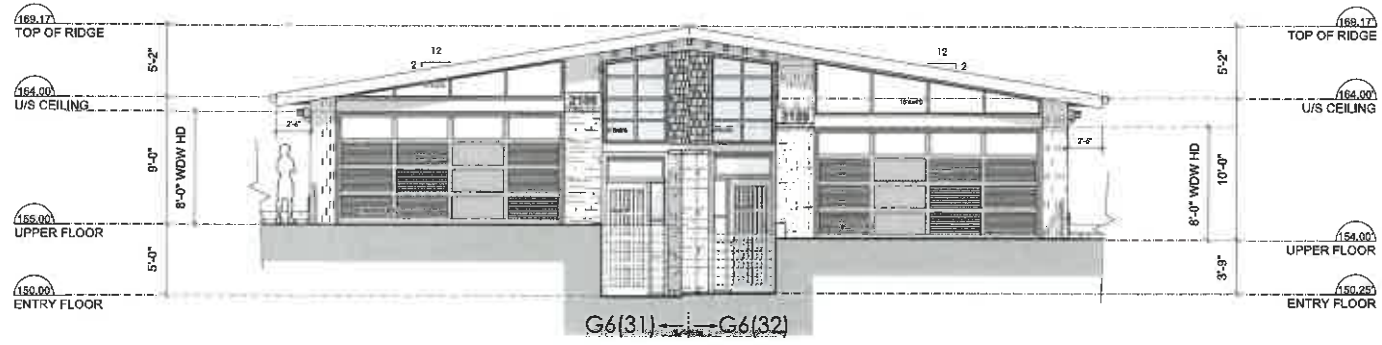
DRAWING

SECTION B-B

PROJECT#	SHEET
8030	AG6-
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023
	3.02

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for OIP/Permitting Aug 31, 2021
 DSD Public Comment Revisions MAY 12, 2022
 Q1, Q2, Q3 Revisions MAY 31, 2022



FRONT / ENTRY ELEVATION
 UNIT G6



BACK ELEVATION
 UNIT G6

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (136.32' - 134.00' / 144.00' - 134.00') x 100 = 23.2%
 1,145 (gross area) x 23.2% = 265.645F (exemption)

SPATIAL SEPARATION CALCULATION (RCBC TABLE 3.2.3.1-D)
 EXPOSED BUILDING FACE: 1550.45 SF (144.04 SM)
 LIGHTING DISTANCE: 28.54 (14.25 M)
 UNPROTECTED OPENING: 384.00 SF (35.67 SM)
 PROPOSED OPENING: 24.75%
 PERMITTED OPENINGS: 34.36%

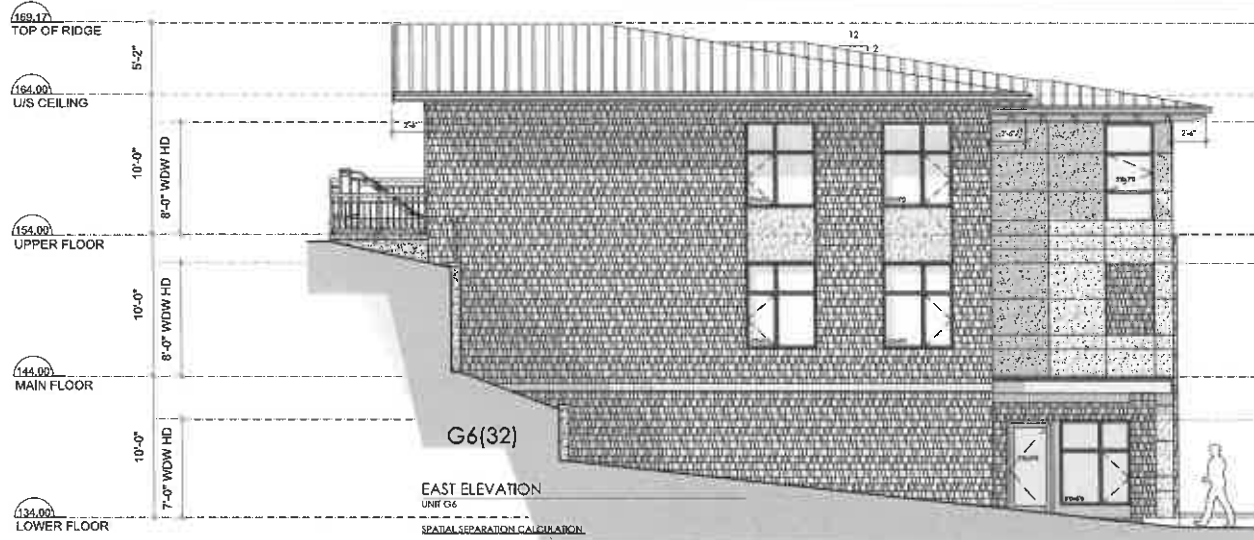
LOWER FLOOR / BASEMENT EXEMPTIONS:
 (136.32' - 135.00' / 145.00' - 135.00') x 100 = 13.2%
 1,145 (gross area) x 13.2% = 151.14 SF (exemption)



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G 6

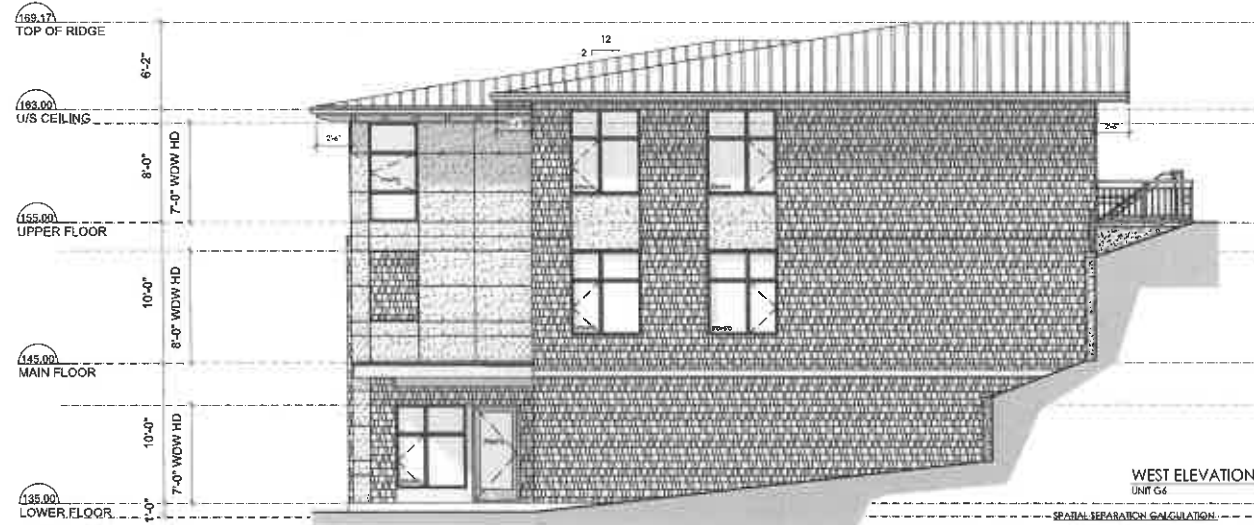
DRAWING
 FRONT & BACK
 ELEVATIONS B/W

PROJECT	3000	SHEET	AG6-4.01
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2022		



EAST ELEVATION
UNIT G6

SPATIAL SEPARATION CALCULATION:
 EXPOSED BUILDING FACE: 1398.27 SF (129.90 SM)
 LIMITING DISTANCE: 5.6' (1.71 M)
 UNPROTECTED OPENING: 194.50 SF (18.07 SM)
 PROPOSED OPENINGS: 15.91%
 PERMITTED OPENINGS: 15.64%



WEST ELEVATION
UNIT G6

SPATIAL SEPARATION CALCULATION:
 EXPOSED BUILDING FACE: 1287.30 SF (128.89 SM)
 LIMITING DISTANCE: 3.8' (1.16 M)
 UNPROTECTED OPENING: 176.50 SF (16.40 SM)
 PROPOSED OPENINGS: 12.22%
 PERMITTED OPENINGS: 13.3%

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Permitting	Aug. 31, 2024
DRCP Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G6

DRAWING
**EAST & WEST
 ELEVATIONS B/W**

PROJECT	SHEET
8000	AG6-
SCALE	4.02
DATE	MAY 12, 2023



FRONT / ENTRY ELEVATION
UNIT G6



BACK ELEVATION
UNIT G6



HARDY PANEL



FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR TILEWOOD -
OLD MASTER GEL STAIN c/w
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA /
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
11	1/2" x 4" Metal Roof	Charcoal Gray
12	Cement Soffit	BM-HC-105
13	Roof	Charcoal Gray
21	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
22	Hardy Panel	Light Gray
23	Stone Cladding	Random Granite
24	Entry Door	Special Walnut
25	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
31	Soffit	Wrought Iron BM - 2124-10
32	Balcony	Wrought Iron BM - 2124-10
41	Entry Door	Charcoal Gray
42	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
43	Roof	Charcoal Gray
44	Roof	Charcoal Gray
51	Roof	Charcoal Gray
52	Roof	Charcoal Gray
53	Roof	Charcoal Gray

These plans remain the ownership of Sterling Pacific

REVISIONS		
Build for DP/Res/10	Aug 31, 2021	
DRZ/Park Comment Revisions	MAY 12, 2023	
01, 02, 03 Revisions	JULY 31, 2023	



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G6

DRAWING
**FRONT & BACK
ELEVATIONS**

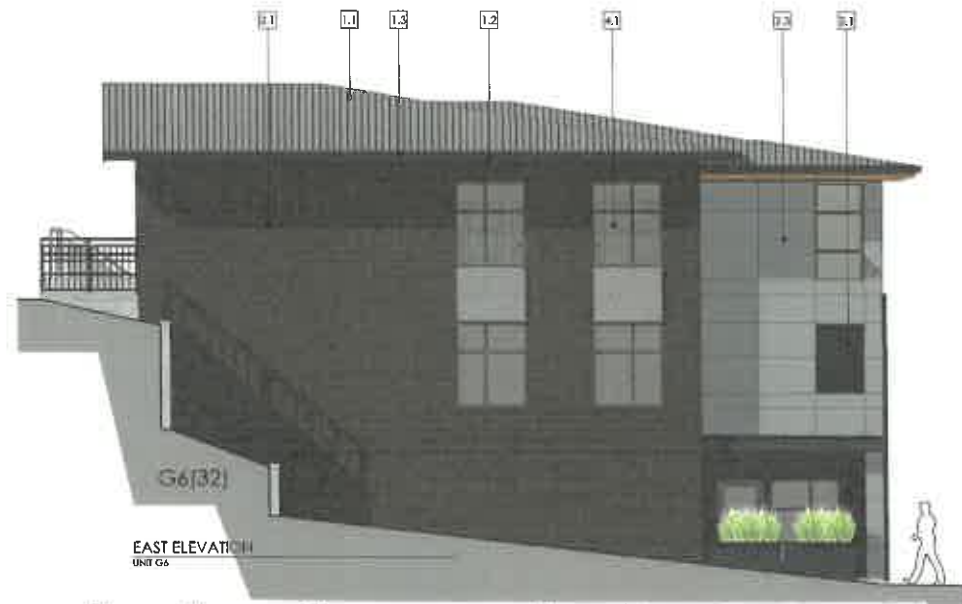
PROJECT	SHEET
AG6	4.03

SCALE 1/4" = 1'-0"

DATE MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 based on OPP Reviewing AUG 31, 2021
 DRGJ Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023



EAST ELEVATION
 UNIT G6



WEST ELEVATION
 UNIT G6

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	1/2" x 4" Metal Roof	Charcoal Grey
1.2	Stone Cement Soffit	Random Stone - BM-HC-105
1.3	Gutters	Charcoal Grey
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Trail
2.2	Not used	
2.3	Hardy Panel	Light Mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Wrought Iron BM - 2124 - 10	
3.2	Wrought Iron BM - 2124 - 10	
4.1	Charcoal Grey	
4.2	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut	
4.3	Charcoal Grey	
4.4	Charcoal Grey	
5.1	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut	
5.2	Charcoal Grey	
5.3	Charcoal Grey	



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G6

DRAWING
**EAST & WEST
 ELEVATIONS**

PROJECT# 6030 SHEET
 SCALE 1/4" = 1'-0" **AG6-4.04**
 DATE MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
Bldg for DR/Rebldng Aug 31, 2021
DR/CP Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT G6



BACK ELEVATION - CAMERA VIEW
UNIT G6



BACK ELEVATION - CAMERA VIEW
UNIT G6



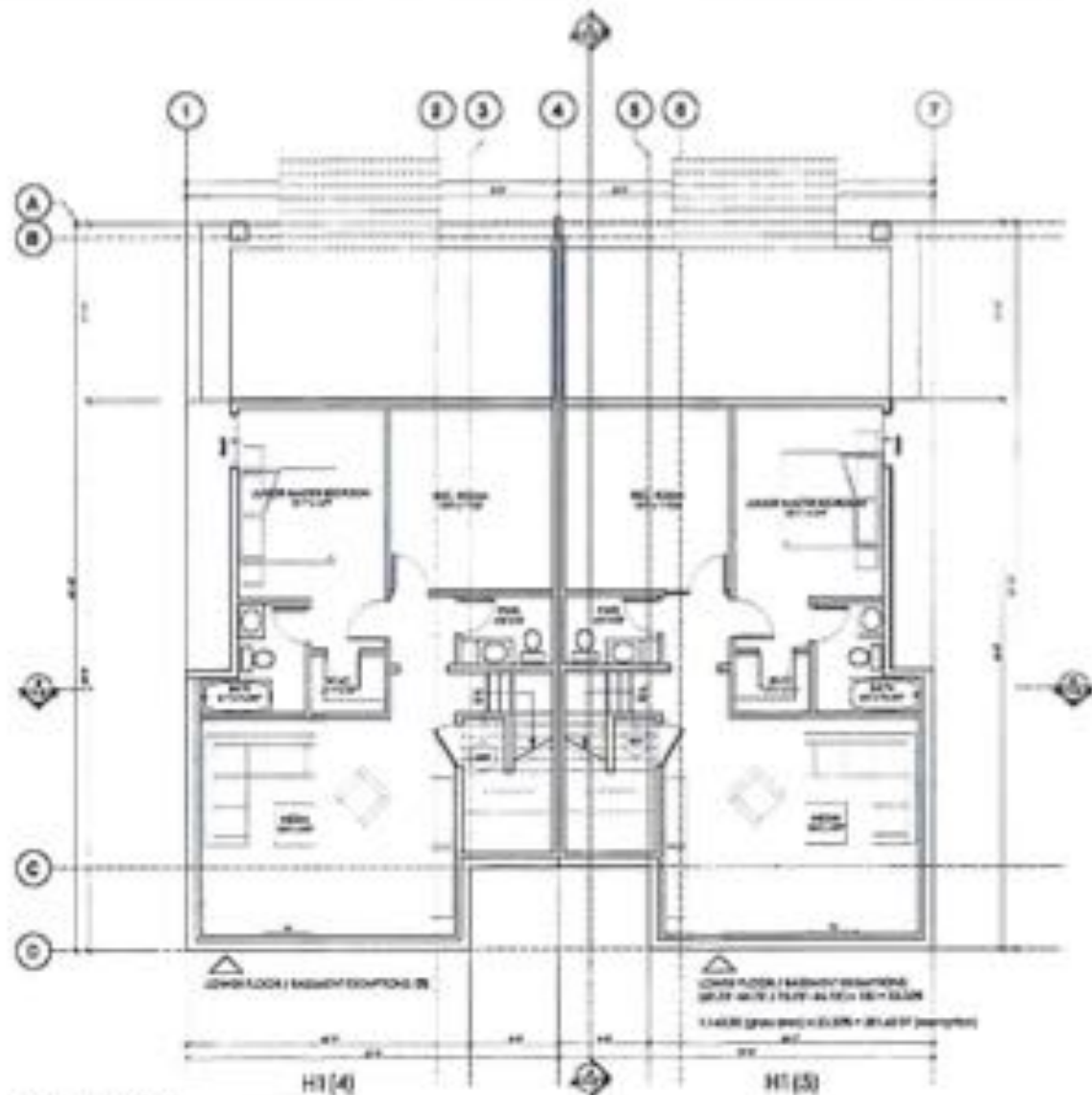
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G6

DRAWING
FRONT & BACK
ELEVATIONS -
CAMERA VIEW

PROJECT#	8010	SHEET
SCALE	N/A	AG6-
DATE	MAY 12, 2023	4.05

This plan shows the
necessity of testing faults

NET AREA	1011 m ²
NET FLOOR AREA	1011 m ²
NET CORRIDOR AREA	117 m ²
NET AREA	1128 m ²



LOWER FLOOR PLAN
1:200

NET FLOOR AREA SUMMARY

ROOM	AREA	PERCENT	AREA	PERCENT
OFFICE	500.0	49.4	500.0	49.4
CONFERENCE ROOM	100.0	9.9	100.0	9.9
MEETING ROOM	100.0	9.9	100.0	9.9
RECEPTION AREA	50.0	5.0	50.0	5.0
STAIR	50.0	5.0	50.0	5.0
RESTROOM	50.0	5.0	50.0	5.0
OTHER	51.0	5.1	51.0	5.1
TOTAL	1011.0	100.0	1011.0	100.0

NET FLOOR AREA SUMMARY

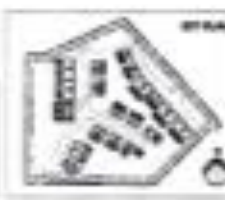
ROOM	AREA	PERCENT	AREA	PERCENT
OFFICE	500.0	49.4	500.0	49.4
CONFERENCE ROOM	100.0	9.9	100.0	9.9
MEETING ROOM	100.0	9.9	100.0	9.9
RECEPTION AREA	50.0	5.0	50.0	5.0
STAIR	50.0	5.0	50.0	5.0
RESTROOM	50.0	5.0	50.0	5.0
OTHER	51.0	5.1	51.0	5.1
TOTAL	1011.0	100.0	1011.0	100.0

NET FLOOR AREA SUMMARY

ROOM	AREA	PERCENT	AREA	PERCENT
OFFICE	500.0	49.4	500.0	49.4
CONFERENCE ROOM	100.0	9.9	100.0	9.9
MEETING ROOM	100.0	9.9	100.0	9.9
RECEPTION AREA	50.0	5.0	50.0	5.0
STAIR	50.0	5.0	50.0	5.0
RESTROOM	50.0	5.0	50.0	5.0
OTHER	51.0	5.1	51.0	5.1
TOTAL	1011.0	100.0	1011.0	100.0

NET FLOOR AREA SUMMARY

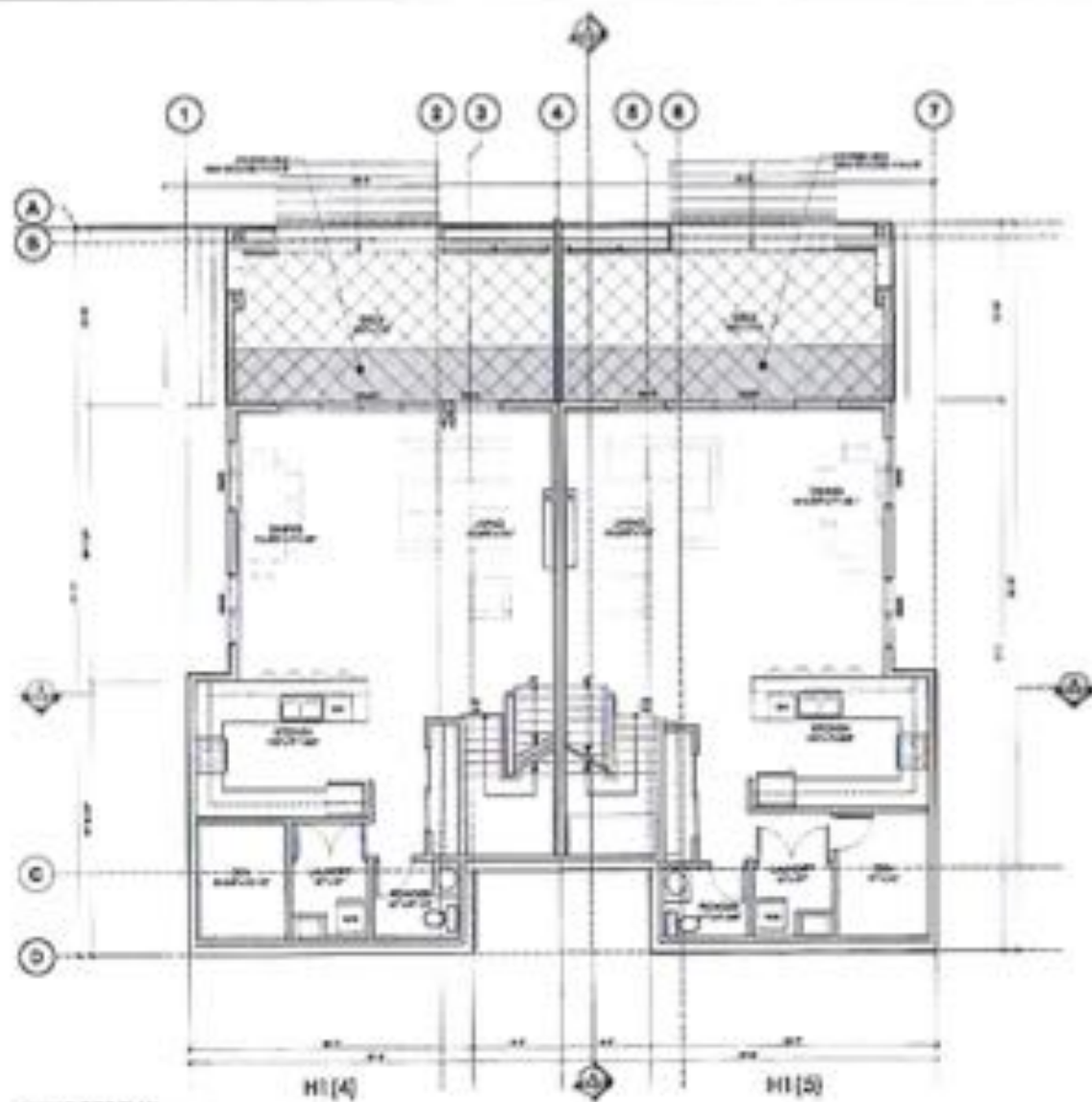
ROOM	AREA	PERCENT	AREA	PERCENT
OFFICE	500.0	49.4	500.0	49.4
CONFERENCE ROOM	100.0	9.9	100.0	9.9
MEETING ROOM	100.0	9.9	100.0	9.9
RECEPTION AREA	50.0	5.0	50.0	5.0
STAIR	50.0	5.0	50.0	5.0
RESTROOM	50.0	5.0	50.0	5.0
OTHER	51.0	5.1	51.0	5.1
TOTAL	1011.0	100.0	1011.0	100.0



AQUILA
SAVEDA, S.R.L. - VIA
VIA S. GIUSEPPE, 10
10121 TORINO

LOWER FLOOR
PLAN

AH1-
2.01



MAIN FLOOR PLAN
02/17

MAIN FLOOR AREA SUMMARY

NO.	DESCRIPTION	AREA (SQ. FT.)	PERCENT	TOTAL
1	STAIR	100	1.00	100
2	STAIR WALKWAY	100	1.00	200
3	STAIR WALKWAY	100	1.00	300
4	STAIR WALKWAY	100	1.00	400
5	STAIR WALKWAY	100	1.00	500
6	STAIR WALKWAY	100	1.00	600
7	STAIR WALKWAY	100	1.00	700
8	STAIR WALKWAY	100	1.00	800
9	STAIR WALKWAY	100	1.00	900
10	STAIR WALKWAY	100	1.00	1000

MAIN FLOOR AREA SUMMARY

NO.	DESCRIPTION	AREA (SQ. FT.)	PERCENT	TOTAL
1	STAIR	100	1.00	100
2	STAIR WALKWAY	100	1.00	200
3	STAIR WALKWAY	100	1.00	300
4	STAIR WALKWAY	100	1.00	400
5	STAIR WALKWAY	100	1.00	500
6	STAIR WALKWAY	100	1.00	600
7	STAIR WALKWAY	100	1.00	700
8	STAIR WALKWAY	100	1.00	800
9	STAIR WALKWAY	100	1.00	900
10	STAIR WALKWAY	100	1.00	1000

MAIN FLOOR AREA SUMMARY

NO.	DESCRIPTION	AREA (SQ. FT.)	PERCENT	TOTAL
1	STAIR	100	1.00	100
2	STAIR WALKWAY	100	1.00	200
3	STAIR WALKWAY	100	1.00	300
4	STAIR WALKWAY	100	1.00	400
5	STAIR WALKWAY	100	1.00	500
6	STAIR WALKWAY	100	1.00	600
7	STAIR WALKWAY	100	1.00	700
8	STAIR WALKWAY	100	1.00	800
9	STAIR WALKWAY	100	1.00	900
10	STAIR WALKWAY	100	1.00	1000

MAIN FLOOR AREA SUMMARY

NO.	DESCRIPTION	AREA (SQ. FT.)	PERCENT	TOTAL
1	STAIR	100	1.00	100
2	STAIR WALKWAY	100	1.00	200
3	STAIR WALKWAY	100	1.00	300
4	STAIR WALKWAY	100	1.00	400
5	STAIR WALKWAY	100	1.00	500
6	STAIR WALKWAY	100	1.00	600
7	STAIR WALKWAY	100	1.00	700
8	STAIR WALKWAY	100	1.00	800
9	STAIR WALKWAY	100	1.00	900
10	STAIR WALKWAY	100	1.00	1000



These plans were prepared by the architect of record.

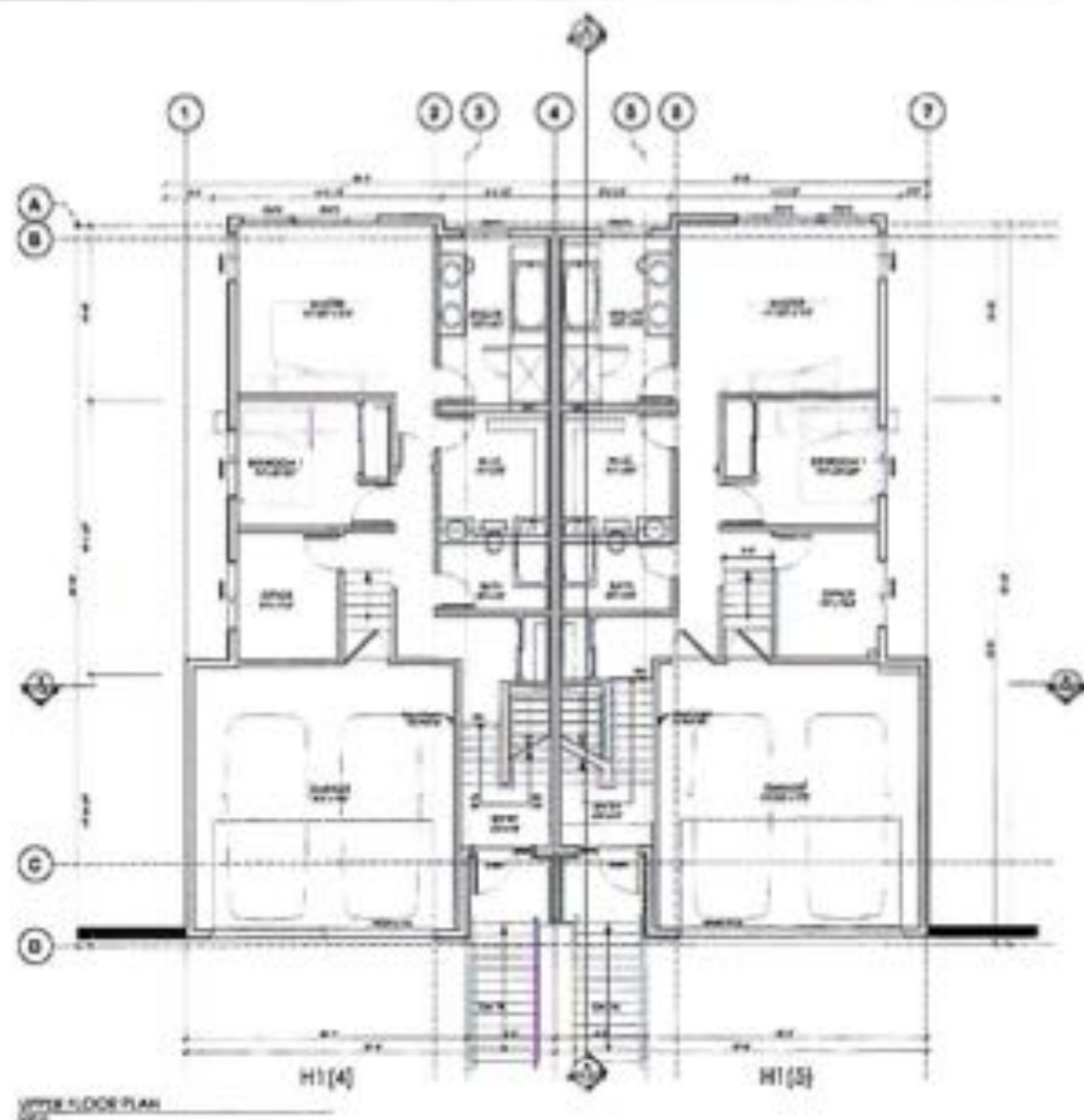
NO.	DESCRIPTION	DATE
1	PRELIMINARY	10/15/00
2	FINAL	11/15/00
3	AS BUILT	12/15/00



AQUILA
 10000 10000 10000
 10000 10000 10000
 10000 10000 10000

MAIN FLOOR PLAN

PROJECT NO. AH1-202



These plans contain the
essentials of building details

SCALE
 ARCHITECTURE 1/8" = 1'-0"
 STRUCTURE 1/16" = 1'-0"
 MECHANICAL 1/32" = 1'-0"
 ELECTRICAL 1/64" = 1'-0"

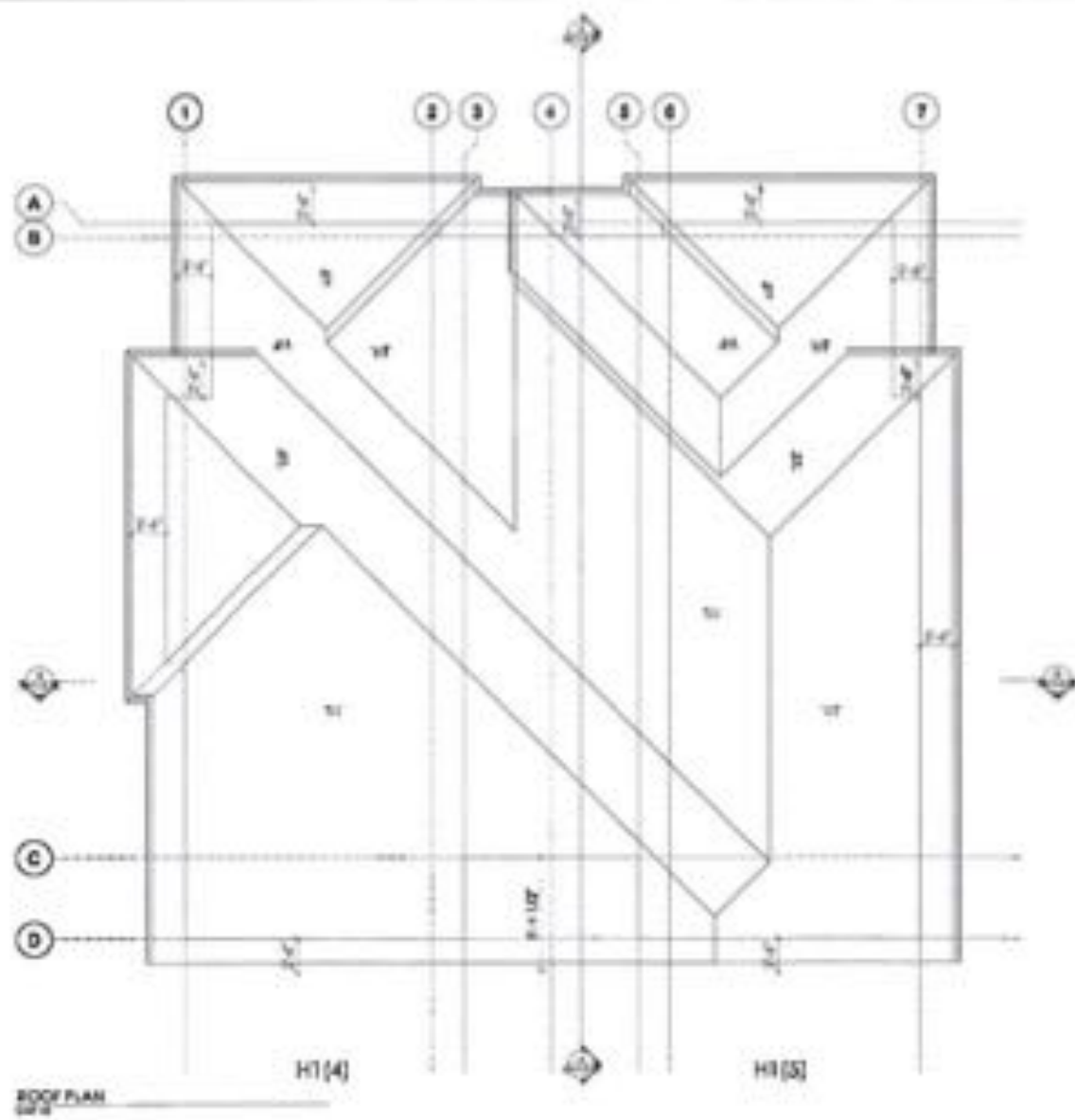


AQUILA
 DAYTON, OHIO 45401
 LANDSHARK, MI
 2017-18

UPPER FLOOR
 PLAN



AH1-
 2.03



ROOF PLAN
2012

H1(4)

H1(5)



These plans contain the
essentials of building details

FOR SALE
BY ARCHITECTURE
FOR SALE
FOR SALE



AQUILA
DAVID L. BROWN, AIA
SAN ANTONIO, TX
2012

ROOF PLAN

AH1-
2.04



A SECTION A-A
Scale 1/4"=1'-0"

These plans comply with the requirements of building code.

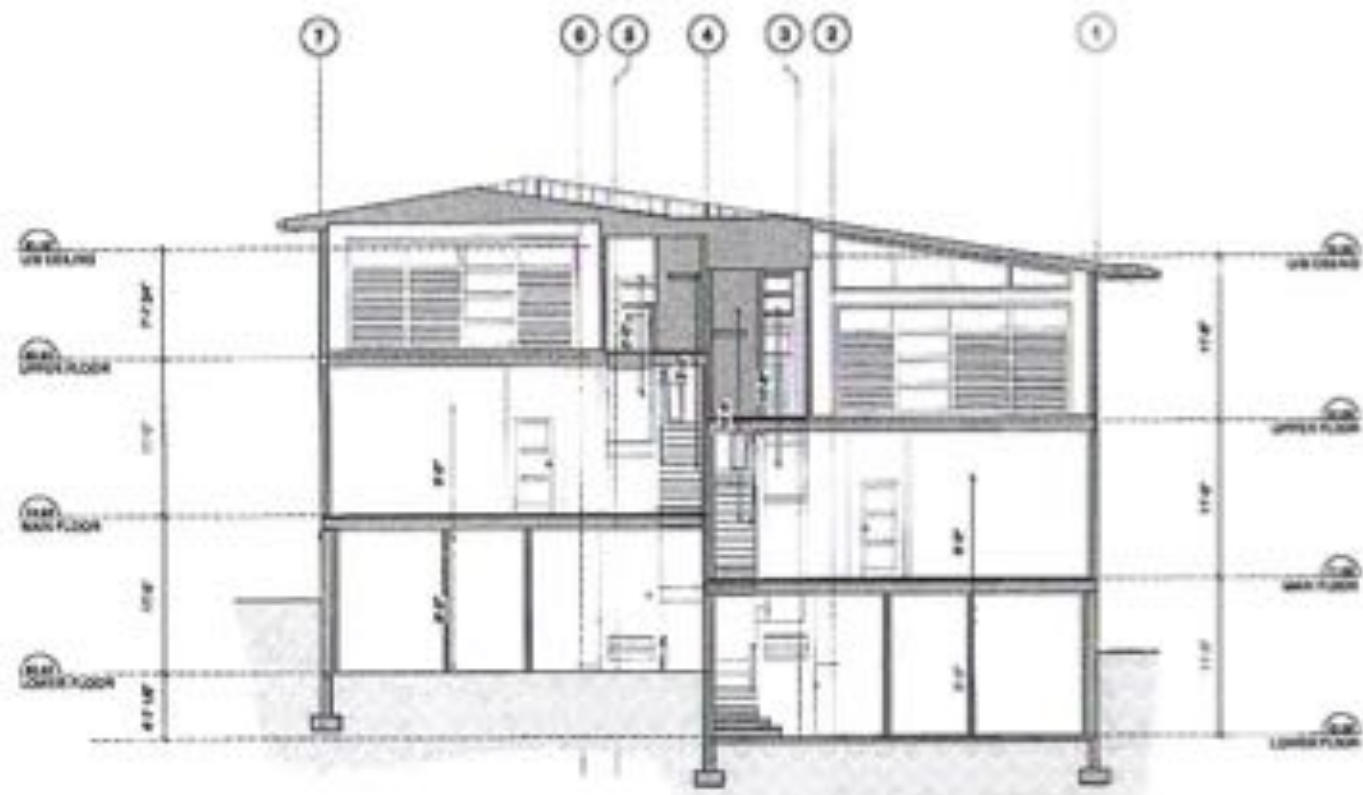
DATE	11/15/11
DESIGNED BY	11/15/11
CHECKED BY	11/15/11
SCALE	1/4"=1'-0"



AQUILA
BARTHOLOMEW, MOY
AND ASSOCIATES, INC.
ARCHITECTS

SECTION A-A

PROJECT	NO.	DATE
NO.	NO.	NO.
		AH1-3.01



B SECTION B-B
Scale 1/8" = 1'-0"

These plans comply with the
requirements of Building Code

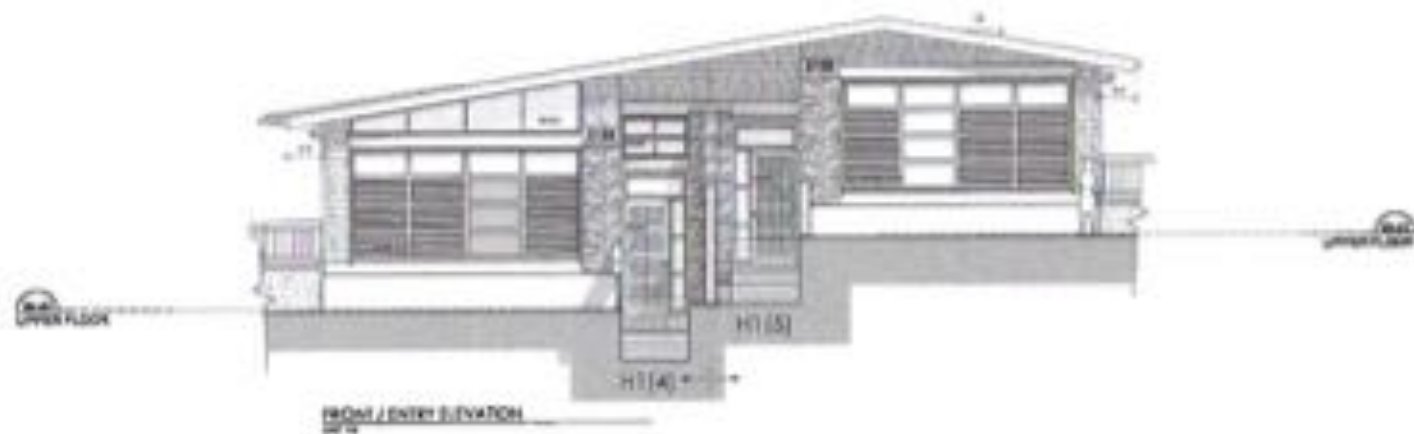
DATE OF ISSUE: 01/15/2010
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 PROJECT NO.: 101-0000



PROJECT:
AQUILA
 34000 3000 3000
 YANCOUVER BC
 2017-01

SECTION B-B

PROJECT NO.:
 SHEET NO.:
 TOTAL SHEETS:
AH1-3.02



These plans contain the ownership of being built.

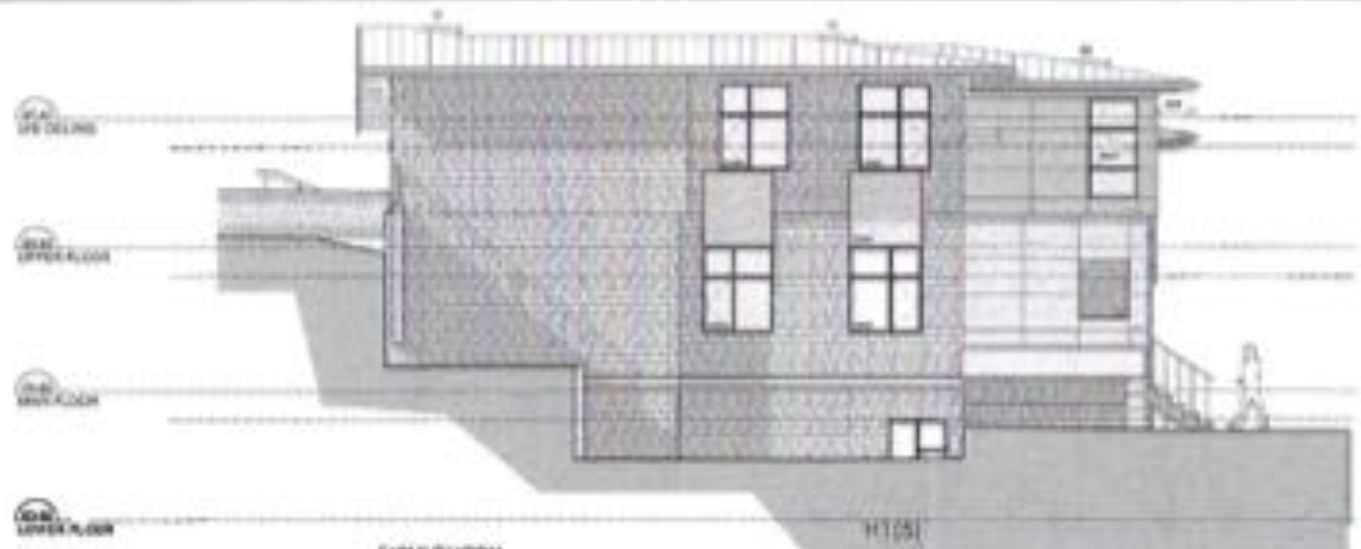
DATE: 01/15/2019
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 PROJECT: 19-001



AQUILA
 8400 W. 10TH AVE.
 SUITE 100
 DENVER, CO 80202

**FRONT & BACK
 ELEVATION E/W**

PROJECT: 19-001
 SHEET: AH1-4.01



EAST ELEVATION
 H1(5)
 EXHIBITION/OUTLET/RETAIL/SALE

- WALL SYSTEM: CMU
- WALL FINISH: BRICK
- WALL COLOR: BRICK
- WALL TYPE: EXTERIOR
- WALL THICKNESS: 8" / 12"
- WALL WEIGHT: 120 LB / SF
- WALL R-VALUE: 1.0
- WALL U-VALUE: 0.9



WEST ELEVATION
 H1(4)

These plans remain the property of Sterling Pacific

DATE	10/11/00
BY	10/11/00
REVISION	10/11/00
DATE	10/11/00



AQUILA
 547001 DRIVE, WEST
 WASHINGTON, DC
 20001

**EAST & WEST
 ELEVATIONS SW**

**AH1-
 4.02**



FRONT / ENTRY ELEVATION
3/20



BACK ELEVATION
3/20



NO.	DESCRIPTION	QUANTITY	UNIT
1
2
3
4
5
6
7
8
9
10
11
12

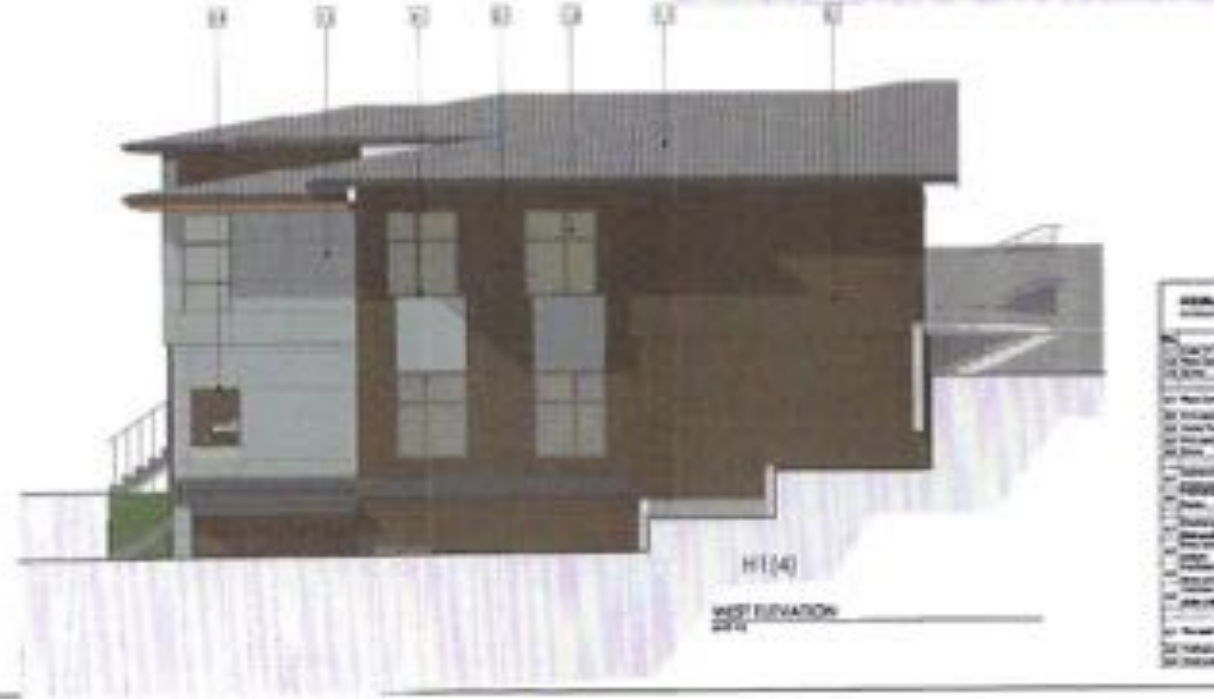
These plans serve the
purpose of being used

DATE: 3/20/20
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8"=1'-0"

AGBILA
247021, DAVIS, WEST
VANDERBILT, NC
28781-0101

FRONT & BACK
ELEVATIONS

PROJECT: AH1-4.03



These plans require the
consent of the Building Official

DATE: 01/15/2014
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: [Number]



AQUILA
 EASTERN SHORE GROUP
 YORK, SOUTH CAROLINA

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	01/15/2014
2	REVISED PER COMMENTS	01/15/2014
3	REVISED PER COMMENTS	01/15/2014
4	REVISED PER COMMENTS	01/15/2014
5	REVISED PER COMMENTS	01/15/2014
6	REVISED PER COMMENTS	01/15/2014
7	REVISED PER COMMENTS	01/15/2014
8	REVISED PER COMMENTS	01/15/2014
9	REVISED PER COMMENTS	01/15/2014
10	REVISED PER COMMENTS	01/15/2014
11	REVISED PER COMMENTS	01/15/2014
12	REVISED PER COMMENTS	01/15/2014
13	REVISED PER COMMENTS	01/15/2014
14	REVISED PER COMMENTS	01/15/2014
15	REVISED PER COMMENTS	01/15/2014
16	REVISED PER COMMENTS	01/15/2014
17	REVISED PER COMMENTS	01/15/2014
18	REVISED PER COMMENTS	01/15/2014
19	REVISED PER COMMENTS	01/15/2014
20	REVISED PER COMMENTS	01/15/2014
21	REVISED PER COMMENTS	01/15/2014
22	REVISED PER COMMENTS	01/15/2014
23	REVISED PER COMMENTS	01/15/2014
24	REVISED PER COMMENTS	01/15/2014
25	REVISED PER COMMENTS	01/15/2014
26	REVISED PER COMMENTS	01/15/2014
27	REVISED PER COMMENTS	01/15/2014
28	REVISED PER COMMENTS	01/15/2014
29	REVISED PER COMMENTS	01/15/2014
30	REVISED PER COMMENTS	01/15/2014
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34	REVISED PER COMMENTS	01/15/2014
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44	REVISED PER COMMENTS	01/15/2014
45	REVISED PER COMMENTS	01/15/2014
46	REVISED PER COMMENTS	01/15/2014
47	REVISED PER COMMENTS	01/15/2014
48	REVISED PER COMMENTS	01/15/2014
49	REVISED PER COMMENTS	01/15/2014
50	REVISED PER COMMENTS	01/15/2014

EAST & WEST
ELEVATIONS

AH1-404

These plans remain the
property of Sterling Pacific

DATE: 01/14/10
DRAWN BY: J. B. BERRY
CHECKED BY: J. B. BERRY
SCALE: AS SHOWN



FRONT / ENTRY ELEVATION - CAMERA VIEW
3/10/10



BACK ELEVATION - CAMERA VIEW
3/10/10



BACK ELEVATION - CAMERA VIEW
3/10/10



STERLING PACIFIC
AQUILA
BAYVIEW DR, WYOMING, WY
WYOMING, WY
307 338 1111

STERLING PACIFIC
FRONT, BACK
ELEVATIONS -
CAMERA VIEW

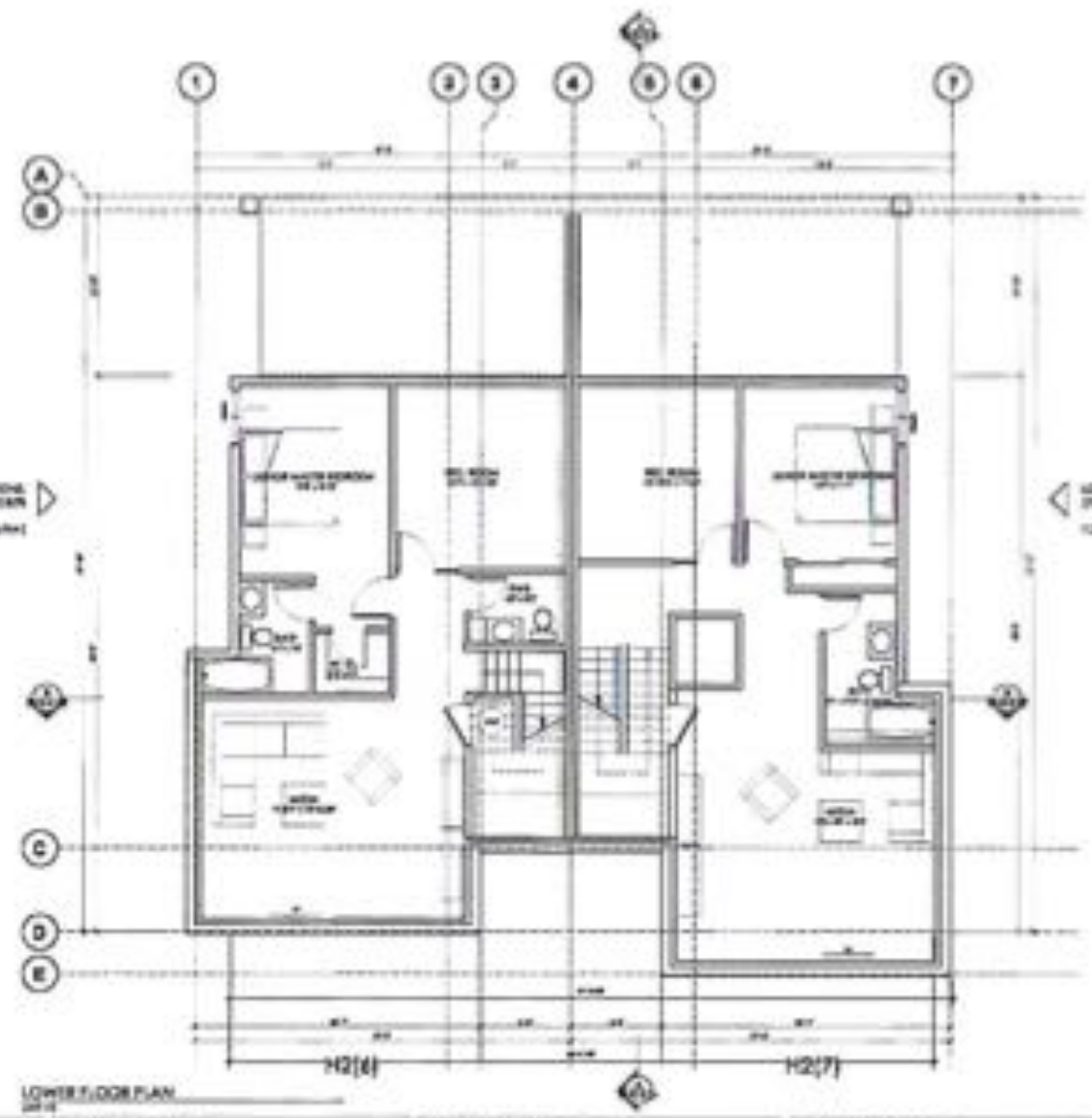
PROJECT: 1000000000
DATE: 01/14/10
DRAWN BY: J. B. BERRY
CHECKED BY: J. B. BERRY
SCALE: AS SHOWN
AH1-405

These plans show the
 geometry of building facade.

NO. OF FLOORS	10
NO. OF STORIES	10
NO. OF UNITS	10
NO. OF STAIRS	10
NO. OF LIFTS	10

LOWER FLOOR / GROUND FLOOR
 00.00' - 00.00' / 00.00' - 00.00' + 10' + 00.00'
 1.10 (Gross area + 10.00% + 10.00' of building)

LOWER FLOOR / GROUND FLOOR
 00.00' - 00.00' / 00.00' - 00.00' + 10' + 00.00'
 1.10 (Gross area + 10.00% + 10.00' of building)



LOWER FLOOR PLAN
 100.00'

LOWER FLOOR AREA SUMMARY				
NO.	AREA (SQ. FT.)	AREA (SQ. M.)	PERCENT	TOTAL
1	1000	92.9	10.00	1000
2	1000	92.9	10.00	2000
3	1000	92.9	10.00	3000
4	1000	92.9	10.00	4000
5	1000	92.9	10.00	5000
6	1000	92.9	10.00	6000
7	1000	92.9	10.00	7000
8	1000	92.9	10.00	8000
9	1000	92.9	10.00	9000
10	1000	92.9	10.00	10000

LOWER FLOOR AREA SUMMARY				
NO.	AREA (SQ. FT.)	AREA (SQ. M.)	PERCENT	TOTAL
1	1000	92.9	10.00	1000
2	1000	92.9	10.00	2000
3	1000	92.9	10.00	3000
4	1000	92.9	10.00	4000
5	1000	92.9	10.00	5000
6	1000	92.9	10.00	6000
7	1000	92.9	10.00	7000
8	1000	92.9	10.00	8000
9	1000	92.9	10.00	9000
10	1000	92.9	10.00	10000

LOWER FLOOR AREA SUMMARY				
NO.	AREA (SQ. FT.)	AREA (SQ. M.)	PERCENT	TOTAL
1	1000	92.9	10.00	1000
2	1000	92.9	10.00	2000
3	1000	92.9	10.00	3000
4	1000	92.9	10.00	4000
5	1000	92.9	10.00	5000
6	1000	92.9	10.00	6000
7	1000	92.9	10.00	7000
8	1000	92.9	10.00	8000
9	1000	92.9	10.00	9000
10	1000	92.9	10.00	10000

LOWER FLOOR AREA SUMMARY				
NO.	AREA (SQ. FT.)	AREA (SQ. M.)	PERCENT	TOTAL
1	1000	92.9	10.00	1000
2	1000	92.9	10.00	2000
3	1000	92.9	10.00	3000
4	1000	92.9	10.00	4000
5	1000	92.9	10.00	5000
6	1000	92.9	10.00	6000
7	1000	92.9	10.00	7000
8	1000	92.9	10.00	8000
9	1000	92.9	10.00	9000
10	1000	92.9	10.00	10000



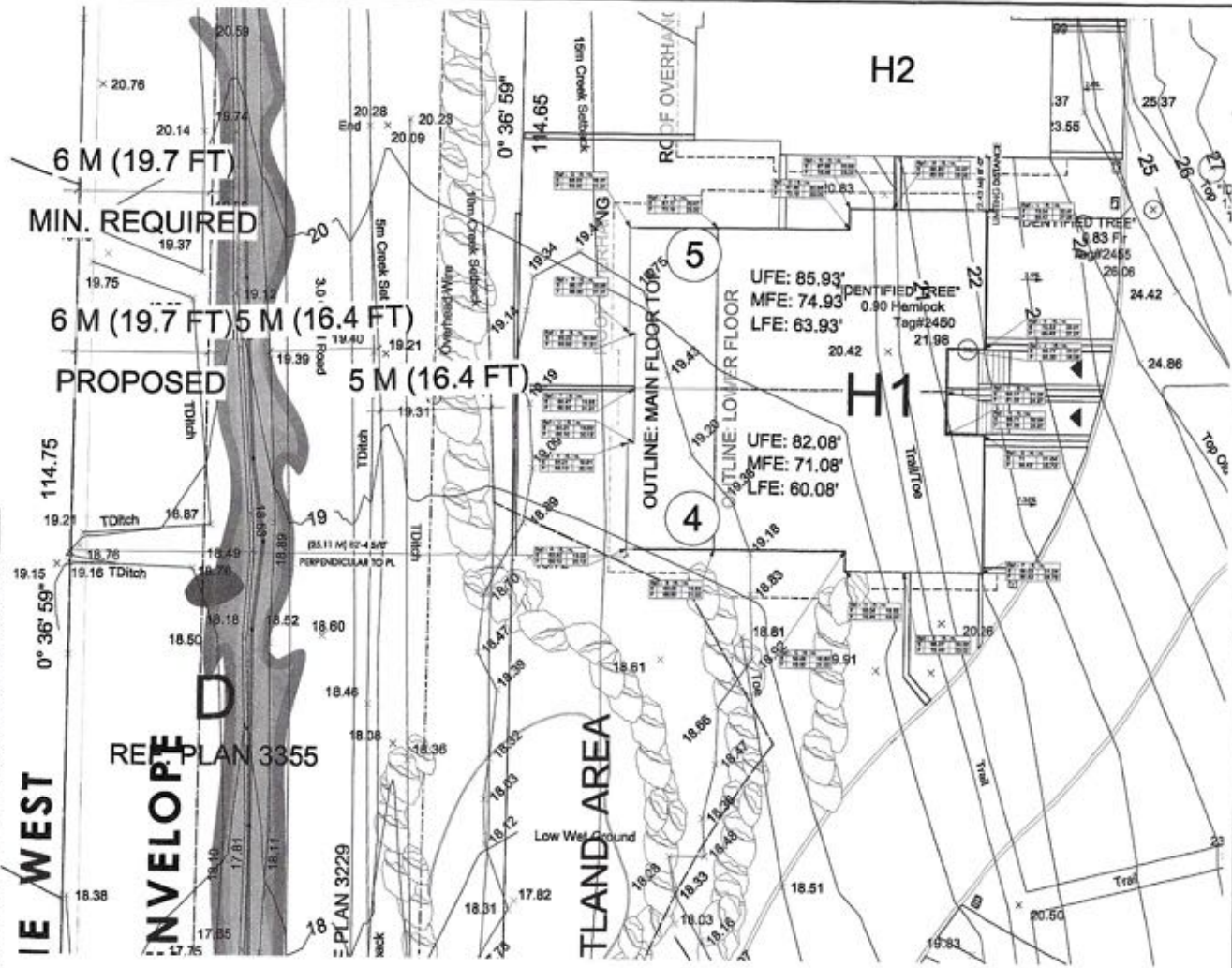
AGUILA
 BARRIO DE LOS REYES
 SAN JUAN, P.R.

LOWER FLOOR PLAN

AH2-2.01

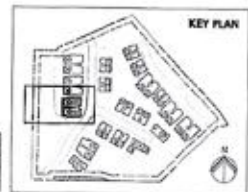
01 - AVERAGE EXISTING GRADE CALCULATION				
Point #	Elevation (PS)	Ref #	Avg Elevation (PS)	Avg x Distance (PS)
A	88.15	88.00	87.80	100.00
B	88.00	88.00	88.00	100.00
C	88.00	88.00	88.00	100.00
D	88.00	88.00	88.00	100.00
E	88.00	88.00	88.00	100.00
F	88.00	88.00	88.00	100.00
G	88.00	88.00	88.00	100.00
H	88.00	88.00	88.00	100.00
I	88.00	88.00	88.00	100.00
J	88.00	88.00	88.00	100.00
K	88.00	88.00	88.00	100.00
L	88.00	88.00	88.00	100.00
M	88.00	88.00	88.00	100.00
N	88.00	88.00	88.00	100.00
O	88.00	88.00	88.00	100.00
P	88.00	88.00	88.00	100.00
Q	88.00	88.00	88.00	100.00
R	88.00	88.00	88.00	100.00
S	88.00	88.00	88.00	100.00
T	88.00	88.00	88.00	100.00
U	88.00	88.00	88.00	100.00
V	88.00	88.00	88.00	100.00
Total			201.00	1100.00
Avg Existing Grade			18.50	
Max. Slope (PS)			20.00	

02 - AVERAGE EXISTING GRADE CALCULATION				
Point #	Elevation (PS)	Ref #	Avg Elevation (PS)	Avg x Distance (PS)
A	88.15	88.00	87.80	100.00
B	88.00	88.00	88.00	100.00
C	88.00	88.00	88.00	100.00
D	88.00	88.00	88.00	100.00
E	88.00	88.00	88.00	100.00
F	88.00	88.00	88.00	100.00
G	88.00	88.00	88.00	100.00
H	88.00	88.00	88.00	100.00
I	88.00	88.00	88.00	100.00
J	88.00	88.00	88.00	100.00
K	88.00	88.00	88.00	100.00
L	88.00	88.00	88.00	100.00
M	88.00	88.00	88.00	100.00
N	88.00	88.00	88.00	100.00
O	88.00	88.00	88.00	100.00
P	88.00	88.00	88.00	100.00
Q	88.00	88.00	88.00	100.00
R	88.00	88.00	88.00	100.00
S	88.00	88.00	88.00	100.00
T	88.00	88.00	88.00	100.00
U	88.00	88.00	88.00	100.00
V	88.00	88.00	88.00	100.00
Total			201.00	1100.00
Avg Existing Grade			18.50	
Max. Slope (PS)			20.00	



SITE PLAN
SCALE 1/8"=1'-0"

TOP OF FINISH FLOOR - (1) (1)			TOP OF FINISH FLOOR - (1) (2)		
Lower	Mid	Upper	Lower	Mid	Upper
20.30 m	20.00 m	20.14 m	21.87 m	24.61 m	27.60 m
66.27'	65.62'	66.39'	71.75'	80.72'	90.72'



These plans remain the ownership of Sterling Pacific

REVISIONS	DATE
Issued for DP/Planning	Aug 21, 2001
DP/Planning Comments/Revisions	NOV 12, 2001
DP/Planning Comments/Revisions	JUL 21, 2001
Final/As-Built	OCT 1, 2001



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H1

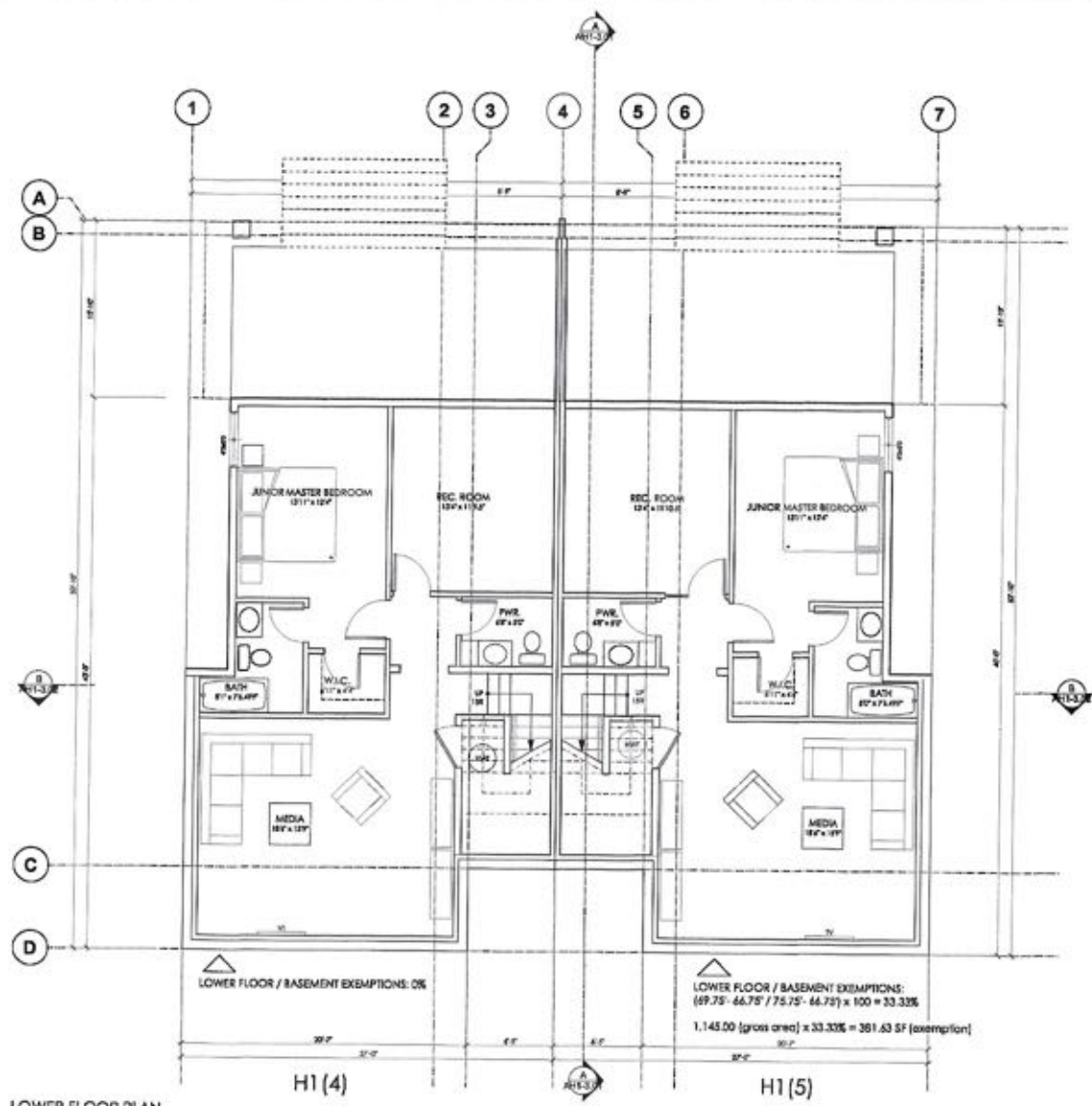
DRAWING
SITE PLAN

PROJECT NO
SCALE
DATE
OCT 1, 2001
SHEET
AH1-1.01

These plans remain the ownership of Sterling Pacific

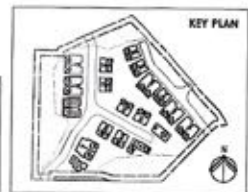
REVISED
 ISSUED FOR PERMITTING
 CHOC PLAN Comment Revisions
 CH, DL, DR, PERMITS
 Project Address

Aug 21, 2020
 MAY 18, 2020
 JULY 21, 2020
 Oct 1, 2020



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
**LOWER FLOOR
 PLAN**



UNIT 4 FLOOR AREAS IMPERIAL

	LEVEL 1.90 FT	LEVEL 2.90 FT	LEVEL 3.90 FT	TOTAL
GROSS	763.8 SF	1295.4 SF	1381.2 SF	3440.4 SF
GARAGE INCLUSIONS	0.0 SF	0.0 SF	454.8 SF	454.8 SF
BASEMENT INCLUSIONS 0%	0.0 SF	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY INCLUSIONS	0.0 SF	14.8 SF	0.0 SF	14.8 SF
NET	763.8 SF	1295.4 SF	926.4 SF	3985.6 SF

UNIT 4 FLOOR AREAS METRIC

	LEVEL 1.90 M	LEVEL 2.90 M	LEVEL 3.90 M	TOTAL
GROSS	71.35M	128.25M	127.02M	326.62M
GARAGE INCLUSIONS	0.00M	0.00M	42.83M	42.83M
BASEMENT INCLUSIONS	0.00M	0.00M	0.00M	0.00M
COVERED BALCONY INCLUSIONS	0.00M	1.38M	0.00M	1.38M
NET	71.35M	128.25M	84.23M	283.83M

UNIT 5 FLOOR AREAS IMPERIAL

	LEVEL 1.90 FT	LEVEL 2.90 FT	LEVEL 3.90 FT	TOTAL
GROSS	763.8 SF	1295.4 SF	1381.2 SF	3440.4 SF
GARAGE INCLUSIONS	0.0 SF	0.0 SF	454.8 SF	454.8 SF
BASEMENT INCLUSIONS 0%	0.0 SF	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY INCLUSIONS	0.0 SF	14.8 SF	0.0 SF	14.8 SF
NET	763.8 SF	1295.4 SF	926.4 SF	3985.6 SF

UNIT 5 FLOOR AREAS METRIC

	LEVEL 1.90 M	LEVEL 2.90 M	LEVEL 3.90 M	TOTAL
GROSS	71.35M	128.25M	127.02M	326.62M
GARAGE INCLUSIONS	0.00M	0.00M	42.83M	42.83M
BASEMENT INCLUSIONS 0%	0.00M	0.00M	0.00M	0.00M
COVERED BALCONY INCLUSIONS	0.00M	1.38M	0.00M	1.38M
NET	71.35M	128.25M	84.23M	283.83M

PROJECT: AQUILA
 SHEET: AH1-2.01
 SCALE: 1/4" = 1'-0"
 DATE: OCT 1, 2020

These plans remain the ownership of Sterling Pacific

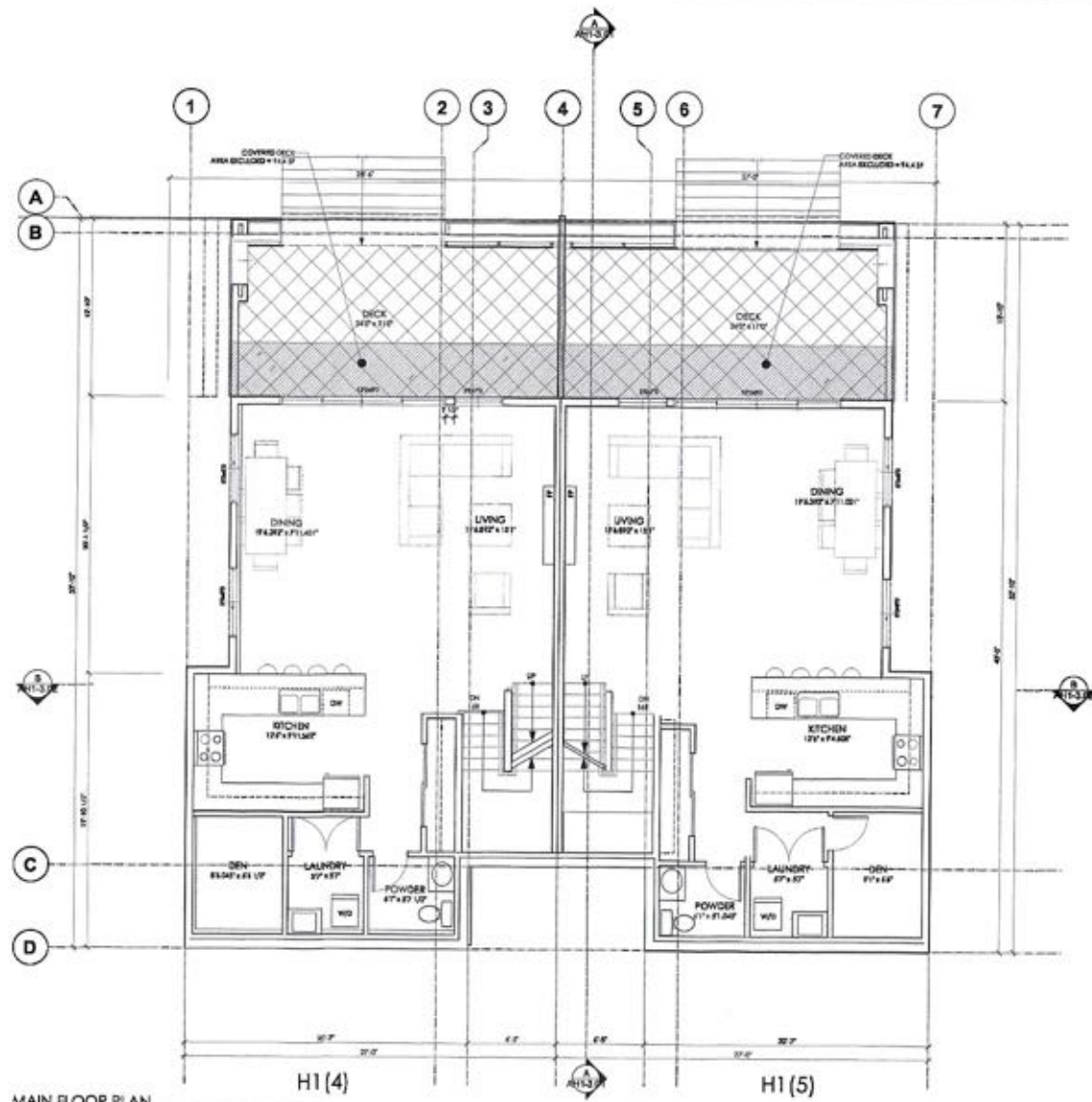
REVISED
 ISSUED TO: Sterling Pacific
 CHD Public Covered Permits
 CH, 65, 68 Reviews
 Mark Hillborn
 Aug 21, 2021
 MAY 12, 2022
 JUL 21, 2022
 OCT 1, 2022



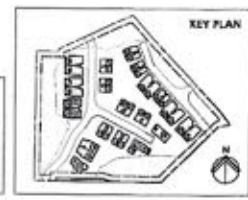
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
MAIN FLOOR PLAN

PROJECT NO: 202
 SHEET
AH1-2.02
 SCALE: 1/4" = 1'-0"
 DATE: OCT 1, 2022



MAIN FLOOR PLAN
 UNIT G1



UNIT 4 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	952.0 SF	1204.0 SF	1281.0 SF	3437.0 SF
GARAGE ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
BASEMENT ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY ENCLOSURES	0.0 SF	74.0 SF	0.0 SF	74.0 SF
NET	952.0 SF	1204.0 SF	1281.0 SF	3437.0 SF

UNIT 4 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	87.93 SQ M	110.73 SQ M	118.23 SQ M	316.89 SQ M
GARAGE ENCLOSURES	0.00 SQ M	0.00 SQ M	0.00 SQ M	0.00 SQ M
BASEMENT ENCLOSURES	0.00 SQ M	0.00 SQ M	0.00 SQ M	0.00 SQ M
COVERED BALCONY ENCLOSURES	0.00 SQ M	6.83 SQ M	0.00 SQ M	6.83 SQ M
NET	87.93 SQ M	110.73 SQ M	118.23 SQ M	316.89 SQ M

UNIT 5 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	952.0 SF	1081.0 SF	1060.0 SF	3093.0 SF
GARAGE ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
BASEMENT ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY ENCLOSURES	0.0 SF	74.0 SF	0.0 SF	74.0 SF
NET	952.0 SF	1081.0 SF	1060.0 SF	3093.0 SF

UNIT 5 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	87.93 SQ M	100.00 SQ M	97.91 SQ M	285.84 SQ M
GARAGE ENCLOSURES	0.00 SQ M	0.00 SQ M	0.00 SQ M	0.00 SQ M
BASEMENT ENCLOSURES	0.00 SQ M	0.00 SQ M	0.00 SQ M	0.00 SQ M
COVERED BALCONY ENCLOSURES	0.00 SQ M	6.83 SQ M	0.00 SQ M	6.83 SQ M
NET	87.93 SQ M	100.00 SQ M	97.91 SQ M	285.84 SQ M

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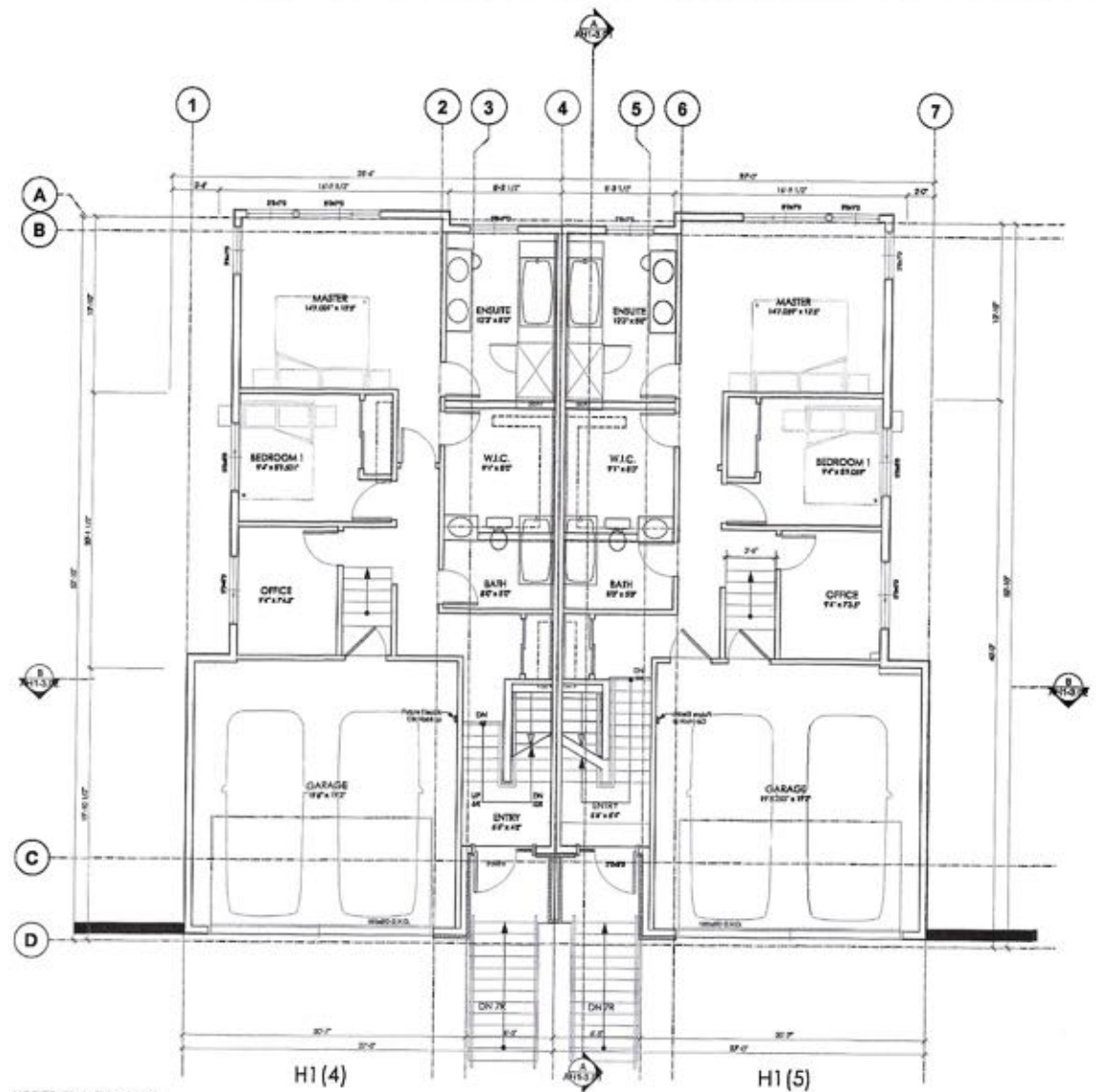
REVISIONS	
Revised for 3D Modeling	Aug 21, 2001
DR/DP/PA/CA/MS/MS/MS	MAY 15, 2000
DL/SL/SL/MS/MS/MS	JULY 11, 2000
HL/HL/MS/MS	OCT 1, 2000



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
UPPER FLOOR PLAN

PROJECT	SHEET
NO	AH1-2.03
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2001



UPPER FLOOR PLAN
 UNIT H1



These plans remain the ownership of Sterling Pacific

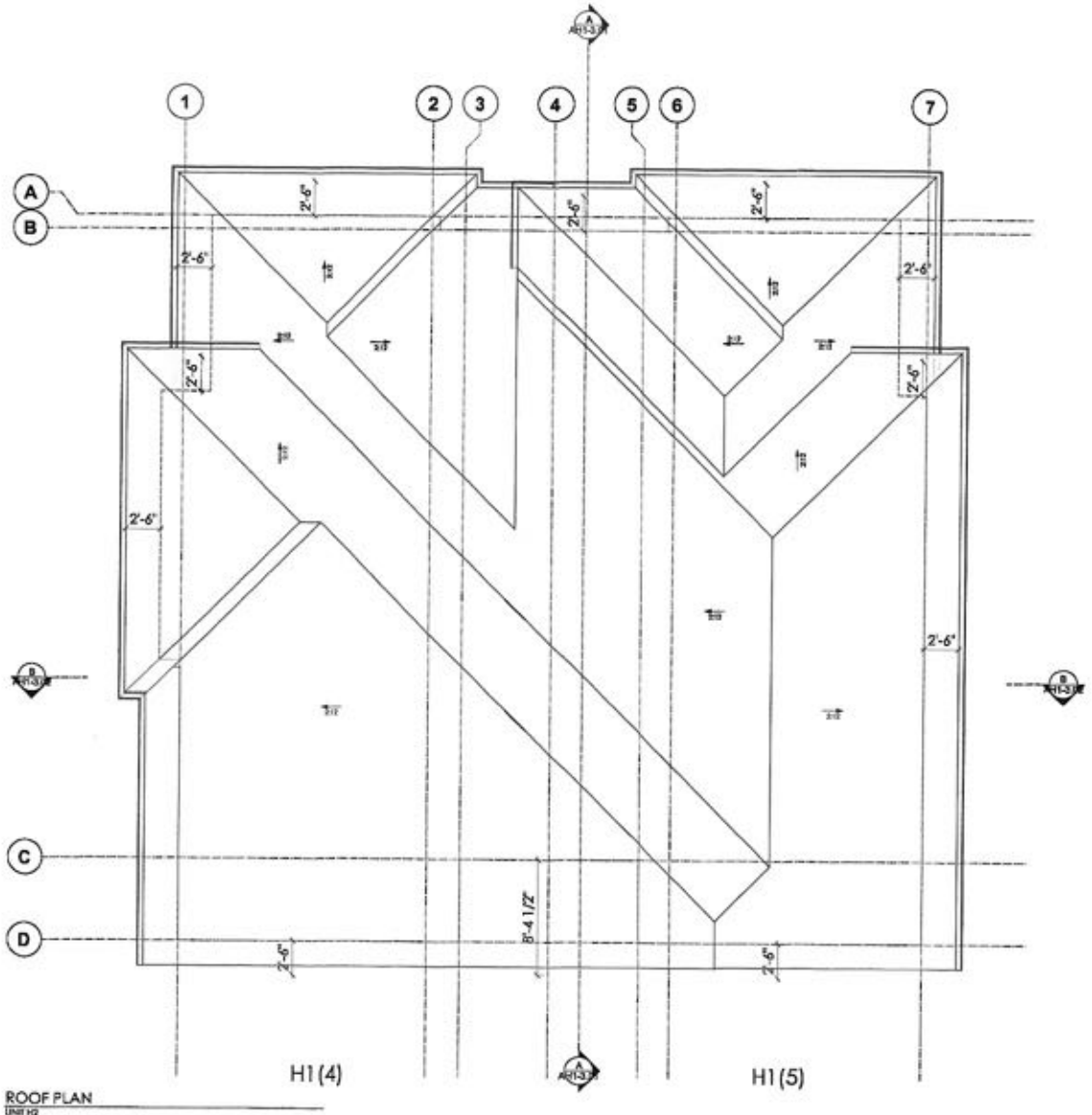
REVISIONS
 Issued for RFP/Marketing Aug 21, 2001
 0002/Initial Contract/Revisions MAY 15, 2002
 01, 02, 03 Revisions JULY 20, 2002
 Hunt address Oct 1, 2002



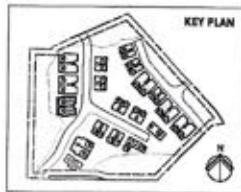
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, SC
 UNIT H1

DRAWING
ROOF PLAN

PROJECT#	002	SHEET	AH1-
SCALE	1/4" = 1'-0"		2.04
DATE	02/11/2001		

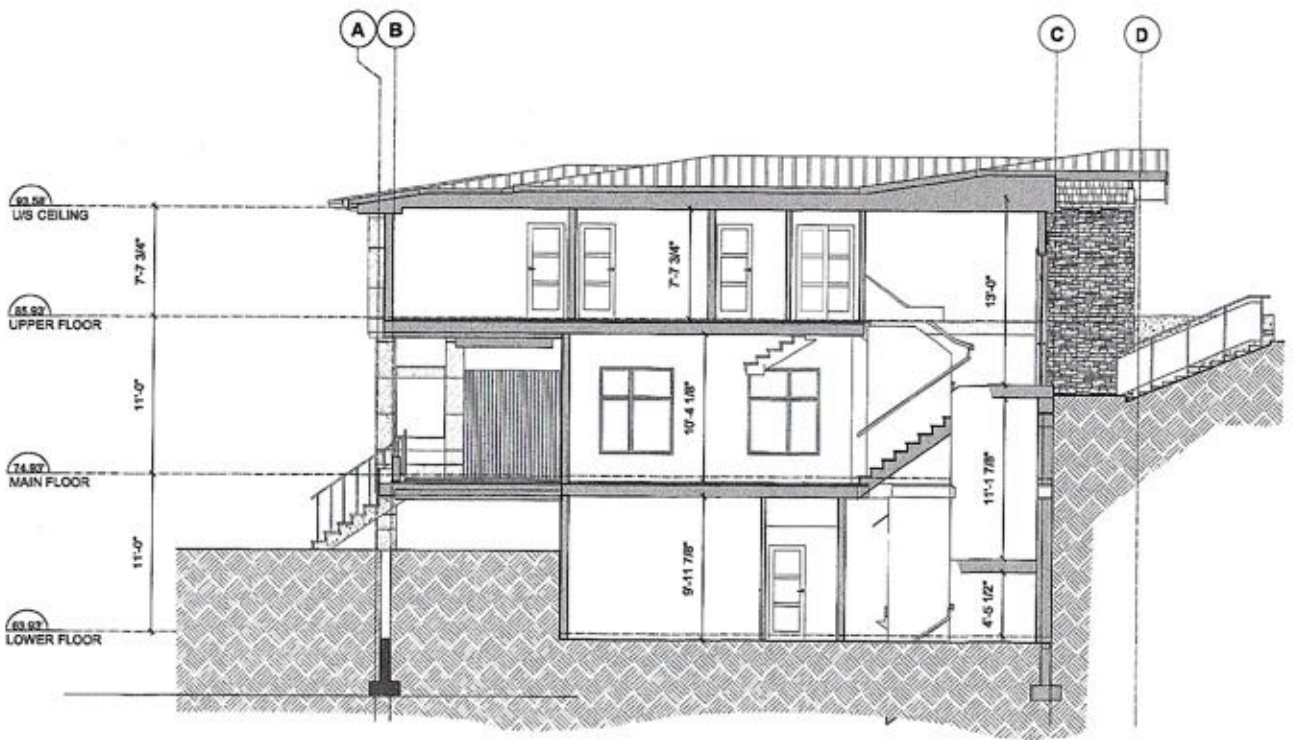


ROOF PLAN
 UNIT H1



These plans remain the ownership of Sterling Pacific

REVISIONS
 Based on CP Planning Aug 31, 2021
 DRG Public Comment Revisions MAY 13, 2022
 DL, BL, GS Revisions JUL 21, 2022
 Mark and Mike Oct 1, 2022



A SECTION A-A
 Scale: 1/4" = 1'-0"



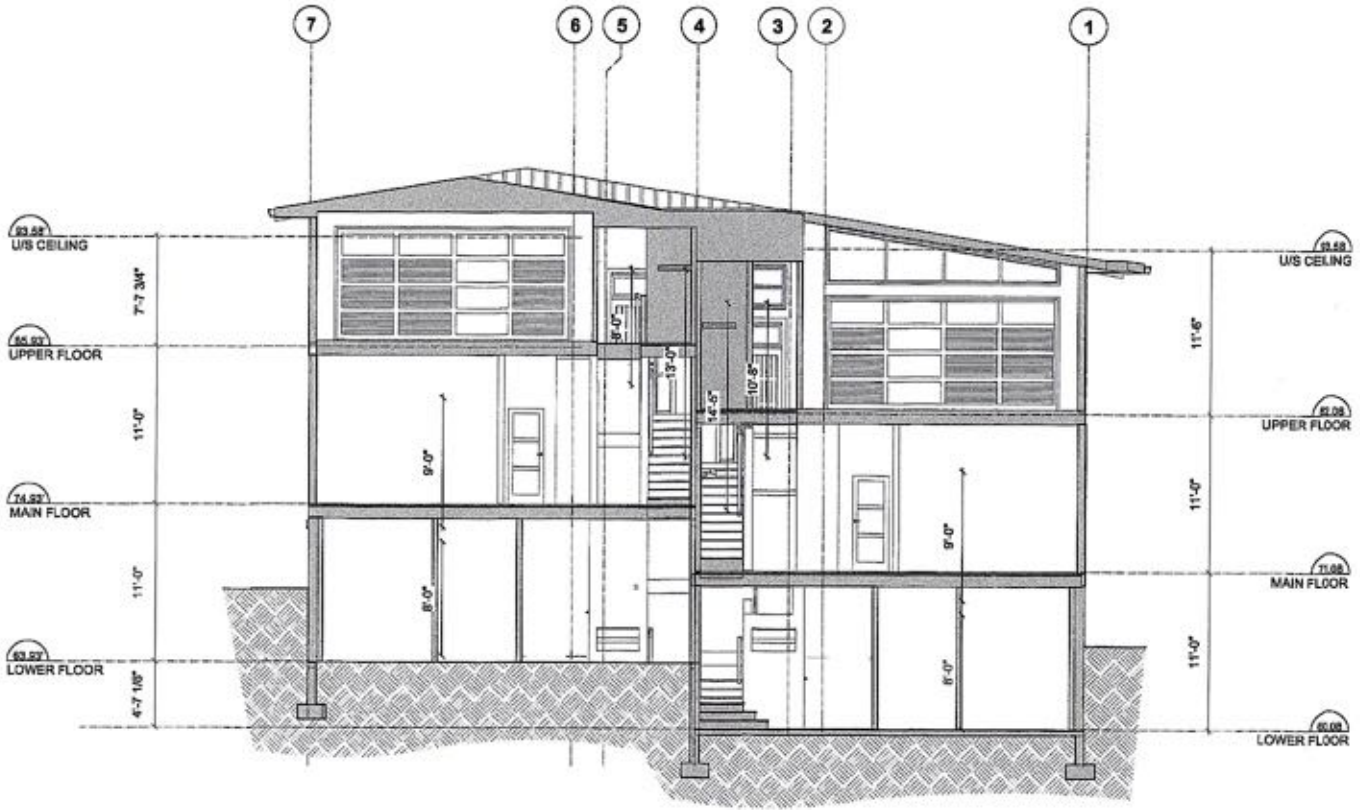
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
 SECTION A-A

PROJECT	208	SHEET AH1-3.01
SCALE	1/4" = 1'-0"	
DATE	OCT 1, 2022	

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REVISIONS
 Issued for City Review Aug. 21, 2003
 DR/PLM/CM/Conrad/Hawkins MAY 15, 2003
 DT, DL, DL/Hawkins JULY 2, 2003
 H per address Oct 1, 2003



B SECTION B-B
 Scale: 1/4" = 1'-0"



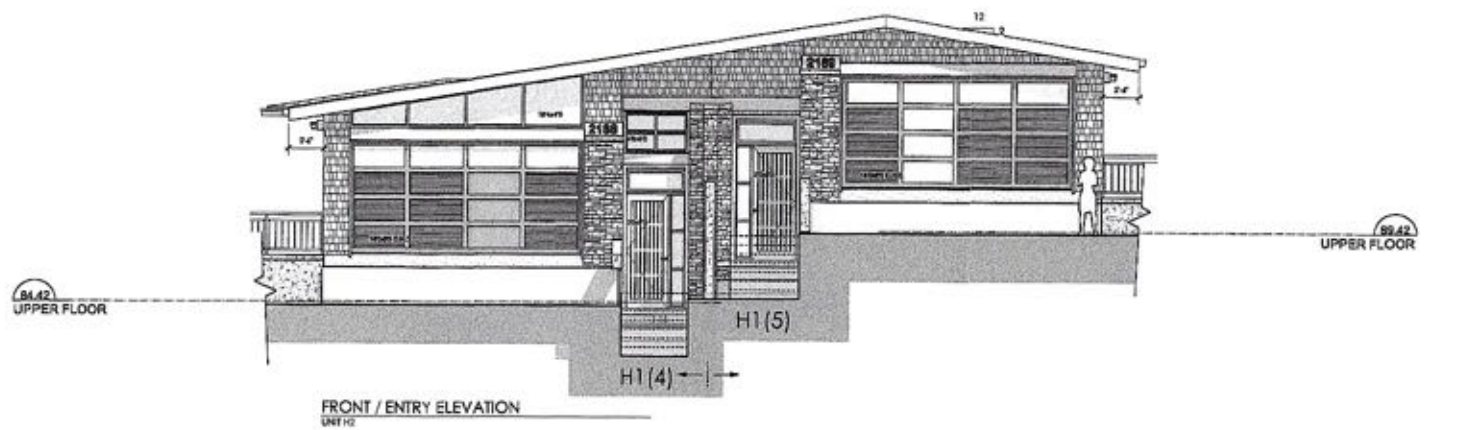
PROJECT
AQUILA
 DAFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
 SECTION B-B

PROJECT#	880	SHEET AH1-3.02
SCALE	1/4"=1'-0"	
DATE	OCT. 2003	

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REVISIONS
 Issued 10/31/2002
 OKD Public Comment Revisions
 G.L. 05, 06 Revisions
 11/04/2002
 Aug 31, 2001
 MAY 13, 2002
 JULY 31, 2002
 Oct 1, 2002



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

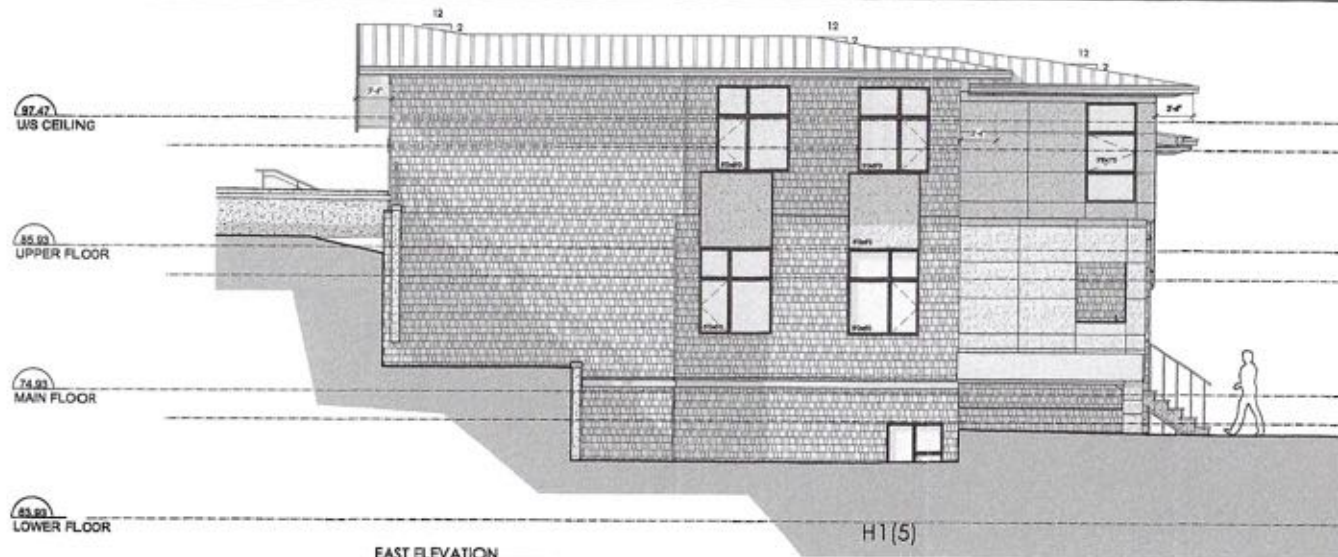
DRAWING
**FRONT & BACK
 ELEVATIONS B/W**

PROJECT	HEET
800	AH1-4.01
SCALE	
DATE	

1/4" = 1'-0"
 OCT 1, 2002

These plans remain the ownership of Sterling Pacific

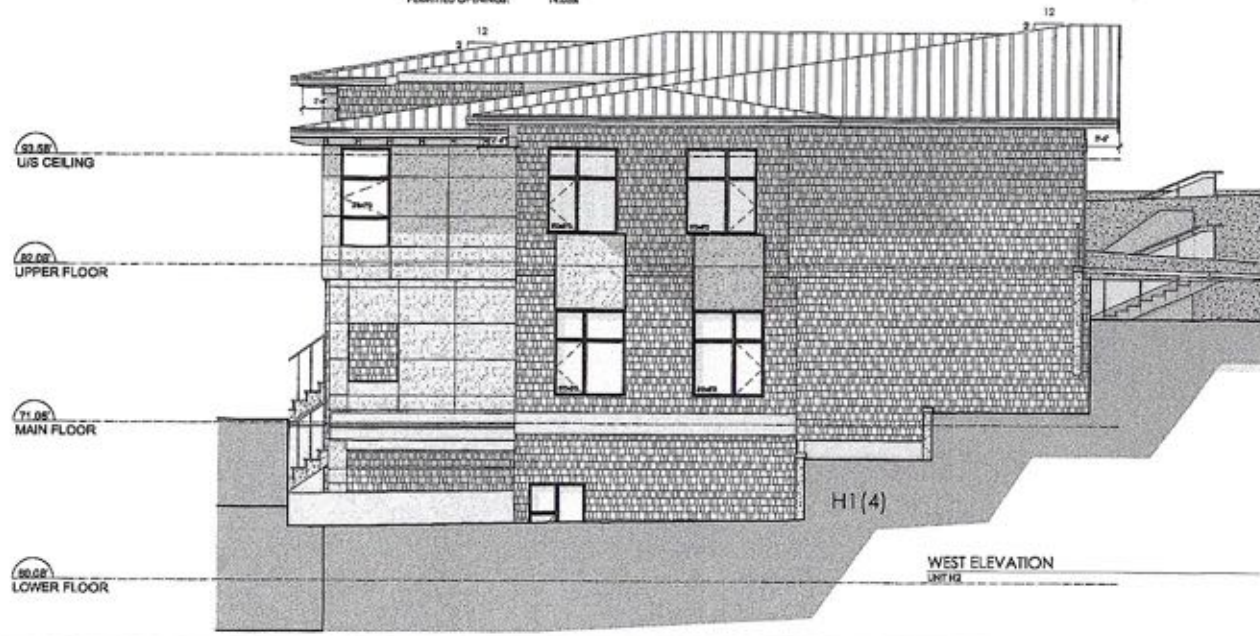
REVISIONS	
Issued by SP/Reverting	Aug 21, 2021
DRG/Public Comment/Revisions	Sept 13, 2021
DL, GL, GR Revisions	July 21, 2022
Final/Submit	Oct 1, 2022



EAST ELEVATION
UNIT H1

SPATIAL SEPARATION CALCULATION (BCIC TABLE 3.2.3.1.01)

EXPOSED BUILDING FACE:	1285.33 SF (119.43 SM ²)
LANDING DISTANCE:	4.07' (1.22 M)
UNPROTECTED OPENING:	174.33 SF (16.03 SM ²)
PROPOSED OPENING:	13.73%
PERMITTED OPENINGS:	14.03%



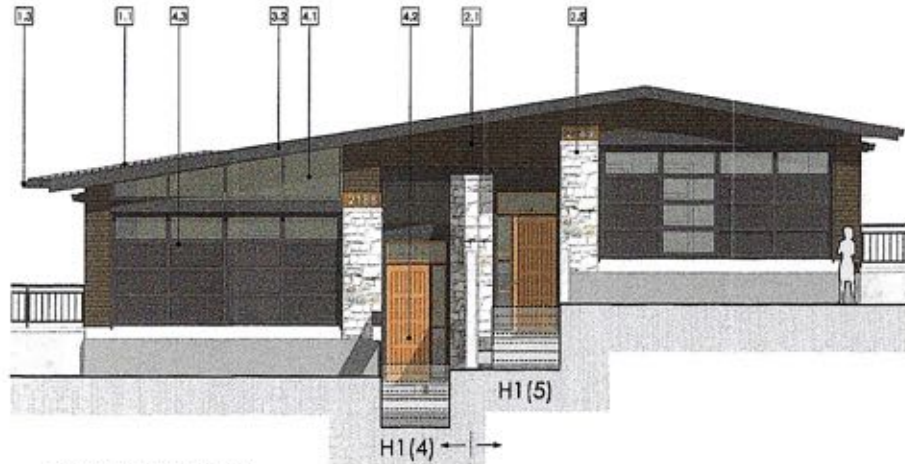
WEST ELEVATION
UNIT H1



PROJECT
AQUILA
DAFFODIL DRIVE WEST
VANCOUVER, BC
UNIT H1

DRAWING
EAST & WEST ELEVATIONS B/W

PROJECT	NO.	SHEET
	400	AH1-
SCALE	1/2"=1'-0"	4.02
DATE	Oct 1, 2022	



FRONT / ENTRY ELEVATION
UNIT H1



BACK ELEVATION
UNIT H1



AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Clash 1/4" metal roof	Charcoal Gray
1.2	Rockport Gray BM-HC-103	Charcoal Gray
1.3	Charcoal Gray	Charcoal Gray
3.1	Free Climb Shingles	Woodfone Eustic Series Carbon Trail
3.2	MCY-103	
3.3	Hardy Panel	Light Gray
3.4	Hot used	
3.5	Stone	Random Granite
4.1	Upstand balcony with clear finished metal cap and top railing	wrought iron BM - 2124 - 10
4.2	Finished metal railing	wrought iron BM - 2124 - 10
4.3	Double-glazed vinyl windows & strengthened doors	Charcoal Gray
4.4	Entry door painted w/ w. brown and w. clear top coat - special walnut	Stewwood - Old Master Gel Stain c/w clear top coat - special walnut
4.5	Finished barge board painted garage door c/w finished also 2124, less clear	Charcoal Gray
4.6	Stainless steel painted trim c/w clear top coat	Charcoal Gray
5.1	Five vertical treated wood	Stewwood - Old Master Gel Stain c/w clear top coat - special walnut
5.2	Finished metal railing	Charcoal Gray
5.3	Steel post (painted trim)	Charcoal Gray

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued by W/Architect: Aug 31, 2023
 SAG Public Comment Periods: MAY 10, 2023
 BY: G.L. B. Revise: JUL 31, 2023
 Revise: Oct 1, 2023



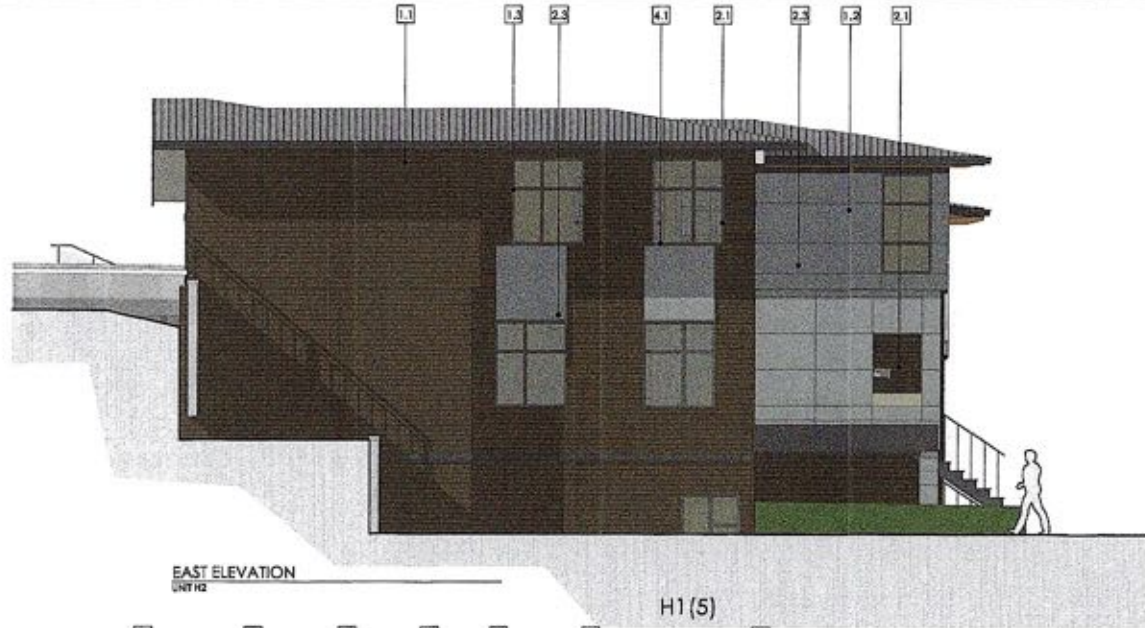
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
**FRONT & BACK
 ELEVATIONS**

PROJECT NO. 888
 SCALE: 1/4" = 1'-0"
 DATE: OCT 1, 2023
AH1-4.03

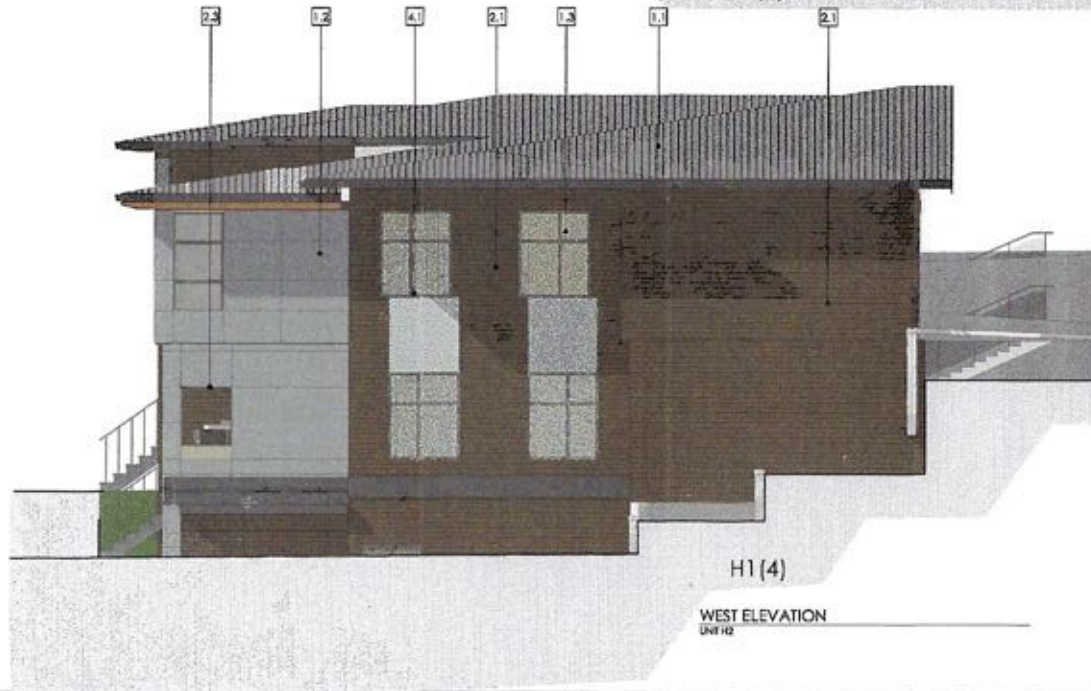
These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for MF/Resolving Aug. 21, 2021
 DRG Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 21, 2022
 H unit additions Oct 1, 2022



EAST ELEVATION
UNIT H2

H1(5)



WEST ELEVATION
UNIT H2

H1(4)

AQUILA EXTERIOR MATERIALSCHEDULE		
No.	Material	Colour
1.1	Clean "H" Metal Roof	Charcoal Grey
1.2	Pure Cement Sills	Asphalt Grey 504-102-105
1.3	Gutter	Charcoal Grey
2.1	Pure Cement Singles	Woodstone Ruffo Series Carbon Tolu
2.2	1/2" x 1/2"	
2.3	Ready Stone	Light Mist
2.4	1/2" x 1/2"	
2.5	Stone	Random Granite
3.1	Horizontal/vertical sub-c/br prefinished metal counter & cap railing	Wrought Iron BR - 2124 - 10
3.2	Finished metal round railing	Wrought Iron BR - 2124 - 10
4.1	Double-glazed vinyl windows & aluminum-clad door	Charcoal Grey
4.2	Grey stain painted c/br trim and siding	Silverwood - Old Master Gel Stain c/br clear top coat - Special Walnut
4.3	Prefinished horizontal garage door c/br finished also 2124-102-105	Charcoal Grey
4.4	Steel fire glass panel system c/br glass cap	Charcoal Grey
4.5	Pine halftone treated wood	Silverwood - Old Master Gel Stain c/br clear top coat - Special Walnut
4.6	Prefinished metal railing	Charcoal Grey
4.7	Steel post (capped top)	Charcoal Grey



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
 EAST & WEST
 ELEVATIONS

PROJECT 800
 SCALE 1/4"=1'-0"
 DATE OCT 1, 2022
AH1-4.04

These plans remain the ownership of Sterling Pacific

REVISED
Issued for (P) Reviewing
DND/ Public Comment Review
D.L. DE. 00 Numbers
H and Address

Aug 31, 2023
MAY 12, 2023
JULY 31, 2023
OCT 1, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT H2



BACK ELEVATION - CAMERA VIEW
UNIT H2



BACK ELEVATION - CAMERA VIEW
UNIT H1



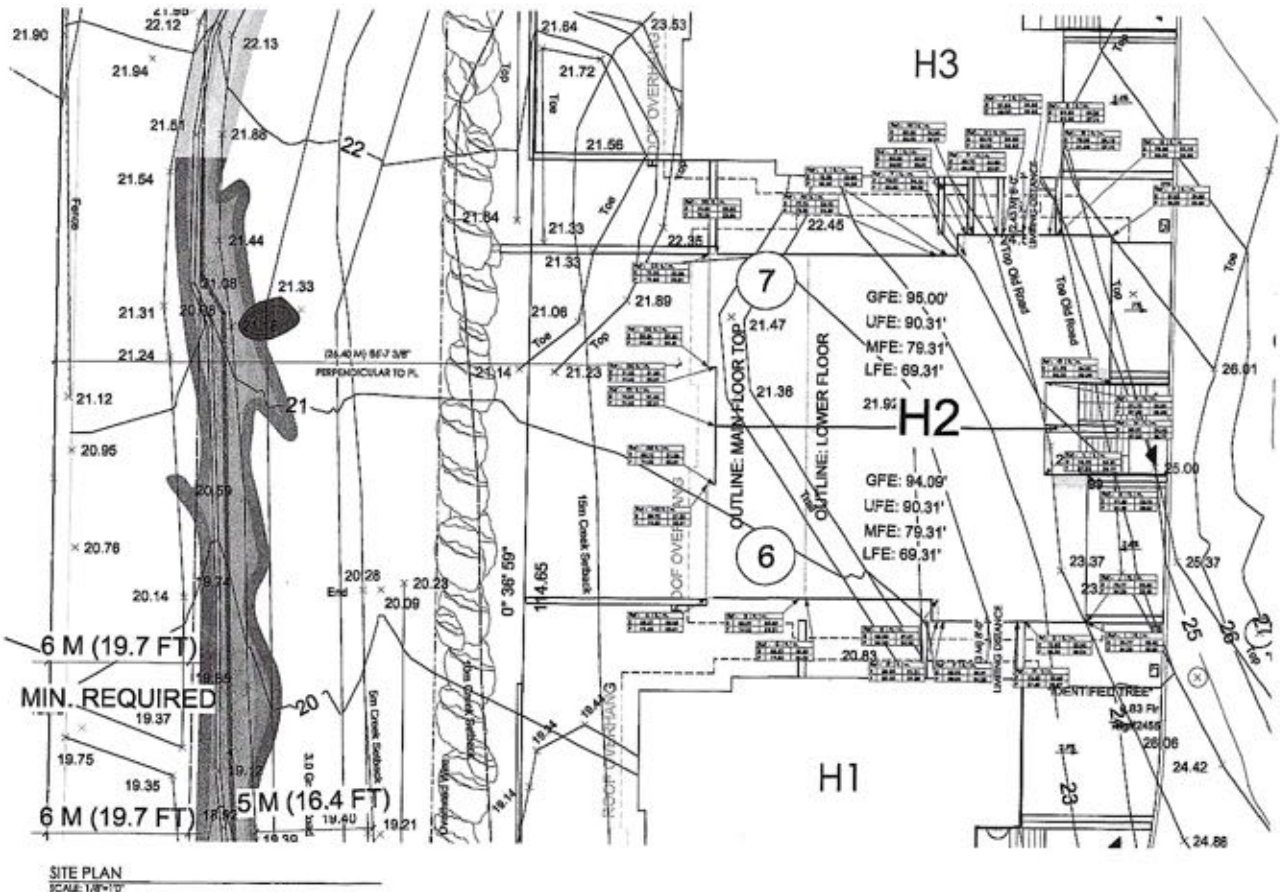
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H1

DRAWING
**FRONT, BACK
ELEVATIONS -
CAMERA VIEW**

PROJECT	K00	SHEET AH1- 4.05
SCALE	NES	
DATE	OCT 1, 2023	

NO - AVERAGE FINISHED GRADE CALCULATION						
Ref #	Station	Ref #	Station	Avg Elevation (Ft)	Avg Distance (Ft)	Avg x Distance
A	74.82 B	74.82	74.82	74.82	12.75	953.66
B	74.82 C	78.82	78.81	76.81	5.00	384.05
C	78.82 D	80.00	79.00	79.50	19.25	1489.75
D	80.00 E	82.00	82.00	82.00	3.25	246.00
E	82.00 F	85.00	82.00	83.50	1.25	104.38
F	85.00 G	87.50	86.75	86.13	6.00	516.75
G	87.50 H	88.00	88.75	88.13	1.25	104.38
H	88.00 I	84.00	82.00	85.00	3.75	281.25
I	84.00 J	84.00	84.25	84.13	1.25	104.38
J	84.00 K	84.25	84.25	84.25	18.75	1586.25
K	84.25 L	87.00	85.00	86.00	8.00	688.00
L	87.00 M	87.00	87.50	87.25	3.25	253.88
M	87.00 N	87.50	87.50	87.50	4.00	350.00
N	87.50 O	88.00	87.50	87.75	8.00	702.00
O	88.00 P	88.00	88.00	88.00	20.00	1760.00
P	88.00 Q	88.00	88.00	88.00	7.00	616.00
Q	88.00 R	81.00	80.00	80.50	1.00	80.50
R	81.00 S	81.00	81.00	81.00	3.25	265.13
S	81.00 T	83.00	82.00	82.50	1.00	82.50
T	83.00 U	83.00	83.00	83.00	3.25	269.25
U	83.00 V	83.00	83.00	83.00	1.00	83.00
V	83.00 W	83.00	83.00	83.00	3.25	273.25
W	83.00 X	83.00	83.00	83.00	1.25	103.75
X	83.00 Y	83.00	83.00	83.00	3.25	269.25
Y	83.00 Z	83.00	83.00	83.00	3.00	249.00
Z	83.00 A1	78.25	80.50	79.38	1.25	80.23
A1	78.25 B1	78.25	78.25	78.25	20.00	1570.00
B1	78.25 C1	74.82	74.82	74.82	73.00	5569.36
C1	74.82 D1	74.82	74.82	74.82	16.75	1250.18
D1	74.82 E1	74.82	74.82	74.82	1.00	74.82
E1	74.82 F1	74.82	74.82	74.82	6.25	467.63
F1	74.82 G1	74.82	74.82	74.82	8.25	616.77
G1	74.82 H1	74.82	74.82	74.82	1.00	74.82
H1	74.82 I1	74.82	74.82	74.82	18.75	1391.18
Total					253.72	19098.57
Avg. Finish Grade						75.33
Min. Ridge Height (Ft)						73.21

NO - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Station	Ref #	Station	Avg Elevation (Ft)	Avg Distance (Ft)	Avg x Distance
A	88.21	8	88.21	88.21	12.75	872.64
B	88.21	9	88.21	88.21	5.00	384.05
C	88.21	4	88.21	88.21	18.75	1489.26
D	88.21	8	88.21	88.21	3.25	266.19
E	88.21	6	88.21	88.21	1.00	88.21
F	88.21	7	79.82	71.28	8.00	570.24
G	79.82	8	79.82	79.82	1.00	79.82
H	79.82	6	78.21	76.80	8.75	677.88
I	78.21	10	78.21	78.21	1.00	78.21
J	78.21	11	77.82	77.82	18.75	1467.56
K	77.82	12	78.75	79.28	8.00	628.64
L	79.75	13	80.21	79.98	8.00	639.84
M	80.21	14	81.72	80.97	8.00	647.76
N	81.72	15	81.25	81.25	8.00	650.00
O	81.25	16	81.82	81.82	1.00	81.82
P	81.82	17	79.38	80.59	7.00	564.13
Q	79.38	18	79.38	79.38	1.00	79.38
R	79.38	19	81.82	80.60	8.25	661.61
S	81.82	20	81.82	81.82	1.00	81.82
T	81.82	21	80.78	81.17	5.25	426.15
U	80.78	22	80.78	80.78	1.25	100.97
V	80.78	23	80.00	80.40	3.25	261.30
W	80.00	24	80.00	80.00	1.00	80.00
X	80.00	25	78.01	78.73	8.00	629.84
Y	78.01	26	78.00	78.00	3.00	234.00
Z	78.00	27	77.75	77.86	1.25	107.33
A1	77.75	28	79.82	78.78	20.00	1575.60
B1	79.82	29	79.82	79.82	1.00	79.82
C1	79.82	30	88.26	71.88	15.75	1118.43
D1	88.26	31	71.82	80.88	1.00	80.88
E1	71.82	32	70.54	71.08	8.25	585.52
F1	70.54	33	69.12	70.13	8.25	579.82
G1	69.12	34	69.72	69.72	1.00	69.72
H1	69.72	35	68.21	68.96	18.75	1407.25
Total					253.72	17020.18
Avg. Existing Grade						75.02
Min. Ridge Height (Ft)						73.81



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REVISIONS	
Issued for O/P/Issuing	Aug 31, 2021
CH2 Public Comment/Issuing	NOV 18, 2023
CH2, CH3, CH4/Issuing	JAN 11, 2024
Final/Issuing	OCT 1, 2023



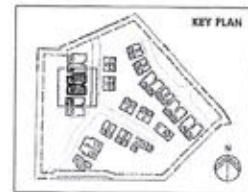
PROJECT
AQUILA
 DAFFODIL DRIVE W/ST
 VANCOUVER, BC
 UNIT H2

DRAWING
SITE PLAN

PROJECT	SHEET
SCALE	AH2-1.01
DATE	OCT 1, 2023

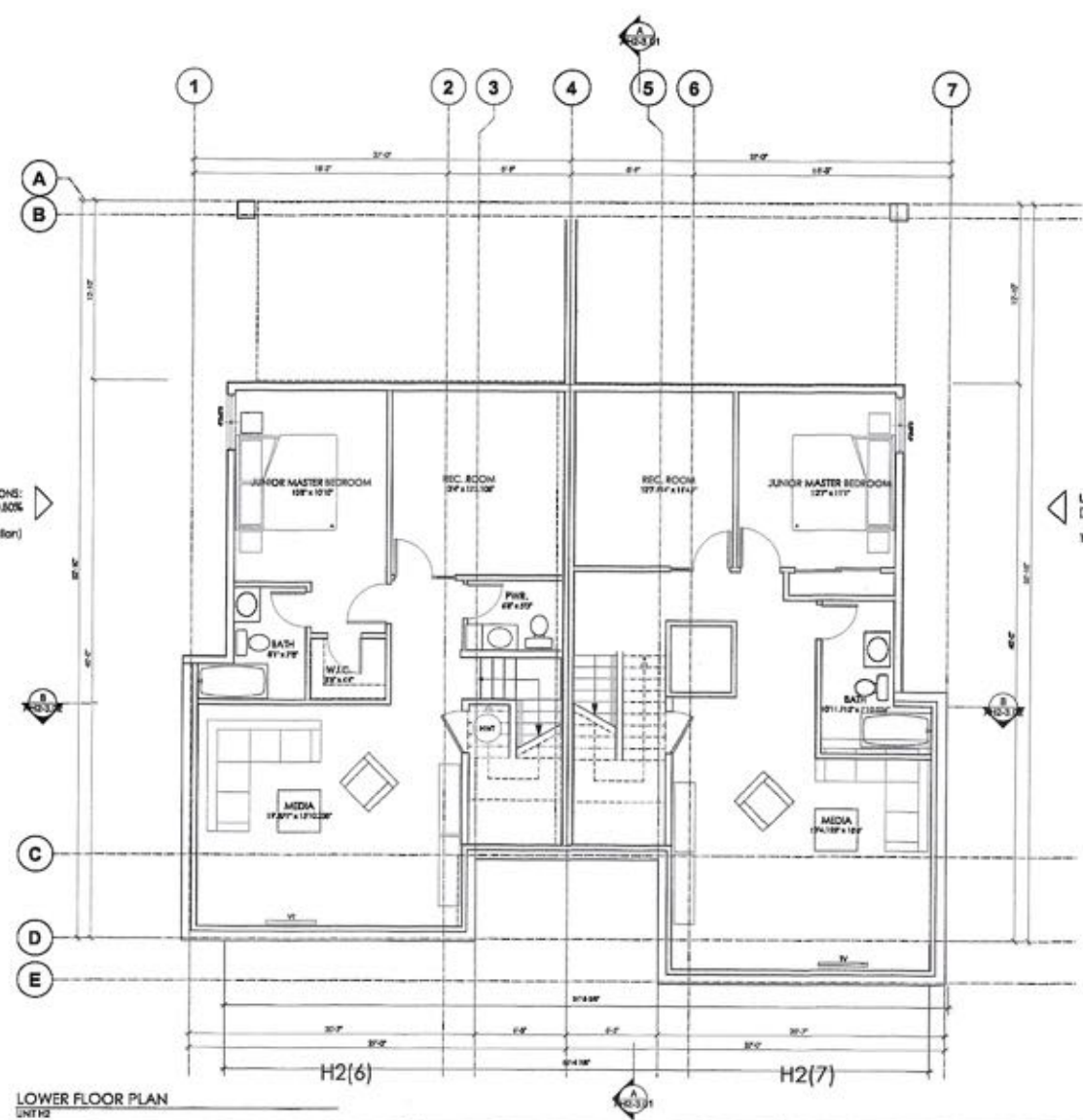
TOP OF FINISH FLOOR - 00 (0)		
Lower	Main	Upper
22.28 m	26.14 m	26.14 m
73.27	86.72	86.72

TOP OF FINISH FLOOR - 00 (1)		
Lower	Main	Upper
24.13 m	27.02 m	26.62 m
79.17	88.72	86.17



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REVISION
 Based on CP/Reviewing Aug 21, 2021
 RMD/Note Corrections Sept 12, 2021
 Dr. GZ, GS/Revisions Oct 21, 2022
 Marked Oct 1, 2022



LOWER FLOOR / BASEMENT EXEMPTIONS:
 (75.37'- 73.29' / 83.29'- 73.29') x 100 = 20.80%
 1,145 (gross area) x 20.80% = 238.16 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (75.37'- 73.29' / 83.29'- 73.29') x 100 = 20.80%
 1,204.8 (gross area) x 20.80% = 251.01 SF (exemption)

LOWER FLOOR PLAN
 UNIT H2



UNIT 6 FLOOR AREAS IMPERIAL				
	LEVEL 1 30 FT	LEVEL 2 30 FT	LEVEL 3 30 FT	TOTAL
GROSS	1146.0 SF	1084.3 SF	1084.3 SF	3314.6 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	404.8 SF	404.8 SF
BASEMENT EXCLUSIONS 20.8%	228.2 SF	0.0 SF	0.0 SF	228.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	16.4 SF	0.0 SF	16.4 SF
NET	917.8 SF	1084.3 SF	679.5 SF	2681.6 SF

UNIT 6 FLOOR AREAS METRIC				
	LEVEL 1 30 M	LEVEL 2 30 M	LEVEL 3 30 M	TOTAL
GROSS	106.4 SQM	100.0 SQM	100.0 SQM	306.4 SQM
GARAGE EXCLUSIONS	0.0 SQM	0.0 SQM	37.8 SQM	37.8 SQM
BASEMENT EXCLUSIONS 20.8%	21.2 SQM	0.0 SQM	0.0 SQM	21.2 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	1.5 SQM	0.0 SQM	1.5 SQM
NET	85.2 SQM	100.0 SQM	62.2 SQM	247.4 SQM

UNIT 7 FLOOR AREAS IMPERIAL				
	LEVEL 1 30 FT	LEVEL 2 30 FT	LEVEL 3 30 FT	TOTAL
GROSS	1006.8 SF	1413.7 SF	1413.7 SF	3834.2 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	404.8 SF	404.8 SF
BASEMENT EXCLUSIONS 20.8%	214.0 SF	0.0 SF	0.0 SF	214.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	16.4 SF	0.0 SF	16.4 SF
NET	792.8 SF	1413.7 SF	1008.9 SF	2615.4 SF

UNIT 7 FLOOR AREAS METRIC				
	LEVEL 1 30 M	LEVEL 2 30 M	LEVEL 3 30 M	TOTAL
GROSS	112.1 SQM	131.3 SQM	131.3 SQM	374.7 SQM
GARAGE EXCLUSIONS	0.0 SQM	0.0 SQM	38.0 SQM	38.0 SQM
BASEMENT EXCLUSIONS 20.8%	22.3 SQM	0.0 SQM	0.0 SQM	22.3 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	1.5 SQM	0.0 SQM	1.5 SQM
NET	90.8 SQM	131.3 SQM	92.3 SQM	254.4 SQM

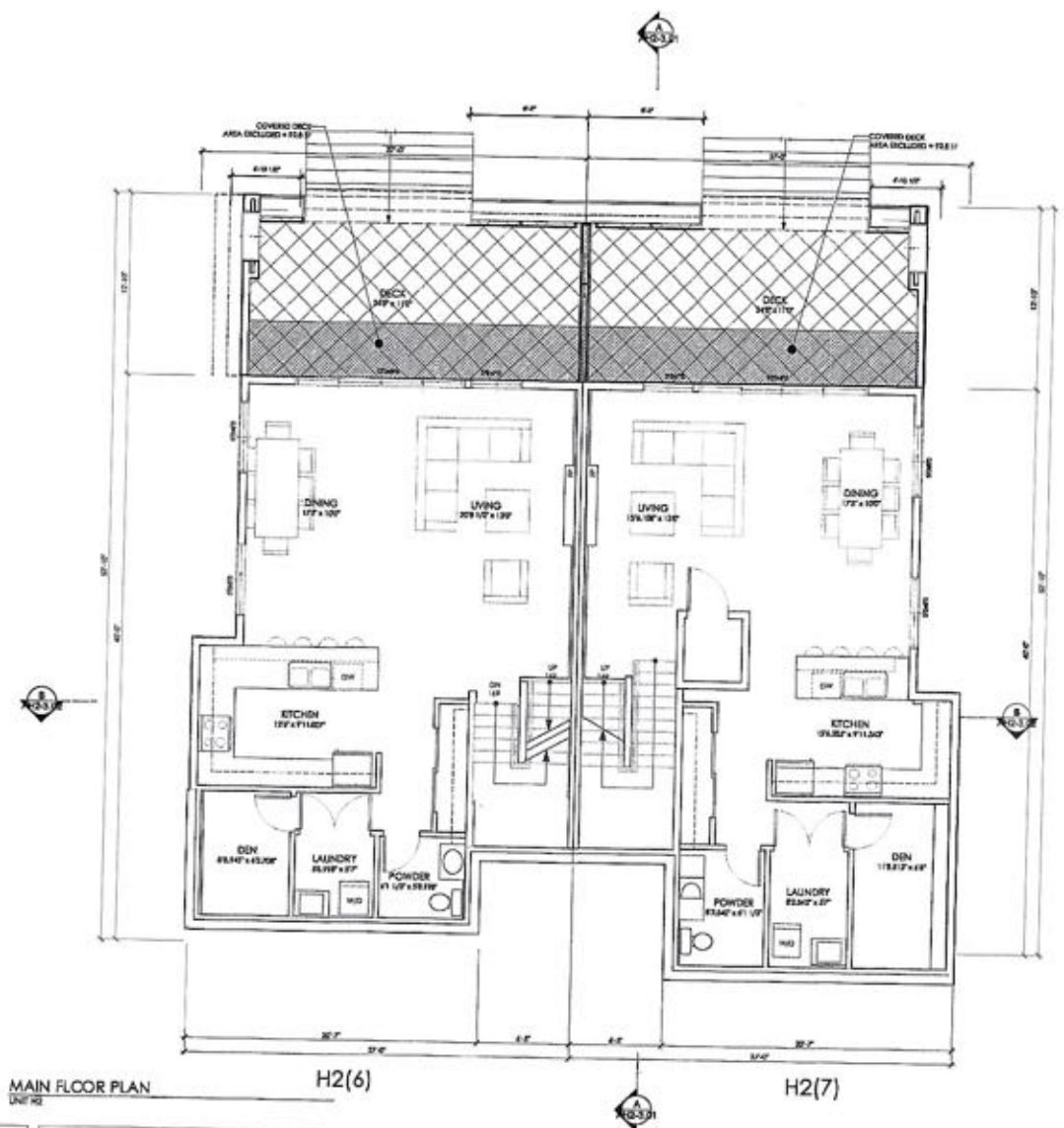
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H2

DRAWING
LOWER FLOOR PLAN

PROJECT NO. 820
 SCALE 1/2" = 1'-0"
 DATE OCT 1, 2022
 SHEET
AH2-2.01

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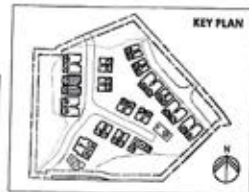
REVISIONS
 Issued for DR/Planning Aug. 31, 2001
 DR/PA/MS/Construction/Permits MAY 12, 2002
 DR, CL, CD/Permits JULY 21, 2003
 DR and others OCT 1, 2003



MAIN FLOOR PLAN
 UNITS

H2(6)

H2(7)



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H2

DRAWING
MAIN FLOOR PLAN

UNIT 6 FLOOR AREAS IMPERIAL

	LEVEL 1 00 FT	LEVEL 2 00 FT	LEVEL 3 00 FT	TOTAL
GROSS	1142.0 SF	1064.2 SF	1064.2 SF	3270.4 SF
GARAGE ENCLOSURE	0.0 SF	0.0 SF	0.0 SF	0.0 SF
BATHROOM ENCLOSURE PERMITS	282.0 SF	0.0 SF	0.0 SF	282.0 SF
COVERED BALCONY ENCLOSURE	50.0 SF	16.4 SF	0.0 SF	66.4 SF
NET	860.0 SF	1064.2 SF	1064.2 SF	3198.4 SF

UNIT 6 FLOOR AREAS METRIC

	LEVEL 1 00 M	LEVEL 2 00 M	LEVEL 3 00 M	TOTAL
GROSS	105.73 M	108.24 M	108.24 M	322.21 M
GARAGE ENCLOSURE	0.0 M	0.0 M	0.0 M	0.0 M
BATHROOM ENCLOSURE PERMITS	26.12 M	0.0 M	0.0 M	26.12 M
COVERED BALCONY ENCLOSURE	4.63 M	1.53 M	0.0 M	6.16 M
NET	79.98 M	108.24 M	108.24 M	3198.4 SF

UNIT 7 FLOOR AREAS IMPERIAL

	LEVEL 1 00 FT	LEVEL 2 00 FT	LEVEL 3 00 FT	TOTAL
GROSS	1096.8 SF	1112.0 SF	1412.0 SF	3620.8 SF
GARAGE ENCLOSURE	0.0 SF	0.0 SF	428.0 SF	428.0 SF
BATHROOM ENCLOSURE PERMITS	281.0 SF	0.0 SF	0.0 SF	281.0 SF
COVERED BALCONY ENCLOSURE	28.0 SF	16.4 SF	0.0 SF	44.4 SF
NET	815.8 SF	1112.0 SF	1004.0 SF	3198.4 SF

UNIT 7 FLOOR AREAS METRIC

	LEVEL 1 00 M	LEVEL 2 00 M	LEVEL 3 00 M	TOTAL
GROSS	101.03 M	102.84 M	131.93 M	335.80 M
GARAGE ENCLOSURE	0.0 M	0.0 M	40.0 M	40.0 M
BATHROOM ENCLOSURE PERMITS	25.93 M	0.0 M	0.0 M	25.93 M
COVERED BALCONY ENCLOSURE	2.59 M	1.53 M	0.0 M	4.12 M
NET	76.53 M	102.84 M	96.93 M	3198.4 SF

PROJECT
 N
 SCALE
 1/4"=1'-0"
 DATE
 OCT 1, 2003

SHEET
AH2-2.02

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REVISIONS
 DATE BY
 APR 12, 2003
 APR 11, 2003
 ST. JOE, OR
 ST. JOE, OR
 ST. JOE, OR



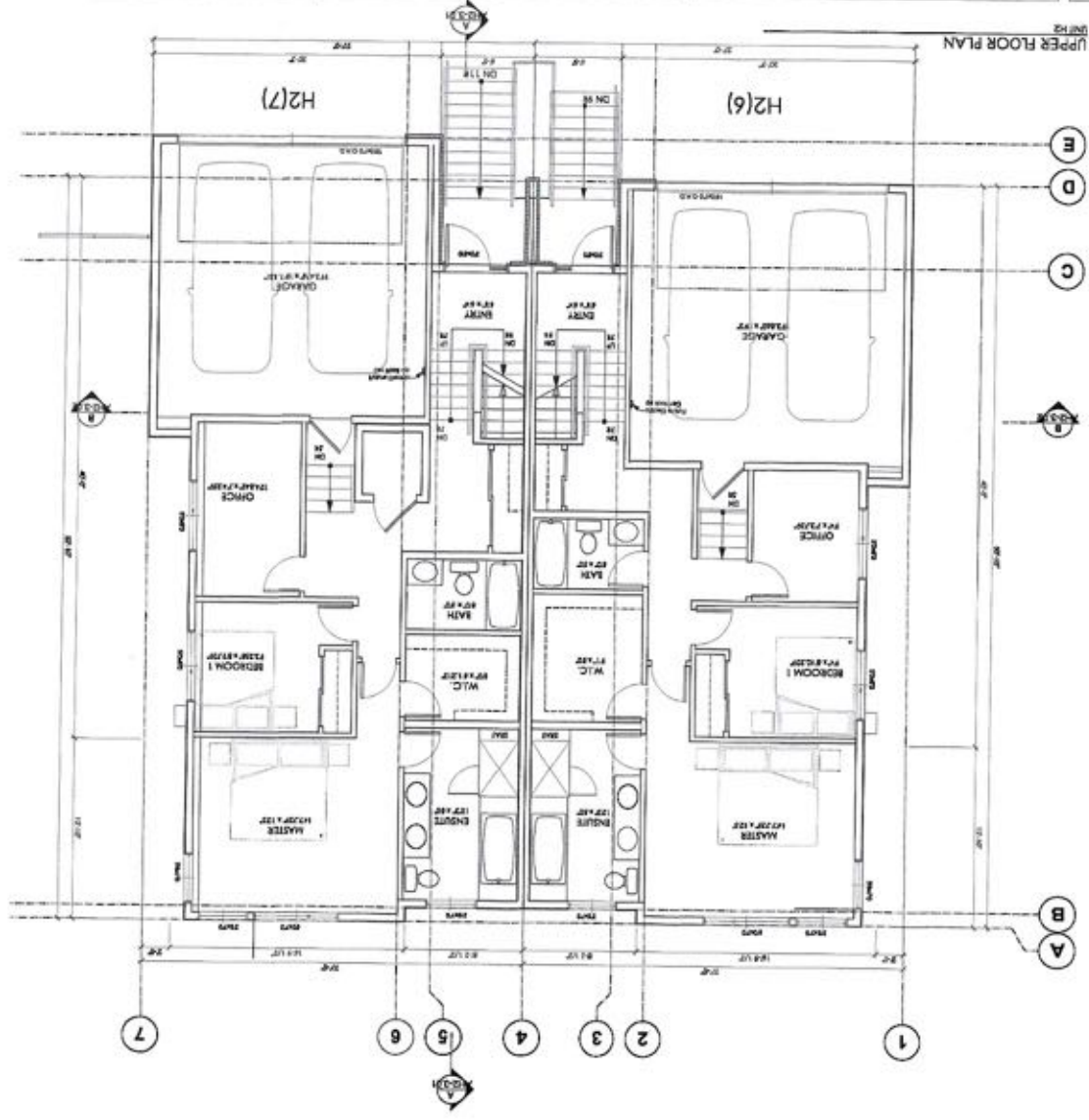
PROJECT
AQUILA
 VANCOUVER, BC
 UNIT H2

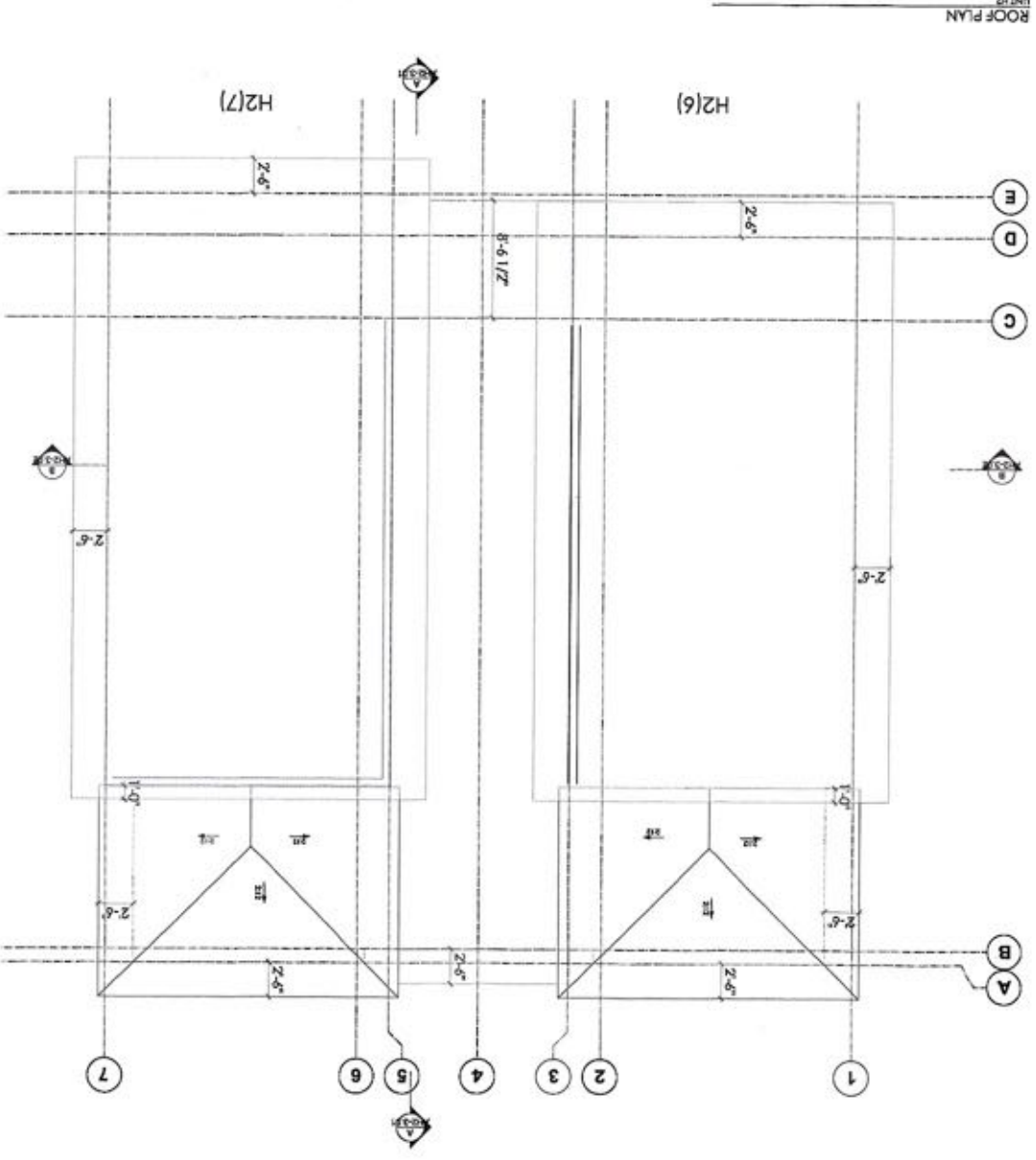
DRAWING
 UPPER FLOOR PLAN

PROJECT#
 SHEET
AH2-
 2.03
 DATE
 OCT 1, 2002
 SCALE
 1/8" = 1'-0"

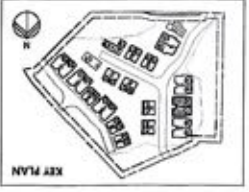


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0003	10/1/02	ISSUE FOR PERMIT
0004	10/1/02	ISSUE FOR PERMIT
0005	10/1/02	ISSUE FOR PERMIT
0006	10/1/02	ISSUE FOR PERMIT
0007	10/1/02	ISSUE FOR PERMIT
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0099	10/1/02	ISSUE FOR PERMIT
0100	10/1/02	ISSUE FOR PERMIT





UNIT H2
ROOF PLAN



PROJECT SHEET
AH2-
2.04
DATE: OCT 1, 2023
SCALE: 1/4" = 1'-0"
PROJECT: 4000

ROOF PLAN

PROJECT
AQUILA
DAFOODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2



REVISIONS
REV 01: 2023
REV 02: 2023
REV 03: 2023
REV 04: 2023
REV 05: 2023
REV 06: 2023
REV 07: 2023
REV 08: 2023
REV 09: 2023
REV 10: 2023
REV 11: 2023
REV 12: 2023
REV 13: 2023
REV 14: 2023
REV 15: 2023
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REV 95: 2023
REV 96: 2023
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REV 99: 2023
REV 100: 2023

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REVISIONS

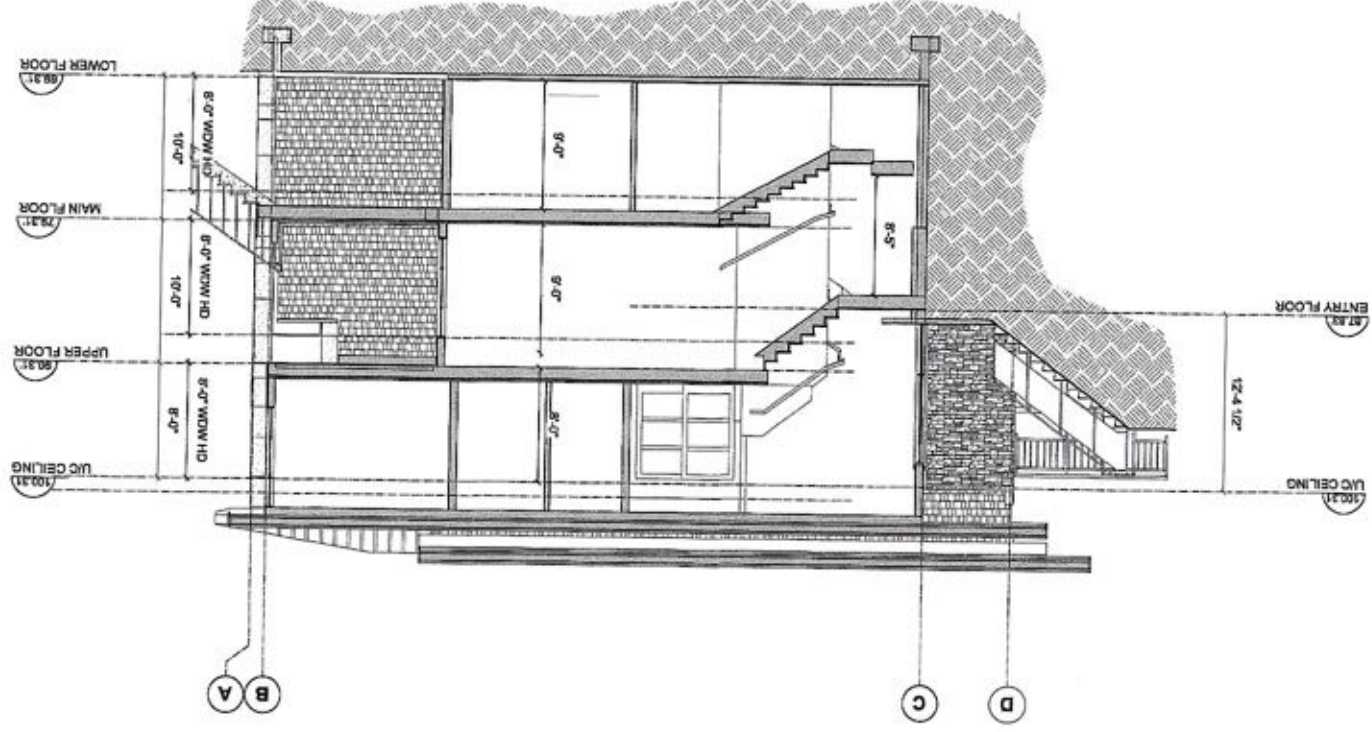
NOV 21, 2001	ISSUED FOR CONSTRUCTION
MAY 15, 2002	CHANGED FLOOR CONSTRUCTION
MAY 21, 2002	REVISED DOOR SCHEDULE
OCT 1, 2002	FINAL APPROVAL



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2

DRAWING
SECTION A-A

PROJECT SHEET
NO. 1
SCALE 1/4" = 1'-0"
DATE OCT 1, 2002
3.01
AH2-



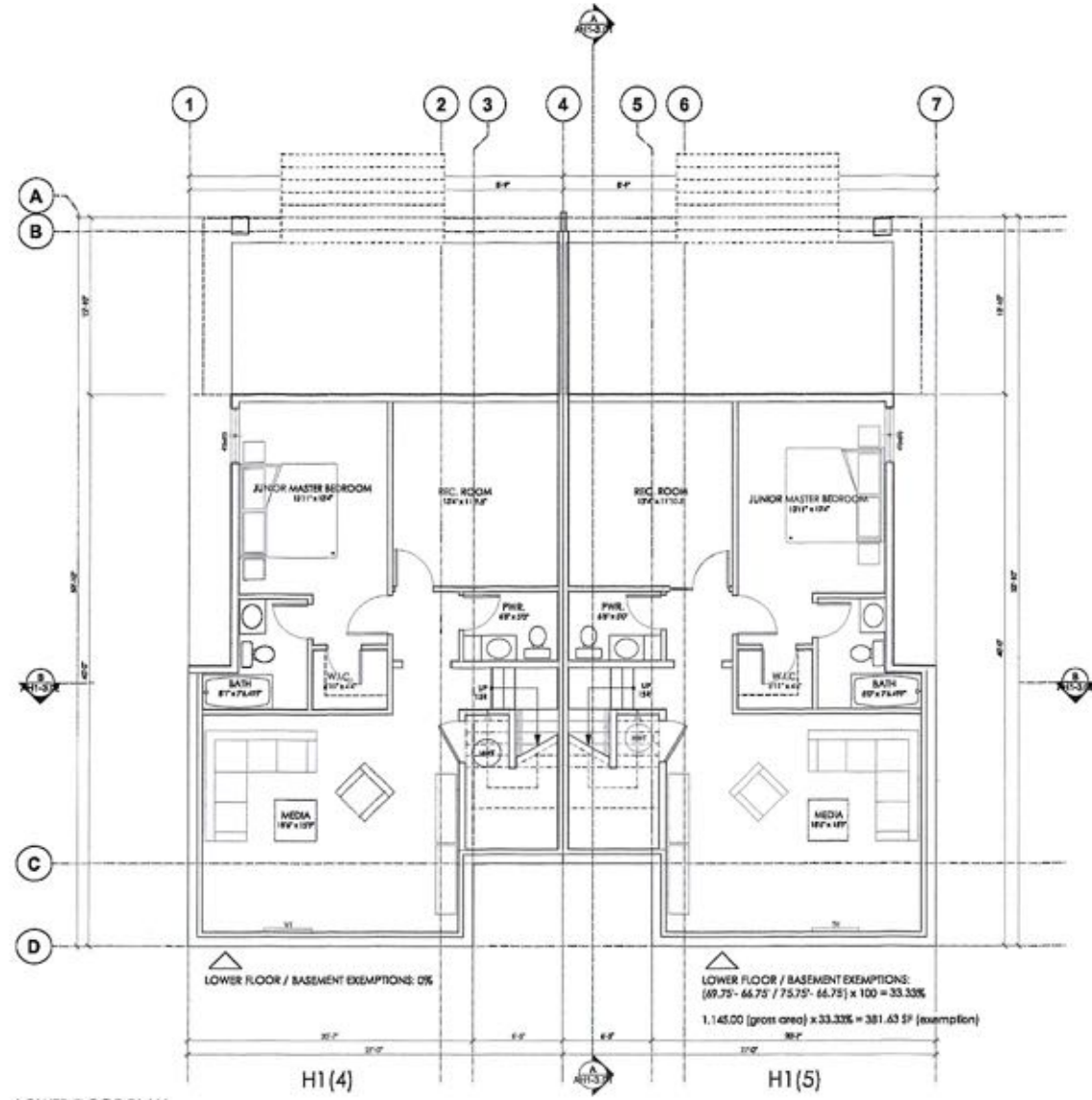
A
SECTION A-A
Scale: 1/4" = 1'-0"

Sta #	Station	Dist	Elevation	Avg Elevation	Distance	Area x Distance
PTS	PTS	PTS	PTS	PTS	PTS	PTS
A	R 12.0	88.80	87.80	18.00	1080.00	
B	R 20.0	88.80	88.80	18.40	1134.00	
C	R 30.0	89.40	89.40	18.80	1202.40	
D	R 40.0	90.00	90.00	19.20	1281.60	
E	R 50.0	90.60	90.60	19.60	1372.40	
F	R 60.0	91.20	91.20	20.00	1476.00	
G	R 70.0	91.80	91.80	20.40	1592.40	
H	R 80.0	92.40	92.40	20.80	1721.60	
I	R 90.0	93.00	93.00	21.20	1863.60	
J	R 100.0	93.60	93.60	21.60	2018.40	
K	R 110.0	94.20	94.20	22.00	2186.40	
L	R 120.0	94.80	94.80	22.40	2367.60	
M	R 130.0	95.40	95.40	22.80	2562.00	
N	R 140.0	96.00	96.00	23.20	2769.60	
O	R 150.0	96.60	96.60	23.60	2990.40	
P	R 160.0	97.20	97.20	24.00	3225.60	
Q	R 170.0	97.80	97.80	24.40	3476.40	
R	R 180.0	98.40	98.40	24.80	3743.20	
S	R 190.0	99.00	99.00	25.20	4026.00	
T	R 200.0	99.60	99.60	25.60	4324.80	
U	R 210.0	100.20	100.20	26.00	4639.20	
V	R 220.0	100.80	100.80	26.40	4969.60	
W	R 230.0	101.40	101.40	26.80	5316.00	
X	R 240.0	102.00	102.00	27.20	5678.40	
Y	R 250.0	102.60	102.60	27.60	6056.80	
Z	R 260.0	103.20	103.20	28.00	6451.20	
AA	R 270.0	103.80	103.80	28.40	6861.60	
AB	R 280.0	104.40	104.40	28.80	7288.00	
AC	R 290.0	105.00	105.00	29.20	7730.40	
AD	R 300.0	105.60	105.60	29.60	8188.80	
AE	R 310.0	106.20	106.20	30.00	8663.20	
AF	R 320.0	106.80	106.80	30.40	9153.60	
AG	R 330.0	107.40	107.40	30.80	9660.00	
AH	R 340.0	108.00	108.00	31.20	10182.40	
AI	R 350.0	108.60	108.60	31.60	10720.80	
AJ	R 360.0	109.20	109.20	32.00	11275.20	
AK	R 370.0	109.80	109.80	32.40	11845.60	
AL	R 380.0	110.40	110.40	32.80	12432.00	
AM	R 390.0	111.00	111.00	33.20	13034.40	
AN	R 400.0	111.60	111.60	33.60	13652.80	
AO	R 410.0	112.20	112.20	34.00	14287.20	
AP	R 420.0	112.80	112.80	34.40	14937.60	
AQ	R 430.0	113.40	113.40	34.80	15604.00	
AR	R 440.0	114.00	114.00	35.20	16286.40	
AS	R 450.0	114.60	114.60	35.60	16984.80	
AT	R 460.0	115.20	115.20	36.00	17700.00	
AV	R 470.0	115.80	115.80	36.40	18432.00	
AW	R 480.0	116.40	116.40	36.80	19180.80	
AX	R 490.0	117.00	117.00	37.20	19946.40	
AY	R 500.0	117.60	117.60	37.60	20728.80	
AZ	R 510.0	118.20	118.20	38.00	21528.00	
BA	R 520.0	118.80	118.80	38.40	22344.00	
BB	R 530.0	119.40	119.40	38.80	23176.80	
BC	R 540.0	120.00	120.00	39.20	24026.40	
BD	R 550.0	120.60	120.60	39.60	24892.80	
BE	R 560.0	121.20	121.20	40.00	25776.00	
BF	R 570.0	121.80	121.80	40.40	26676.00	
BG	R 580.0	122.40	122.40	40.80	27592.80	
BH	R 590.0	123.00	123.00	41.20	28526.40	
BI	R 600.0	123.60	123.60	41.60	29476.80	
BJ	R 610.0	124.20	124.20	42.00	30444.00	
BJ	R 620.0	124.80	124.80	42.40	31428.00	
BL	R 630.0	125.40	125.40	42.80	32428.80	
BM	R 640.0	126.00	126.00	43.20	33446.40	
BN	R 650.0	126.60	126.60	43.60	34480.80	
BO	R 660.0	127.20	127.20	44.00	35531.20	
BP	R 670.0	127.80	127.80	44.40	36597.60	
BQ	R 680.0	128.40	128.40	44.80	37680.00	
BR	R 690.0	129.00	129.00	45.20	38778.40	
BS	R 700.0	129.60	129.60	45.60	39892.80	
BT	R 710.0	130.20	130.20	46.00	41023.20	
BU	R 720.0	130.80	130.80	46.40	42169.60	
BV	R 730.0	131.40	131.40	46.80	43332.00	
BW	R 740.0	132.00	132.00	47.20	44510.40	
BX	R 750.0	132.60	132.60	47.60	45704.80	
BY	R 760.0	133.20	133.20	48.00	46916.00	
BZ	R 770.0	133.80	133.80	48.40	48143.20	
CA	R 780.0	134.40	134.40	48.80	49386.40	
CB	R 790.0	135.00	135.00	49.20	50645.60	
CC	R 800.0	135.60	135.60	49.60	51920.80	
CD	R 810.0	136.20	136.20	50.00	53212.00	
CE	R 820.0	136.80	136.80	50.40	54519.20	
CF	R 830.0	137.40	137.40	50.80	55842.40	
CG	R 840.0	138.00	138.00	51.20	57181.60	
CH	R 850.0	138.60	138.60	51.60	58536.80	
CI	R 860.0	139.20	139.20	52.00	59908.00	
CJ	R 870.0	139.80	139.80	52.40	61295.20	
CK	R 880.0	140.40	140.40	52.80	62698.40	
CL	R 890.0	141.00	141.00	53.20	64117.60	
CM	R 900.0	141.60	141.60	53.60	65552.80	
CN	R 910.0	142.20	142.20	54.00	67004.00	
CO	R 920.0	142.80	142.80	54.40	68471.20	
CP	R 930.0	143.40	143.40	54.80	69954.40	
CQ	R 940.0	144.00	144.00	55.20	71453.60	
CR	R 950.0	144.60	144.60	55.60	72968.80	
CS	R 960.0	145.20	145.20	56.00	74490.00	
CT	R 970.0	145.80	145.80	56.40	76027.20	
CU	R 980.0	146.40	146.40	56.80	77580.40	
CV	R 990.0	147.00	147.00	57.20	79149.60	
CW	R 1000.0	147.60	147.60	57.60	80734.80	
CX	R 1010.0	148.20	148.20	58.00	82336.00	
CY	R 1020.0	148.80	148.80	58.40	83953.20	
CZ	R 1030.0	149.40	149.40	58.80	85586.40	
CA	R 1040.0	150.00	150.00	59.20	87235.60	
CB	R 1050.0	150.60	150.60	59.60	88900.80	
CC	R 1060.0	151.20	151.20	60.00	90582.00	
CD	R 1070.0	151.80	151.80	60.40	92279.20	
CE	R 1080.0	152.40	152.40	60.80	93993.40	
CF	R 1090.0	153.00	153.00	61.20	95724.60	
CG	R 1100.0	153.60	153.60	61.60	97472.80	
CH	R 1110.0	154.20	154.20	62.00	99238.00	
CI	R 1120.0	154.80	154.80	62.40	101020.20	
CJ	R 1130.0	155.40	155.40	62.80	102819.40	
CK	R 1140.0	156.00	156.00	63.20	104635.60	
CL	R 1150.0	156.60	156.60	63.60	106468.80	
CM	R 1160.0	157.20	157.20	64.00	108319.00	
CN	R 1170.0	157.80	157.80	64.40	110186.20	
CO	R 1180.0	158.40	158.40	64.80	112070.40	
CP	R 1190.0	159.00	159.00	65.20	113971.60	
CQ	R 1200.0	159.60	159.60	65.60	115889.80	
CR	R 1210.0	160.20	160.20	66.00	117825.00	
CS	R 1220.0	160.80	160.80	66.40	119777.20	
CT	R 1230.0	161.40	161.40	66.80	121746.40	
CU	R 1240.0	162.00	162.00	67.20	123732.60	
CV	R 1250.0	162.60	162.60	67.60	125735.80	
CW	R 1260.0	163.20	163.20	68.00	127756.00	
CX	R 1270.0	163.80	163.80	68.40	129793.20	
CY	R 1280.0	164.40	164.40	68.80	131847.40	
CZ	R 1290.0	165.00	165.00	69.20	133918.60	
CA	R 1300.0	165.60	165.60	69.60	135996.80	
CB	R 1310.0	166.20	166.20	70.00	138082.00	
CB	R 1320.0	166.80	166.80	70.40	140184.20	
CC	R 1330.0	167.40	167.40	70.80	142293.40	
CC	R 1340.0	168.00	168.00	71.20	144409.60	
CD	R 1350.0	168.60	168.60	71.60	146542.80	
CD	R 1360.0	169.20	169.20	72.00	148693.00	
CD	R 1370.0	169.80	169.80	72.40	150860.20	
CE	R 1380.0	170.40	170.40	72.80	153044.40	
CE	R 1390.0	171.00	171.00	73.20	155245.60	
CE	R 1400.0	171.60	171.60	73.60	157463.80	
CE	R 1410.0	172.20	172.20	74.00	159699.00	
CE	R 1420.0	172.80	172.80	74.40	161951.20	
CE	R 1430.0	173.40	173.40	74.80	164220.40	
CE	R 1440.0	174.00	174.00	75.20	166506.60	
CE	R 1450.0	174.60	174.60	75.60	168809.80	
CE	R 1460.0	175.20	175.20	76.00	171130.00	
CE	R 1470.0	175.80	175.80	76.40	173467.20	
CE	R 1480.0	176.40	176.40	76.80	175821.40	
CE	R 1490.0	177.00	177.00	77.20	178192.60	
CE	R 1500.0	177.60	177.60	77.60	180580.80	
CE	R 1510.0	178.20	178.20	78.00	182986.00	
CE	R 1520.0	178.80	178.80	78.40	185408.20	
CE	R 1530.0	179.40	179.40	78.80	187847.40	
CE	R 1540.0	180.00	180.00	79.20	190303.60	
CE	R 1550.0	180.60	180.60	79.60	192776.80	
CE	R 1560.0	181.20	181.20	80.00	195267.00	
CE	R 1570.0	181.80	181.80	80.40	197774.20	
CE	R 1580.0	182.40	182.40	80.80	200298.40	
CE	R 1590.0	183.00	183.00	81.20	202839.60	
CE	R 1600.0	183.60	183.60	81.60	205397.80	
CE	R 1610.0	184.20	184.20	82.00	207973.00	
CE	R 1620.0	184.80	184.80	82.40	210565.20	
CE	R 1630.0	185.40	185.40	82.80	213174.40	
CE	R 1640.0	186.00	186.00	83.20	215790.60	
CE	R 1650.0	186.60	186.60	83.60	218423.80	
CE	R 1660.0	187.20	187.20	84.00	221074.00	
CE	R 1670.0	187.80	187.80	84.40	223741.20	
CE	R 1680.0	188.40	188.40	84.80	226425.40	
CE	R 1690.0	189.00	189.00	85.20	229126.60	
CE	R 1700.0	189.60	189.60	85.60	231844.80	
CE	R 1710.0	190.20	190.20	86.00	234570.00	
CE	R 1720.0	190.80	190.80	86.40	237312.20	
CE	R 1730.0	191.40	191.40	86.80	240071.40	
CE	R 1740.0	192.00	192.00	87.20	242847.60	
CE	R 1750.0	192.60	192.60	87.60	245640.80	
CE	R 1760.0	193.20	193.20	88.00	248451.00	
CE	R 1770.0	193.80	193.80	88.40	251278.20	
CE	R 1780.0	194.40	194.40	88.80	254122.40	
CE	R 1790.0	195.00	195.00	89.20	256983.60	
CE	R 1800.0	195.60	195.60	89.60	259861.80	
CE	R 1810.0	196.20	196.20	90.00	262757.00	
CE	R 1820.0	196.80</				

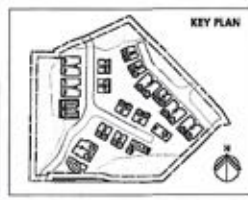
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REVISIONS
 Issued for CP/Reviewing
 04/07/2021
 01, 03, 05 Rev/Issue
 Hunt Address

Aug 31, 2021
 MAY 18, 2023
 JAN 21, 2023
 OCT 1, 2023



LOWER FLOOR PLAN
 UNIT H1



UNIT 4 FLOOR AREAS IMPERIAL				
	LEVEL 1.02 FT	LEVEL 2.00 FT	LEVEL 2.00 FT	TOTAL
GROSS	938 SF	1291.4 SF	1261.1 SF	3490.5 SF
GARAGE EXCLUSIONS	50 SF	62 SF	454.8 SF	466.8 SF
BATHWATER EXCLUSIONS 2%	52 SF	62 SF	52 SF	166 SF
COVERED BALCONY EXCLUSIONS	52 SF	94.2 SF	52 SF	198.2 SF
NET	100.8 SF	1105.7 SF	854.1 SF	1960.6 SF

UNIT 4 FLOOR AREAS METRIC				
	LEVEL 1.02 M	LEVEL 2.00 M	LEVEL 2.00 M	TOTAL
GROSS	91.29 M	128.29 M	117.52 M	337.10 M
GARAGE EXCLUSIONS	4.65 M	5.79 M	42.48 M	52.92 M
BATHWATER EXCLUSIONS	4.83 M	5.79 M	4.95 M	15.57 M
COVERED BALCONY EXCLUSIONS	4.83 M	8.69 M	4.95 M	18.47 M
NET	91.29 M	111.63 M	81.23 M	194.15 M

UNIT 5 FLOOR AREAS IMPERIAL				
	LEVEL 1.02 FT	LEVEL 2.00 FT	LEVEL 2.00 FT	TOTAL
GROSS	968.8 SF	1261.3 SF	1262.0 SF	3492.1 SF
GARAGE EXCLUSIONS	52 SF	62 SF	454.8 SF	568.8 SF
BATHWATER EXCLUSIONS 2.02%	52.4 SF	62 SF	52 SF	166.4 SF
COVERED BALCONY EXCLUSIONS	52 SF	94.2 SF	52 SF	198.2 SF
NET	100.2 SF	1105.3 SF	854.2 SF	1960.7 SF

UNIT 5 FLOOR AREAS METRIC				
	LEVEL 1.02 M	LEVEL 2.00 M	LEVEL 2.00 M	TOTAL
GROSS	91.29 M	118.29 M	117.52 M	327.10 M
GARAGE EXCLUSIONS	4.65 M	5.79 M	42.48 M	52.92 M
BATHWATER EXCLUSIONS 2.02%	4.83 M	5.79 M	4.95 M	15.57 M
COVERED BALCONY EXCLUSIONS	4.83 M	8.69 M	4.95 M	18.47 M
NET	91.29 M	108.73 M	81.23 M	191.25 M

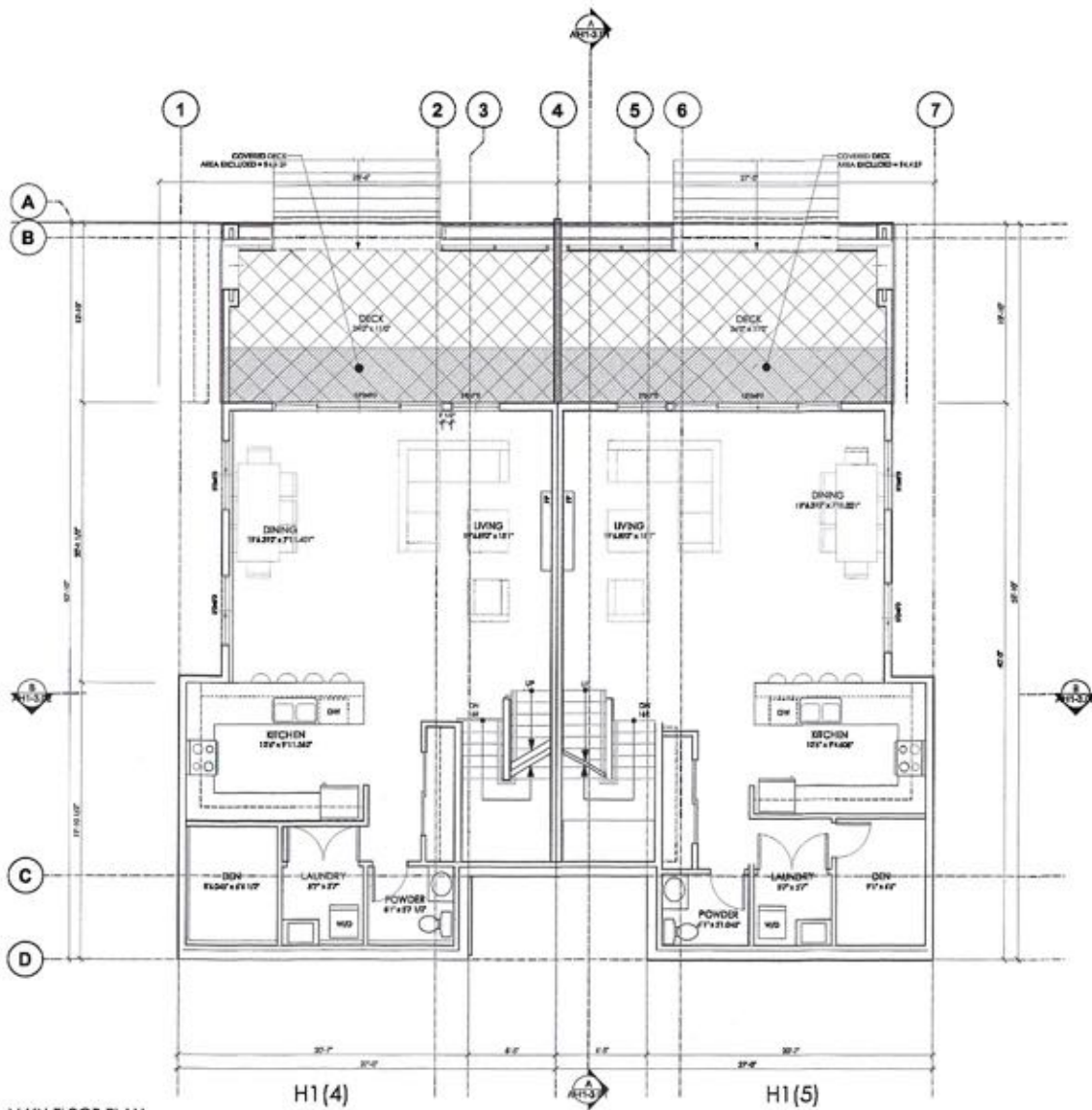
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
LOWER FLOOR PLAN

PROJECT# 2021
 SHEET
AH1-2.01
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2023

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REV: 81018
 Model for CP/Reviewing
 DRG Public Comment Revisions
 6/1, 6/2, 6/3 Revisions
 Mark Additions
 Aug 21, 2020
 MAY 13, 2020
 JULY 21, 2020
 Oct 1, 2020



MAIN FLOOR PLAN
 UNIT G1

H1(4)

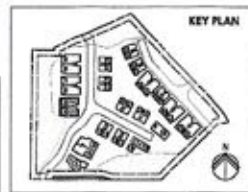
H1(5)

UNIT 4 FLOOR AREAS IMPERIAL				
	LEVEL 150 FT	LEVEL 250 FT	LEVEL 340 FT	TOTAL
GROSS	98.8 SF	136.4 SF	181.3 SF	356.5 SF
GARAGE INCLUSIONS	0.0 SF	0.0 SF	46.8 SF	46.8 SF
BATHROOM INCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY INCLUSIONS	0.0 SF	61.2 SF	0.0 SF	61.2 SF
NET	98.8 SF	136.4 SF	87.4 SF	302.7 SF

UNIT 4 FLOOR AREAS METRIC				
	LEVEL 150 M	LEVEL 250 M	LEVEL 340 M	TOTAL
GROSS	91.2 M ²	126.2 M ²	171.2 M ²	328.7 M ²
GARAGE INCLUSIONS	0.0 M ²	0.0 M ²	43.2 M ²	43.2 M ²
BATHROOM INCLUSIONS	0.0 M ²	0.0 M ²	0.0 M ²	0.0 M ²
COVERED BALCONY INCLUSIONS	0.0 M ²	56.5 M ²	0.0 M ²	56.5 M ²
NET	91.2 M ²	126.2 M ²	81.2 M ²	288.7 M ²

UNIT 5 FLOOR AREAS IMPERIAL				
	LEVEL 150 FT	LEVEL 250 FT	LEVEL 340 FT	TOTAL
GROSS	98.8 SF	181.1 SF	138.0 SF	347.9 SF
GARAGE INCLUSIONS	0.0 SF	0.0 SF	46.8 SF	46.8 SF
BATHROOM INCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY INCLUSIONS	0.0 SF	34.3 SF	0.0 SF	34.3 SF
NET	98.8 SF	181.1 SF	91.2 SF	311.2 SF

UNIT 5 FLOOR AREAS METRIC				
	LEVEL 150 M	LEVEL 250 M	LEVEL 340 M	TOTAL
GROSS	91.2 M ²	171.2 M ²	126.2 M ²	328.7 M ²
GARAGE INCLUSIONS	0.0 M ²	0.0 M ²	43.2 M ²	43.2 M ²
BATHROOM INCLUSIONS	0.0 M ²	0.0 M ²	0.0 M ²	0.0 M ²
COVERED BALCONY INCLUSIONS	0.0 M ²	31.5 M ²	0.0 M ²	31.5 M ²
NET	91.2 M ²	171.2 M ²	81.2 M ²	283.7 M ²



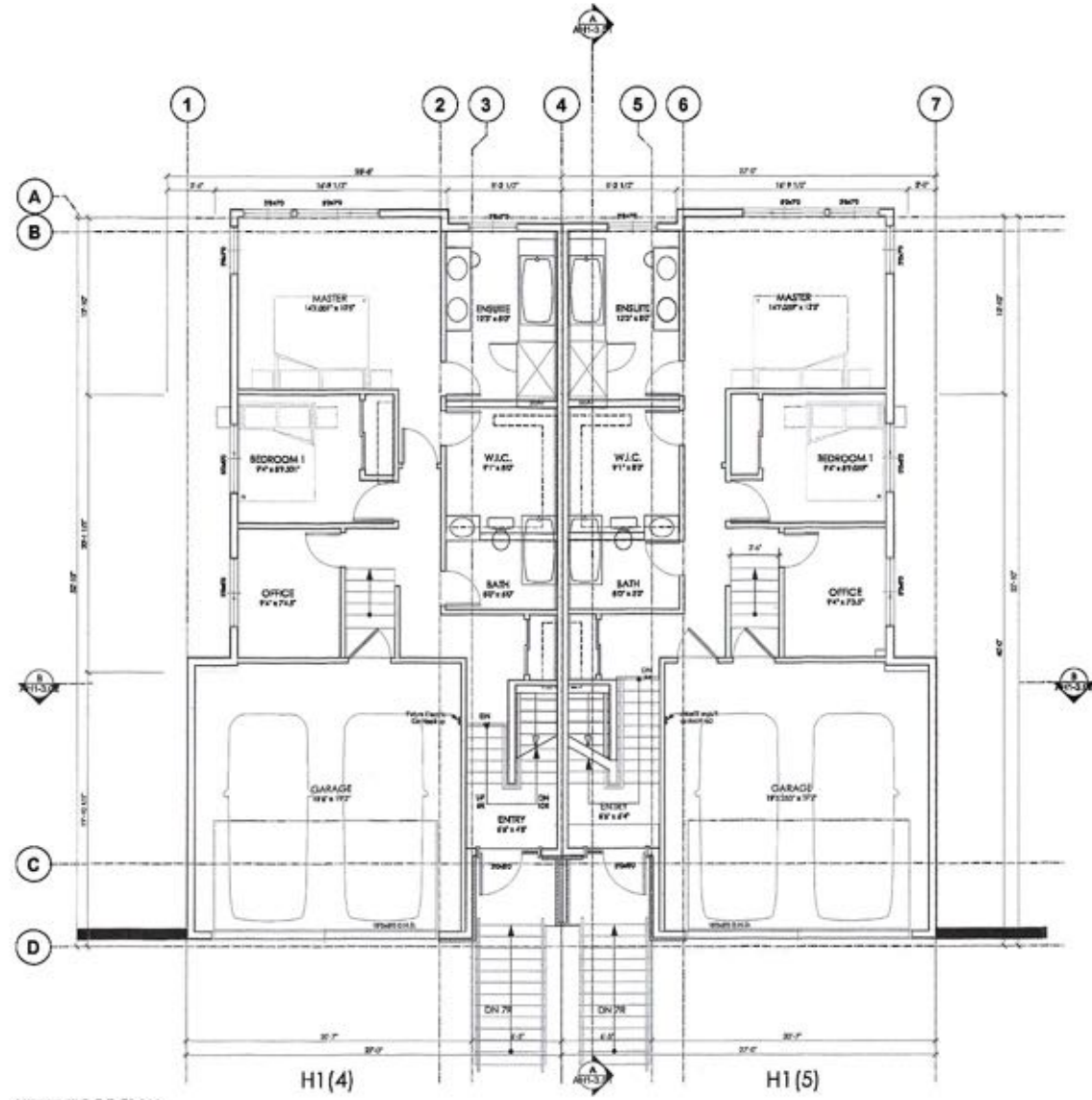
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
MAIN FLOOR PLAN

PROJECT#
 SHEET
AH1-2.02
 SCALE
 1/4" = 1'-0"
 DATE
 OCT 1, 2020

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REVISIONS
 Issued for CP/Reworking Aug 31, 2021
 0102 Public Comment/Revisions MAY 13, 2020
 01, 02, 03 Revisions JULY 21, 2020
 If not addressed Oct 1, 2020

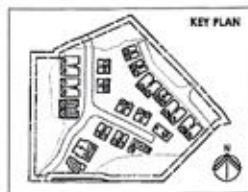


UPPER FLOOR PLAN
 UNIT H1



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
 UPPER FLOOR
 PLAN



PROJECT NO. 2021-001
 SHEET NO. AH1-2.03
 SCALE 1/2" = 1'-0"
 DATE OCT 1, 2021

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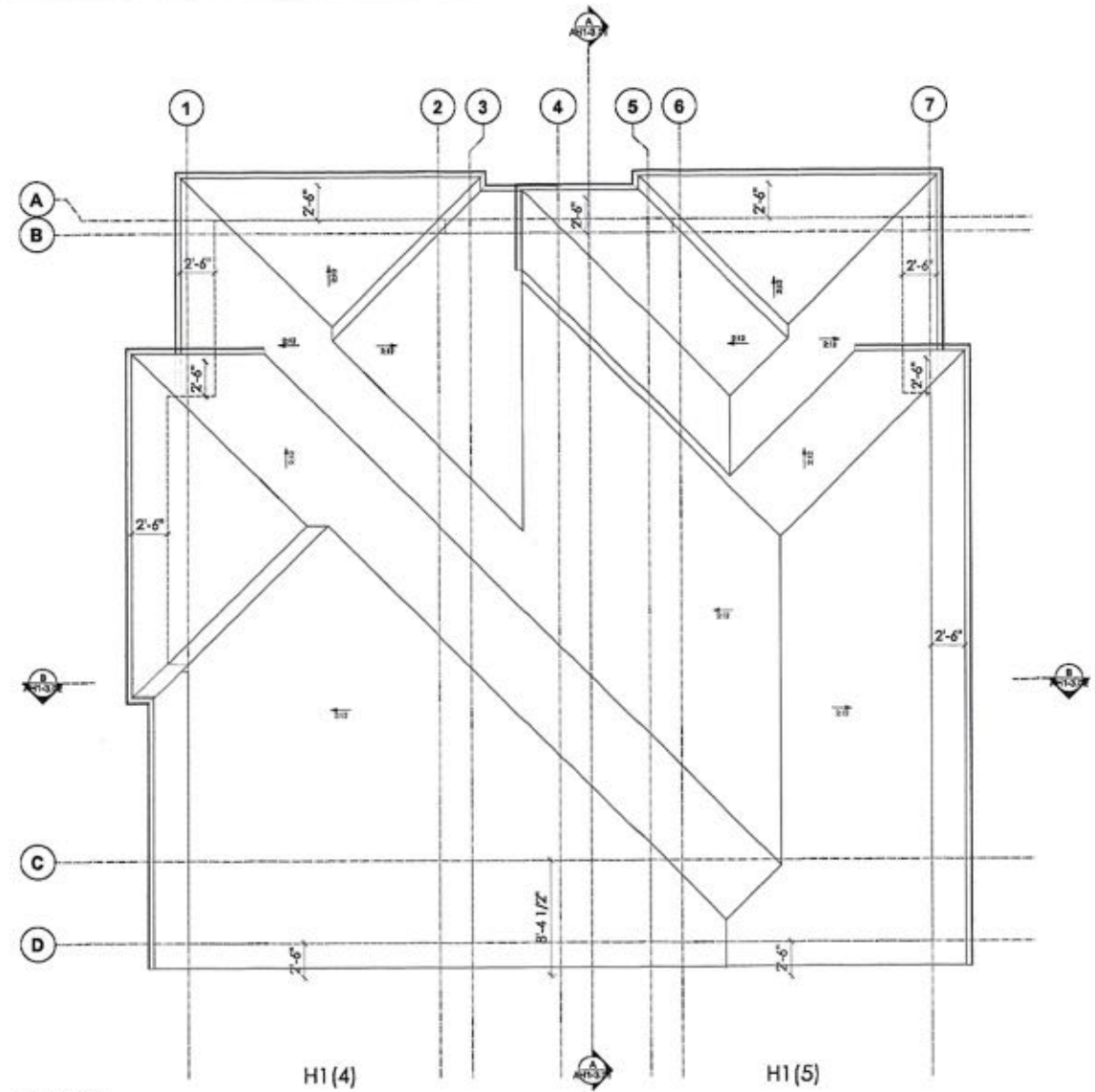
REVISIONS
 Model No. CP/Revised Aug. 21, 2001
 2002 Public Comment/Revised MAY 12, 2003
 ST. DL 03 Revisions JULY 21, 2003
 Final Revisions OCT 1, 2003



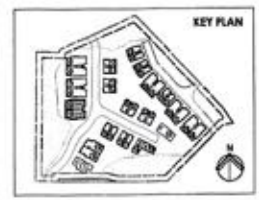
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
ROOF PLAN

PROJECT	800	SHEET	AH1-2.04
SCALE	1/4" = 1'-0"	DATE	
DATE	OCT 1, 2003		

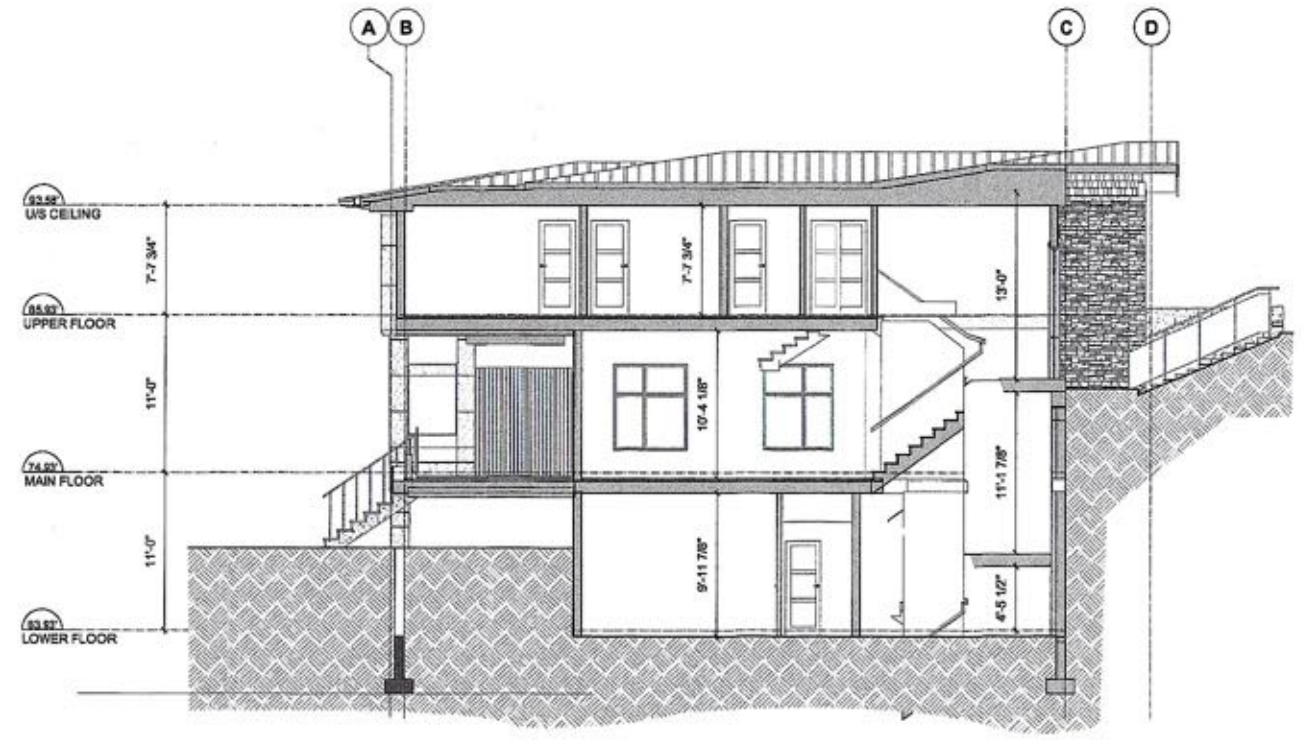


ROOF PLAN
 UNIT H2



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REVISIONS
 Issued for DP/Reviewing Aug 21, 2020
 DP/ Public Comment Review MAY 13, 2020
 S.L. G.S. G.S. Hardware JAN 21, 2020
 H and S/Outline Oct 1, 2019



A SECTION A-A
 Scale: 1/4" = 1'-0"



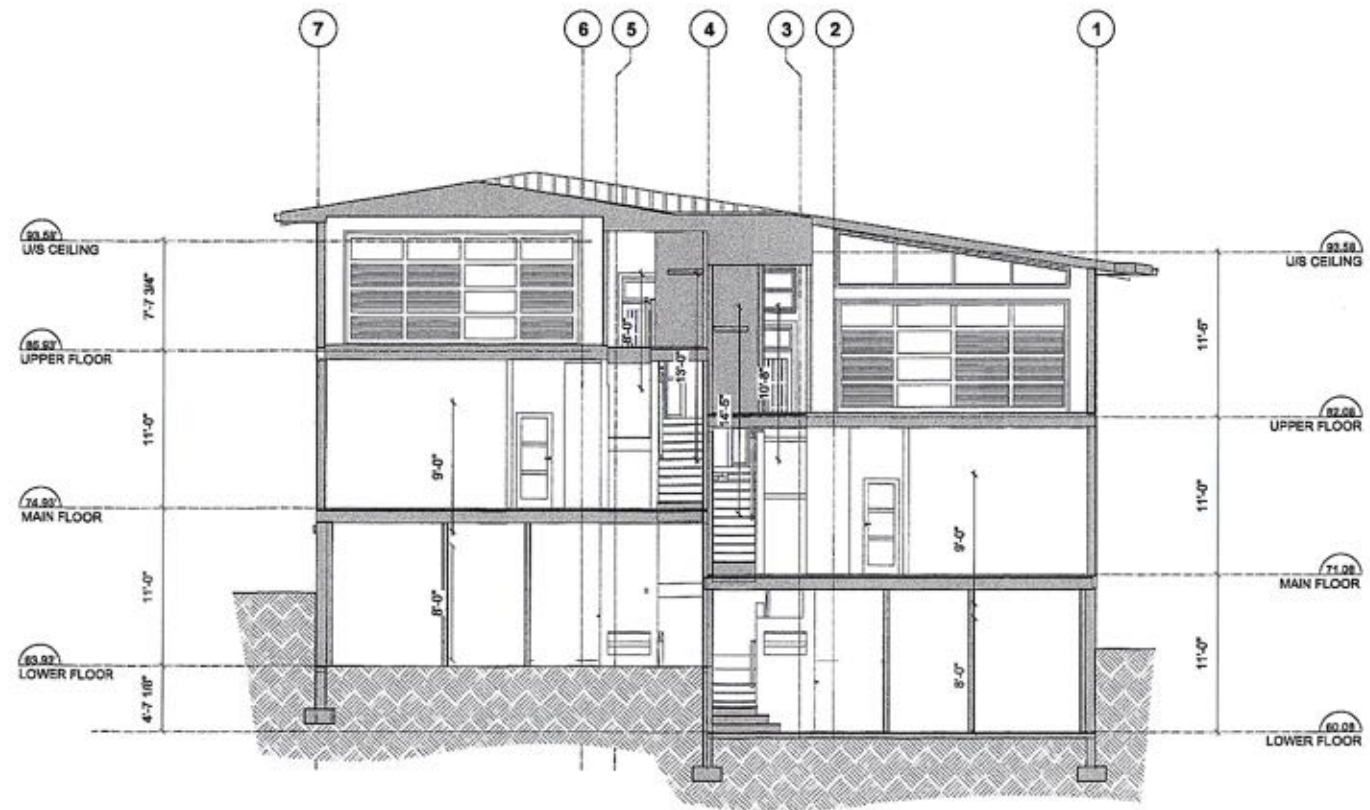
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
 SECTION A-A

PROJECT	000	SHEET	AH1-3.01
SCALE	1/4"=1'-0"		
DATE	OCT 1, 2020		

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REVISION #
 Issued for DP/Permitting Aug 24, 2021
 DP/2 Public Comment/Revisions MAY 18, 2020
 DL, DS, GJ Revisions JAN 31, 2020
 Hunk Addresser OCT 1, 2019



B SECTION B-B
 Scale: 1/4" = 1'-0"



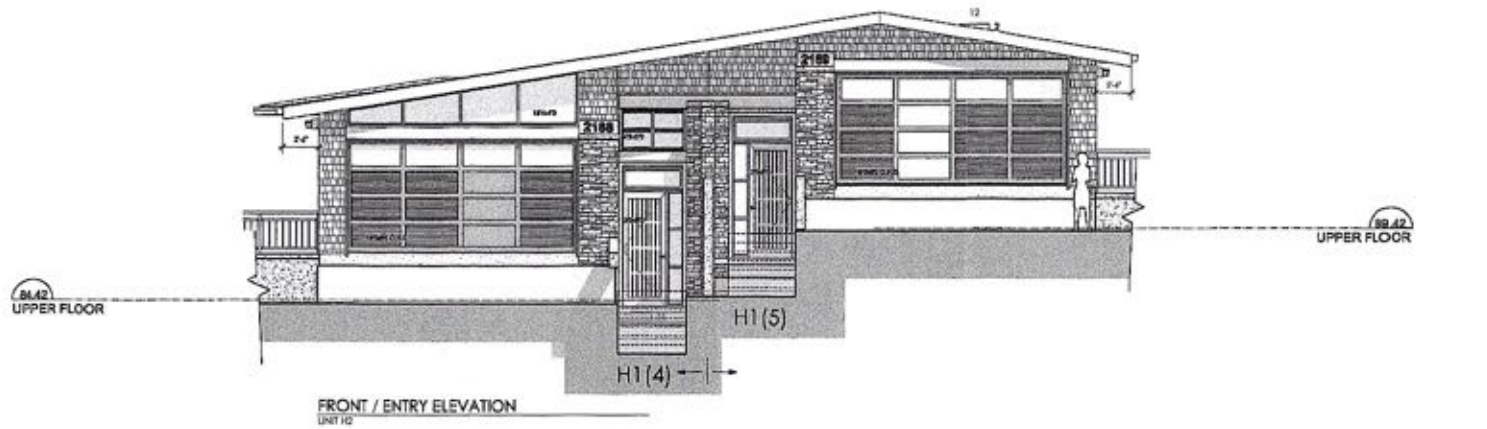
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
 SECTION B-B

PROJECT	SHEET
NO.	AH1-
SCALE	3.02
DATE	OCT 1, 2021

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REVISIONS
 Issued for DP/working Aug 31, 2021
 DSD Public Comment Revisions MAY 12, 2020
 Dr. Ol, G3 Revisions JULY 31, 2020
 Walkability Oct 1, 2020



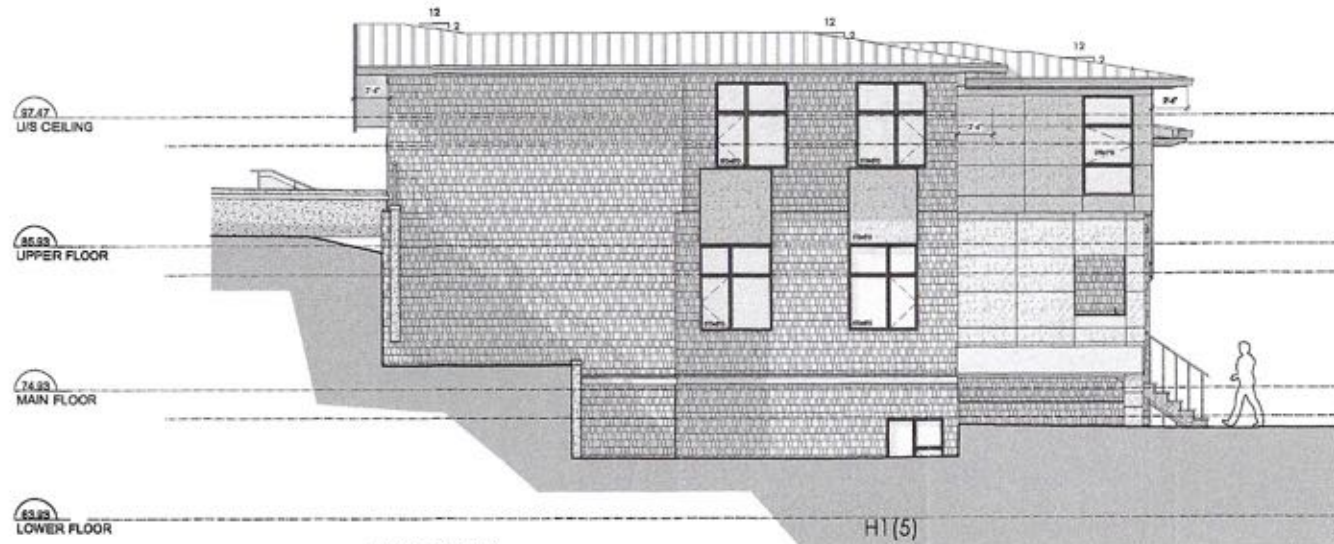
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
**FRONT & BACK
 ELEVATIONS B/W**

PROJECT	800	SHEET	AH1-4.01
SCALE	1/4" = 1'-0"	DATE	
DATE	OCT 1, 2020		

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REVISIONS
 Issued for DP/Permitting Aug 31, 2023
 DSD Public Comment/Revisions MAY 12, 2023
 01, 02, 03 Revisions JAN 24, 2023
 Initial Submittal OCT 1, 2022



EAST ELEVATION
 UNIT H1

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-01)

EXPOSED BUILDING FACE:	1285.23 SF (119.40 SM)
LIMITING DISTANCE:	4.00' (1.22 M)
UNPROTECTED OPENING:	376.30 SF (34.49 SM)
PROPOSED OPENING:	13.70%
PERMITTED OPENING:	14.00%



WEST ELEVATION
 UNIT H1



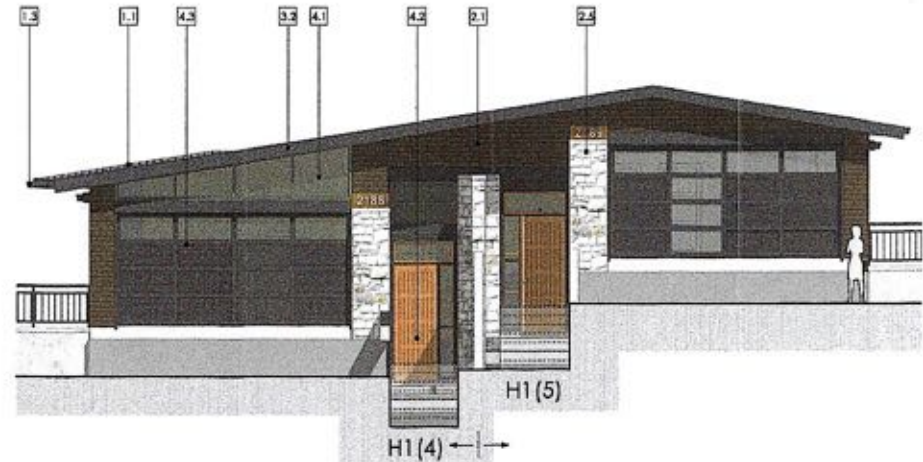
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
 EAST & WEST
 ELEVATIONS B/W

PROJECT#	2023	SHEET	AH1- 4.02
SCALE	1/4" = 1' - 0"		
DATE	OCT 1, 2023		

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REVISIONS
 Issued for DR/Reviewing
 D127 Public Consult Feedback
 01, 04, 09 Revisions
 Hunt addition
 Aug 31, 2021
 MAY 10, 2020
 JULY 26, 2020
 Oct 1, 2020



FRONT / ENTRY ELEVATION
 UNIT H2



BACK ELEVATION
 UNIT H2

	
HARDY PANEL	FIRE CEMENT SHINGLES - WOODCONE RUSTIC SERIES CARBON TRAILS
	
STONE CLADDING	METAL ROOF - CHARCOAL GRAY
	
ENTRY DOOR STEELWOOD - OLD MASTER OIL STAIN C/W CLEAR TOP COAT - SPECIAL WALNUT	WINDOW / FASCIA / BARGE BOARDS & UPSTAND - CHARCOAL GRAY
	
SOFFIT - ROCKPORT GRAY BM - HC - 105	BALCONY - WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Cape 1/2" metal roof	Charcoal Gray
1.2	Stone Cement Surti	Rockport Gray BM-HC-105
1.3	Gutter	Charcoal Gray
2.1	Fire Cement Shingles	Woodcove Rustic Series Carbon Trails
2.2	Hard Panel	Light mist
2.3	Hardy Panel	Light mist
2.4	Hard Panel	Light mist
2.5	Stone	Random Granite
3.1	Optional factory built c/w prefabricated metal panter & cap roofing Prefabricated metal panter roofing	Wrought Iron BM - 2124 - 10
3.2	Roof	Wrought Iron BM - 2124 - 10
4.1	Double glazed vinyl windows & Unobscured door	Charcoal Gray
4.2	Entry door painted c/w transom and widge	Steelwood - Old Master Oil Stain c/w clear top coat - Special Walnut
4.3	Prefabricated Fiberglass painted garage door c/w finished glass 72% (see spec)	Charcoal Gray
4.4	Stochastic glass guardrail system c/w chrome	Charcoal Gray
5.1	Fire retardant treated wood	Steelwood - Old Master Oil Stain c/w clear top coat - Special Walnut
5.2	Prefabricated metal roofing	Charcoal Gray
5.3	Steel panel painted finish	Charcoal Gray



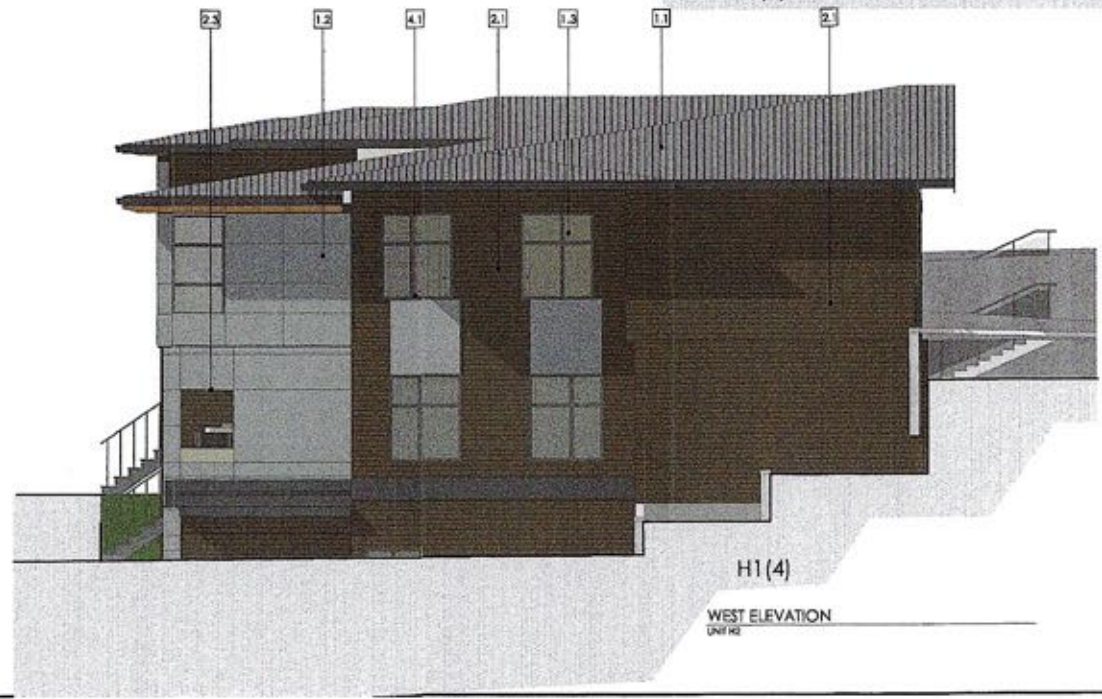
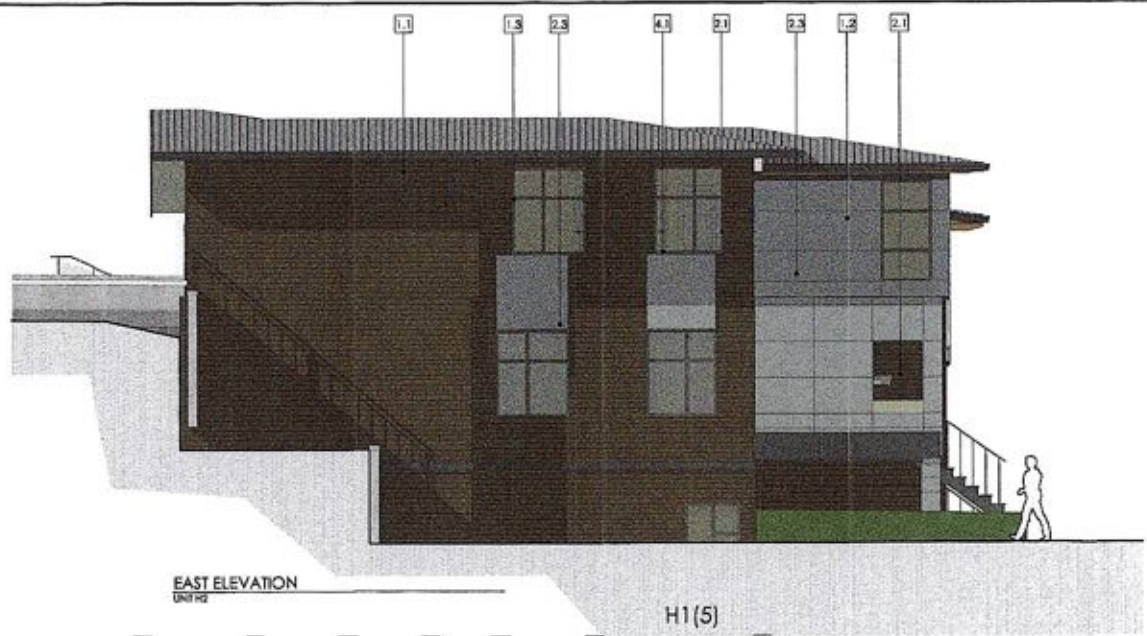
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
**FRONT & BACK
 ELEVATIONS**

PROJECT# 800
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2020
AH1-4.03

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REVISIONS	
Issued for CP Review	Aug 21, 2021
ORC/Pulse Comment/Revisions	Mar 18, 2023
91.00.00 Revisions	Jul 21, 2023
Final Address	Oct 1, 2023



AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Color
1.1	Clear 1/2" Marine Balm	Charcoal Gray
1.2	Flow Cement Soffit	Blackwood Gray S&H-10-100
1.3	Soffit	Charcoal Gray
2.1	Flow Cement Brackets	Woodstone Rustic Series Carbon Hole
2.2	Soil Guard	
2.3	Hardy Panel	Light oak
2.4	Soil Guard	
2.5	Stone	Random Granite
3.1	Upstream stainless steel chp perforated metal counter & egg bathing	Wrought iron S&H - 2134 - 10
3.2	Downstream stainless steel counter/siding	Wrought iron S&H - 2134 - 10
3.3	Track	
4.1	Dark-stained vinyl windows & light-stained doors	Charcoal Gray
4.2	Entry door painted chp trim and ledging	Stainless - Old Master Gel 300 chp clear top coat - Spanish Walnut
4.3	Insulated fiberglass painted garage door chp treated pine T&E (see elev.)	Charcoal Gray
4.4	Stainless steel guardrail system chp glass rail	Charcoal Gray
5.1	Fire-retardant treated wood	Stainless - Old Master Gel 300 chp clear top coat - Spanish Walnut
5.2	Insulated metal roofing	Charcoal Gray
5.3	Steel post guardrail system	Charcoal Gray



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT H1

DRAWING
 EAST & WEST ELEVATIONS

PROJECT NO: AH1-4.04
 SCALE: 1/4"=1'-0"
 DATE: OCT 1, 2023

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REVISIONS

Revised for CP/Neighbour	Aug 21, 2021
DRG Public Comment Response	MAY 13, 2022
U. 06, 08 Revisions	JUL 21, 2022
Hand additions	OCT 1, 2022



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT H2



BACK ELEVATION - CAMERA VIEW
UNIT H2



BACK ELEVATION - CAMERA VIEW
UNIT H1



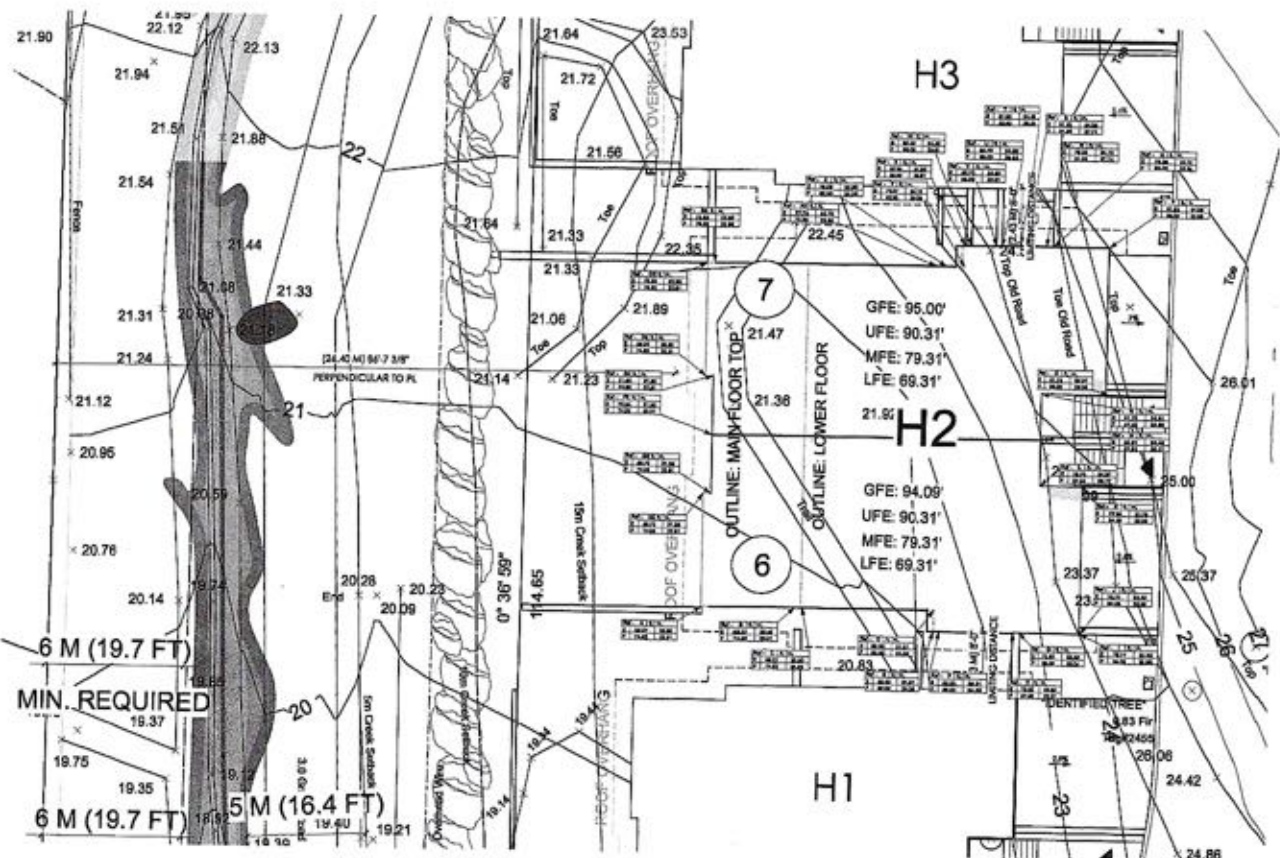
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H1

DRAWING
FRONT, BACK
ELEVATIONS -
CAMERA VIEW

PROJECT	SHEET
SCALE	AS SHOWN
DATE	OCT 1, 2022
	AH1-4.05

VD - AVERAGE FINISH GRADE CALCULATION					
Ref #	Station	Ref #	Station	Avg. Elevation	Area x Distance
1/2	1/2	1/2	1/2	1/2	1/2
A	74.818	74.82	74.82	19.75	870.88
B	74.818	74.82	74.82	1.00	74.82
C	74.800	80.20	78.00	18.75	1488.75
D	80.200	80.20	80.20	3.25	261.50
E	80.200	80.20	80.20	1.00	80.20
F	80.200	87.80	86.75	3.00	242.13
G	87.800	87.80	87.78	1.00	87.78
H	87.800	84.00	83.00	6.75	512.14
I	84.000	84.00	84.00	1.00	84.00
J	84.000	84.00	84.00	18.75	1503.28
K	84.000	87.80	86.86	3.00	249.78
L	87.800	87.80	87.81	3.25	273.60
M	87.800	87.80	87.81	1.00	87.81
N	87.800	86.20	81.42	3.00	232.74
O	86.200	86.20	86.20	16.50	1367.80
P	86.200	84.20	81.00	7.00	567.00
Q	84.200	81.00	81.00	1.00	81.00
R	81.000	81.00	81.00	3.25	263.25
S	81.000	88.00	88.00	1.00	88.00
T	88.000	88.00	88.00	3.25	266.00
U	88.000	88.00	88.00	1.00	88.00
V	88.000	81.00	81.00	3.25	263.25
W	88.000	81.00	81.00	1.00	81.00
X	88.000	80.20	80.20	3.25	266.66
Y	80.200	80.20	80.20	1.00	80.20
Z	80.200	78.20	80.20	1.00	80.20
AA	78.200	78.20	78.20	26.65	2044.78
AB	78.200	78.20	78.20	1.00	78.20
AC	78.200	74.80	74.80	18.75	1378.25
AD	74.800	74.80	74.80	1.00	74.80
AE	74.800	74.80	74.80	3.25	263.17
AF	74.800	74.80	74.80	1.00	74.80
AG	74.800	74.80	74.80	1.00	74.80
AH	74.800	74.80	74.82	18.75	1378.14
Total				203.72	16832.81
Avg. Finish Grade					82.86
Min. Bdy. Height (FO)					173.17

VD - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Station	Ref #	Station	Avg. Elevation	Area x Distance	
1/2	1/2	1/2	1/2	1/2	1/2	
A	80.27	8	88.37	84.27	18.75	870.88
B	88.37	8	88.37	88.37	1.00	88.37
C	88.37	4	88.80	88.80	18.75	1503.28
D	88.80	8	88.80	88.80	3.25	266.66
E	88.80	8	88.80	88.80	1.00	88.80
F	88.80	7	73.80	71.28	3.25	263.25
G	73.80	6	78.80	75.50	1.00	75.50
H	78.80	6	78.77	78.77	3.75	291.86
I	78.77	5	78.77	78.77	1.00	78.77
J	78.77	13	77.80	77.28	18.75	1507.88
K	77.80	8	78.74	78.74	3.25	266.66
L	78.74	19	88.47	82.68	8.00	641.44
M	80.27	14	81.75	80.81	8.00	646.47
N	81.75	18	81.75	81.75	3.00	245.25
O	81.75	16	81.85	81.86	30.00	2455.80
P	81.85	17	78.36	82.50	1.00	82.50
Q	78.36	18	78.36	78.36	1.00	78.36
R	78.36	19	81.87	80.80	3.25	263.17
S	80.80	20	81.80	81.80	1.00	81.80
T	81.80	21	80.72	81.12	3.25	263.25
U	80.72	22	80.72	80.72	1.00	80.72
V	80.72	23	80.28	80.24	3.25	261.75
W	80.28	24	80.28	80.28	1.00	80.28
X	80.28	25	79.57	79.78	3.25	263.25
Y	79.57	26	78.09	78.66	3.25	263.72
Z	78.09	27	77.75	77.82	1.00	77.82
AA	77.75	28	79.82	79.79	39.00	2991.78
AB	79.82	28	79.82	79.82	1.00	79.82
AC	79.82	30	88.84	71.85	18.75	1378.43
AD	88.84	31	71.02	82.88	1.00	82.88
AE	71.02	38	75.84	71.08	1.00	71.08
AF	71.08	50	88.72	72.12	3.25	266.80
AG	88.72	34	88.72	88.72	1.00	88.72
AH	88.72	36	88.27	88.00	18.75	1507.56
Total				203.72	13934.13	
Avg. Existing Grade					74.90	
Min. Bdy. Height (FO)					164.87	



SITE PLAN
SCALE: 1/8"=1'-0"

These plans remain the ownership of Sterling Pacific

REVISED
Based on Planning
CHD Public Comment Review
CP, GR, DR Resubmit
HUB Address

Aug 26, 2024
MAY 13, 2023
JAN 21, 2023
OCT 1, 2022



PROJECT
AQUILA
DAFO DR. DRIVE, WEST
VANCOUVER, BC
UNIT H2

DRAWING
SITE PLAN

PROJECT# 830
SCALE 1/8"=1'-0"
DATE OCT 1, 2024
SHEET **AH2-1.01**

TOP OF FINISH FLOOR - 02 (B)		
Lower	Mean	Upper
82.18 m	82.14 m	82.18 m
78.72	80.97	82.72

TOP OF FINISH FLOOR - 02 (T)		
Lower	Mean	Upper
84.12 m	82.68 m	86.60 m
78.17	80.77	85.17

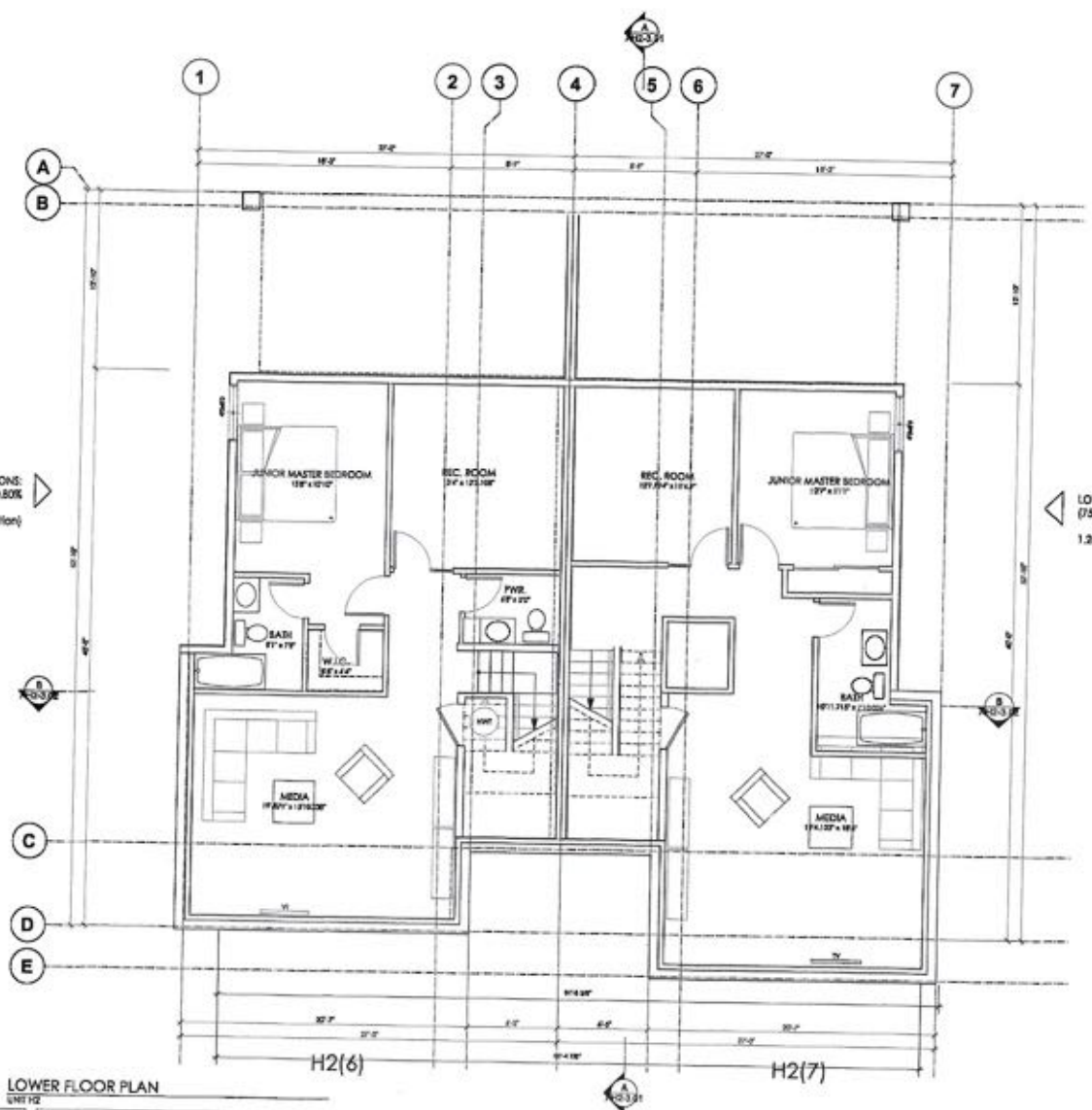


These plans remain the ownership of Sterling Pacific

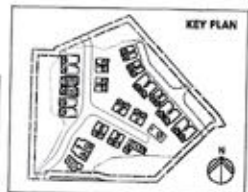
REVISIONS
 (Date) (By) (Description)
 Aug 21, 2020
 MAY 13, 2020
 JULY 21, 2020
 OCT 1, 2020

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (75.37' - 73.29' / 83.29' - 73.29') x 100 = 20.80%
 1.145 (gross area) x 20.80% = 236.16 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (75.37' - 73.29' / 83.29' - 73.29') x 100 = 20.80%
 1.206.8 (gross area) x 20.80% = 251.01 SF (exemption)



LOWER FLOOR PLAN
 UNIT H2



UNIT 6 FLOOR AREAS IMPERIAL

	LEVEL 1 90 FT	LEVEL 2 30 FT	LEVEL 3 30 FT	TOTAL
GROSS	1148.5 SF	1564.3 SF	1384.3 SF	3797.1 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	456.3 SF	456.3 SF
BASEMENT EXCLUSIONS BLANK	236.2 SF	0.0 SF	0.0 SF	236.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	76.4 SF	0.0 SF	76.4 SF
NET	912.3 SF	1564.3 SF	928.0 SF	3404.6 SF

UNIT 6 FLOOR AREAS METRIC

	LEVEL 1 30 M	LEVEL 2 9 M	LEVEL 3 9 M	TOTAL
GROSS	106.4 SQ M	144.3 SQ M	128.4 SQ M	379.1 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	42.6 SQ M	42.6 SQ M
BASEMENT EXCLUSIONS BLANK	22.2 SQ M	0.0 SQ M	0.0 SQ M	22.2 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	7.1 SQ M	0.0 SQ M	7.1 SQ M
NET	84.2 SQ M	144.3 SQ M	85.8 SQ M	314.3 SQ M

UNIT 7 FLOOR AREAS IMPERIAL

	LEVEL 1 90 FT	LEVEL 2 30 FT	LEVEL 3 30 FT	TOTAL
GROSS	1264.5 SF	1617.5 SF	1418.5 SF	4099.5 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	428.2 SF	428.2 SF
BASEMENT EXCLUSIONS BLANK	205.5 SF	0.0 SF	0.0 SF	205.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	76.4 SF	0.0 SF	76.4 SF
NET	1059.0 SF	1617.5 SF	990.3 SF	3666.8 SF

UNIT 7 FLOOR AREAS METRIC

	LEVEL 1 30 M	LEVEL 2 9 M	LEVEL 3 9 M	TOTAL
GROSS	117.2 SQ M	151.4 SQ M	131.3 SQ M	399.9 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	40.3 SQ M	40.3 SQ M
BASEMENT EXCLUSIONS BLANK	19.3 SQ M	0.0 SQ M	0.0 SQ M	19.3 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	7.1 SQ M	0.0 SQ M	7.1 SQ M
NET	97.9 SQ M	151.4 SQ M	91.3 SQ M	340.6 SQ M

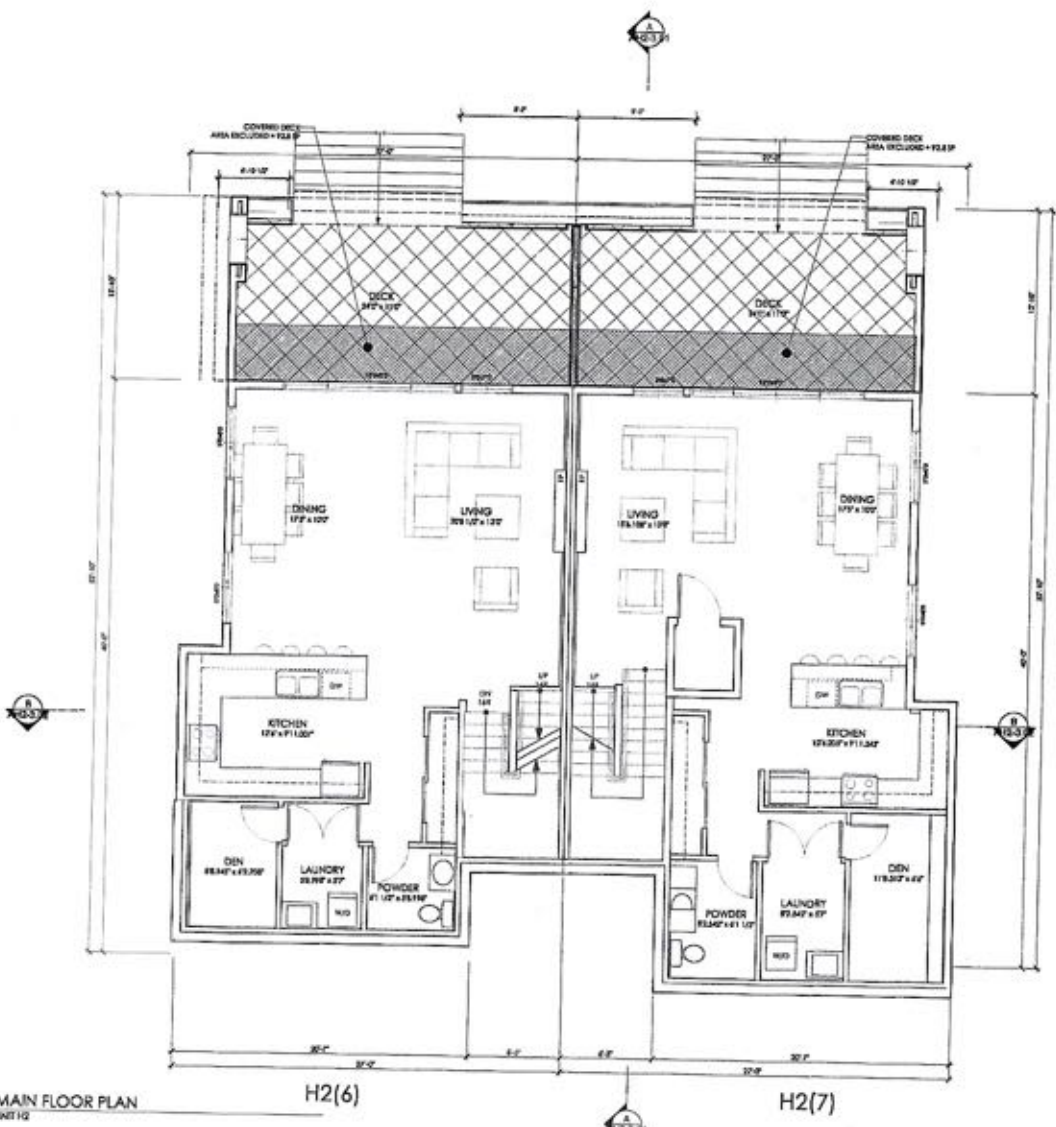
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H2

DRAWING
LOWER FLOOR PLAN

PROJECT NO. 2020-001
 SHEET
AH2-2.01
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2020

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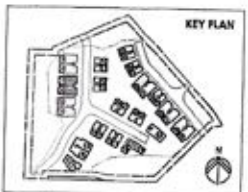
REVISION #	DATE
01	Aug 31, 2021
02	MAY 12, 2022
03	NOV 21, 2022
04	OCT 1, 2022



MAIN FLOOR PLAN
UNIT H2

H2(6)

H2(7)



KEY PLAN

MAIN FLOOR PLAN

UNIT 6 FLOOR AREAS IMPERIAL	LEVEL 1 30 FT			TOTAL
	LEVEL 1 30 FT	LEVEL 2 30 FT	LEVEL 3 30 FT	
DECK	1144.0 SF	1281.2 SF	1341.2 SF	3766.4 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	454.0 SF	454.0 SF
BATHROOM EXCLUSIONS	278.3 SF	0.0 SF	0.0 SF	278.3 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	184.4 SF	0.0 SF	184.4 SF
NET	1422.3 SF	1465.6 SF	1795.2 SF	3793.1 SF

UNIT 6 FLOOR AREAS METRIC	M2			TOTAL
	LEVEL 1 30 M	LEVEL 2 30 M	LEVEL 3 30 M	
DECK	132.4 M ²	148.1 M ²	155.1 M ²	435.6 M ²
GARAGE EXCLUSIONS	0.0 M ²	0.0 M ²	52.4 M ²	52.4 M ²
BATHROOM EXCLUSIONS	32.1 M ²	0.0 M ²	0.0 M ²	32.1 M ²
COVERED BALCONY EXCLUSIONS	0.0 M ²	21.1 M ²	0.0 M ²	21.1 M ²
NET	165.5 M ²	169.2 M ²	207.5 M ²	372.2 M ²

UNIT 7 FLOOR AREAS IMPERIAL	LEVEL 1 30 FT			TOTAL
	LEVEL 1 30 FT	LEVEL 2 30 FT	LEVEL 3 30 FT	
DECK	1204.0 SF	1411.0 SF	1412.0 SF	4027.0 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.0 SF	406.0 SF
BATHROOM EXCLUSIONS	271.0 SF	0.0 SF	0.0 SF	271.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	362.0 SF	0.0 SF	362.0 SF
NET	1475.0 SF	1773.0 SF	1818.0 SF	3966.0 SF

UNIT 7 FLOOR AREAS METRIC	M2			TOTAL
	LEVEL 1 30 M	LEVEL 2 30 M	LEVEL 3 30 M	
DECK	139.1 M ²	162.8 M ²	162.9 M ²	464.8 M ²
GARAGE EXCLUSIONS	0.0 M ²	0.0 M ²	46.8 M ²	46.8 M ²
BATHROOM EXCLUSIONS	31.1 M ²	0.0 M ²	0.0 M ²	31.1 M ²
COVERED BALCONY EXCLUSIONS	0.0 M ²	41.4 M ²	0.0 M ²	41.4 M ²
NET	170.1 M ²	162.8 M ²	162.9 M ²	395.8 M ²

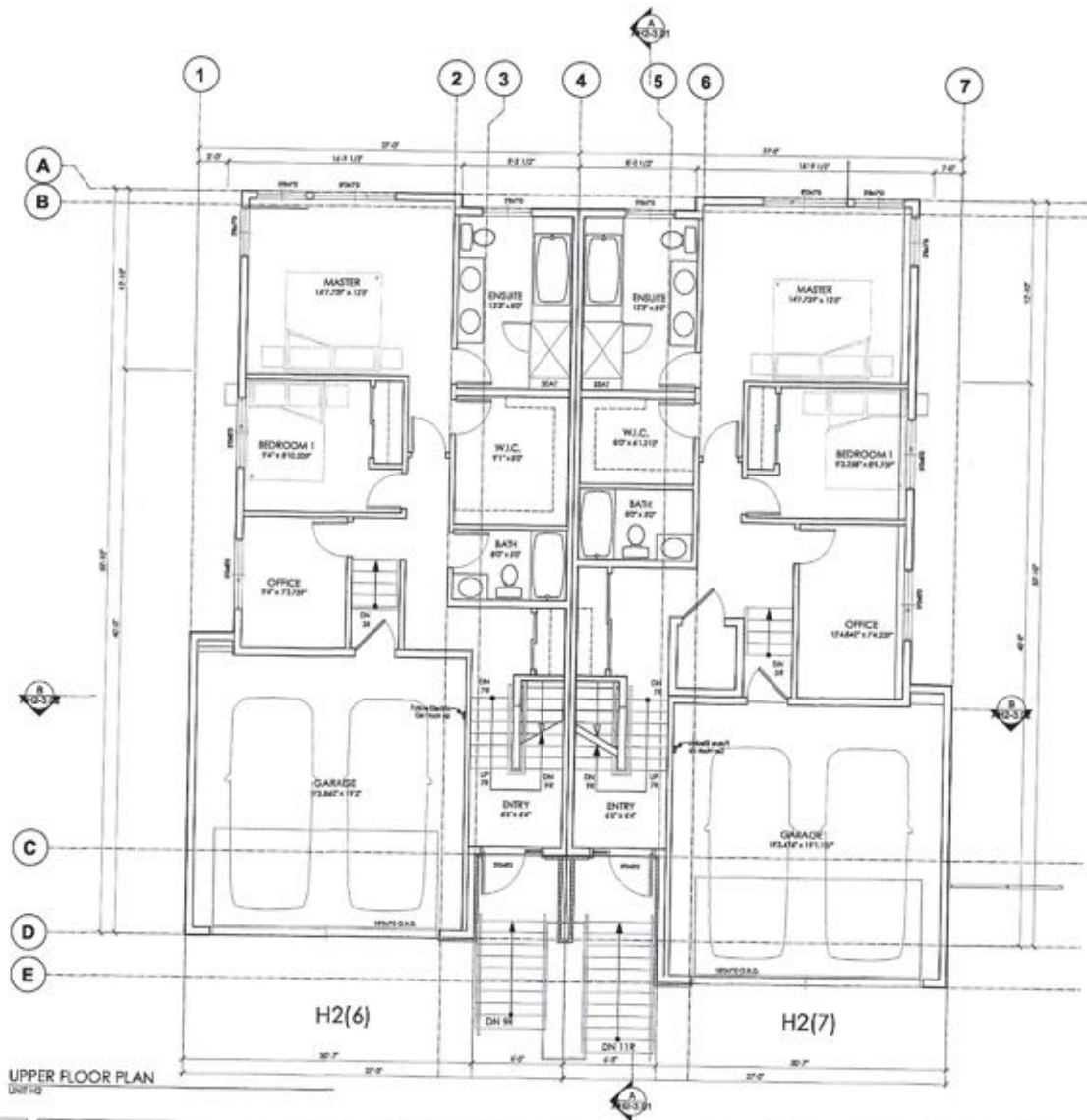
PROJECT	BID	SHEET
AQUILA		AH2-
DAFFODIL DRIVE, WEST VANCOUVER, BC		2.02
UNIT H2		

SCALE	DATE
1/4" = 1'-0"	OCT 1, 2022

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REVISIONS
 Issued For CP/Resolving
 ERD Public Council Review
 01, 04, 06 Revisions
 Final Address

Aug 21, 2001
 MAY 18, 2002
 JULY 21, 2002
 OCT 1, 2002

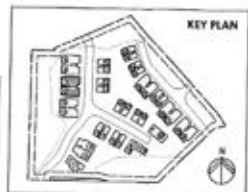


UPPER FLOOR PLAN
 UNIT H2



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H2

DRAWING
 UPPER FLOOR PLAN



UNIT & FLOOR AREAS IMPERIAL	LEVEL 2 SQ FT			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	1148.0 SF	1384.2 SF	1284.3 SF	3816.5 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASINMENT EXCLUSIONS	238.2 SF	0.0 SF	0.0 SF	238.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	78.1 SF	0.0 SF	78.1 SF
NET	909.8 SF	1284.2 SF	877.5 SF	3171.5 SF

UNIT & FLOOR AREAS METRIC	LEVEL 2 SQ M			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	106.4 SQ M	126.4 SQ M	118.9 SQ M	351.7 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.8 SQ M	37.8 SQ M
BASINMENT EXCLUSIONS	22.1 SQ M	0.0 SQ M	0.0 SQ M	22.1 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	7.1 SQ M	0.0 SQ M	7.1 SQ M
NET	84.3 SQ M	119.4 SQ M	118.9 SQ M	322.6 SQ M

UNIT 7 FLOOR AREAS IMPERIAL	LEVEL 2 SQ FT			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	1284.3 SF	1413.5 SF	1413.5 SF	4111.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASINMENT EXCLUSIONS	238.2 SF	0.0 SF	0.0 SF	238.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	78.1 SF	0.0 SF	78.1 SF
NET	1046.1 SF	1413.5 SF	1006.7 SF	3466.3 SF

UNIT 7 FLOOR AREAS METRIC	LEVEL 2 SQ M			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	118.9 SQ M	131.2 SQ M	131.2 SQ M	381.3 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.8 SQ M	37.8 SQ M
BASINMENT EXCLUSIONS	22.1 SQ M	0.0 SQ M	0.0 SQ M	22.1 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	7.1 SQ M	0.0 SQ M	7.1 SQ M
NET	96.8 SQ M	124.1 SQ M	93.4 SQ M	314.3 SQ M

PROJECT NO. 001
 SHEET NO. AH2-2.03
 DATE: OCT 1, 2002

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REVISIONS
Issued for DR/Reviewing
SND Public Comment Revisions
SI, OI, 08 Revisions
In-situ addition

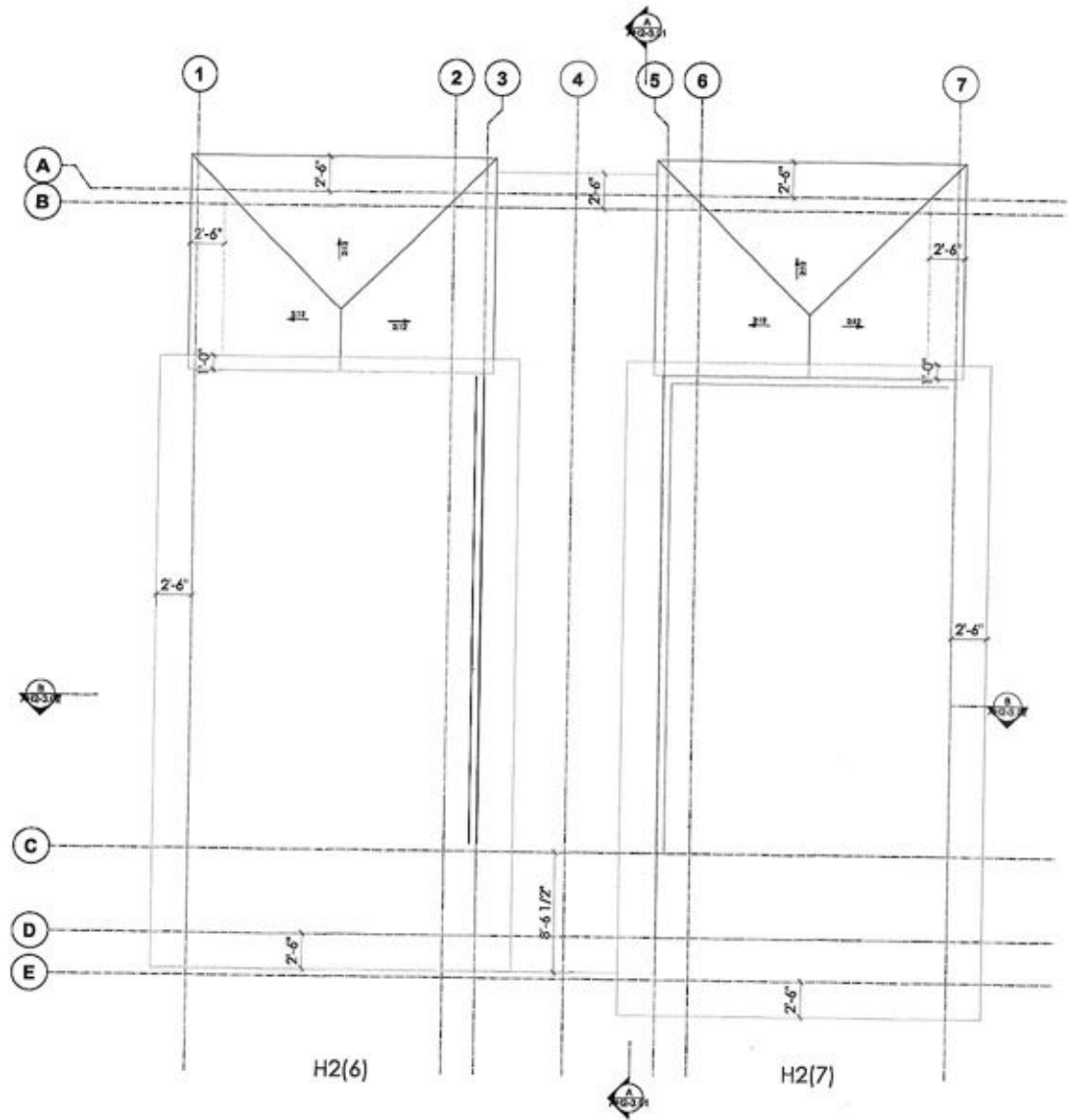
Aug 21, 2021
MAY 13, 2020
JULY 21, 2020
OCT 1, 2020



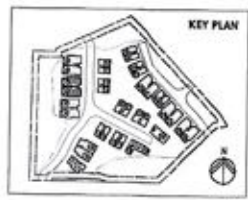
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2

DRAWING
ROOF PLAN

PROJECT# 802 SHEET
SCALE 1/4" = 1'-0" **AH2-**
DATE OCT 1, 2020 **2.04**

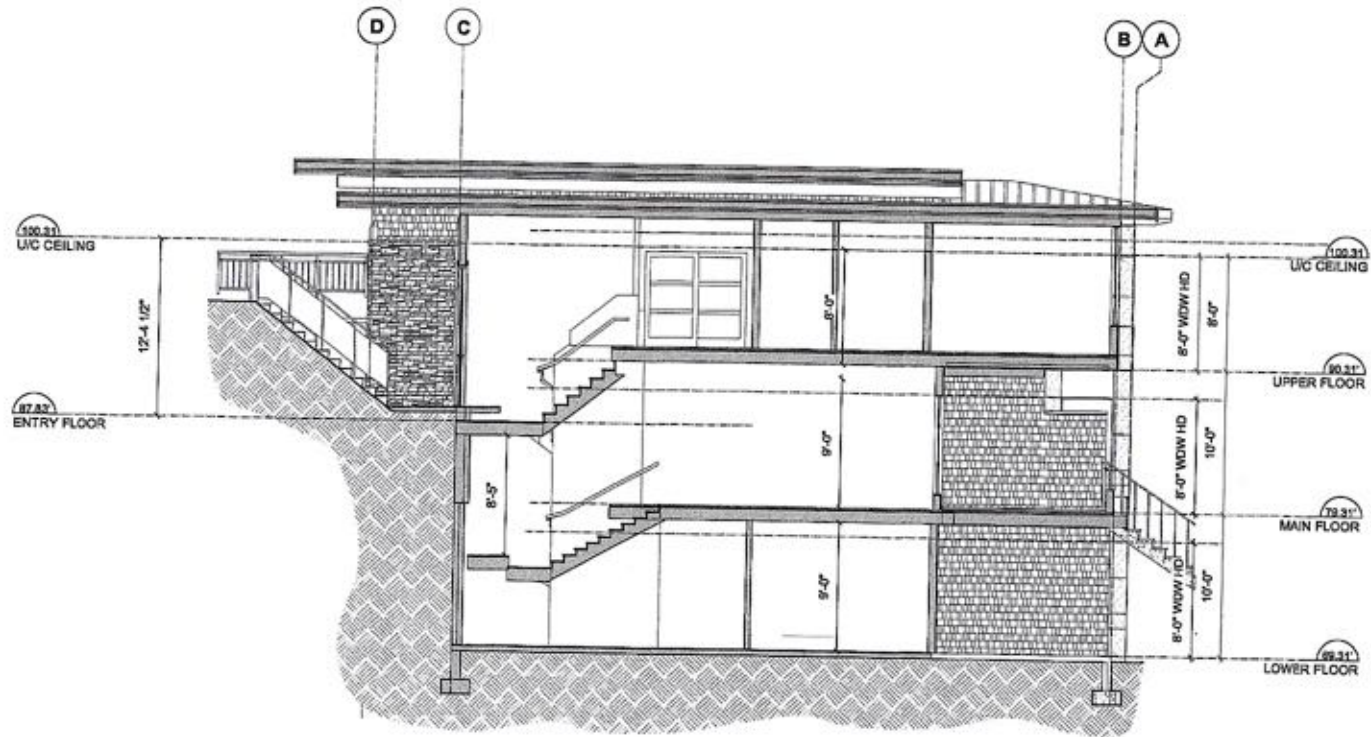


ROOF PLAN
UNIT H2



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REVISIONS
 (Drawn for CF/Reopening) Aug 21, 2001
 (END Public Comment Period) MAY 13, 2003
 (S. G. & S. Barkers) JUL 24, 2003
 (Final Address) OCT 1, 2003



A SECTION A-A
 Scale: 1/4" = 1'-0"



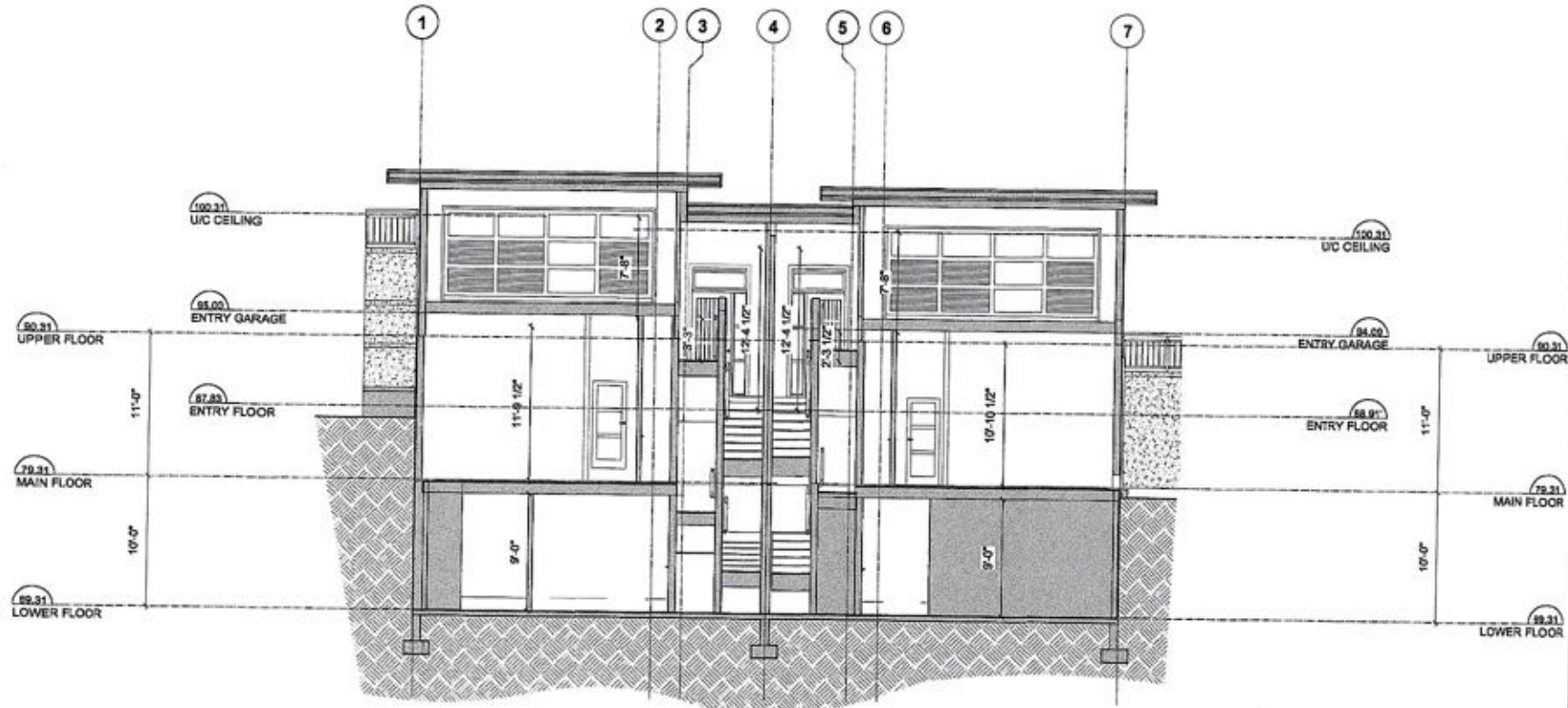
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H2

DRAWING
 SECTION A-A

PROJECT#	800	SHEET	AH2-3.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2003		

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REVISIONS	
Issued for CP Reviewing	Aug 21, 2021
ORCA Public Comment Revisions	MAY 18, 2022
SI, SW, GR Revisions	JULY 21, 2022
Final Approval	OCT 1, 2022



B SECTION B-B
Scale: 1/4" = 1'-0"



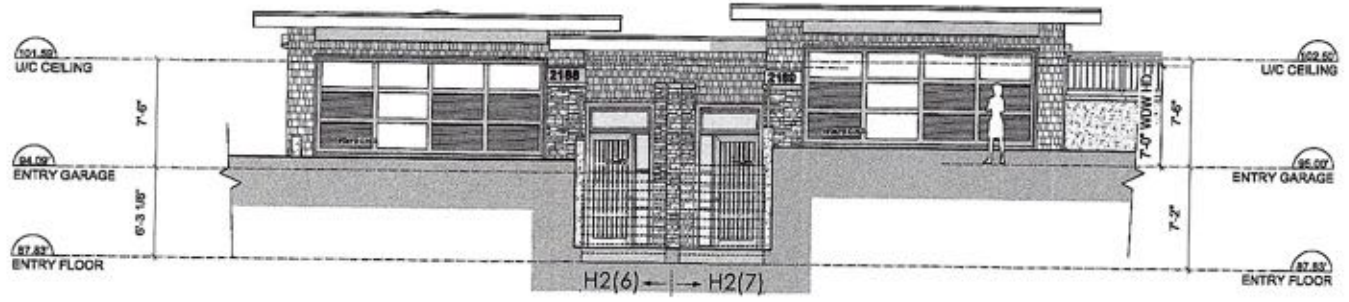
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2

DRAWING
SECTION B-B

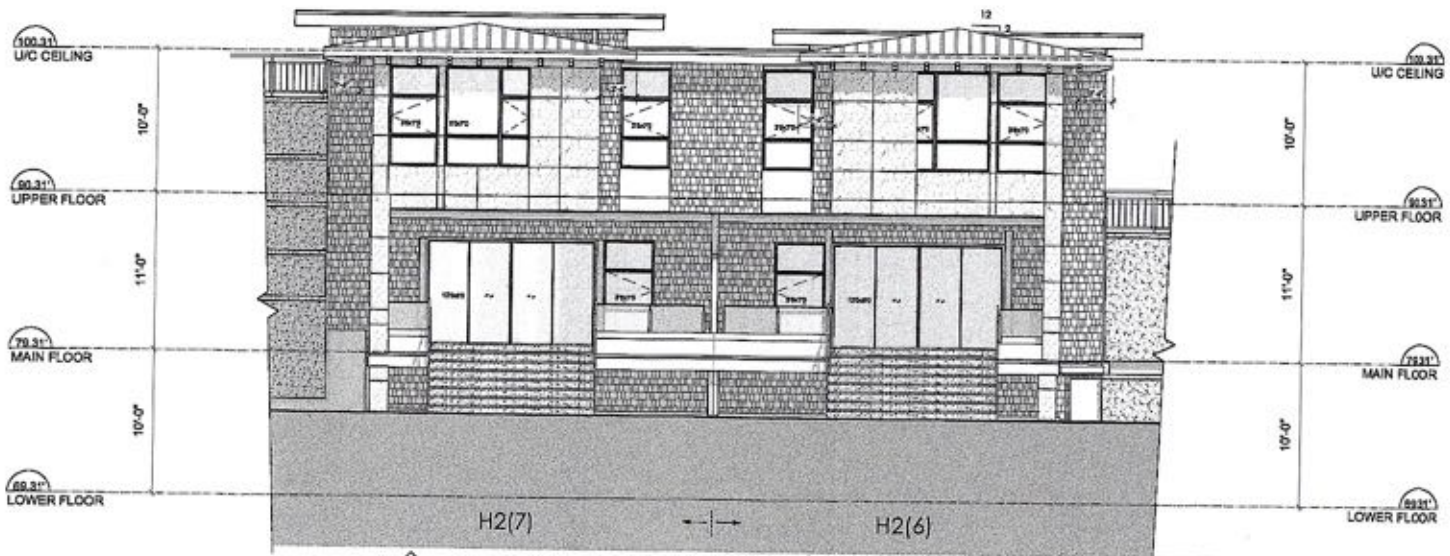
PROJECT#	SHEET
NOI	AH2-
SCALE	3.02
DATE	OCT 1, 2022

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REVISIONS
 Issued for 10/15/2021
 OPR: Pyle Group/Architects
 DT: DL, 10/15/2021
 Project: AH2-4.01
 Aug 21, 2021
 MAY 12, 2022
 JULY 24, 2022
 OCT 1, 2022



FRONT / ENTRY ELEVATION
 UNIT H2



LOWER FLOOR / BASEMENT EXEMPTIONS:
 (75.37'- 73.29' / 83.29'- 73.29') x 100 = 20.80%
 1,145 (gross area) x 20.80% = 238.16 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (75.37'- 73.29' / 83.29'- 73.29') x 100 = 20.80%
 1,206.6 (gross area) x 20.80% = 251.01 SF (exemption)

BACK ELEVATION
 UNIT H2



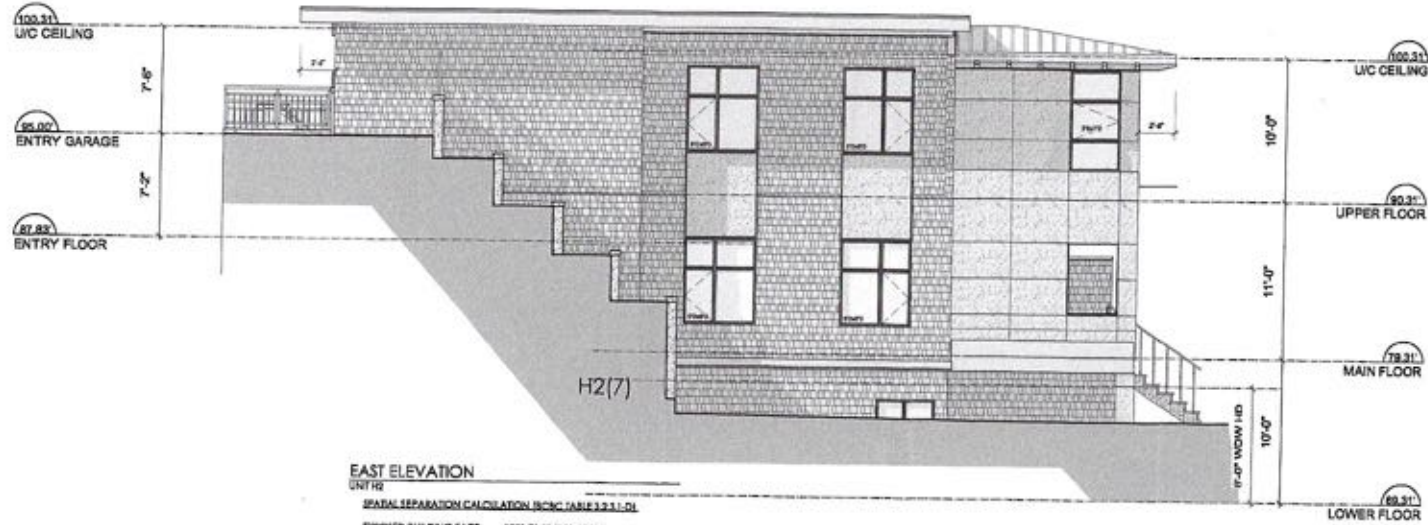
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H2

DRAWING
**FRONT & BACK
 ELEVATIONS B/W**

PROJECT	REV	SHEET
SCALE	DATE	AH2-4.01
DATE		

These plans remain the ownership of Sterling Pacific

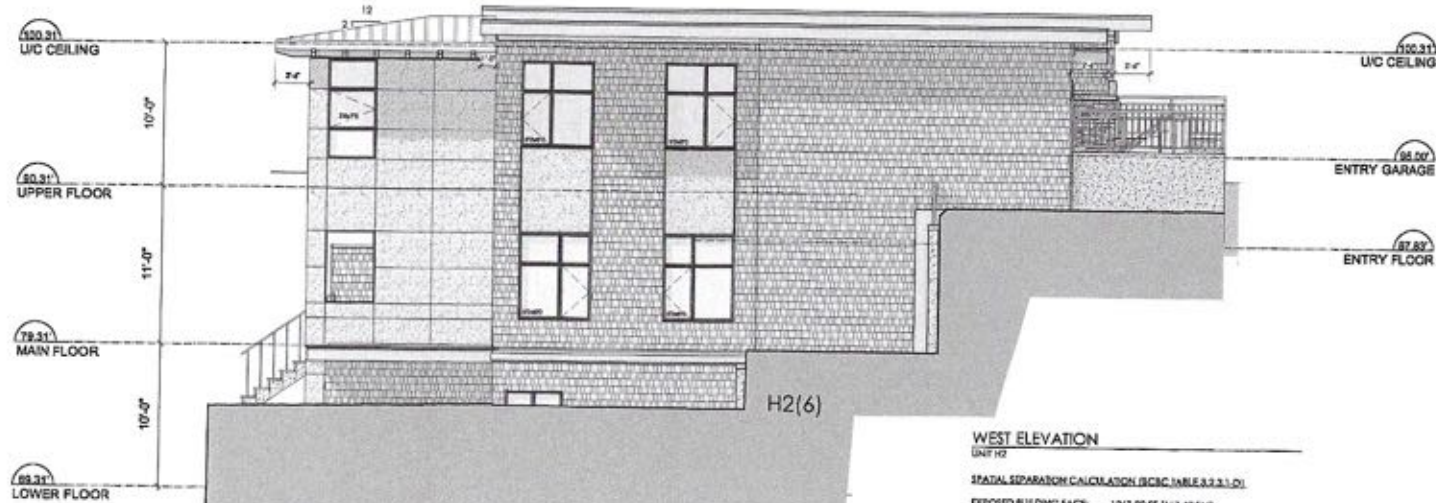
REVISIONS
 Issued for Planning Aug 21, 2021
 DRWG Pools Deleted/Revised JULY 12, 2020
 01, 02, 03 Revisions JULY 21, 2020
 Final edition OCT 1, 2020



EAST ELEVATION
UNIT H2

SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.3.3.1-D)

EXPOSED BUILDING FACE: 1091.70 SF (101.42 SM)
 LIMITING DISTANCE: 4.00' (1.22 M)
 UNPROTECTED OPENING: 151.43 SF (14.07 SM)
 PROPOSED OPENING: 13.87%
 PERMITTED OPENING: 14.07%



WEST ELEVATION
UNIT H2

SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.3.3.1-D)

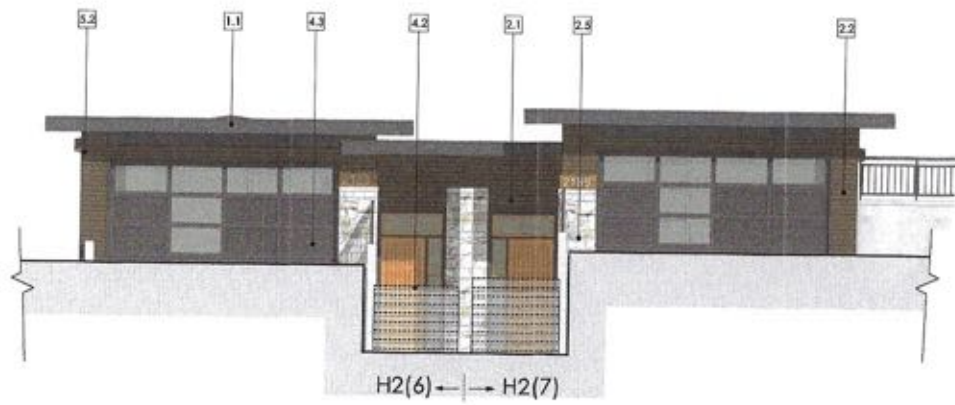
EXPOSED BUILDING FACE: 1263.90 SF (117.42 SM)
 LIMITING DISTANCE: 4.00' (1.22 M)
 UNPROTECTED OPENING: 176.00 SF (16.40 SM)
 PROPOSED OPENING: 13.96%
 PERMITTED OPENING: 14.00%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H2

DRAWING
 EAST & WEST
 ELEVATIONS B/W

PROJECT	NO.	SHEET
SCALE	1/4"=1'-0"	AH2-4.02
DATE	OCT 1, 2020	



FRONT / ENTRY ELEVATION
UNIT H2



BACK ELEVATION
UNIT H2



HARDY PANEL

FLAT CEMENT SHINGLES -
WOODTONE BUSTIC SERIES
CARBON TRAIL

STONE CLADDING

METAL ROOF -
CHARCOAL GRAY

ENTRY DOOR STEERWOOD -
OLD MASTER OIL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT

WINDOW / RASGA/
BARGE BOARD & UPSTAND -
CHARCOAL GRAY

SOFFIT -
ROCKFORS GRAY BM - HC - 105

SALCONY -
WEDDIGHT IRON BM - 2134-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Flint Cement Soffit	Rockford Gray BM HC103
1.3	Stone	Charcoal Gray
2.1	Flat Cement Shingle	Woodtone Rustic Series Carbon Trail
2.2	Hard Panel	Light Gray
2.3	Hard Panel	Light Gray
2.4	Hard Panel	Light Gray
2.5	Stone	Woodtone Rustic
2.6	Wrought Iron	Wrought Iron
2.7	Wrought Iron	Wrought Iron
2.8	Wrought Iron	Wrought Iron
2.9	Wrought Iron	Wrought Iron
2.10	Wrought Iron	Wrought Iron
2.11	Wrought Iron	Wrought Iron
2.12	Wrought Iron	Wrought Iron
2.13	Wrought Iron	Wrought Iron
2.14	Wrought Iron	Wrought Iron
2.15	Wrought Iron	Wrought Iron
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2.17	Wrought Iron	Wrought Iron
2.18	Wrought Iron	Wrought Iron
2.19	Wrought Iron	Wrought Iron
2.20	Wrought Iron	Wrought Iron
2.21	Wrought Iron	Wrought Iron
2.22	Wrought Iron	Wrought Iron
2.23	Wrought Iron	Wrought Iron
2.24	Wrought Iron	Wrought Iron
2.25	Wrought Iron	Wrought Iron
2.26	Wrought Iron	Wrought Iron
2.27	Wrought Iron	Wrought Iron
2.28	Wrought Iron	Wrought Iron
2.29	Wrought Iron	Wrought Iron
2.30	Wrought Iron	Wrought Iron
2.31	Wrought Iron	Wrought Iron
2.32	Wrought Iron	Wrought Iron
2.33	Wrought Iron	Wrought Iron
2.34	Wrought Iron	Wrought Iron
2.35	Wrought Iron	Wrought Iron
2.36	Wrought Iron	Wrought Iron
2.37	Wrought Iron	Wrought Iron
2.38	Wrought Iron	Wrought Iron
2.39	Wrought Iron	Wrought Iron
2.40	Wrought Iron	Wrought Iron
2.41	Wrought Iron	Wrought Iron
2.42	Wrought Iron	Wrought Iron
2.43	Wrought Iron	Wrought Iron
2.44	Wrought Iron	Wrought Iron
2.45	Wrought Iron	Wrought Iron
2.46	Wrought Iron	Wrought Iron
2.47	Wrought Iron	Wrought Iron
2.48	Wrought Iron	Wrought Iron
2.49	Wrought Iron	Wrought Iron
2.50	Wrought Iron	Wrought Iron

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for QP Review Aug 21, 2023
 QPAC Public Comment Response MAY 18, 2023
 Q1, Q2, Q3 Response JUL 21, 2023
 Final Address OCT 1, 2023



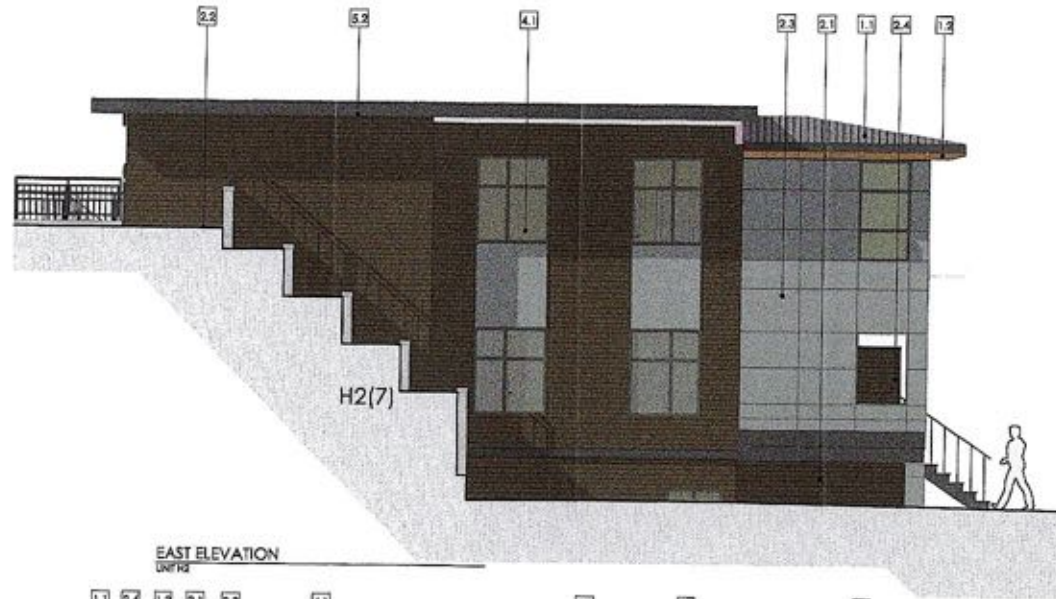
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H2

DRAWING
 FRONT & BACK
 ELEVATIONS

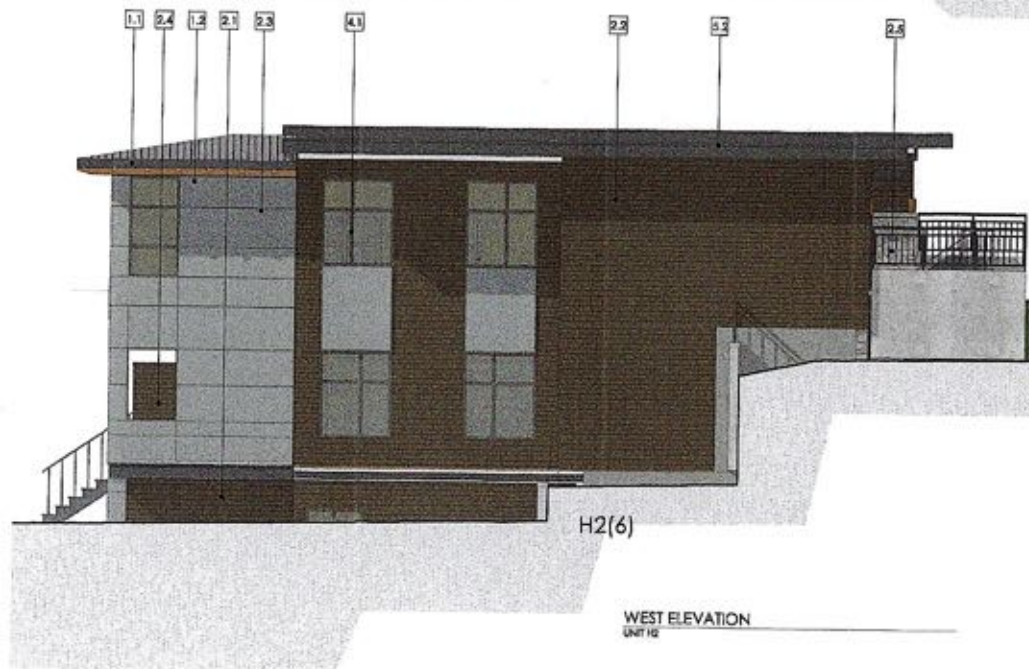
PROJ EST# 102
 SHEET
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2023
AH2-4.03

These plans remain the ownership of Sterling Pacific

REVISIONS	DATE
Issued for Cl/Reviewing	Aug 31, 2021
ORCA Public Comment Revisions	MAY 13, 2022
SI, SE, SO Revisions	JUL 31, 2022
Final Release	OCT 1, 2022



EAST ELEVATION
UNIT H2



WEST ELEVATION
UNIT H2

AGUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Clad "X" Metal Roof	Charcoal Grey
1.2	Flint Cement Sill	Reefport Grey SW-102-02
1.3	Garage	Charcoal Grey
2.1	Flint Cement Sills	Woodstone Baltic Sales Colour Tubs
2.2	Roof eave	
2.3	Hardy Panel	Light Oak
2.4	Roof eave	
2.5	Stone	Banders Granite
3.1	Vertical balcony and 2hr protected metal panels & top railing	Wrought Iron SW- 224 - 10
3.2	Protected fire 2hr railing	Wrought Iron SW- 224 - 10
4.1	Double-glazed aluminium & triple-glazed glass	Charcoal Grey
4.2	Entry door perimeter trim and sills	Stained - Old World Gal Iron 4hr
4.3	Interior triple glazed window	Charcoal Grey
4.4	Shackles glass panel system 4hr clear glass	Charcoal Grey
5.1	Fire reflective treated wood	Stained - Old World Gal Iron 4hr clear top coat - Special Walnut
5.2	Protected metal railing	Charcoal Grey
5.3	Roof eave (protected roof)	Charcoal Grey



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2

DRAWING
**EAST & WEST
ELEVATIONS**

PROJECT NO. 800
SCALE 1/4" = 1'-0"
DATE OCT 1, 2022
SHEET
**AH2-
4.04**

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FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT H2



BACK ELEVATION - CAMERA VIEW
UNIT H2



BACK ELEVATION - CAMERA VIEW
UNIT H2

REVISIONS
 Issued for CP Reviewing Aug 21, 2021
 OAG Public Comment Periods MAY 18, 2023
 01, 02, 03 Revisions JULY 21, 2023
 Final edition OCT 1, 2023



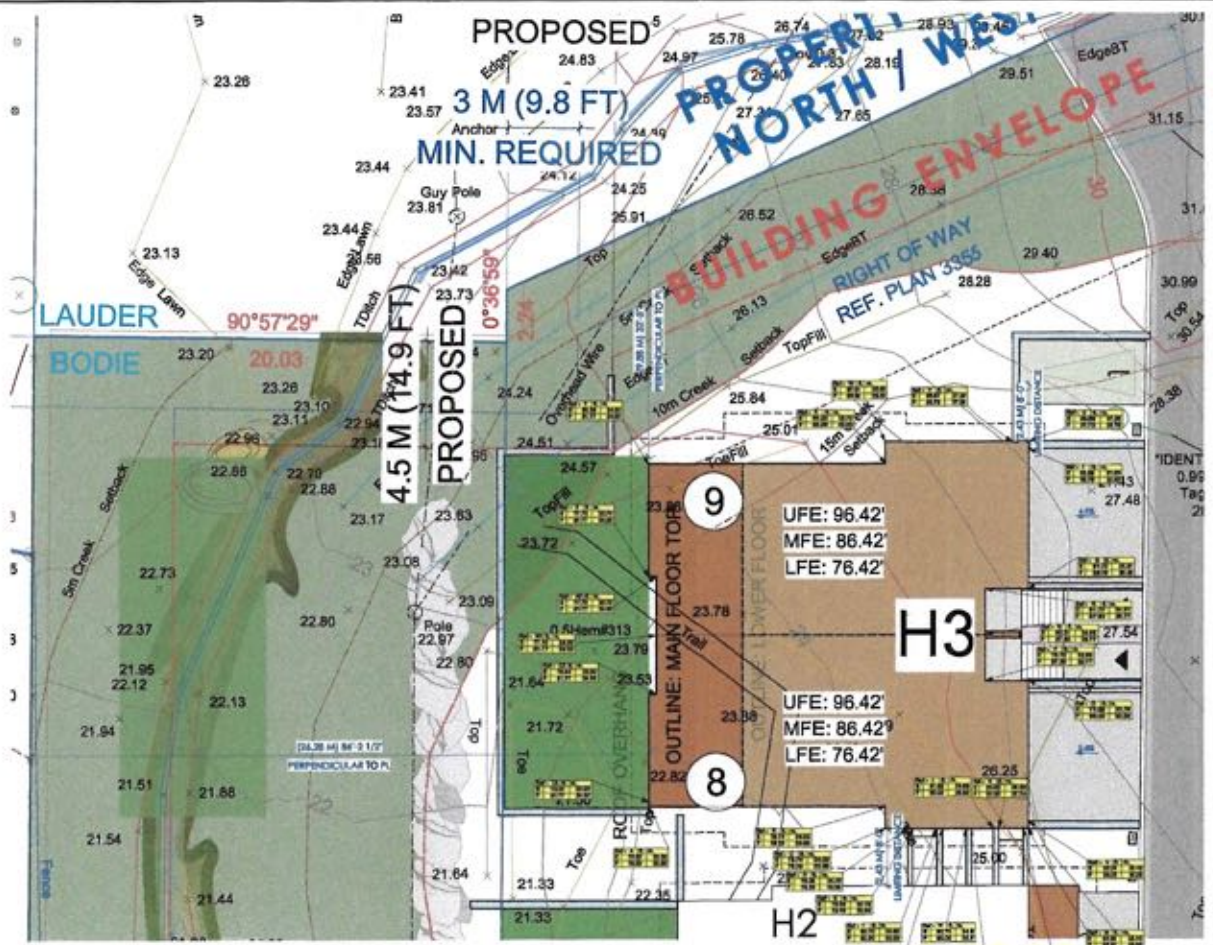
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H2

DRAWING
**FRONT & BACK
 ELEVATIONS
 CAMERA VIEW**

PROJECT	NO.	SHEET
SCALE		AH2-
DATE		4.05

10 - AVERAGE FINISHED GRADE CALCULATION				
Sta #	Elevation (m)	Area	Avg Elevation (m)	Avg x Ordinate
A	76.70	76.20	76.25	2543.85
B	76.20	76.20	76.20	2704.87
C	76.20	76.20	76.20	2704.87
D	76.20	76.20	76.20	2704.87
E	76.20	76.20	76.20	2704.87
F	76.20	76.20	76.20	2704.87
G	76.20	76.20	76.20	2704.87
H	76.20	76.20	76.20	2704.87
I	76.20	76.20	76.20	2704.87
J	76.20	76.20	76.20	2704.87
K	76.20	76.20	76.20	2704.87
L	76.20	76.20	76.20	2704.87
M	76.20	76.20	76.20	2704.87
N	76.20	76.20	76.20	2704.87
O	76.20	76.20	76.20	2704.87
P	76.20	76.20	76.20	2704.87
Q	76.20	76.20	76.20	2704.87
R	76.20	76.20	76.20	2704.87
S	76.20	76.20	76.20	2704.87
T	76.20	76.20	76.20	2704.87
U	76.20	76.20	76.20	2704.87
V	76.20	76.20	76.20	2704.87
W	76.20	76.20	76.20	2704.87
X	76.20	76.20	76.20	2704.87
Y	76.20	76.20	76.20	2704.87
Z	76.20	76.20	76.20	2704.87
AA	76.20	76.20	76.20	2704.87
AB	76.20	76.20	76.20	2704.87
AC	76.20	76.20	76.20	2704.87
AD	76.20	76.20	76.20	2704.87
AE	76.20	76.20	76.20	2704.87
AF	76.20	76.20	76.20	2704.87
AG	76.20	76.20	76.20	2704.87
AH	76.20	76.20	76.20	2704.87
AI	76.20	76.20	76.20	2704.87
Sum			76.20	19480.32
Avg Finish Grade				76.24
Max. Min. Height (m)				1.58

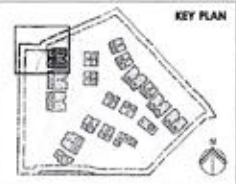
10 - AVERAGE FINISHED GRADE CALCULATION				
Sta #	Elevation (m)	Area	Avg Elevation (m)	Avg x Ordinate
A	76.70	76.20	76.25	2543.85
B	76.20	76.20	76.20	2704.87
C	76.20	76.20	76.20	2704.87
D	76.20	76.20	76.20	2704.87
E	76.20	76.20	76.20	2704.87
F	76.20	76.20	76.20	2704.87
G	76.20	76.20	76.20	2704.87
H	76.20	76.20	76.20	2704.87
I	76.20	76.20	76.20	2704.87
J	76.20	76.20	76.20	2704.87
K	76.20	76.20	76.20	2704.87
L	76.20	76.20	76.20	2704.87
M	76.20	76.20	76.20	2704.87
N	76.20	76.20	76.20	2704.87
O	76.20	76.20	76.20	2704.87
P	76.20	76.20	76.20	2704.87
Q	76.20	76.20	76.20	2704.87
R	76.20	76.20	76.20	2704.87
S	76.20	76.20	76.20	2704.87
T	76.20	76.20	76.20	2704.87
U	76.20	76.20	76.20	2704.87
V	76.20	76.20	76.20	2704.87
W	76.20	76.20	76.20	2704.87
X	76.20	76.20	76.20	2704.87
Y	76.20	76.20	76.20	2704.87
Z	76.20	76.20	76.20	2704.87
AA	76.20	76.20	76.20	2704.87
AB	76.20	76.20	76.20	2704.87
AC	76.20	76.20	76.20	2704.87
AD	76.20	76.20	76.20	2704.87
AE	76.20	76.20	76.20	2704.87
AF	76.20	76.20	76.20	2704.87
AG	76.20	76.20	76.20	2704.87
AH	76.20	76.20	76.20	2704.87
AI	76.20	76.20	76.20	2704.87
Sum			76.20	19480.32
Avg Finish Grade				76.24
Max. Min. Height (m)				1.58



SITE PLAN
SCALE 1/8"=1'-0"

TOP OF FINISH FLOOR - G3 (ft)		
Lower	Mean	Upper
24.98 m	27.28 m	30.25 m
79.20	88.20	98.20

TOP OF FINISH FLOOR - G2 (ft)		
Lower	Mean	Upper
24.98 m	27.28 m	30.25 m
79.20	88.20	98.20



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8 1/16" (205)
 Issued for Planning: Aug 11, 2021
 8/12/2021 Public Comment Session: MAY 18, 2022
 81. 05. 02 Holdover: JULY 31, 2022
 H Unit Address: Oct 1, 2022

PROJECT: DAFODIL DRIVE, WEST VANCOUVER, BC
 UNIT H3

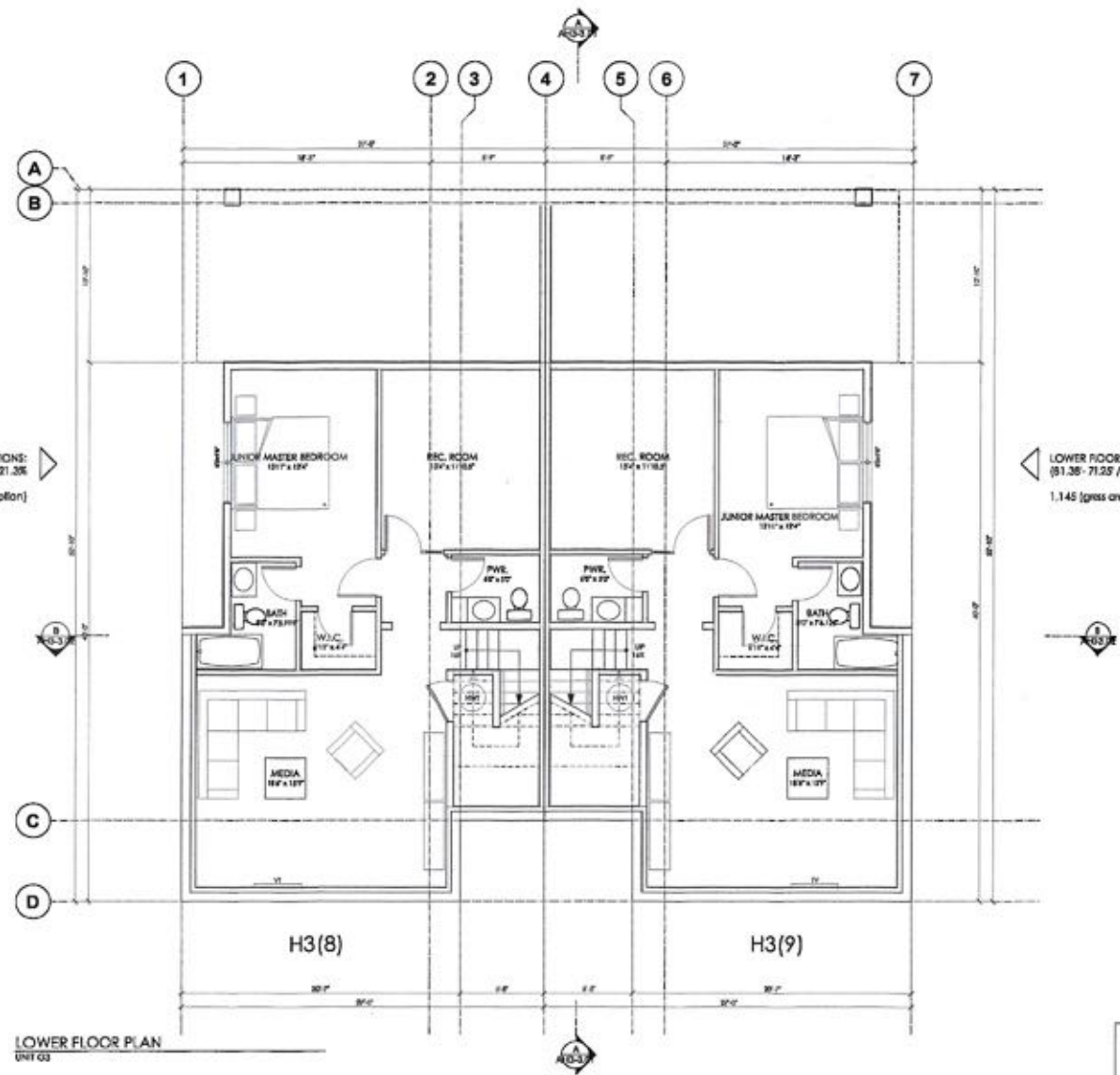
DRAWING: SITE PLAN

PROJECT	800
SCALE	1/8"=1'-0"
DATE	06/1/2022

SHEET: AH3-1.01

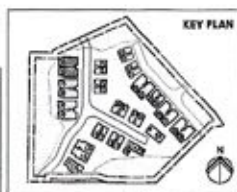
These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for 2D/Marketing Aug 20, 2021
 DRG/PAC/Design Revisions Nov 18, 2020
 DR, RL, B/Revisions July 21, 2020
 H/Revisions Oct 1, 2020



PROJ/01
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H3

DRAWING
 LOWER FLOOR
 PLAN



UNIT 8 FLOOR AREAS IMPERIAL

	LEVEL 1 100 FT	LEVEL 2 200 FT	LEVEL 3 300 FT	TOTAL
GROSS	96.8 SF	104.6 SF	107.4 SF	308.8 SF
GARAGE ENCLOSURE	0.0 SF	0.0 SF	45.6 SF	45.6 SF
BASEMENT ENCLOSURE 21.2%	0.0 SF	0.0 SF	0.0 SF	0.0 SF
OVERLAP HEIGHT ENCLOSURE	0.0 SF	0.0 SF	49.2 SF	49.2 SF
COVERED BALCONY ENCLOSURE	0.0 SF	18.4 SF	0.0 SF	18.4 SF
NET	73.8 SF	115.2 SF	107.8 SF	296.8 SF

UNIT 8 FLOOR AREAS METRIC

	LEVEL 1 300 M	LEVEL 2 300 M	LEVEL 3 300 M	TOTAL
GROSS	894.5M	958.0M	1023.0M	2875.5M
GARAGE ENCLOSURE	0.0M	0.0M	42.8M	42.8M
BASEMENT ENCLOSURE 21.2%	0.0M	0.0M	0.0M	0.0M
OVERLAP HEIGHT ENCLOSURE	0.0M	0.0M	45.3M	45.3M
COVERED BALCONY ENCLOSURE	0.0M	17.0M	0.0M	17.0M
NET	677.5M	1052.0M	978.2M	2727.7M

UNIT 9 FLOOR AREAS IMPERIAL

	LEVEL 1 100 FT	LEVEL 2 200 FT	LEVEL 3 300 FT	TOTAL
GROSS	90.8 SF	104.2 SF	107.3 SF	302.3 SF
GARAGE ENCLOSURE	0.0 SF	0.0 SF	45.6 SF	45.6 SF
BASEMENT ENCLOSURE 21.2%	0.0 SF	0.0 SF	0.0 SF	0.0 SF
OVERLAP HEIGHT ENCLOSURE	0.0 SF	0.0 SF	49.2 SF	49.2 SF
COVERED BALCONY ENCLOSURE	0.0 SF	18.4 SF	0.0 SF	18.4 SF
NET	73.8 SF	115.2 SF	107.8 SF	296.8 SF

UNIT 9 FLOOR AREAS METRIC

	LEVEL 1 300 M	LEVEL 2 300 M	LEVEL 3 300 M	TOTAL
GROSS	838.4M	958.0M	1023.0M	2819.4M
GARAGE ENCLOSURE	0.0M	0.0M	42.8M	42.8M
BASEMENT ENCLOSURE 21.2%	0.0M	0.0M	0.0M	0.0M
OVERLAP HEIGHT ENCLOSURE	0.0M	0.0M	45.3M	45.3M
COVERED BALCONY ENCLOSURE	0.0M	17.0M	0.0M	17.0M
NET	677.5M	1052.0M	978.2M	2727.7M

PROJECT NO. SHEET
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2021
AH3-2.01

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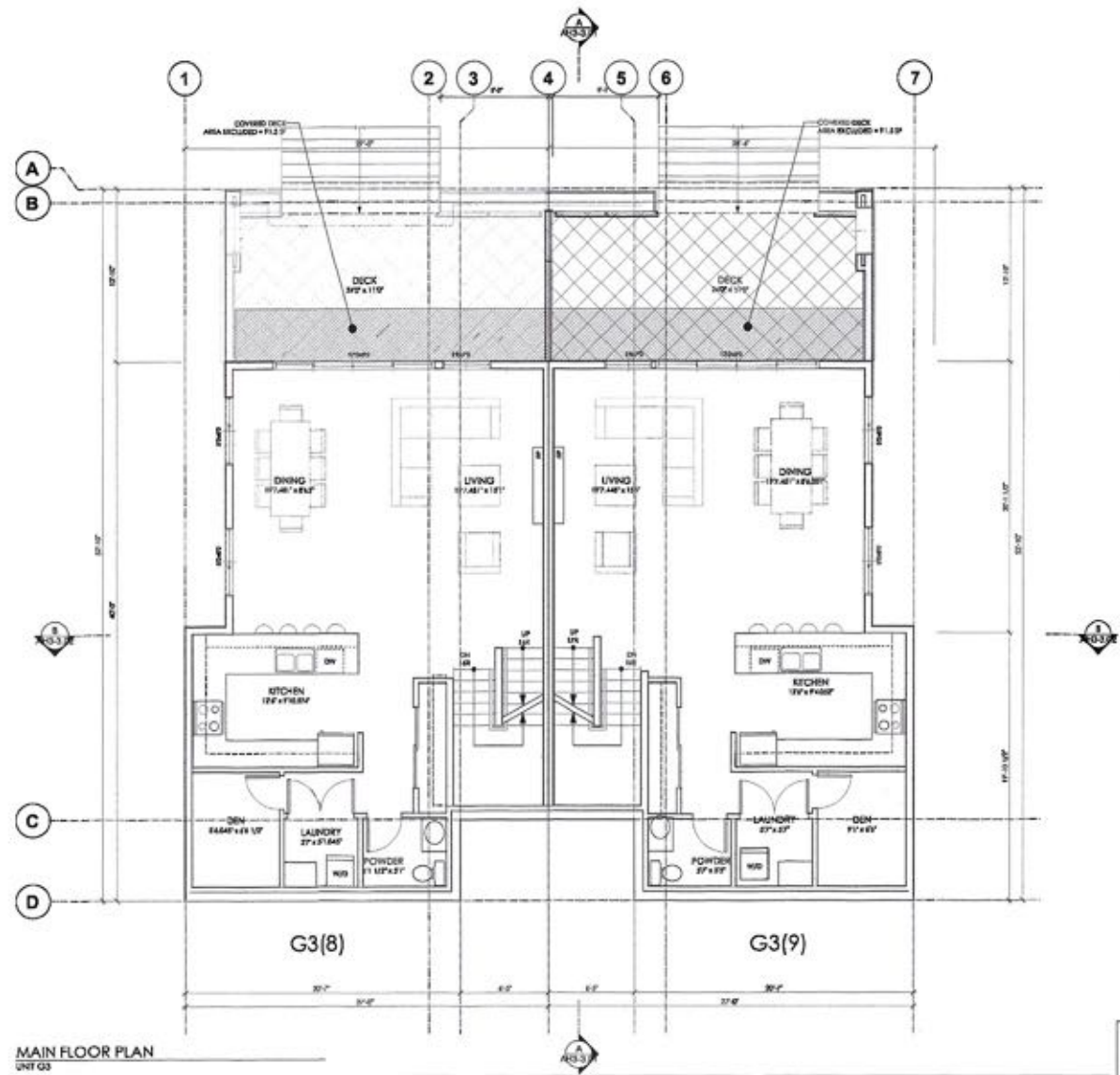
REVISIONS	
Issued for Marketing	Aug 31, 2021
3D/2D Public Comment/Review	Aug 12, 2020
DL, DL, DL Review	July 31, 2020
Final Address	Oct 1, 2020



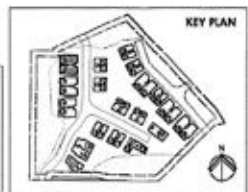
PROJECT
 DAFODIL DRIVE, WEST VANCOUVER, BC
 UNIT N3

DRAWING
 MAIN FLOOR PLAN

PROJECT SHEET
 SCALE 1/4"=1'-0"
 DATE OCT 1, 2021
AH3-2.02



MAIN FLOOR PLAN
 UNIT G3



UNIT 8 FLOOR AREAS IMPERIAL				
	LEVEL 1 90 FT	LEVEL 2 90 FT	LEVEL 3 90 FT	TOTAL
GROSS	160.8 SF	124.8 SF	127.8 SF	413.4 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	45.8 SF	45.8 SF
BASEMENT EXCLUSIONS 21.2%	33.3 SF	0.0 SF	0.0 SF	33.3 SF
OVERHEAD HEIGHT EXCLUSIONS	0.0 SF	0.0 SF	47.0 SF	47.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	16.8 SF	0.0 SF	16.8 SF
NET	127.5 SF	118.2 SF	31.8 SF	377.5 SF

UNIT 8 FLOOR AREAS METRIC				
	LEVEL 1 90 M	LEVEL 2 90 M	LEVEL 3 90 M	TOTAL
GROSS	148.2 M ²	115.2 M ²	118.2 M ²	481.6 M ²
GARAGE EXCLUSIONS	0.0 M ²	0.0 M ²	42.8 M ²	42.8 M ²
BASEMENT EXCLUSIONS 21.2%	30.7 M ²	0.0 M ²	0.0 M ²	30.7 M ²
OVERHEAD HEIGHT EXCLUSIONS	0.0 M ²	0.0 M ²	43.8 M ²	43.8 M ²
COVERED BALCONY EXCLUSIONS	0.0 M ²	15.4 M ²	0.0 M ²	15.4 M ²
NET	117.5 M ²	115.2 M ²	29.2 M ²	361.9 M ²

UNIT 9 FLOOR AREAS IMPERIAL				
	LEVEL 1 90 FT	LEVEL 2 90 FT	LEVEL 3 90 FT	TOTAL
GROSS	160.8 SF	124.8 SF	127.8 SF	413.4 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	45.8 SF	45.8 SF
BASEMENT EXCLUSIONS 21.2%	33.3 SF	0.0 SF	0.0 SF	33.3 SF
OVERHEAD HEIGHT EXCLUSIONS	0.0 SF	0.0 SF	47.0 SF	47.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	16.8 SF	0.0 SF	16.8 SF
NET	127.5 SF	118.2 SF	31.8 SF	377.5 SF

UNIT 9 FLOOR AREAS METRIC				
	LEVEL 1 90 M	LEVEL 2 90 M	LEVEL 3 90 M	TOTAL
GROSS	148.2 M ²	115.2 M ²	118.2 M ²	481.6 M ²
GARAGE EXCLUSIONS	0.0 M ²	0.0 M ²	42.8 M ²	42.8 M ²
BASEMENT EXCLUSIONS 21.2%	30.7 M ²	0.0 M ²	0.0 M ²	30.7 M ²
OVERHEAD HEIGHT EXCLUSIONS	0.0 M ²	0.0 M ²	43.8 M ²	43.8 M ²
COVERED BALCONY EXCLUSIONS	0.0 M ²	15.4 M ²	0.0 M ²	15.4 M ²
NET	117.5 M ²	115.2 M ²	29.2 M ²	361.9 M ²

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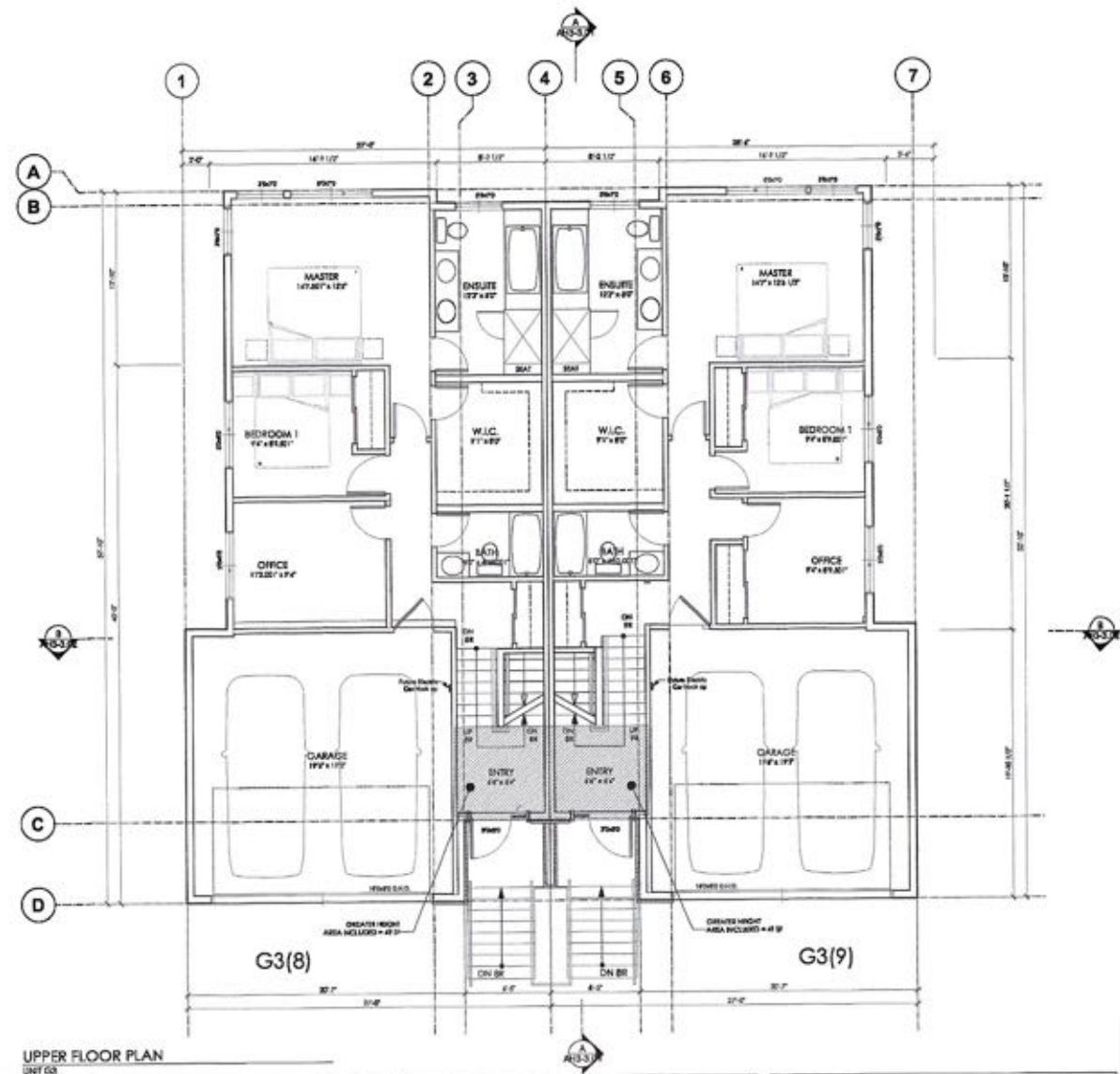
REVISIONS	
ISSUED FOR PERMITTING	AUG 31, 2021
CHANGED COMMENTS	MAY 15, 2020
ST-01, 02, 03, 04, 05	JULY 21, 2020
WORKSHEET	OCT 1, 2020



PROJECT
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT #3

DRAWING
UPPER FLOOR PLAN

PROJECT	SHEET
DAFFODIL DRIVE, WEST VANCOUVER, BC	AH3-2.03
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2021



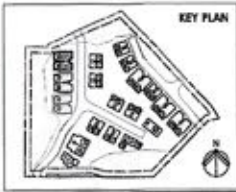
UPPER FLOOR PLAN
UNIT G3

UNIT 8 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
OFFICE	121.0 SF	126.4 SF	131.4 SF	378.8 SF
GARAGE INCLUSIONS	0.0 SF	0.0 SF	456.4 SF	456.4 SF
BATHROOM INCLUSIONS 21.2%	32.3 SF	0.0 SF	0.0 SF	32.3 SF
OVERHEAD HEIGHT INCLUSIONS	0.0 SF	0.0 SF	492.0 SF	492.0 SF
COVERED BALCONY INCLUSIONS	0.0 SF	84.4 SF	0.0 SF	84.4 SF
NET	153.3 SF	110.4 SF	171.4 SF	435.1 SF

UNIT 8 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
OFFICE	11.24 SQ M	11.68 SQ M	12.18 SQ M	35.10 SQ M
GARAGE INCLUSIONS	0.0 SQ M	0.0 SQ M	42.14 SQ M	42.14 SQ M
BATHROOM INCLUSIONS 21.2%	2.97 SQ M	0.0 SQ M	0.0 SQ M	2.97 SQ M
OVERHEAD HEIGHT INCLUSIONS	0.0 SQ M	0.0 SQ M	45.34 SQ M	45.34 SQ M
COVERED BALCONY INCLUSIONS	0.0 SQ M	7.76 SQ M	0.0 SQ M	7.76 SQ M
NET	14.17 SQ M	11.68 SQ M	15.52 SQ M	41.37 SQ M

UNIT 9 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
OFFICE	121.0 SF	126.4 SF	127.2 SF	374.6 SF
GARAGE INCLUSIONS	0.0 SF	0.0 SF	456.4 SF	456.4 SF
BATHROOM INCLUSIONS 21.2%	32.3 SF	0.0 SF	0.0 SF	32.3 SF
OVERHEAD HEIGHT INCLUSIONS	0.0 SF	0.0 SF	492.0 SF	492.0 SF
COVERED BALCONY INCLUSIONS	0.0 SF	84.4 SF	0.0 SF	84.4 SF
NET	153.3 SF	110.4 SF	171.4 SF	435.1 SF

UNIT 9 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
OFFICE	11.24 SQ M	11.68 SQ M	11.78 SQ M	34.70 SQ M
GARAGE INCLUSIONS	0.0 SQ M	0.0 SQ M	42.14 SQ M	42.14 SQ M
BATHROOM INCLUSIONS 21.2%	2.97 SQ M	0.0 SQ M	0.0 SQ M	2.97 SQ M
OVERHEAD HEIGHT INCLUSIONS	0.0 SQ M	0.0 SQ M	45.34 SQ M	45.34 SQ M
COVERED BALCONY INCLUSIONS	0.0 SQ M	7.76 SQ M	0.0 SQ M	7.76 SQ M
NET	14.17 SQ M	11.68 SQ M	15.12 SQ M	41.37 SQ M



KEY PLAN

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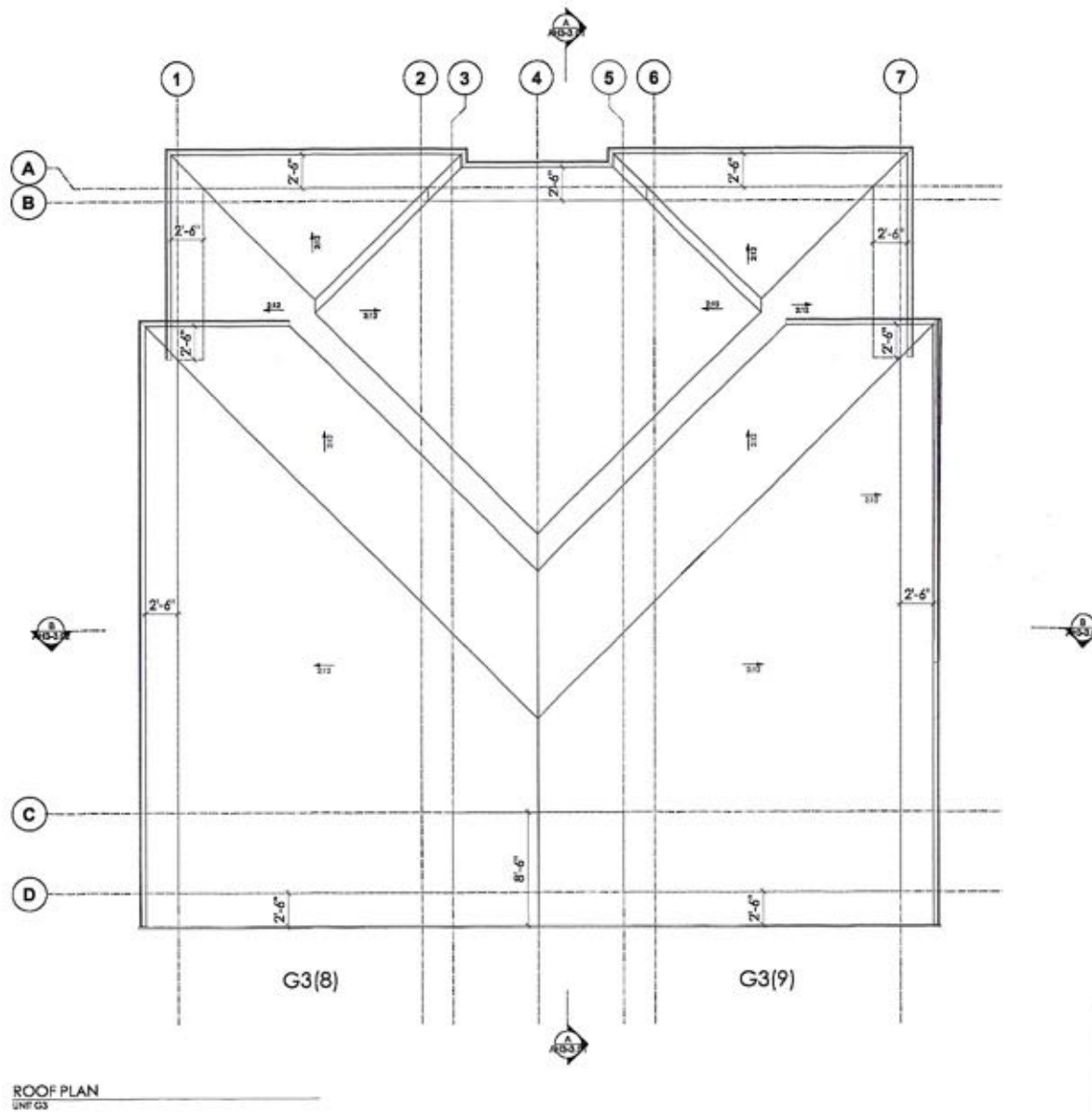
REVISIONS
Issued for DR Planning Aug. 27, 2001
DRG Public Comment Revisions MAY 15, 2002
DL, DL, DL Revisions JULY 21, 2003
H Unit Address Oct 1, 2003



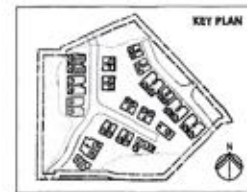
PROJECT
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H3

DRAWING
ROOF PLAN

PROJECT H300
SCALE 1/2"=1'-0"
DATE OCT 1, 2003
SHEET
AH3-2.04

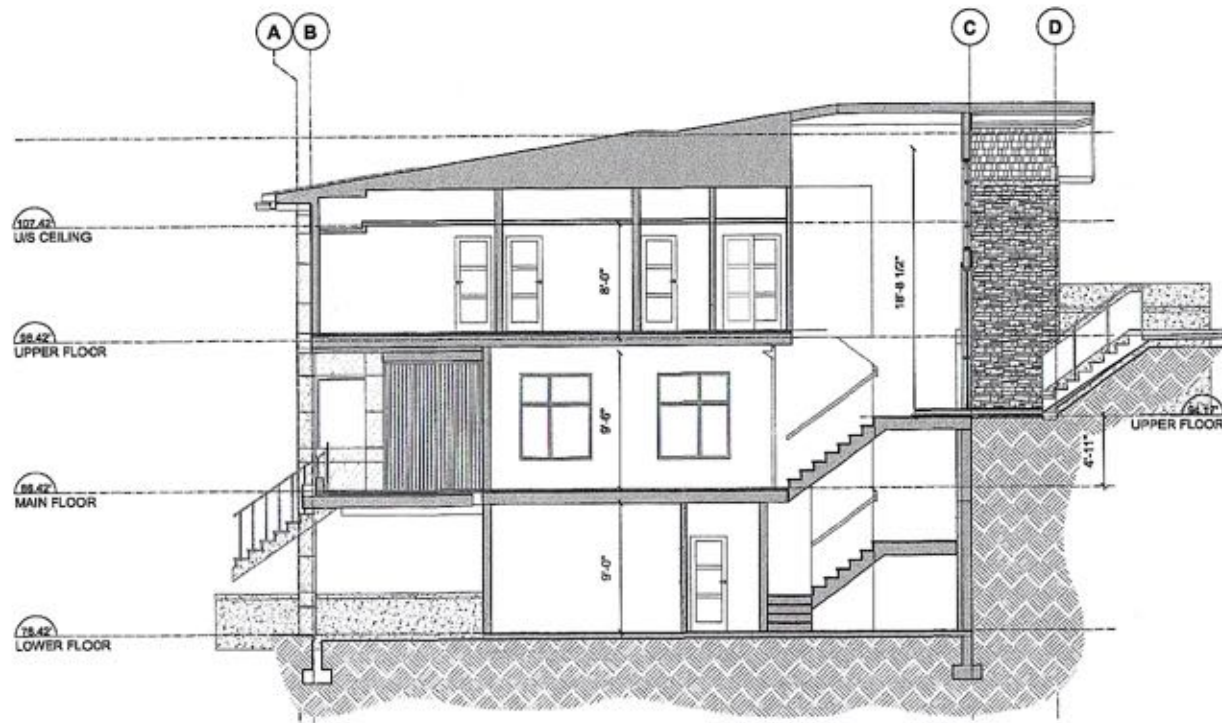


ROOF PLAN
UNIT G3



These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Permitting Aug 21, 2023
 DRG P/MH Correct/Update MAY 12, 2023
 SL, BS, GH Markings JUNE 27, 2023
 Hand updates OCT 1, 2023



A SECTION A-A
 Scale: 1/4" = 1'-0"



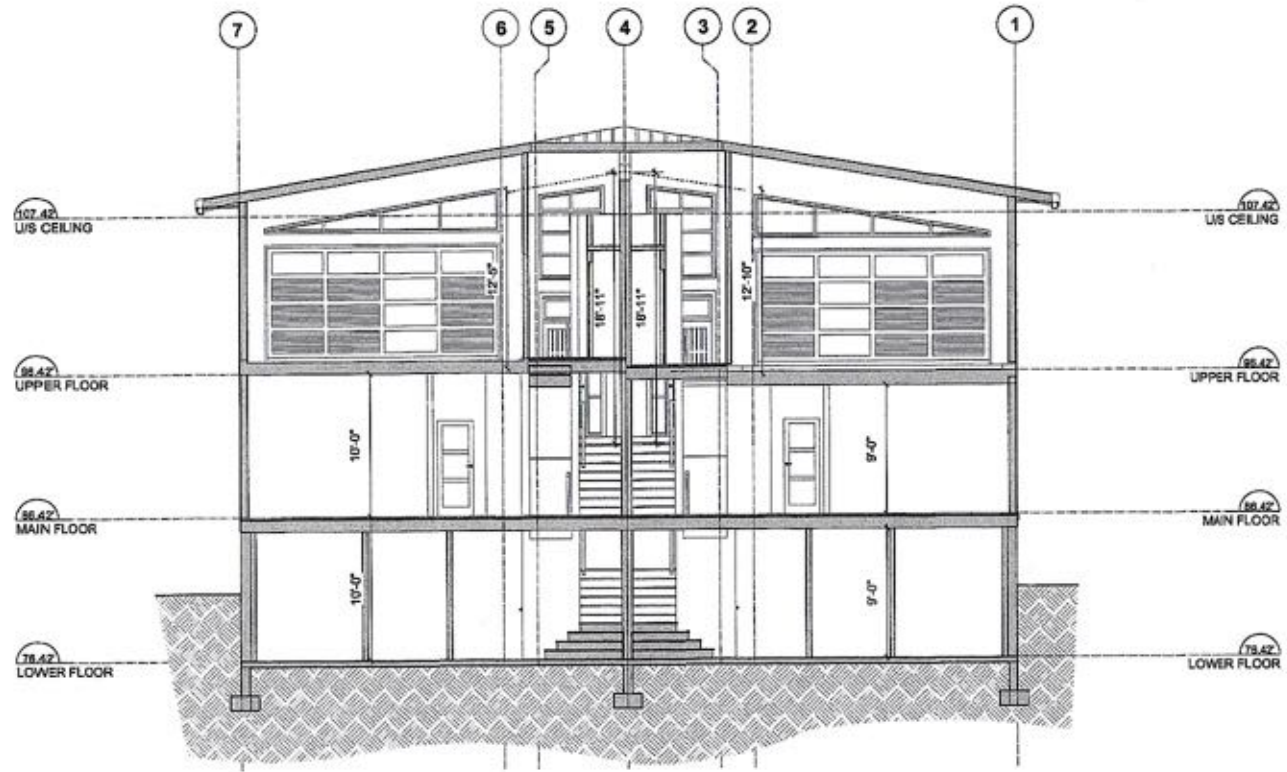
PROJECT
 DAPPOLD DRIVE, WEST VANCOUVER, BC
 UNIT H3

DRAWING
 SECTION A-A

PROJECT#	SHEET
803	AH3-
SCALE	3.01
DATE	OCT 1, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DR/Marketing	Aug 31, 2021
DRG/PAK/Convent/Revised	May 13, 2020
DR/PAK/DR/Revised	July 21, 2020
Mark/Revised	Oct 1, 2020



B SECTION B-B
Scale: 1/4" = 1'-0"



PROJECT
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT #13

DRAWING
SECTION B-B

PROJECT	SHEET
SCALE 1/4" = 1'-0"	AH3-3.02
DATE OCT 1, 2021	

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for CP/Planning Aug 21, 2021
 CP/CP Public Comment Revisions MAY 12, 2022
 01, 05, 06, 08 Revisions JULY 21, 2022
 Final Revisions Oct 1, 2022



FRONT / ENTRY ELEVATION
 UNIT G3



LOWER FLOOR / BASEMENT EXEMPTIONS:
 (81.38' - 79.25' / 89.25' - 79.25') x 100 = 21.3%
 1.145 (gross area) x 21.3% = 243.89 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (81.38' - 79.25' / 89.25' - 79.25') x 100 = 21.3%
 1.145 (gross area) x 21.3% = 243.89 SF (exemption)

BACK ELEVATION
 UNIT G3



PROJECT
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H3

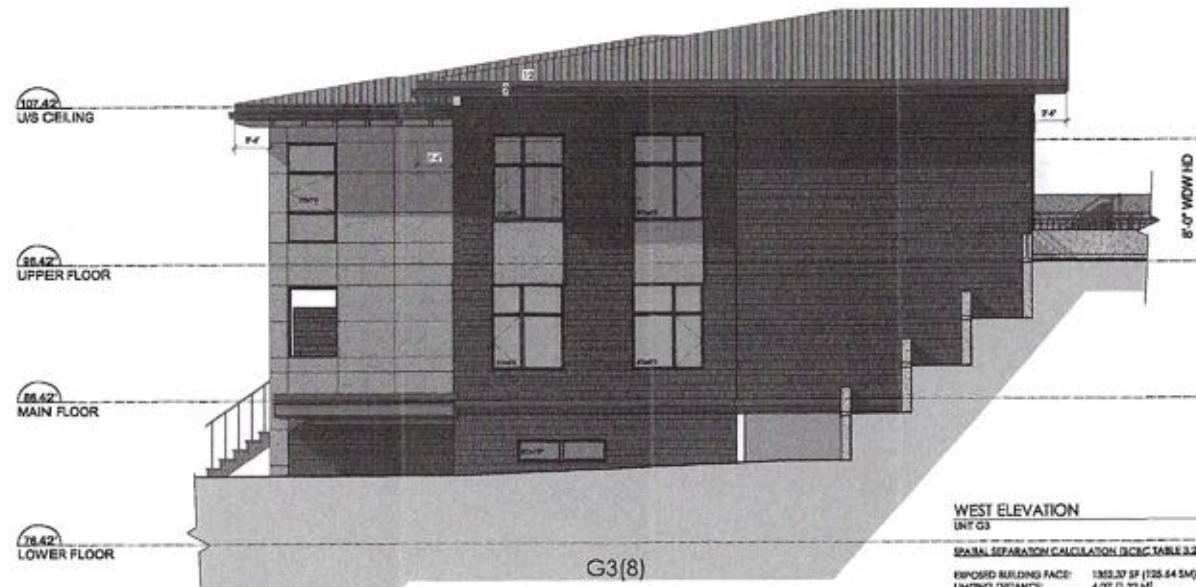
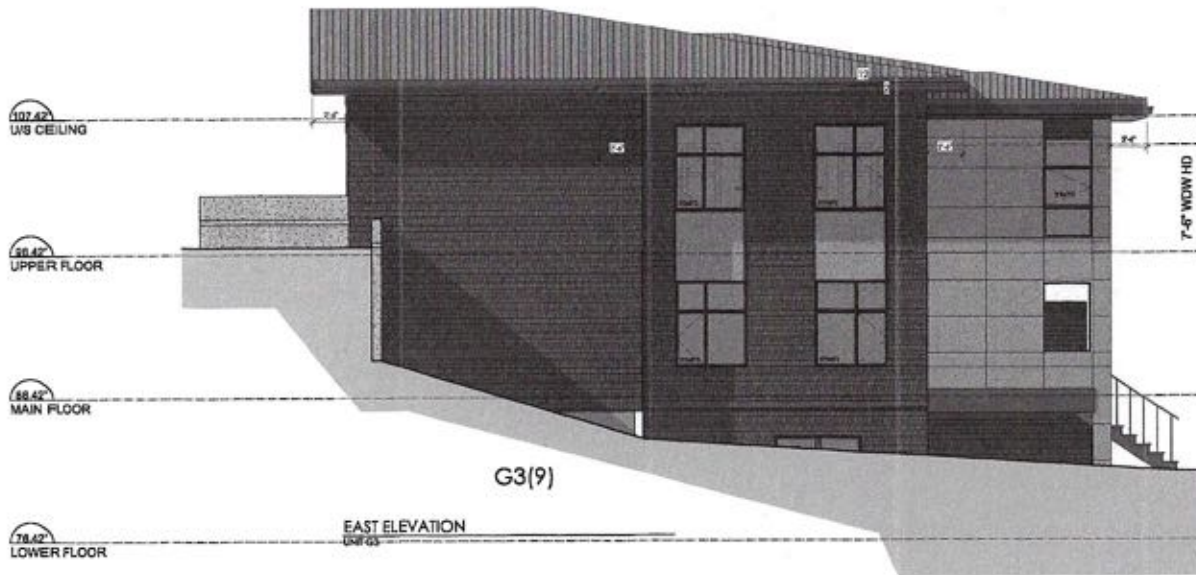
DRAWING
 FRONT & BACK
 ELEVATIONS B/W

PROJECT	NOB	AH3- 4.01
SCALE	1/4" = 1'-0"	
DATE	OCT 1, 2022	

These plans remain the
ownership of Sterling Pacific

REVISIONS
Issued To: DP/Resolving
CND/PA/Comm/Resolving
G1, G2, G3, G4, G5
H and Address

Aug 21, 2021
SEP 15, 2021
JAN 21, 2022
Oct 1, 2022



WEST ELEVATION
UNIT G3

SPRINKLER SEPARATION CALCULATION (BCEC TABLE 3.2.2.1.0)

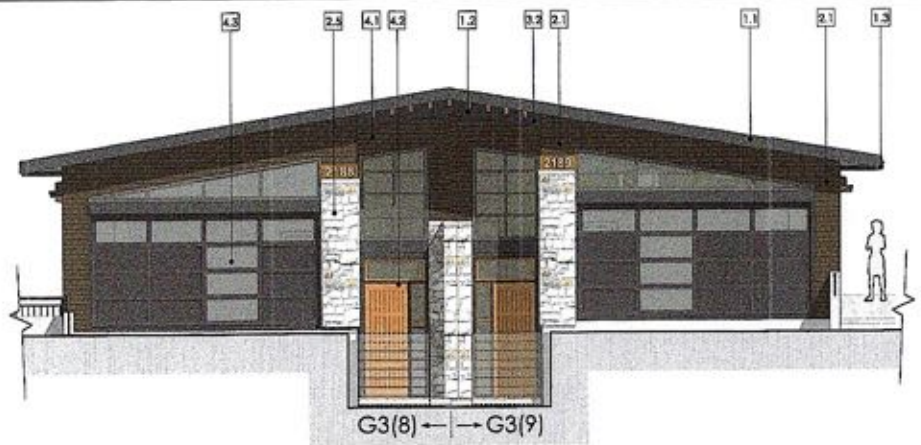
EXPOSED BUILDING FACE:	1362.37 SF (125.64 SM)
LIMITING DISTANCE:	4.00' (1.22 M)
UNPROTECTED OPENING:	176.80 SF (16.40 SM)
PROPOSED OPENING:	13.08%
PERMITTED OPENING:	14.04%



PROJECT
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H3

DRAWING
EAST & WEST
ELEVATIONS B/W

PROJECT	003	SHEET	AH3- 4.02
SCALE	1/4" = 1'-0"	DATE	
DATE	OCT 1, 2022		



FRONT / ENTRY ELEVATION
UNIT G3



BACK ELEVATION
UNIT G3



AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Crown "X" Metal Roof	Charcoal Gray
1.2	Five Cement Shingles	Woodstone Rustic Series Cannon Trails
1.3	Roofing Gutter	Charcoal Gray
2.1	Hardy Panel	Light Gray
2.2	Stone Cladding	Random Granite
3.1	Wrought Iron Balcony Gate	Wrought Iron - 3124-10
3.2	Wrought Iron Balcony Posts	Wrought Iron - 3124-10
4.1	Entry Door	Charcoal Gray
4.2	Window/Fascia/Sarge Boards	Charcoal Gray
4.3	Soffit	Charcoal Gray
4.4	Balcony	Charcoal Gray
5.1	Wrought Iron Balcony Gate	Wrought Iron - 3124-10
5.2	Wrought Iron Balcony Posts	Wrought Iron - 3124-10

These plans remain the ownership of Sterling Pacific

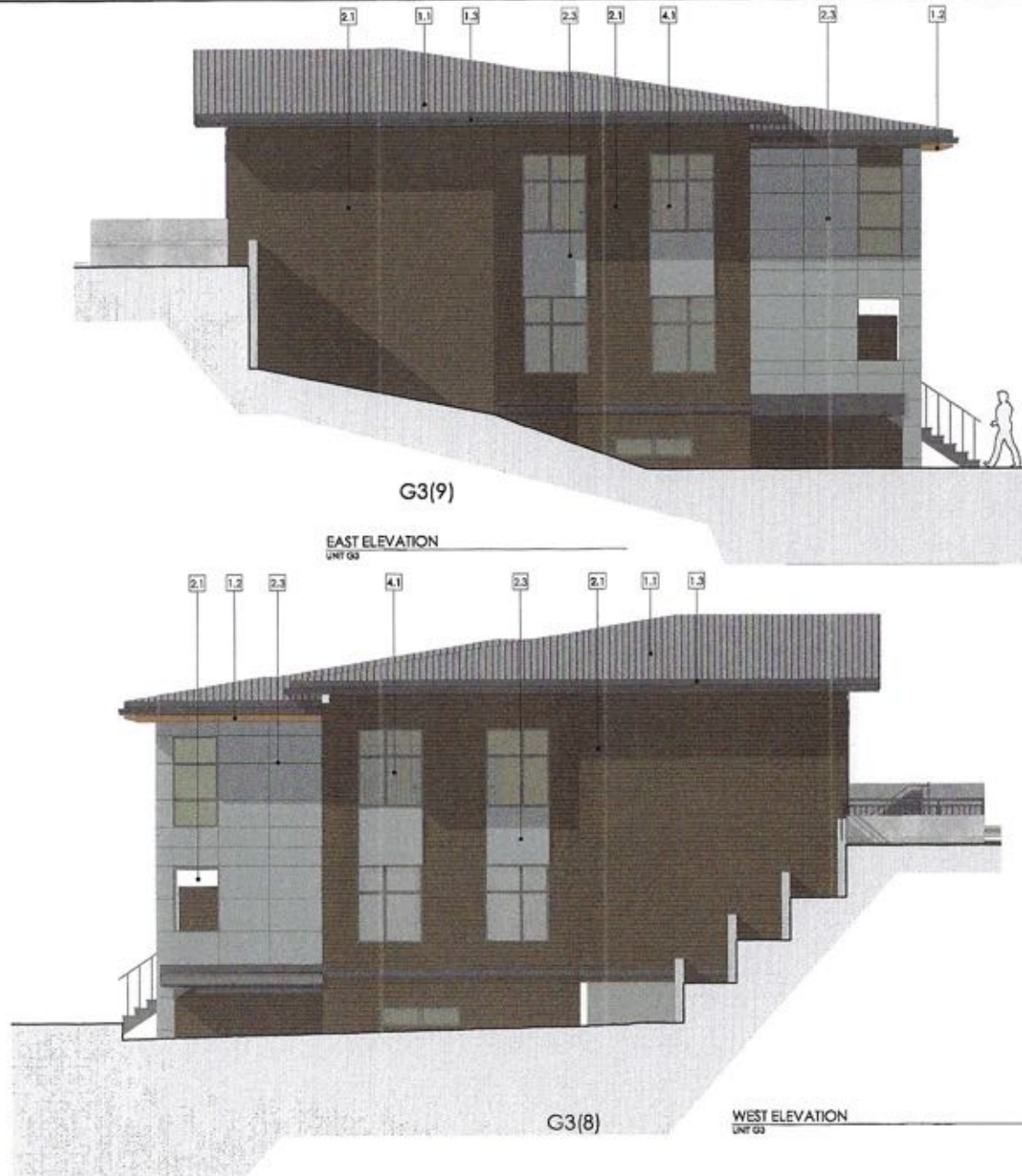
REVISIONS
Issued for DP/Reviewing
DND/Philo Comment/Review
01.08.2023/Philo
Hurt/Review
Aug 31, 2021
May 18, 2020
July 21, 2022
Oct 1, 2022



PROJECT
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H3

DRAWING
FRONT & BACK
ELEVATIONS

PROJECT #
302
SCALE
1/4" = 1'-0"
DATE
OCT 1, 2022
AH3-
4.03



These plans remain the ownership of Sterling Pacific

REVISED
 Issued for 3D Rendering Aug 31, 2021
 DRU Public Consultation MAY 13, 2021
 01, 02, 03 Revision JULY 21, 2021
 Final Address Oct 1, 2021



PROJECT
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT H3

DRAWING
 EAST & WEST ELEVATIONS

PROJECT NO. 800
 SHEET
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2021
AH3-4.04

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Cable knit metal mesh	Charcoal Grey
1.2	Pure Cement Soffit	Espresso Grey BM - HD 158
1.3	Gutter	Charcoal Grey
2.1	Pure Cement Sillings	Woodstone Rafto Series Carbon Oak
2.2	MSJ Soffit	
2.3	Insulated Panel	Light Mist
2.4	MSJ Sill	
2.5	Stone	Random Granite
3.1	Exterior basement curb on precast concrete & masonry finished with copper flashing	Wrought Iron - 2024 - 10
3.2	Roofs	Wrought Iron - 2024 - 10
4.1	Double-glazed vinyl windows & substituted door	Charcoal Grey
4.2	Entry door painted w/ a tan and white	Stained - Old Master Oil Stain w/ a clear top coat - Sherwin Williams
4.3	Painted Virginia painted garage door w/ a tan and white	Charcoal Grey
4.4	Exterior glass curtain wall w/ a clear top	Charcoal Grey
5.1	Pre-painted treated wood	Stained - Old Master Oil Stain w/ a clear top coat - Sherwin Williams
5.2	Painted metal flashing	Charcoal Grey
5.3	Steel post painted finish	Charcoal Grey

These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for Approval Aug 31, 2021
SHD Public Comment Revisions NOV 12, 2022
S1, G2, G3 Revisions JULY 21, 2023
Final Revisions OCT 1, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
Unit G3



BACK ELEVATION - CAMERA VIEW
Unit G3



BACK ELEVATION - CAMERA VIEW
Unit G3



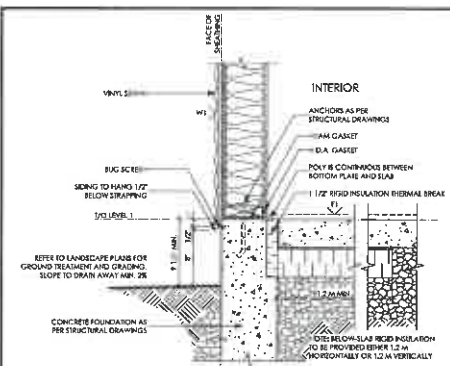
PROJECT

DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H3

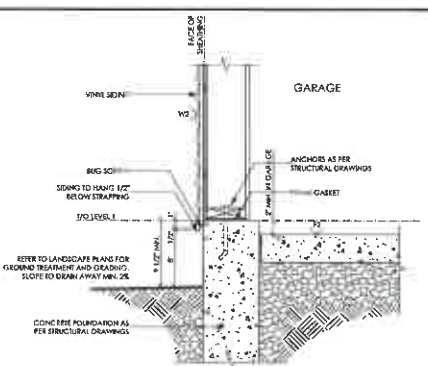
DRAWING

FRONT & BACK
ELEVATIONS -
CAMERA VIEW

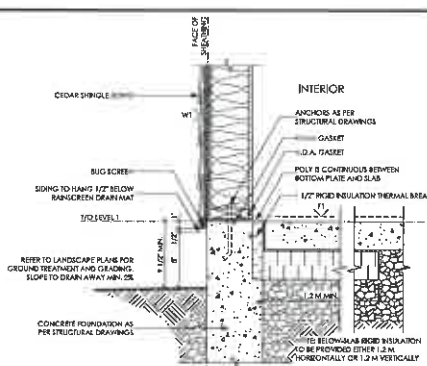
PROJECT	SHEET
828	AH3-
SCALE	SIZE
DATE	4.05
OCT 1, 2023	



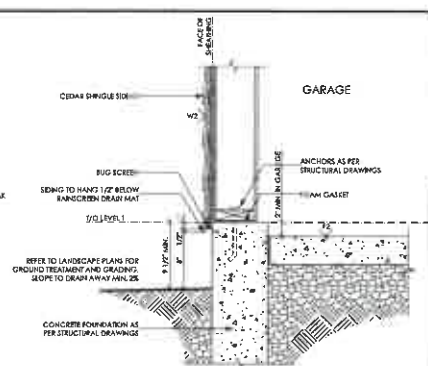
AD-01 TYP. T/O FDN WALL (VINYL)
A7.00 SCALE: 1 1/2" = 1'-0"



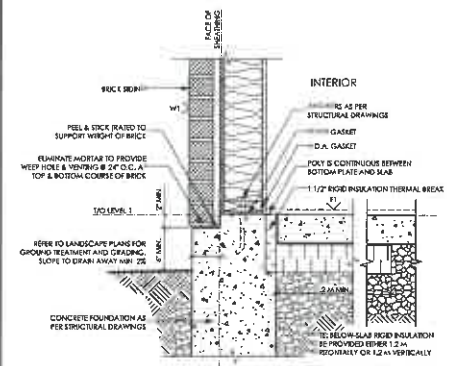
AD-02 TYP. T/O FDN WALL (VINYL)
A7.00 SCALE: 1 1/2" = 1'-0"



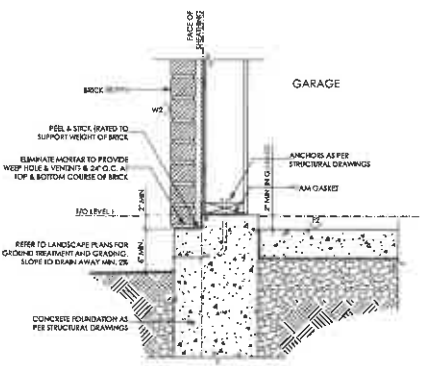
AD-03 TYP. T/O FDN WALL (CEDAR SHINGLE)
A7.00 SCALE: 1 1/2" = 1'-0"



AD-06 TYP. T/O FDN WALL (CEDAR SHINGLE)
A7.00 SCALE: 1 1/2" = 1'-0"



AD-09 TYP. T/O FDN WALL (BRICK)
A7.00 SCALE: 1 1/2" = 1'-0"



AD-10 TYP. T/O FDN WALL (BRICK)
A7.00 SCALE: 1 1/2" = 1'-0"

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REVISIONS
 Bldg for DP Reasoning Aug 31, 2021
 BRED Public Domain Rankings MAY 12, 2023
 G1, G2, G3 Revisions JUL 14, 2023

NOT FOR CONSTRUCTION



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, B.C.

DRAWING
 ARCHITECTURAL DETAILS

PROJECT#	2030	SHEET	
SCALE	1 1/4" = 1'-0"		A7.00
DATE	MAY 12, 2023		

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Aging in Place

Aquila is a development that is multi generational whereby young families to empty nesters can find the perfect home to accommodate their needs.

A driving factor of being multi generational is the ability to age in place.

Accordingly a key component of this is to have elevator access and all of the "G" units have the ability to be equipped with elevators. This means that 12 homes or 33% of the development will have the option for elevators.

The layouts with the elevators is shown on pages 8.01,8.02 and 8.03.



VISIONS
Issued for DR/Marketing Aug. 31, 2023
DRG/ Public Comment Reviews MAY 12, 2023
01, 02, 03 Reviews JULY 31, 2023



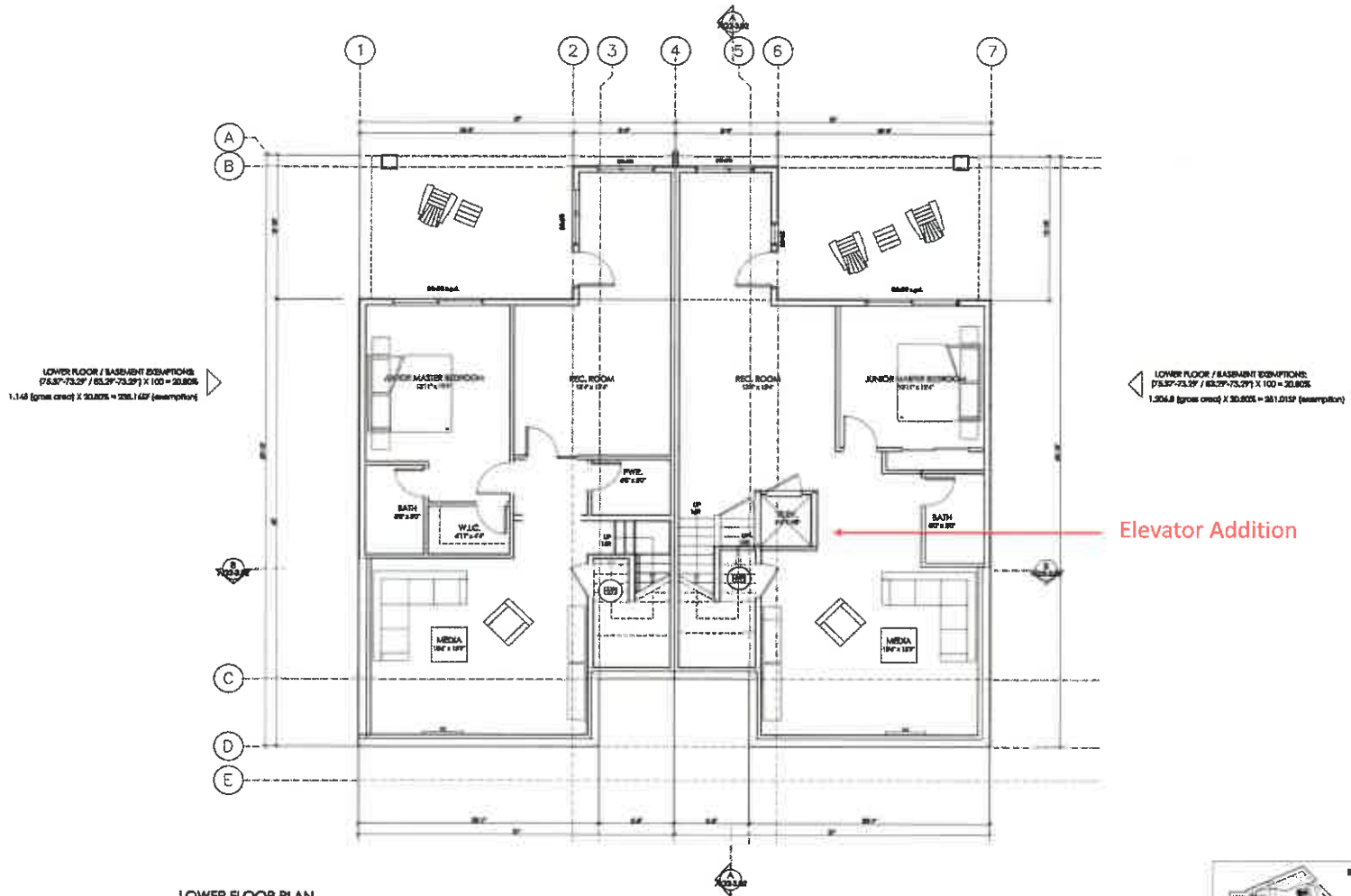
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
Elevator
Addition

PROJECT#	1800	SHEET
SCALE	1/8" = 1'-0"	A8.00
DATE	MAY 12, 2023	

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Revising Aug 31, 2021
 SRD Public Comment Revisions MAY 12, 2022
 D1, D2, D3 Revisions JULY 31, 2022



LOWER FLOOR PLAN

UNIT 7 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ.FT.	LEVEL 2 SQ.FT.	LEVEL 3 SQ.FT.	TOTAL
GROSS	1766.5 SF	1418.0 SF	1418.0 SF	4592.5 SF
CHANGE EXCLUSIONS	38.0 SF	0.0 SF	488.0 SF	526.0 SF
MINORITY EXCLUSIONS EXEMPT	38.0 SF	0.0 SF	488.0 SF	526.0 SF
COVERED BALCONY EXCLUSIONS	16.0 SF	0.0 SF	86.0 SF	102.0 SF
NET	1682.5 SF	1377.0 SF	1050.0 SF	4109.5 SF

UNIT 7 FLOOR AREAS METRIC				
	LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	LEVEL 3 SQ.M.	TOTAL
GROSS	163.2 SQ.M.	130.8 SQ.M.	130.8 SQ.M.	424.8 SQ.M.
CHANGE EXCLUSIONS	3.5 SQ.M.	0.0 SQ.M.	45.2 SQ.M.	48.7 SQ.M.
MINORITY EXCLUSIONS EXEMPT	3.5 SQ.M.	0.0 SQ.M.	45.2 SQ.M.	48.7 SQ.M.
COVERED BALCONY EXCLUSIONS	1.5 SQ.M.	0.0 SQ.M.	7.9 SQ.M.	9.4 SQ.M.
NET	157.2 SQ.M.	125.8 SQ.M.	85.6 SQ.M.	368.6 SQ.M.

UNIT 7 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ.FT.	LEVEL 2 SQ.FT.	LEVEL 3 SQ.FT.	TOTAL
GROSS	1766.5 SF	1418.0 SF	1418.0 SF	4592.5 SF
CHANGE EXCLUSIONS	38.0 SF	0.0 SF	488.0 SF	526.0 SF
MINORITY EXCLUSIONS EXEMPT	38.0 SF	0.0 SF	488.0 SF	526.0 SF
COVERED BALCONY EXCLUSIONS	16.0 SF	0.0 SF	86.0 SF	102.0 SF
NET	1682.5 SF	1377.0 SF	1050.0 SF	4109.5 SF

UNIT 7 FLOOR AREAS METRIC				
	LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	LEVEL 3 SQ.M.	TOTAL
GROSS	163.2 SQ.M.	130.8 SQ.M.	130.8 SQ.M.	424.8 SQ.M.
CHANGE EXCLUSIONS	3.5 SQ.M.	0.0 SQ.M.	45.2 SQ.M.	48.7 SQ.M.
MINORITY EXCLUSIONS EXEMPT	3.5 SQ.M.	0.0 SQ.M.	45.2 SQ.M.	48.7 SQ.M.
COVERED BALCONY EXCLUSIONS	1.5 SQ.M.	0.0 SQ.M.	7.9 SQ.M.	9.4 SQ.M.
NET	157.2 SQ.M.	125.8 SQ.M.	85.6 SQ.M.	368.6 SQ.M.



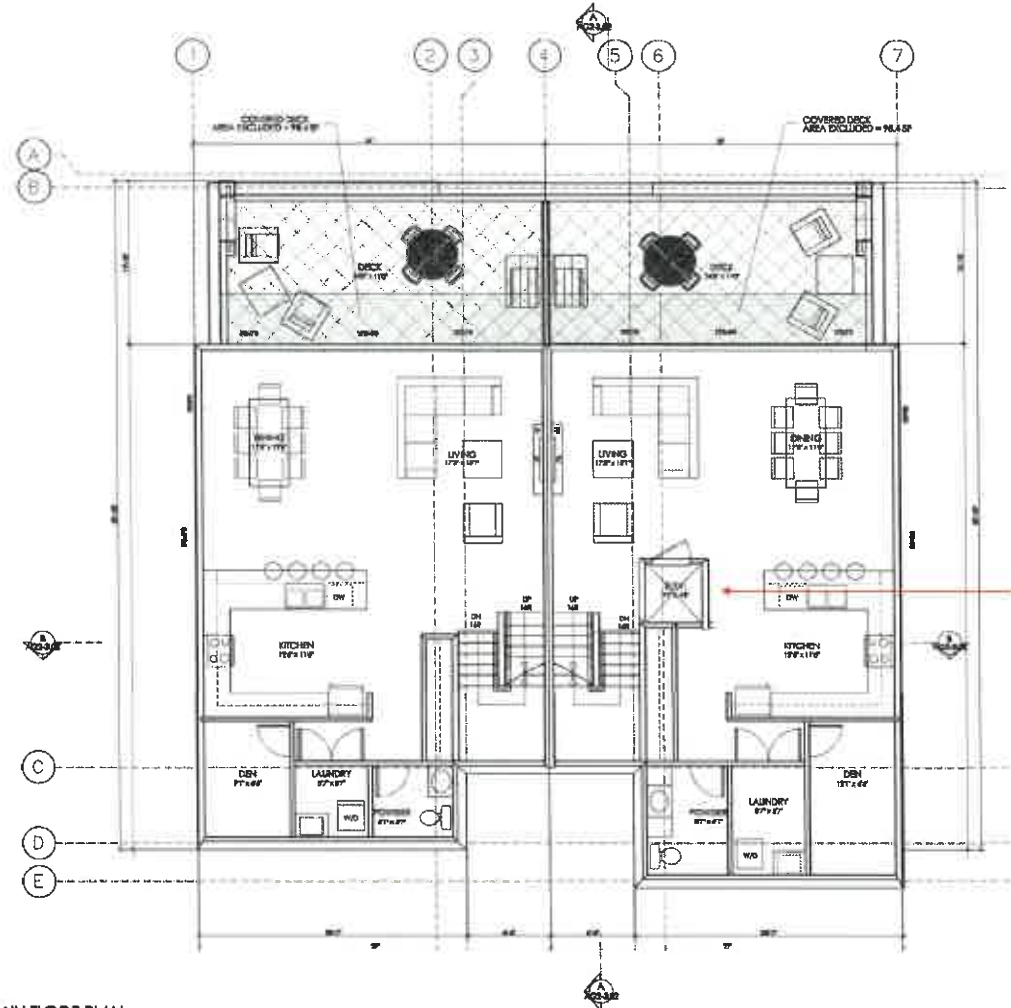
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
 Lower Floor Plan
 Elevator
 Addition

PROJECT NO. 9900
 SCALE: 1/8" = 1'-0"
 DATE: MAY 12, 2022
 SHEET NO. **A8.01**

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Resolving AUG 31, 2021
 DRCJ Public Comment Response MAY 13, 2023
 R1, R2, R3 Revisions JULY 31, 2023



Elevator Addition

MAIN FLOOR PLAN

UNIT 6 FLOOR AREAS IMPERIAL			
LEVEL 1 SQ.FT.	LEVEL 2 SQ.FT.	LEVEL 3 SQ.FT.	TOTAL
CRCHG	174.00 SF	189.25 SF	363.25 SF
GARAGE ENCLOSURE	0.00 SF	0.00 SF	0.00 SF
LAUNDRY ENCLOSURE	283.37 SF	0.00 SF	283.37 SF
COVERED BALCONY ENCLOSURE	0.00 SF	0.00 SF	0.00 SF
NET	457.37 SF	189.25 SF	646.62 SF

UNIT 6 FLOOR AREAS METRIC			
LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	LEVEL 3 SQ.M.	TOTAL
CRCHG	16.04 SQ.M.	17.44 SQ.M.	33.48 SQ.M.
GARAGE ENCLOSURE	0.00 SQ.M.	0.00 SQ.M.	0.00 SQ.M.
LAUNDRY ENCLOSURE	263.37 SQ.M.	0.00 SQ.M.	263.37 SQ.M.
COVERED BALCONY ENCLOSURE	0.00 SQ.M.	0.00 SQ.M.	0.00 SQ.M.
NET	419.41 SQ.M.	17.44 SQ.M.	436.85 SQ.M.

UNIT 7 FLOOR AREAS IMPERIAL			
LEVEL 1 SQ.FT.	LEVEL 2 SQ.FT.	LEVEL 3 SQ.FT.	TOTAL
CRCHG	179.00 SF	194.25 SF	373.25 SF
GARAGE ENCLOSURE	0.00 SF	0.00 SF	0.00 SF
LAUNDRY ENCLOSURE	283.37 SF	0.00 SF	283.37 SF
COVERED BALCONY ENCLOSURE	0.00 SF	0.00 SF	0.00 SF
NET	462.37 SF	194.25 SF	656.62 SF

UNIT 7 FLOOR AREAS METRIC			
LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	LEVEL 3 SQ.M.	TOTAL
CRCHG	16.42 SQ.M.	17.92 SQ.M.	34.34 SQ.M.
GARAGE ENCLOSURE	0.00 SQ.M.	0.00 SQ.M.	0.00 SQ.M.
LAUNDRY ENCLOSURE	263.37 SQ.M.	0.00 SQ.M.	263.37 SQ.M.
COVERED BALCONY ENCLOSURE	0.00 SQ.M.	0.00 SQ.M.	0.00 SQ.M.
NET	429.79 SQ.M.	17.92 SQ.M.	447.71 SQ.M.



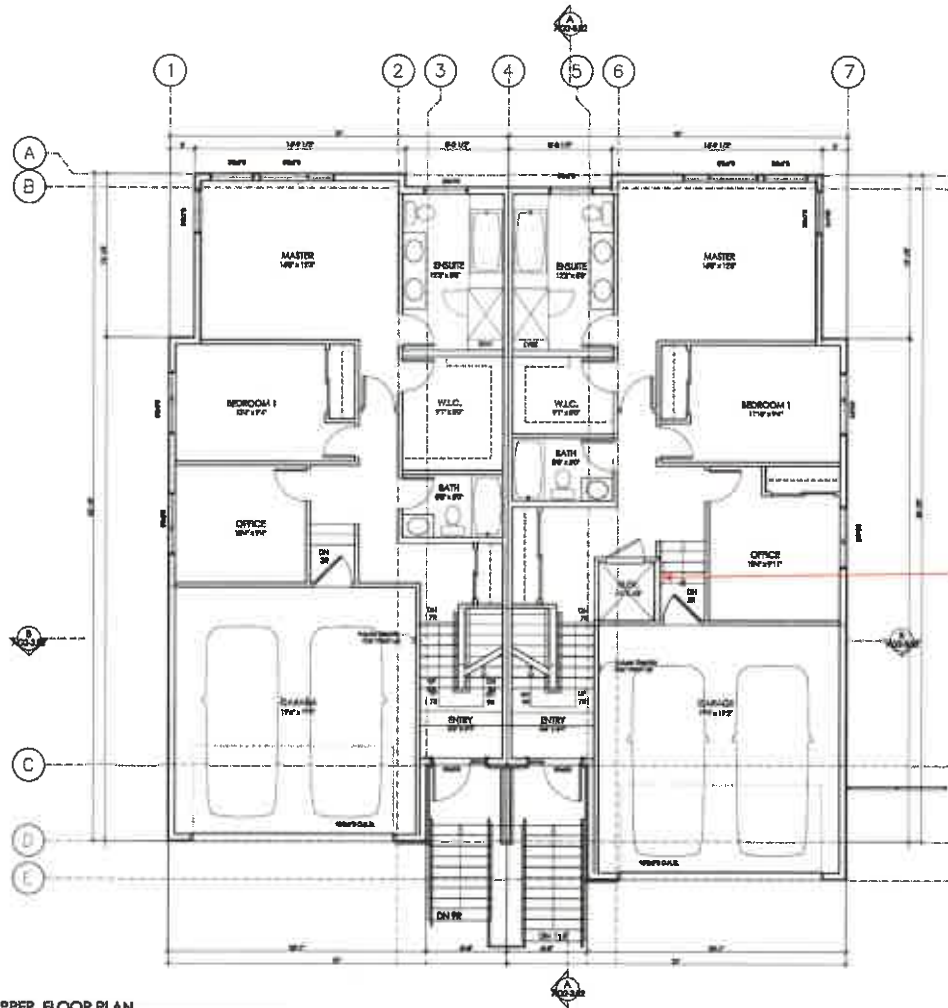
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
 Main Floor Plan
 Elevator
 Addition

PROJECT# 4000 SHEET
 SCALE NTS A8.02
 DATE MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based for DP/Reopening Aug 31, 2021
 DRCD Public Consultation Revisions MAY 12, 2020
 S1, G2, G3 Revisions JULY 31, 2020



Elevator Addition

UPPER FLOOR PLAN

UNIT 7 FLOOR AREAS IMPERIAL

	UPR 1 SQ.FT.	UPR 2 SQ.FT.	LEVEL 3 SQ.FT.	TOTAL
GRAND	1146.00	1262.00	1042.00	3450.00
GARAGE INCLUSIONS	82.00	82.00	82.00	246.00
MINIMUM EXCLUSIONS	282.00	40.00	40.00	362.00
CCY FROD BALCONY INCLUSIONS	82.00	186.00	122.00	390.00
NET	1366.00	1588.00	1172.00	4126.00

UNIT 7 FLOOR AREAS METRIC

	LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	UPR 3 SQ.M.	TOTAL
GRAND	104.20	116.20	96.20	316.60
GARAGE INCLUSIONS	7.50	7.50	7.50	22.50
MINIMUM EXCLUSIONS	25.90	3.60	3.60	33.10
CCY FROD BALCONY INCLUSIONS	7.50	17.00	11.20	35.70
NET	93.30	117.10	106.50	316.90

UNIT 7 FLOOR AREAS IMPERIAL

	UPR 1 SQ.FT.	UPR 2 SQ.FT.	UPR 3 SQ.FT.	TOTAL
GRAND	1204.00	1418.00	1162.00	3784.00
GARAGE INCLUSIONS	102.00	102.00	102.00	306.00
MINIMUM EXCLUSIONS	342.00	48.00	48.00	438.00
COVERED BALCONY INCLUSIONS	102.00	228.00	152.00	582.00
NET	1062.00	1290.00	1016.00	3368.00

UNIT 7 FLOOR AREAS METRIC

	LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	UPR 3 SQ.M.	TOTAL
GRAND	111.10	131.20	107.00	349.30
GARAGE INCLUSIONS	9.40	9.40	9.40	28.20
MINIMUM EXCLUSIONS	31.20	4.50	4.50	40.20
COVERED BALCONY INCLUSIONS	9.40	21.00	13.70	44.10
NET	89.90	116.70	102.20	308.80



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
 Upper Floor Plan
 Elevator
 Addition

PROJECTS #820
 SHEET
 SCALE NTS
 DATE MAY 12, 2020
A8.03

AQUILA

DEVELOPMENT PERMIT RESUBMISSION

STERLING PACIFIC // CLIENT

DAVE HARPER
dwharper@shaw.ca
604.851.1351

JAMIE HARPER
harperjamie@gmail.com
778.322.9340

LOCI LANDSCAPE ARCHITECTURE + URBAN DESIGN // LANDSCAPE ARCHITECT

MICHAEL ENNS // BCSLA, CSLA
mike@locidesign.ca
604.753.2806

DAVID STEIN
david@locidesign.ca
519.266.1155

LANDSCAPE DRAWING INDEX PERMIT

Sheet No.	Sheet Name
L0.0	COVER SHEET
L1.0	OVERALL LANDSCAPE PLAN
L2.0	LAYOUT + MATERIALS PLAN
L3.0	GRADING PLAN
L4.0	OVERALL PLANTING STRATEGY PLAN
L4.1	DETAIL PLAN: DAFFODIL DR. ENTRY PLANTING CONCEPT
L4.2	DETAIL PLAN: INTERNAL ROAD FEATURE NODE PLANTING CONCEPT
L4.3	DETAIL PLAN: TERRACED WALL TOWNHOUSE PLANTING CONCEPT
L4.4	DETAIL PLAN: WESTPORT RD. ENTRY PLANTING CONCEPT
L4.5	DETAIL PLAN: TYPICAL NATURALIZED PLANTING CONCEPT
L4.6	DETAIL PLAN: LAYERED PLANTS
L5.0	PLANT LIST + IMAGES
L6.0	HARDSCAPE DETAILS
L6.1	HARDSCAPE DETAILS
L6.2	FURNISHING DETAILS
L6.3	SOFTSCAPE DETAILS

GENERAL NOTES

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION.
2. ALL PLANTING AREAS TO RECEIVE AUTOMATIC DRIP IRRIGATION, WITH TIME CLOCK AND RAIN SENSOR.
3. ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, SPECIFICATIONS, AND ANY OTHER CORRESPONDENCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
4. IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.
5. ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.
6. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.
7. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.
8. LAYOUT OF FAVING, WALLS, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER LANDSCAPE MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
9. ALL DIMENSIONS AND ELEVATIONS ARE IN FEET UNLESS OTHERWISE NOTED. VERIFY ALL ELEVATIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT TEAM FOR REVIEW AND RESPONSE.
10. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
11. PROTECT ALL EXISTING STRUCTURES.
12. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
13. FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT HAS BEEN REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES.
14. LOCI LANDSCAPE ARCHITECTURE + URBAN DESIGN DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

loci

LANDSCAPE ARCHITECTURE + URBAN DESIGN
235 FERGUSON VICTORIA BC V8V 1K4
www.locidesign.ca

BC REG. NO. 12010
LANDSCAPE ARCHITECTURE + URBAN DESIGN
LANDSCAPE ARCHITECTURE + URBAN DESIGN
LANDSCAPE ARCHITECTURE + URBAN DESIGN

Project Stamp

No.	Description	Date
D	ISSUED FOR PERMIT	20-06-24
E	ISSUED FOR DP	20-06-21
F	ISSUED FOR DP RESUBMISSION	22-06-24
G	ISSUED FOR DP RESUBMISSION	23-06-08

Project Info

72066
Aquila West Vancouver
Site name
West Vancouver
City

Project Team

Client
Sterling Pacific
Architect
Formworks
Landscape Architect
LOCI Landscape Architecture + Urban Design

Drawn By: _____ Checked By: _____
Drawn By: _____ Checked By: _____

COVER SHEET

L0.0

Rev. A revision

DESIGN RATIONALE:

The overall landscape design for the site is inspired by the natural west coast setting it sits on, with existing forest stands along the perimeter and selected groupings within the residential areas augmented by new understory native trees, shrubs and boulder groupings. Accent plantings of ornamental grasses, perennials and small trees provide colour and texture for variety and seasonal interest, placed at unit entries as well as at site entries and adjacent to paths. Retaining walls will be a mixture of boulder stacks, placed strategically to allow for pocket planting, and architectural concrete walls at entries to the units as required. Collectively, the materiality is aimed to promote a landscape experience that allows the residents to feel this development is part of the site's history.

From a site amenity perspective, a feature for all residents is the Eagle Creek trail, a linear trail along the existing Eagle Creek that is comprised of a meandering pathway, resting benches, and naturalized plantings. This public amenity will connect lower Daffodil Drive with Westport Road, and provide an easy-to-access natural and recreational addition to the community. To the west, the reclaimed watercourse and wetland area is "opened up" for residents, with a small path and viewing deck proposed along the main entry road. Site circulation is further enhanced with gravel pathways that connect the future upper and lower benches of the site.

KEY ITEMS:

- 1 **SITE ENTRIES**
-Feature wall, possible arch feature
-"Aquila brand" signage
- 2 **DRIVE COURT**
-Accent paving bands
-Ornamental trees
-Layered native plants
- 3 **COMMON MEETING/REST AREA**
-Unit pavers/gravel
-Benches
-Accent planting
- 4 **ONSITE STORMWATER DETENTION AREA**
-Native shrubs + trees
-Viewing deck + bench
- 5 **COMMUNITY TRAIL (EAGLE CREEK TRAIL)**
-Community trail along historic skid trail
- 6 **CLUSTERS OF PROTECTED NATIVE TREES + UNDERSTOREY**
- 7 **REHABILITATED EX. WATERCOURSE + RIPARIAN AREA - BY OTHERS**



1 LANDSCAPE CONCEPT PLAN
Scale: 1:350

Project Status

No.	Description	Date
D	ISSUED FOR REVIEW	21-03-23
E	ISSUED FOR DP	21-07-23
F	ISSUED FOR DP	23-04-24
G	ISSUED FOR DP	23-04-24

Project Info

71066
Aquila West Vancouver
Schematic
West Vancouver
City

Project Team

Client: [Redacted]
Schematic: [Redacted]
Architect: [Redacted]
Landscape Architect: [Redacted]
Drawn By: [Redacted] Checked By: [Redacted]
Drawn By: [Redacted] Checked By: [Redacted]

OVERALL LANDSCAPE PLAN

L1.0
Rev. A revision

GENERAL GRADING NOTES:

1. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
2. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
3. THE LAYOUT OF ALL PROPOSED HARDSCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
5. REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL, AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
6. SLOPE SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
7. REFER TO CIVIL ENGINEER'S PRECISE GRADING PLANS FOR SITE GRADING PLANS FOR SITE DRAINAGE, AND UTILITY LOCATIONS. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE LANDSCAPE ARCHITECT'S PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE AND CONSULTANT TEAM FOR DIRECTION AS TO HOW TO PROCEED.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION AND ELEVATION IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
9. ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH EXISTING GRADING AT PROJECT LIMITS. GRADING LIMITS AND EXISTING SIDEWALK, PRECISE ELEVATIONS INDICATED ON PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
10. THE DEBRIS CREATED BY LANDSCAPE GRADING OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY OFF SITE.
11. FINAL GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION OF PLANTING.
12. ALL WALL LAYOUTS, WINDOW WELLS & ELEVATIONS ADJACENT TO BUILDINGS SHOWN FOR INFO ONLY. PLEASE REFER TO ARCH PLANS.

GRADING LEGEND

SYMBOL	DESCRIPTION
	PROPOSED ELEVATION
	ARCH FINISHED FLOOR ELEVATION (LIFE, FTE, BFE) - SEE ARCH
	TOP OF WALL ELEVATION - SEE ARCH
	BOTTOM OF WALL ELEVATION - SEE ARCH
	BOULDER STACK WALL - FINAL LAYOUT TPO
	CONC. RETAINING WALL - 6" THICK, MAX 8' HEIGHT - SEE ARCH
	EXISTING TREES TO REMAIN, REFER TO ARBORIST REPORT
	WINDOW WELL - 4" HIGHER THAN LFE - SEE ARCH
	STONE SLAB STEPS - 6" HT RISER
	SEASONAL DETENTION POND



1 GRADING PLAN
 Scale: 1:500



Project Stamp

Issue

Rev.	Description	Date
D	ISSUED FOR REVIEW	21-07-12
E	ISSUED FOR DP	11-07-13
F	ISSUED FOR DP	17-04-14
G	ISSUED FOR DP	13-04-16

Project Info

7008
 Aquila West Vancouver
 Schematic
 West Vancouver
 City

Project Team

Client: Starling Pacific
 Architect: SCHEMATIC PARTNERS
 Landscape Architect: LOCI Landscape Architecture + Urban Design
 Drawn By: [] Checked By: []
 Drawn By: [] Checked By: []

GRADING PLAN





L3.0

Rev. A revision




GENERAL PLANTING NOTES:

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION.
2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER.
3. ROOTZONE TO REST ON TAMPED PLANTING SOIL.
4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED, PLANT AT THE SAME GRADE AS NURSERY, WATER AND FERTILIZE AS SPECIFIED, ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED.
5. TREE SIZE AND SPACING TO BE AS PER CITY OF VANCOUVER ARBORIST.
6. TREE: PREPARE PLANTING HOLES AS SPECIFIED, INSTALL TOP OF ROOTZONE 6" ABOVE FINISHED GRADE OF GROWING MEDIUM, WATER AND FERTILIZE AS SPECIFIED BY NURSERY.
7. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION SPACING TO BE APPROVED BY LANDSCAPE ARCHITECTS IN THE FIELD PRIOR TO INSTALLATION.
8. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
9. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD.
10. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY OF VANCOUVER STANDARDS, INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
11. FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT TO BE REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES.
12. ALL PLANTING NEEDS TO RECEIVE AUTOMATIC IRRIGATION UNTIL ESTABLISHMENT AT A MINIMUM.

PLANTING TYPOLOGY:

-  PLANTING TYPE 1 FEATURE PLANTING - SEE PLANT SCHEDULE
-  PLANTING TYPE 2 NATURALIZED PLANTING - SEE PLANT SCHEDULE
-  PLANTING TYPE 3 LAWN PLANTING - SOD
-  PLANTING TYPE 4 RIPARIAN PLANTING - BY OTHERS

TREE TYPOLOGY:

-  EXISTING PERMIT TREES TO REMAIN, SEE ARBORIST REPORT
-  PROPOSED FEATURE/ORNAMENTAL TREES, SEE PLANTING PLANS + LIST
-  PROPOSED NATURALIZED TREES, SEE PLANTING PLANS + LIST



1 PLANTING SCHEMATIC PLAN
Scale: 1:150



Project Stamp

Issues

No.	Description	Date
D	ISSUED FOR REVIEW	23-03-15
E	ISSUED FOR GP	24-03-15
F	ISSUED FOR GP REVISION	23-04-16
G	ISSUED FOR GP REVISION	23-04-08

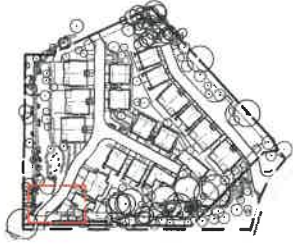
Project Info
21064
Aquila West Vancouver
Schematic
West Vancouver
City

Project Team
Client: **Stirling Pacific**
Architect: **Farmworks**
Landscape Architect: **LOCI Landscape Architecture + Urban Design**
Drawn By: _____ Checked By: _____
Drawn By: _____ Checked By: _____

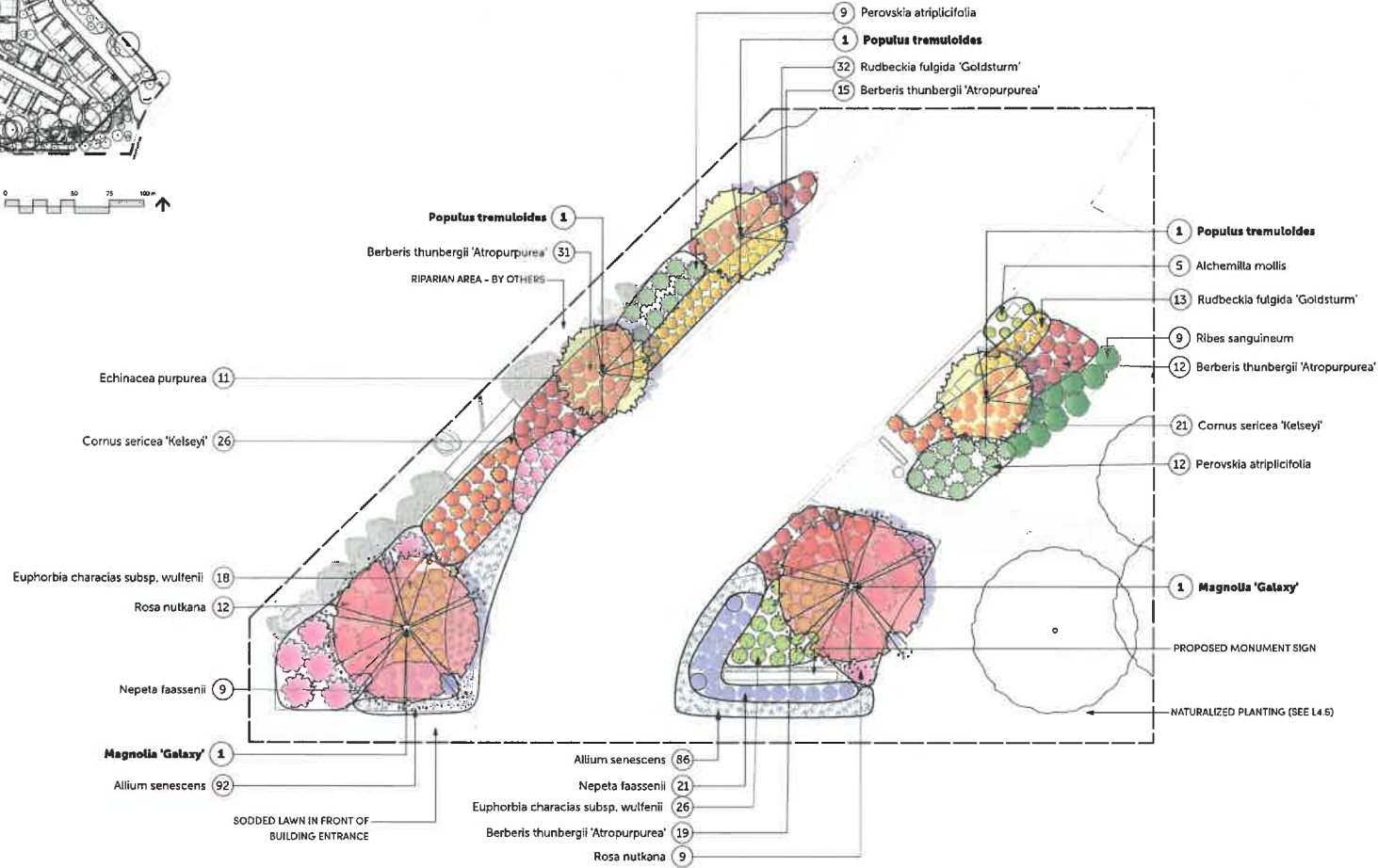
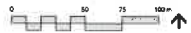
OVERALL PLANTING STRATEGY PLAN
L4.0
Rev. A

DESIGN RATIONALE: DAFFODIL DR. ENTRY

The Daffodil Entry planting concept is intended to be a welcoming feature entry into the site, consisting of layers of perennials, grasses, flowering shrubs to accentuate the site entries and to provide year-round colour and texture. Design considerations include entry signs/walls and ornamental flowering trees as well.



KEY PLAN

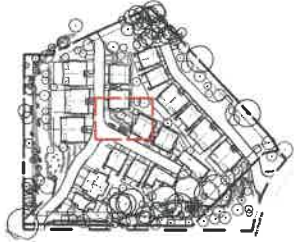


1 DETAIL PLAN: DAFFODIL DR. ENTRY PLANTING CONCEPT
Scale: 1/75

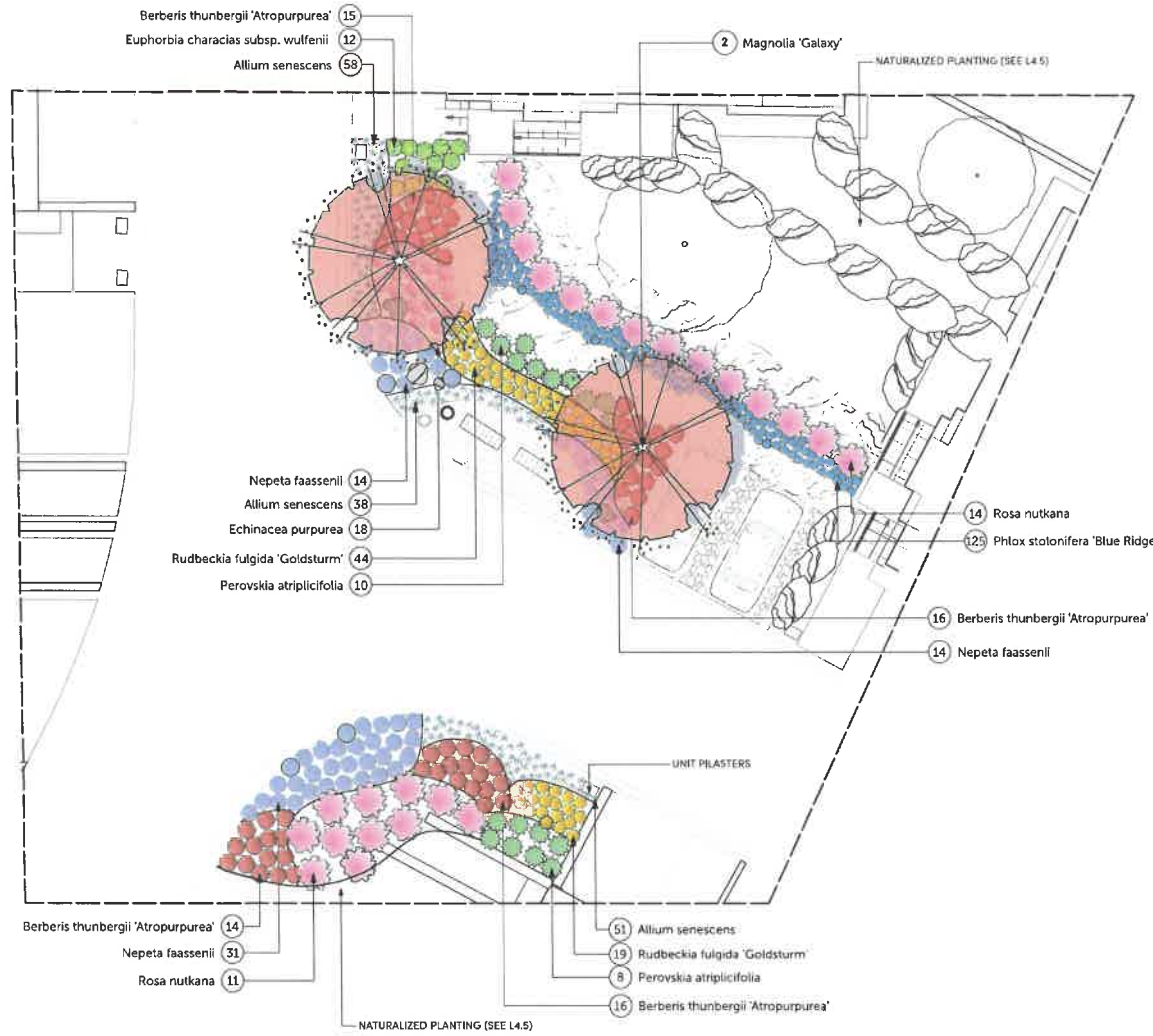


DESIGN RATIONALE: INTERNAL GATHERING NODE

The planting for the internal nodes consist of layers of perennials, shrubs and ornamental trees. These spaces provide year round colour and texture for places for gathering and sitting.



KEY PLAN



1 **DETAIL PLAN: INTERNAL ROAD FEATURE NODE PLANTING CONCEPT**
Scale: 1:75



Project Stamp

Issue	Date
A: CONCEPT	21-04-13
B: DESIGN FOR REVIEW	21-04-13
C: DESIGN FOR DP	21-04-13
D: DESIGN FOR DP	21-04-13
E: DESIGN FOR DP	21-04-13
F: DESIGN FOR DP	21-04-13
G: DESIGN FOR DP	21-04-13

Project Info

71066
Aquila West Vancouver
Schematic
West Vancouver
City

Project Team

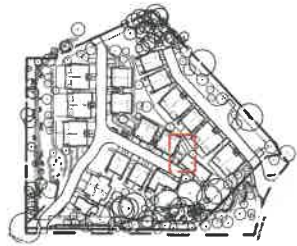
Client:
Architect:
Landscape Architect:
LOCI Landscape Architecture + Urban Design
Drawn By:
Checked By:

DETAIL PLAN: INTERNAL ROAD FEATURE NODE PLANTING CONCEPT

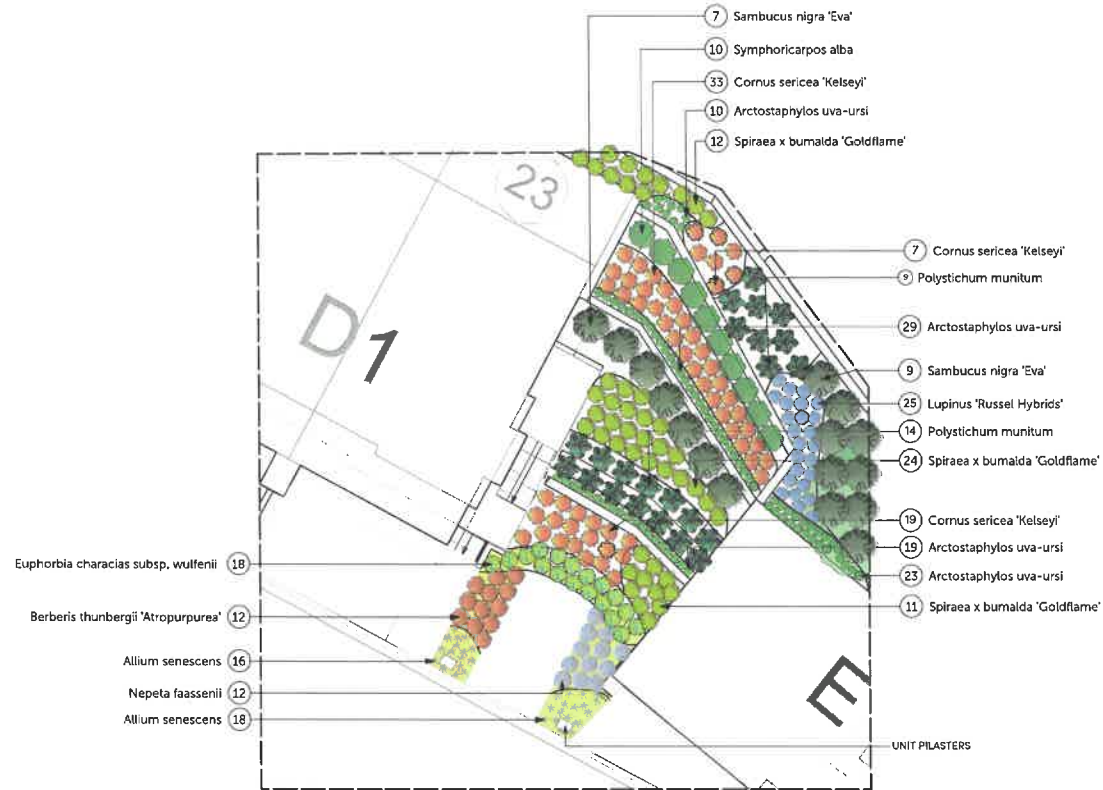
L4.2
Rev. A revision

DESIGN RATIONALE: TERRACED WALL BETWEEN D AND E UNITS (WIDER GAP)

Within the terracing walls between the townhouses, are layers of naturalized shrubs and perennials. These layers of planting assist in screening the walls and create a organic flow of vegetation terracing along the townhomes.



KEY PLAN



1 **DETAIL PLAN: TERRACED WALL TOWNHOUSE PLANTING CONCEPT**
Scale: 1/75



Project Name:
Project Address:
Client:
Architect:

Project Stamp

Issues

No.	Description	Date
1	ISSUED FOR REVIEW	20-01-21
2	ISSUED FOR CA	21-07-21
3	ISSUED FOR CA	22-04-21
4	ISSUED FOR CA	23-04-21

Project Info

2056
Aquila West Vancouver
Schematic
West Vancouver
City

Project Team

Client:
Swelling Pacific
Architect:
Formwerks
Landscape Architect:
LOCI Landscape Architecture + Urban Design

Drawn By: _____ Checked By: _____
Drawn By: _____ Checked By: _____

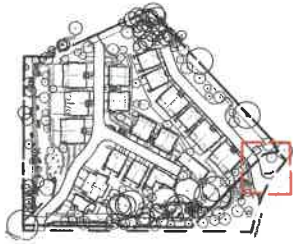
DETAIL PLAN: TERRACED WALL TOWNHOUSE PLANTING CONCEPT

L4.3

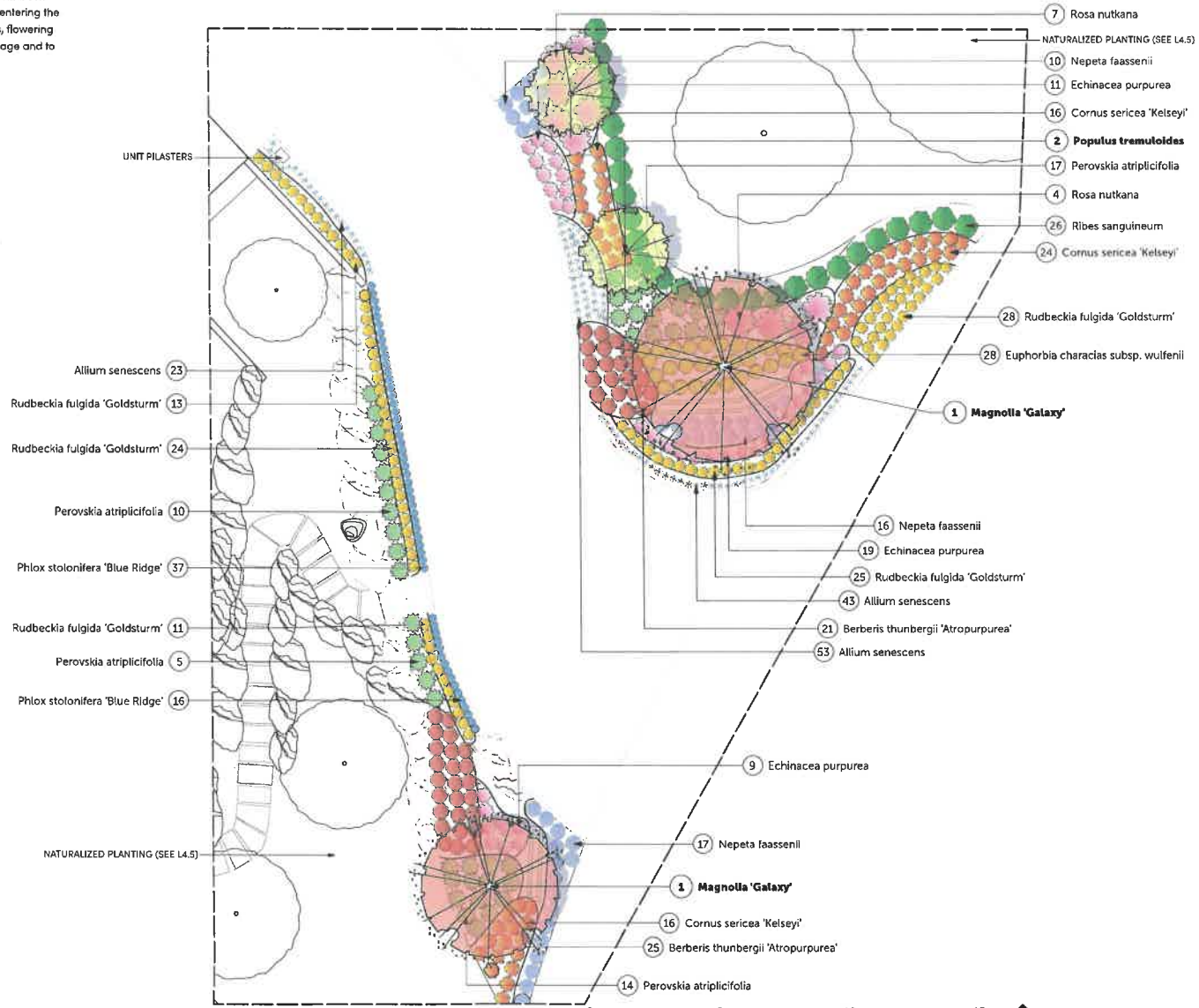
Rev. A

DESIGN RATIONALE: WESTPORT ENTRY

Similar to the Daffodil Entry, the Westport Entry planting has been designed to create a welcoming and organic feel when entering the site. The planting consists of layers of perennials, grasses, flowering shrubs, and ornamental trees to accentuate the site signage and to provide year-round colour and texture.



KEY PLAN



1 DETAIL PLAN: WESTPORT RD. ENTRY PLANTING CONCEPT
Scale: 1:75

Project Stamp

Issue	Date
1.0 ISSUED FOR REVIEW	25-01-10
1.1 ISSUED FOR DP	21-07-11
1.2 ISSUED FOR DP	21-08-11
1.3 ISSUED FOR DP	13-04-08

Project Info
71056
Aquila West Vancouver
Schematic
West Vancouver
City

Project Team
Client:
Working Party:
Architect:
Farrarworks
Landscape Architect:
LOCI Landscape Architecture + Urban Design

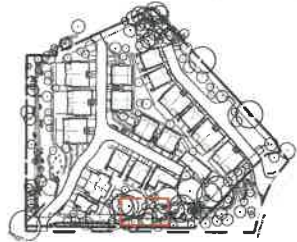
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Drawn By: _____ Checked By: _____

DETAIL PLAN: WESTPORT RD. ENTRY PLANTING CONCEPT
L4.4
Rev. A

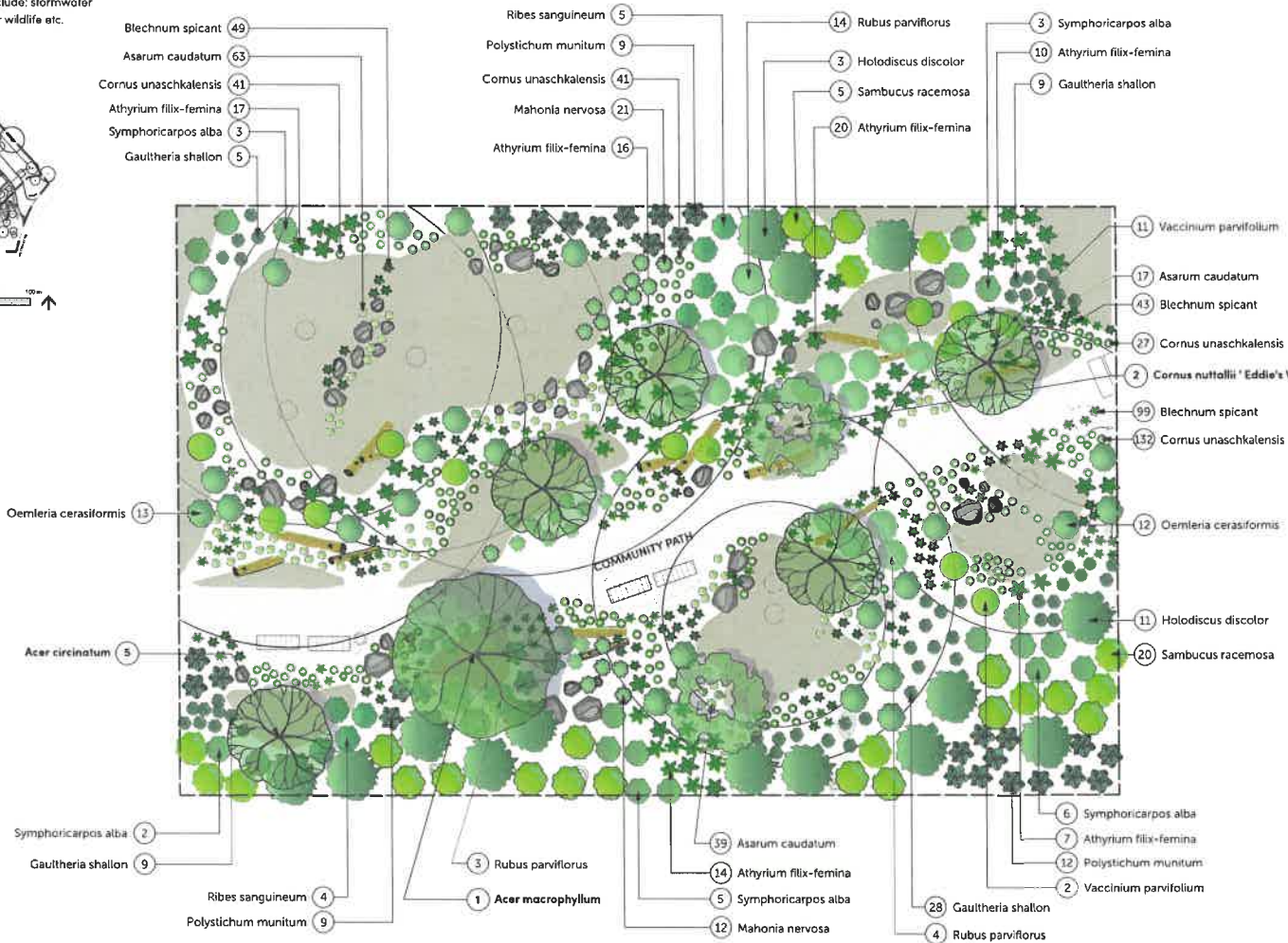
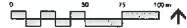
DESIGN RATIONALE: TYPICAL NATURALIZED AREAS

The typical naturalized areas consist of a variety of native trees, hardy shrubs and groundcover to mimic the west coast rain forest. Species are clumped together and feathered out to give a naturalized effect and areas within the trees' root zones are left undisturbed or with occasional minor ground cover scattered in. Some other considerations in these areas include: stormwater retention / fire resistant / berry producing for wildlife etc.

 BARK MULCH - 4"-6" DEPTH (ADJUSTED ON-SITE AS REQUIRED)



KEY PLAN



1 DETAIL PLAN: TYPICAL NATURALIZED PLANTING CONCEPT
Scale: 1:75



Project Status

Issue	No.	Description	Date
D	ISSUED FOR REVIEW	20-07-12	
E	ISSUED FOR GP	21-07-12	
F	ISSUED FOR GP REVIEW	22-08-14	
G	ISSUED FOR GP REVIEW	28-04-08	

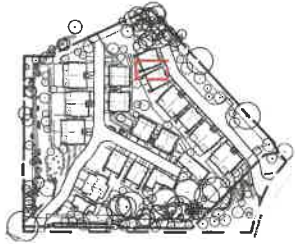
Project Info
21056
Aquila West Vancouver
Schematic
West Vancouver
Cty

Project Team
Client: Striking People
Architect: Formwerks
Landscape Architect: LOCI Landscape Architecture + Urban Design
Drawn By: [] Checked By: []
Created By: []

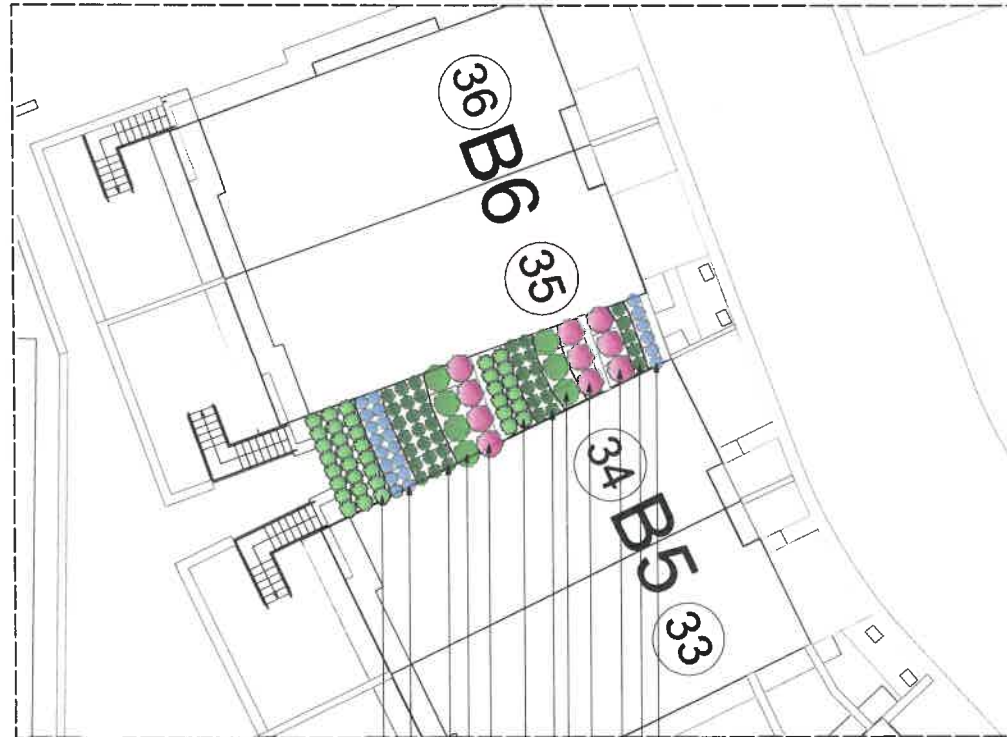
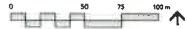
DETAIL PLAN: TYPICAL NATURALIZED PLANTING CONCEPT

DESIGN RATIONALE: TERRACED PLANTING BETWEEN B UNITS (NARROW GAP)

Fire-resistant and native species are layered upon terraces to soften light spaces between units. Evergreen rhodod, salal and mahonia ground the simple planting with year-long greenery while lupines and snowberry provide seasonal interest.



KEY PLAN



- Mahonia nervosa (24)
- Lupinus 'Russel Hybrids' (16)
- Gaultheria shallon (21)
- Symphoricarpos alba (4)
- Rhododendron Macrophyllum (4)
- Lupinus 'Russel Hybrids' (6)
- Gaultheria shallon (5)
- Rhododendron Macrophyllum (3)
- Rhododendron Macrophyllum (3)
- Symphoricarpos alba (3)
- Gaultheria shallon (12)
- Mahonia nervosa (12)

1 **DETAIL PLAN: LAYERED NATIVE PLANTS**
Scale: 1:75



Project Stamp

Issue	No.	Description	Date
D	ISSUED FOR REVIEW		21-07-13
E	ISSUED FOR CP		21-08-13
F	ISSUED FOR CP REVISIONS		21-08-14
G	ISSUED FOR CP REVISIONS		22-04-06

Project Info

70056
Aquila West Vancouver
Schematic
West Vancouver
City

Project Team

Client
Stratling Pacific
Architect
Formworks
Landscape Architect
LOCI Landscape Architecture + Urban Design

Drawn By
Checked By

DETAIL PLAN: LAYERED PLANTS

L4.6
Rev. A 000000

PRELIMINARY PLANT SCHEDULE

Symbol	Latin Name	Common Name	Scheduled Size	Spacing	Notes
DECIDUOUS TREES:					
	<i>Acer circinatum</i>	Vine Maple	6cm cal.	As Shown	B6B
	<i>Acer macrophyllum</i>	Big Leaf Maple	8cm cal.	As Shown	B6B
	<i>Cornus nuttallii</i>	Eddie's White Wonder	6cm cal.	As Shown	B6B
	<i>Magnolia 'Galaxy'</i>	Galaxy Magnolia	7cm cal.	As Shown	B6B
	<i>Populus tremuloides</i>	Trembling Aspen	6cm cal.	As Shown	B6B
SHRUBS:					
	<i>Berberis thunbergii</i> 'Atropurpurea'	Japanese Barberry	#2 Pot	0.61m o.c.	
	<i>Cornus sericea</i> 'Kelsey'	Kelsey's Dwarf Red-Osier Dogwood	#2 Pot	0.61m o.c.	
	<i>Gaultheria shallon</i>	Salei	#1 Pot	0.5m o.c.	
	<i>Holodiscus discolor</i>	Ocean Spray	#5 Pot	2m o.c.	
	<i>Mahonia nervosa</i>	Creeping Oregon Grape	#2 Pot	0.45m o.c.	
	<i>Oemleria cerasiformis</i>	Oso berry	#5 Pot	1.5m o.c.	
	<i>Ribes sanguineum</i>	Red Flowering Currant	#5 Pot	0.91m o.c.	
	<i>Rosa nutkana</i>	Nootka Rose	#5 Pot	1.22m o.c.	
	<i>Rubus parviflorus</i>	Thimbleberry	#2 Pot	1.2m o.c.	
	<i>Sambucus nigra</i> 'Eva'	Black Lace™ Elderberry	#3 Pot	1.22m o.c.	
	<i>Spiraea x bumalda</i> 'Goldflame'	Goldflame Spiraea	#2 Pot	0.61m o.c.	
	<i>Symphoricarpos niba</i>	Snowberry	#3 Pot	0.91m o.c.	
	<i>Vaccinium parvifolium</i>	Red Huckleberry	#5 Pot	1m o.c.	
PERENNIALS, GRASSES, GROUND COVER:					
	<i>Alchemilla mollis</i>	Lady's Mantle	#2 pot	0.4m o.c.	
	<i>Allium senescens</i>	German Garlic	#1 Pot	0.3m o.c.	
	<i>Arctostaphylos uva-ursi</i>	Bearberry, Kinnikinnick	#1 Pot	0.3m o.c.	
	<i>Asarum caudatum</i>	Western Wild Ginger	10cm Pot	0.3m o.c.	
	<i>Athyrium filix-femina</i>	Lady Fern	#1 Pot	0.75m o.c.	
	<i>Blechnum spicant</i>	Deer Fern	#1 Pot	0.4m o.c.	
	<i>Cornus amanchkalensis</i>	Western Sunchberry	10cm Pot	0.3m o.c.	
	<i>Echinacea purpurea</i>	Purple Coneflower	#1 Pot	0.61m o.c.	
	<i>Euphorbia characias</i> subsp. wulfemii	Spurge	#1 Pot	0.61m o.c.	
	<i>Lupinus 'Russel Hybrids'</i>	Dwarf Lupine	#1 Pitt	0.46m o.c.	
	<i>Nepeta faassenii</i>	'Cat's Meow' Catmint	#1 Pot	0.61m o.c.	
	<i>Perovskia atriplicifolia</i>	Russian Sage	#2 Pot	0.76m o.c.	
	<i>Phlox stolonifera</i> 'Blue Ridge'	Creeping Phlox	#1 Pot	0.3m o.c.	
	<i>Polystichum munium</i>	Western sword fern	#3 Pot	0.91m o.c.	
	<i>Rudbeckia fulgida</i> 'Goldsturm'	Black-Eyed Susan	#2 Pot	0.46m o.c.	

- NOTES:**
1. ALL PLANT MATERIAL AND LANDSCAPING PRACTICES SHALL BE COMPLIANT WITH THE LATEST EDITION OF THE BCMA NURSERY STANDARD.
 2. IN CASE OF DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
 3. FINAL SPECIFICATIONS AND GRADING LAYOUTS AS WELL AS LOCATION AND SPACING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION.
 4. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD.
 5. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY STANDARDS. INSTALL TREE PROTECTION FENCING ON NEW PLANTING @ PHASED INSTALLATION IS REQUIRED.
 6. FINAL LOCATION QUANTITIES & TREE SPECIES TO THE SATISFACTION OF THE GENERAL MANAGER OF ENGINEERING.
 7. NEW TREES MUST BE OF GOOD STANDARD, MINIMUM 6 CM CALIPER AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL.
 8. ROOT BARRIERS SHALL BE 8'-0" DIAM (LONG AND 18" (6.4CM) DEEP; PLANTING DEPTH OF ROOT BALL MUST BE BELOW SIDEWALK GRADE. NEW STREET TREES TO BE CONFIRMED PRIOR TO ISSUANCE OF THE BUILDING PERMIT.

OVERALL PLANT IMAGES:

TREES:



SHRUBS:



PERENNIALS, GRASSES, GROUND COVER:



NATURALIZED FOREST PLANTING:



loci
LANDSCAPE ARCHITECTURE + URBAN DESIGN
2511 HASTINGS STREET, VANCOUVER, BC V6K 3N1
VANCOUVER, BC | TEL: 604.681.7765

Project Name

Issue	Date
B. Description	2024-13
D. ISSUED FOR REVIEW	21-04-23
E. ISSUED FOR DP	21-04-23
F. ISSUED FOR DP REVISIONS	23-04-24
G. ISSUED FOR CONSTRUCTION	23-04-06

Project Info

71066
Aquila West Vancouver
Suburban
West Vancouver
City

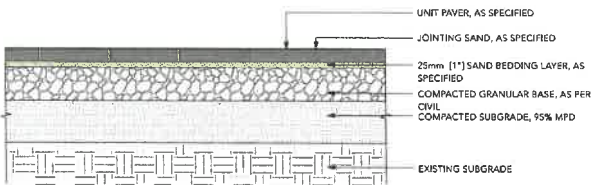
Project Team

Client:
Working Party:
Architect:
Formworks:
Landscape Architect:
LOCI Landscape Architecture + Urban Design

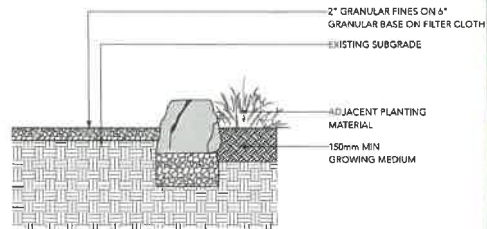
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PLANT LIST + IMAGES

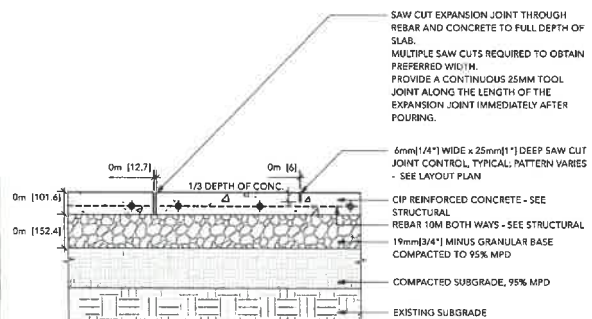
L5.0
Rev. A revision



NOTES:
1. FINAL PRODUCT, COLOUR, AND PATTERN TBD BY OWNER
1 PAVING TYPE 1 - PRECAST CONC UNIT PAVERS AT GRADE, TYP.
Scale 1:10

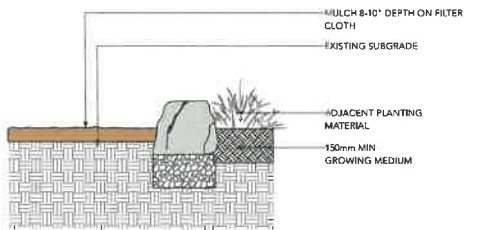


4 PAVING TYPE 4 - GRAVEL SURFACING TYP.
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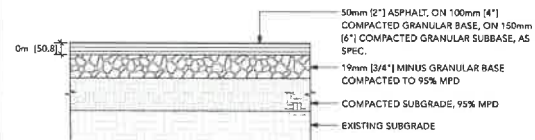


NOTES:
1. TROWEL WITH LIGHT SANDBLAST
2. SEE TYPICAL LAYOUT PLAN FOR JOINT PATTERN AND BAND WIDTH
3. EXP. JOINTS 6096mm [20'0"] O.C. MAX. @ CURB, BUILDING EDGE CUT LINES, CHANGES IN MATERIALS, SPACING TO COINCIDE W/ PATTERN
4. CONTROL JOINTS @ 1524mm [5'0"] O.C. MAX.
5. FINAL LOCATIONS TO BE CONFIRMED ON SITE
6. STRUCTURAL ENGINEER TO CONFIRM DEPTH AND REINFORCEMENT

2 PAVING TYPE 2 - CIP CONC PAVING AT GRADE, TYP.
Scale 1:10

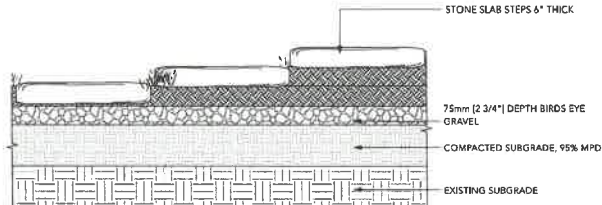


5 PAVING TYPE 5 - MULCH PATHWAY TYP.
Scale 1:10



FOR INFO ONLY, SEE CIVIL

3 PAVING TYPE 3 - ASPHALT PAVING AT GRADE, TYP.
Scale 1:10



6 STONE SLAB STEPS TYP.
Scale 1:10



Project Stamp

Rev	Description	Date
D	ISSUED FOR REVIEW	21-04-06
E	ISSUED FOR CP	21-05-06
F	ISSUED FOR CP	22-05-06
G	ISSUED FOR CP	23-04-06

Project Info

2006
Aquila West Vancouver
Site Name: West Vancouver
City

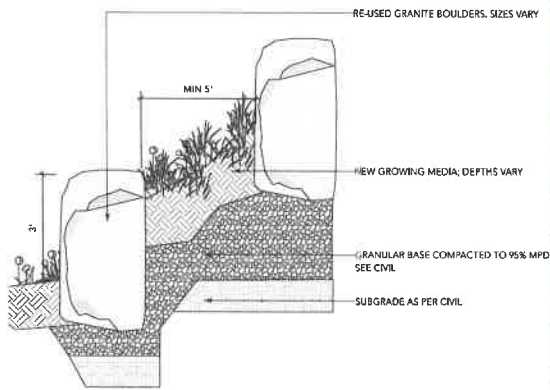
Project Team

Client: Sterling Pacific
Architect: Formworks
Landscape Architect: LOCI Landscape Architecture + Urban Design

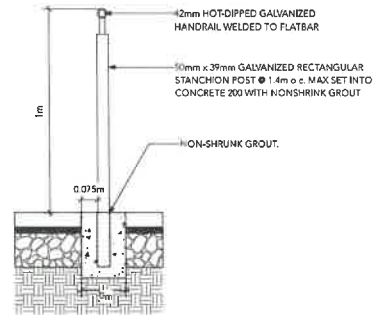
Drawn By: [Signature] Checked By: [Signature]

HARDSCAPE DETAILS

L6.0

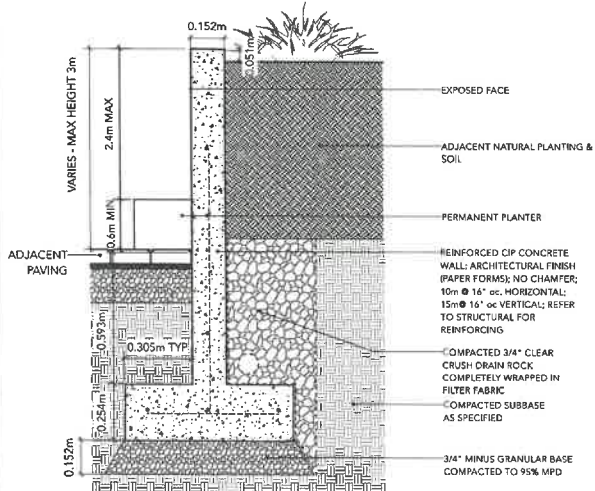


1 WALL TYPE 1 - RE-USED BOULDERS, TYP.
Scale 1/20

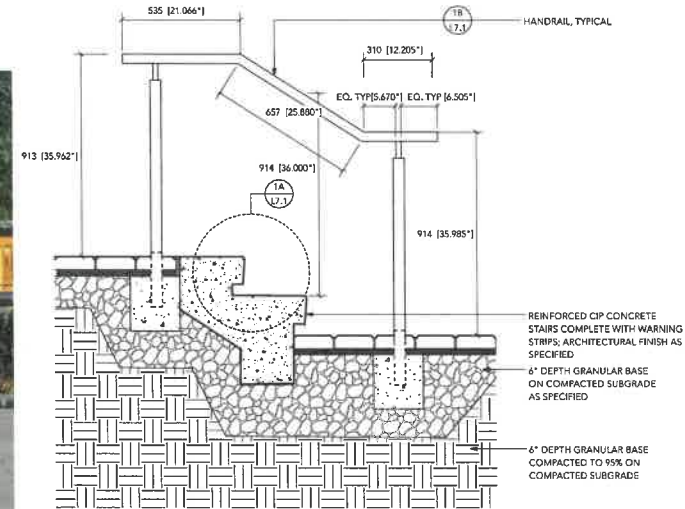


- NOTES:
1. ALL STEEL TO BE HOT-DIPPED GALVANIZED UNLESS OTHERWISE SPECIFIED.
 2. SHOP DRAWINGS TO BE PROVIDED BY CONTRACTOR
 3. RECTANGULAR POST TO BE EMBEDDED IN CONCRETE FOOTING MIN 6" (150mm), OR EMBEDDED INTO CONCRETE STAIRS
 4. ALL METAL GALVANIZED STEEL WASH PRIOR TO POWDERCOAT FINISH. BLACK COLOUR POWDERCOAT FINISH TO BE FACTORY APPLIED. GRIND ALL FIELD WELDS. APPLY TWO COATES GALVALUME PRIMER AND PAINT TO MATCH POWDERCOAT FINISH.

3 HANDRAIL, TYP.
Scale 1/8



2 WALL TYPE 2 - CIP CONCRETE PLANTER WALL ON GRADE, TYP.
Scale 1/8



- NOTES:
1. CONCRETE FINISH TO ARCHITECTURAL STANDARDS AND SPECIFICATIONS
 2. FOR NUMBER OF RISERS SEE LAYOUT DRAWINGS / SECTIONS
 3. PROPOSED HANDRAIL PER ARCHITECTURAL. PROVIDE SHOP DWG. FOR HANDRAIL PRIOR TO FABRICATION
 4. REINFORCEMENT AND FOOTINGS AS PER STRUCTURAL.
 5. LAYOUT AND GRADING PER PLANS.

4 CIP CONC STAIRS WITH HANDRAIL, TYP.
Scale 1/8

Project Stamp

No.	Description	Date
D	REVISED FOR REVIEW	21-04-20
E	REVISED FOR DP	21-04-21
F	REVISED FOR DP REVISION	21-04-21
G	REVISED FOR DP REVISION	21-04-28

Project Info

21068
Aquila West Vancouver
Shanahan
West Vancouver
City

Project Team

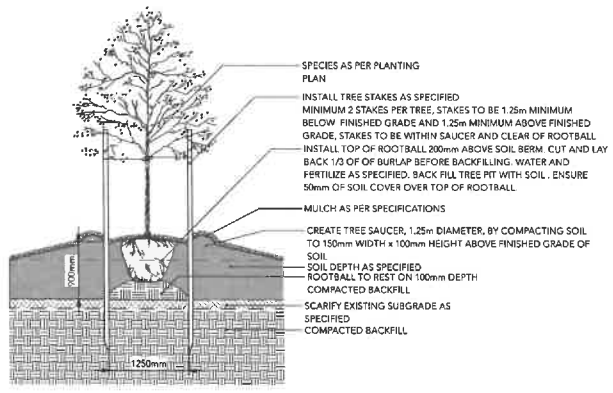
Client
Shanahan Pacific
Architect
Farmworks
Landscape Architect
LOCI Landscape Architecture + Urban Design

Drawn By
Checked By

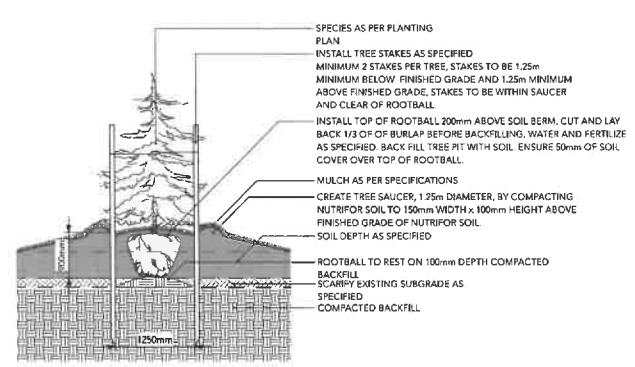
HARDSCAPE DETAILS

L6.1

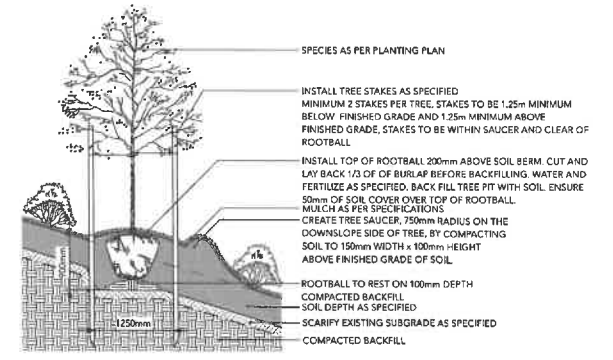
Rev. A Revision



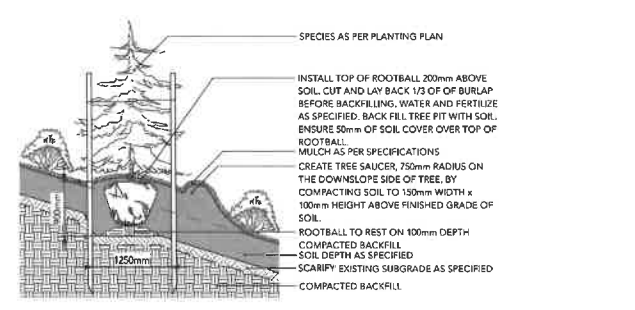
1 DECIDUOUS TREE ON GRADE TYP.
Scale: 1:25



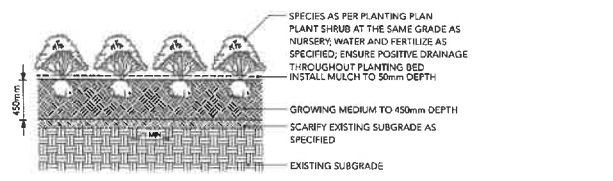
4 CONIFEROUS TREE ON GRADE TYP.
Scale: 1:25



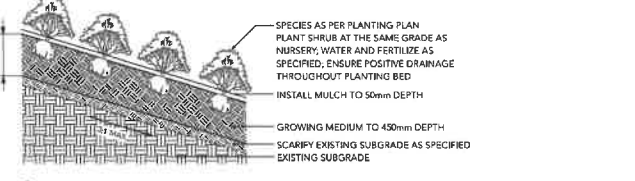
2 DECIDUOUS TREE ON SLOPE TYP.
Scale: 1:25



6 CONIFEROUS TREE ON SLOPE TYP.
Scale: 1:25



3 SHRUB PLANTING ON GRADE TYP.
Scale: 1:25



5 SHRUB PLANTING ON SLOPE TYP.
Scale: 1:25

Project Name

Rev	Description	Date
A	ISSUED FOR REVIEW	24-03-13
B	ISSUED FOR DP	21-04-13
C	ISSUED FOR DP	12-05-13
D	ISSUED FOR DP	23-04-14

Project Info

21066
 Aquila West Vancouver
 Substrate
 West Vancouver
 City

Project Team

Client
 Sterling Pacific
 Architect
 Formworks
 Landscape Architect
 LOCI Landscape Architecture + Urban Design
 Drawn By
 Checked By

SOFTSCAPE DETAILS

L6.3
 Rev. A revision



1 – 38920 Queens Way
Squamish, BC V8B 0K8
604-898-1093

Jaime Harper
14-636 Clyde Avenue
West Vancouver, BC

October 6, 2022
File: 1558 Rev 2

Attention: Jaime Harper

**RE: Preliminary Landslide Hazard Assessment – Proposed Subdivision
5600 Block, Daffodil Drive, West Vancouver, BC**

1.0 INTRODUCTION

We understand that it is proposed to subdivide the subject property¹ into thirty-six residential units and that the District of West Vancouver requires that a landslide hazard assessment is completed in accordance with EGBC² guidelines.

This report provides a preliminary qualitative landslide hazard assessment of the subject property. It has been prepared exclusively for our client, for their use, the use of others on their design team and the District of West Vancouver for use in the development and permitting process, however it remains the property of Frontera.

2.0 SITE DESCRIPTION

The site encompasses an area of 1.8 hectares situated on a southwest facing slope with an average slope of approximately 1V:3H. It is bound by a BC Rail Right of Way to the north, Westport Road to the east, Eagle Creek, Daffodil Drive and residential lots to the south, and residential lots to the west.

Private roadways currently cross the site, which is largely undeveloped and forested with cedar trees, to provide access from Westport Road and Daffodil Drive to the residential property at 5665 Daffodil Drive. There is some evidence of historic site usage, most likely related to forestry.

3.0 DESKTOP REVIEW

Review of published geological maps for the area indicate the site is likely to be underlain by glacio-marine ice contact deposits described as; sand and gravel, stratified to massive and commonly faulted; generally greater than three metres thick; forming hummocky surfaces, may be fossiliferous.

Major infrastructure projects have been constructed adjacent the proposed subdivision with similar topographic and geological conditions including Westport Road and the BC Rail line.

The site is not in the BC landslide inventory and review of publicly available LiDAR information and site survey plans shows no visual signs of land instability.

¹ Lot C (Reference Plan 3355), Group 1 New Westminster District excerpt part in Reference Plan 11716 District Lot 1374 Group 1 New Westminster District.

² Guidelines for Legislated Landslide Assessments for Proposed Residential Developments in BC (May 2010).



4.0 FIELD REVIEW

4.1 General

A site reconnaissance was completed by Frontera on 24 February 2021 and included a site walk-over, measurement of slope angles, surface observations of rock outcrops and two sub-surface penetration tests (Scala Penetrometer) to determine the relative strength and thickness of near-surface soils.

Test locations are identified on Drawing 1558-01 following the text of this report.

Detailed results from the penetration tests are provided in Appendix A and photos from the reconnaissance in Appendix B.

4.2 Discussion

Based upon the results of the field review the general subsurface conditions are expected to comprise of relatively loose organic rich colluvium and topsoil, in the order of one metre thick, overlying relatively dense native soil or granitic bedrock.

Steeper terrain, defined as greater than 35 degrees, was generally isolated to natural rock-outcropping or disturbed ground related to the BC Rail Line or existing roadway from Westport Road. No active or historic evidence of landslide were noted. Surficial soil creep was evident in juvenile and mature trees across the slope.

Rock outcrops were noted on proposed Lot's B5, B6, G6, B4, G5, G4, D4, D3, B3. The rock can generally be described as blocky with several persistent joint sets with a possibility for toppling on west aspect cuts. No major rock instability was noted at the time of the review.

The rock outcrops also lie within the proposed alignment for the roads into the development via Westport Road and Daffodil Drive.

Shot rock forming the southwest embankment of the BC Rail line on the upslope side of the proposed development is sloped at approximately 45 degrees.

Persistent groundwater seepage was noted at the bedrock contact in the northern corner of the property adjacent to a small creek (north side of proposed Lot B6).

A summary of the field review observations are provided on a marked up plan of the proposed sub-division on Drawing 1558-1 following the text of this report.

5.0 LANDSLIDE ASSESSMENT

The objectives of the landslide assessment were to; review and characterize landslides (active, inactive, dormant and potential) within or beyond the proposed subdivision development, estimate associated landslide hazards and compare the estimates with a level of landslide safety adopted by the approving jurisdiction.

Based on the results of our desktop and field reviews, there are no obvious signs of recent or historic landslide activity on, or in immediate areas beyond the property.

The District of West Vancouver does not specify a risk tolerance criteria for landslide hazard for new developments. For the purposed of this report, we have adopted the risk tolerance criteria used by the District of North Vancouver (2009), which species a maximum 1:100,000 risk of fatality per year, and or a static factor of safety greater than 1.5 for slopes associated with new developments.



Based upon the available information, Frontera estimates that landslide hazards at the proposed site exceed the DNV's risk tolerance criteria for new developments and subsequently certify that the land may be safely used as intended, provided that the recommendations provided in this report are completed in subsequent stages of design.

6.0 RECOMMENDATIONS

The proposed tree removal works, earthworks and rock blasting will not significantly increase the risk of a major, deep-seated landslide on the property. However, they may increase rockfall hazard and cause areas of isolated slope instability. Rockfall hazard and the stability of cut slopes should be assessed and demonstrated to meet accepted risk tolerance criteria by a geotechnical engineer during detailed design of the subdivision. Further, a geotechnical engineer should be engaged to provide recommendations for permanent and temporary slope batters, potential blasting requirements, retaining walls, fill placement, compaction, and pavement recommendations.

We recommend ongoing use of the District of North Vancouver (2009) natural hazard risk tolerance criteria is adopted when demonstrating appropriate levels of slope stability for the final design.

Development of the site should also consider hazards associated with rockfall from excavation or existing sources during detailed design. Rockfall risk may be increased as a direct result of construction activities or naturally due to climatic or biological events that cause a change in forces acting on a rock including; changes in the groundwater regime, erosion during heavy rainstorms, freeze-thaw processes during winter, chemical degradation or weathering of the rock over time, root growth or leverage of roots moving in high winds. It should be noted that the proposed tree removal works may significantly increase the rockfall risk; proposed tree removal should be considered in the rockfall hazard assessment.

Once grades and rock cut depths have been finalized, we recommend that the rockfall risk is reviewed and that recommendations are provided with respect to rockfall mitigation as required during the detailed design phase of the subdivision.

7.0 SUMMARY

Frontera was engaged to complete a preliminary landslide hazard assessment for the proposed subdivision of 5600 Block, Daffodil Drive in West Vancouver.

The objective of the assessment was to review and characterize landslides within or beyond the proposed subdivision and comprised of a desktop review of available relevant information and a site reconnaissance. Details are provided in Sections three and four respectively.

Relevant notes from the site reconnaissance are provided on Drawing 1558-1 including the identification of an area of groundwater seepage, rock-outcropping and areas that may provide a potential rockfall hazard for the proposed development.

Frontera is of the opinion that there are no obvious signs of recent or historic landslide activity on, or in immediate areas beyond the property and estimates the likelihood of a landslide occurring and affecting the proposed subdivision is low and exceeds the DNV's acceptable risk tolerance criteria for new developments.

During detailed design of the subdivision, demonstration of appropriate levels of landslide and rockfall stability risk should be completed by professional engineers for the final layout and proposed grades.



8.0 CLOSURE

This report is prepared solely for use by our client and their design team for this project as described to the general standards of similar work for similar projects in this area and no other warranty of any kind is expressed or implied. Frontera Geotechnical Inc. accepts no responsibility for any other use of this report.

We are pleased to assist you with this project, and we trust this information is helpful and sufficient for your purposes at this time. Please do not hesitate to call the undersigned if you require clarification or additional details.

Yours truly,

Frontera Geotechnical Inc.

Reviewed by:

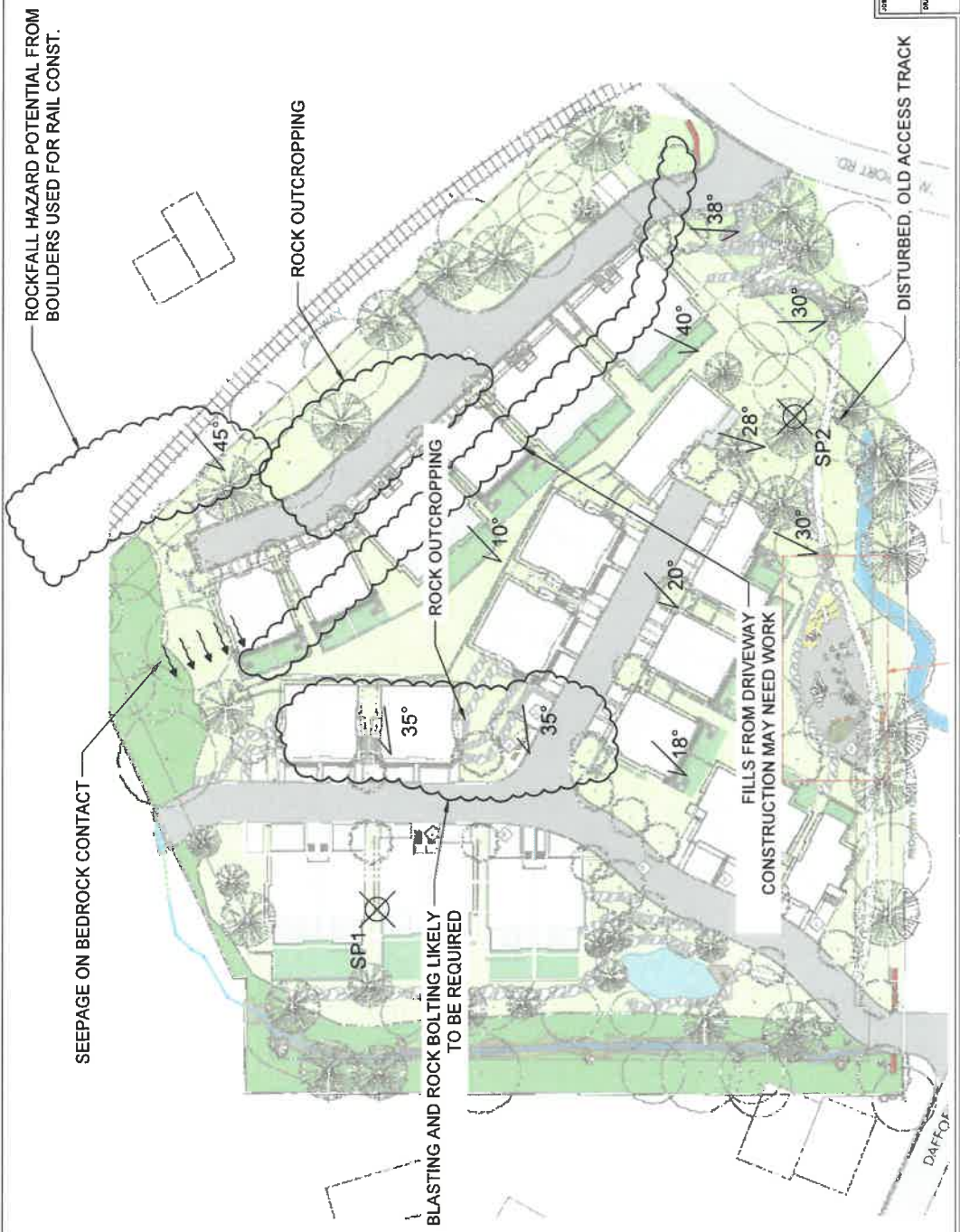
Ralph Burden, EIT
Geotechnical Engineer



2022-10-07

PTP # 1001392

Daniel Sims, P.Eng.
Geotechnical Engineer



CAD NO:	1558
DRAWING NO:	1558-1
SCALE:	NTS
DATE:	MARCH 10, 2020
DRAWN BY:	RB
CHECKED BY:	DC
DATE:	SF

REVISION NO.	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	10/02/21
B	ISSUED FOR REVIEW	10/02/21

TITLE: LANDSLIDE ASSESSMENT
PLAN VIEW

PROJECT: PROPOSED SUBDIVISION
DAFFODIL LANE, WEST VANCOUVER, BC

FRONTIERA
GEOTECHNICAL INC.
10000 152 Avenue
Surrey, BC V4N 1G8
604 898 1093

APPENDIX A
Scala Penetration Logs

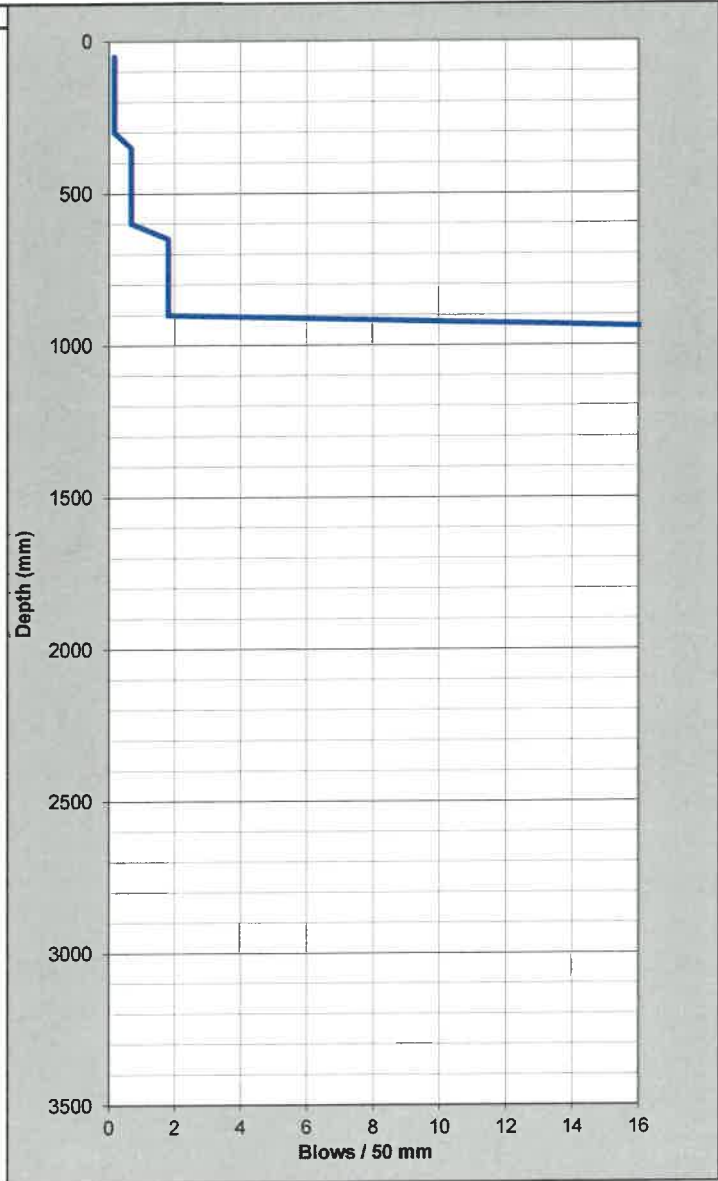


#1 - 38920 Queens Way
 Squamish BC
 Tel: (604) 898 1093

SCALA PENETROMETER LOG

Job No: 1558	Date: 2021-02-24	Test No. SP2
Project: Proposed subdivision 5600 Block	Operated by: DS	Sheet 1
Location: Daffodil Lane, West Vancouver, BC	Logged by: DS	of 1
Level: Existing grade	Checked by:	

mm Driven	No. of Blows	mm Driven	No. of Blows
50	0.16	2550	
100	0.16	2600	
150	0.16	2650	
200	0.16	2700	
250	0.16	2750	
300	0.16	2800	
350	0.67	2850	
400	0.67	2900	
450	0.67	2950	
500	0.67	3000	
550	0.67	3050	
600	0.67	3100	
650	1.8	3150	
700	1.8	3200	
750	1.8	3250	
800	1.8	3300	
850	1.8	3350	
900	1.8	3400	
950	20	3450	
1000		3500	
1050		3550	
1100		3600	
1150		3650	
1200		3700	
1250		3750	
1300		3800	
1350		3850	
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1450		3950	
1500		4000	
1550		4050	
1600		4100	
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1800		4300	
1850		4350	
1900		4400	
1950		4450	
2000		4500	
2050		4550	
2100		4600	
2150		4650	
2200		4700	
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2300		4800	
2350		4850	
2400		4900	
2450		4950	
2500		5000	



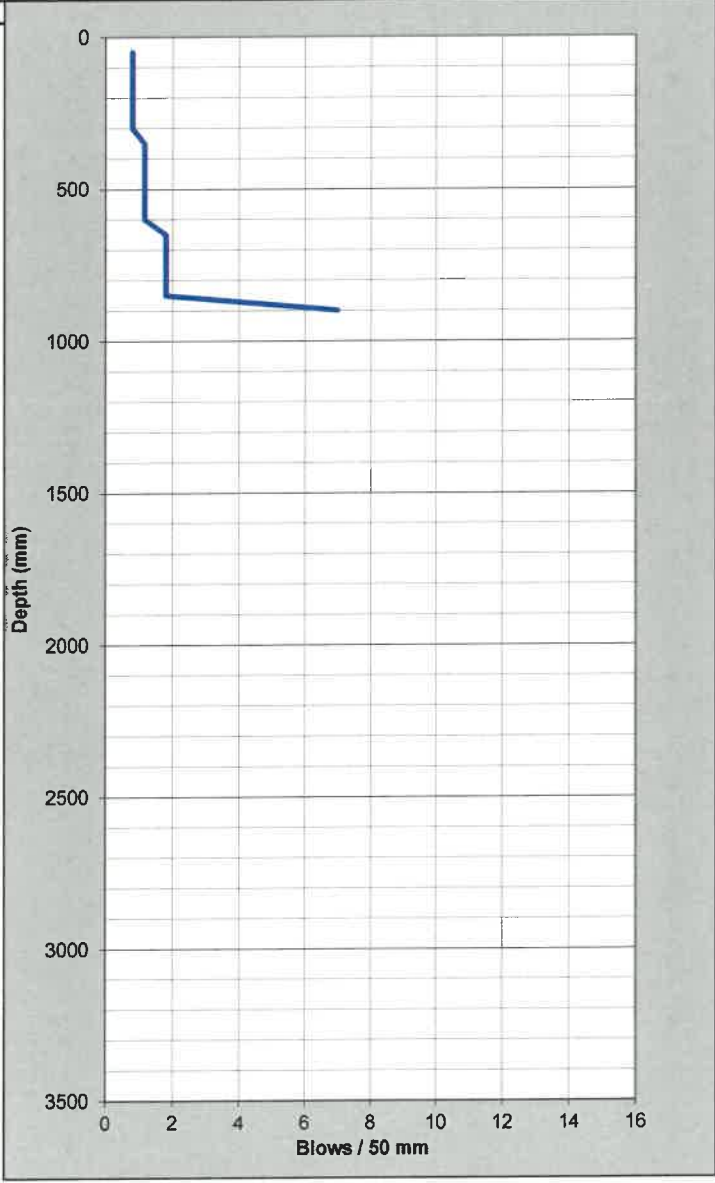


#1 - 38920 Queens Way
 Squamish BC
 Tel: (604) 898 1093

SCALA PENETROMETER LOG

Job No: 1558	Date: 2021-02-24	Test No. SP1
Project: Proposed subdivision 5600 Block	Operated by: DS	Sheet of 1
Location: Daffodil Lane, West Vancouver, BC	Logged by: DS	of 1
Level: Existing grade	Checked by:	

mm Driven	No. of Blows	mm Driven	No. of Blows
50	0.8	2550	
100	0.8	2600	
150	0.8	2650	
200	0.8	2700	
250	0.8	2750	
300	0.8	2800	
350	1.16	2850	
400	1.16	2900	
450	1.16	2950	
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2050		4550	
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2150		4650	
2200		4700	
2250		4750	
2300		4800	
2350		4850	
2400		4900	
2450		4950	
2500		5000	



APPENDIX B

Photos



Slope beneath the driveway off Westport Road, looking northwest



Pistol-butting of mature Cedar indicating shallow surface creep



Rock-outcropping upslope of proposed road from Daffodil



Rockfall hazard potential from BC Rail construction



Rock outcropping Lot 4.



Rock outcropping Lot 5, entrance from Westport Rd.

Aquila April 11 Follow Up Report

Preface

Sterling Pacific Developments Inc (Sterling) held a public information session at the Gleneagles Golf Clubhouse on April 11 2023 between 5-730pm. This meeting was well attended with about 75 attendees. This is the third Public Information Meeting that Sterling has held with the others being July 27, 2020 and Dec 10 2020.

Notices of this meeting were hand delivered to all residents within 100m of the site, posted in 2 consecutive issues of the North Shore News and two signs were placed on site.

Sterling Pacific had an additional meeting on April 5 2023 whereby the immediate neighbours touching the site were invited. Sterling invited 7 neighbours and only 3 attended.

Overview

Aquila is a development that fills the need for Missing Middle housing through its utilization of Duplex housing form. Aquila has 17 Duplex buildings (34 homes) and 2 Single Family homes. It is a low-density development with Floor Area Ratio very similar to the surrounding single-family zoning (2.8% higher).

The site of Aquila is currently approved for 10 large homes with suites and coach houses (totally up to 30 units).

Sterling has implemented several recommendations the Public and West Vancouver Staff have made and accordingly Aquila is designed to be better than what is already approved.

Aquila has:

- Drastically reduced the amount of Green Houses Gases emitted by constructing the homes with a low carbon heating system (air to water heat pump) and Step 5 construction techniques
- Reduced the overall development height by over 34 feet
- Decreased the site coverage by 5.92%
- Increased the environmental and park dedicated by 48%
- Designed a community access trail along Eagle Creek
- Retained more trees than the approved.
- Unified architectural design support by DRC
- Greatly reduced construction time

Aquila is a rare project that will blend seamlessly into the community while providing the community with a plethora of public benefits while having a positive impact on the environment.

Concerns

Many of the concerns from the community have stayed consistent from the first meeting of July 27, 2020 despite Sterling Pacific and Aquila making great changes and progression in order to try and appease these concerns.

The concerns can be categorized as:

- Not fitting with the Official Community Plan
- Local Traffic
- Slope Stability
- Stormwater Management

- Environmental Concerns

Not fitting with the Official Community Plan

Aquila is supported by several policies in the OCP with the most relevant policy being 2.1.7.

- 2.1.7** Consider proposals within neighbourhoods for site-specific zoning changes that are not otherwise supported by policies in this plan only in limited circumstances by:
- a. Reporting to Council after preliminary application review to allow an early opportunity for public input;
 - b. Considering sites or assemblies that present a degree of physical separation from adjoining single-family dwellings (e.g., adjacent to a green belt, grade change, park, school, or existing multi-family site);
 - c. Requiring demonstration of minimal impact to access, traffic, parking and public views in the neighbourhood;
 - d. Restricting to one or more of a range of low-rise housing types including duplexes, triplexes, rowhouses, townhouses, seniors, rental and apartment buildings to a maximum of three storeys;
 - e. Reviewing form and character to support siting and designs that respond and contribute to neighbourhood context and character; and
 - f. Ensuring information meetings with public notification prior to formal Council consideration in accordance with District procedures.

Unequivocally, Aquila meets all conditions underlined in 2.1.7.

Local Traffic

Through our Traffic Impact Assessment completed by a professional engineer, it is clear that the traffic impact will be extremely minimal. The site is approved for up to 30 units currently and therefore it must be acknowledged that traffic is increasing regardless. Aquila is asking for a total of 36 units, a mere 6 unit increase from the current site potential.

Aquila is slated to increase the traffic along Daffodil Drive by 9 trips during the busiest hour. One trip every 6.5 minutes.

Daffodil is expected to have 34 trips along it each hour after Aquila is built whereas Cranley experiences 49. Cranley is widely considered a quiet and safe street. Daffodil will experience less cars than Cranley after Aquila is built. Even if you were to assume that none of the large, approved homes would have suites or coach houses, the traffic would still be significantly less than Cranley simply due to the fact that Cranley services more homes.

Some residents have expressed their desire to have additional homes utilizing the Westport entrance or having the road flow directly through to Daffodil. We do not have the road connected as a direct response to community feedback from the very beginning of our planning process. By connecting the road it would create a throughfare for people from Westport and ultimately increase the traffic along Daffodil; cutting through the site reduces ones drive time to Eagle Harbour. Additionally, the location of the upper road has been chosen to lessen the height of the homes and reduce the overall amount of blasting which, again, was a direct concern of the citizens at the beginning of our planning.

Slope Stability

A professional Geotechnical Engineer has reviewed the site and found no concerns. Furthermore, Aquila is reducing the overall height of the development by 34 feet and therefore is not building on the steepest parts of the site reducing the potential for any issues.

Stormwater Management

Stormwater management throughout construction and after completion (similar to the approved development) are undertaken by a professional engineer. We have retained Creus Engineering. Creus will be responsible for designing all the systems to ensure that the stormwater remains onsite to be dealt with both during construction and post. Additionally, Creus is required to monitor this on a weekly basis during construction in accordance with West Vancouver's bylaw which pertains to all construction projects.

Environmental Concerns

Aquila has been developed with the environment at the top of mind. Aquila has increased the dedicated park and riparian areas by 48%, reduced the site covered by 5.92% and reduced the GHG's emitted by 69%.

Through reducing the site coverage and increasing the park area, Aquila can retain additional trees compared to what the approved development can.

Aquila is committed to building at the highest standards possible along with implementing a low carbon heating system (air to water heat pump) resulting in massive decreases of GHG's.

Additionally, Aquila is rehabilitating an unnamed watercourse and wetland to increase the chances of it becoming a fish bearing stream. Aquila will be replacing the culverts that lead into Eagle Creek in order to ensure the passage of fish is possible.

Conclusion

Although there is a myriad of misinformation being circulated by certain residents, when one takes the time to truly look at the benefits of Aquila it is obvious that Aquila is better on all facets than what is approved. Aquila can provide much needed Missing Middle housing to West Vancouver all while providing additional environmental, social and monetary benefits to West Vancouver.

Aquila is required to pay a Community Amenity Contribution of 75% of the uplift in land value directly to the district. Funds that are much needed to assist in making West Vancouver better.

The attendees of the meeting were mixed. There was a healthy group of negative (NIMBY) attendees however there was also a good group of positive. The positive people always seem to be the quieter and less outspoken compared to the negative. One of the most promising comments that we received was from a resident of Cranley Dr and stated:

"I was initially opposed to the project but the changes have made me more enthusiastic. I would like to purchase one of the units!"

While all constructive criticism is taken into serious account, it would seem that a number of the negative people were reading from a script provided by an individual. Such script unfortunately contained a significant amount of false information and was deliberately distributed with the intent to alter people's opinions.

Although it is clear that many residents are not willing to alter their thought process, Sterling Pacific is committed to continue to attempt to educate the public on the numerous benefits that Aquila will bring to both the direct neighbourhood as well as West Vancouver overall.

Attached:

- Schedule A
 - Comments received at April 11 Meeting
- Schedule B
 - Previous support letter by neighbour
- Schedule C
 - Previous comment letters from July 27 2020 Meeting
- Schedule D
 - Information Booklet



Dave Harper



Jamie Harper

Schedule A



Name:

Address:

The inclusion of Duplex is a simple and effective way to help alleviate some of our problems, both social and economic. Good luck with the Nimby's

Name:

[REDACTED]

Address:

[REDACTED]

Thank you for this project
We are downsizers, wanting to stay in
West Vancouver & find few options.

I will write mayor & council & express
my approval. I hope you have great
success.

Please feel free to call on
me for my support.

Name:

Address:

Wow! PEOPLE ARE RUDE!

MY Hat is off to You! GOOD Luck

and Press ON!!!

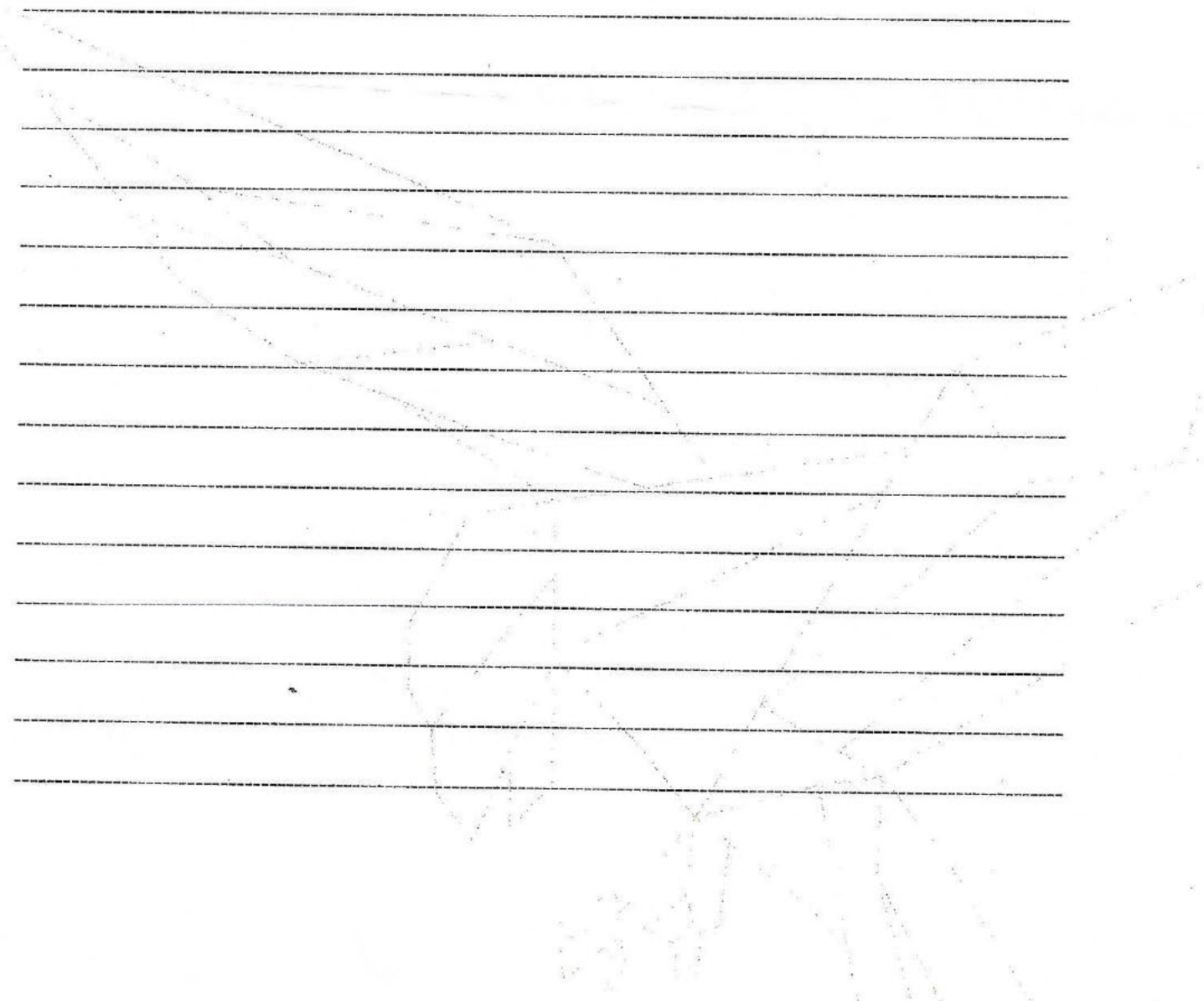
Name:

[REDACTED]

Address:

[REDACTED]

I object to the inclusion of condo/duplex development in a single family community with already poor local amenities



Name:

[REDACTED]

Address:

[REDACTED]

I'm a fan of the concept, and not
opposed to the development.

However, I would like to see more
(preferably all) traffic flow to/from
Westport rather than Daffodil.

Name:

[REDACTED]

Address:

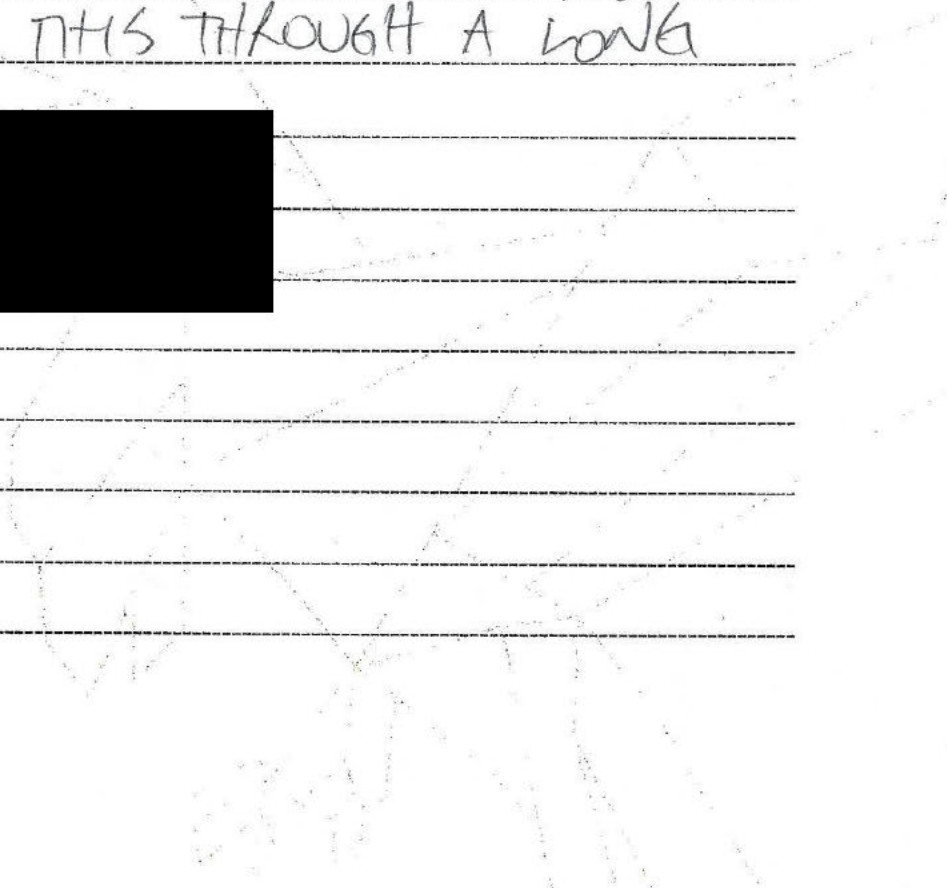
[REDACTED]
[REDACTED]
[REDACTED]

BEAUTIFUL PLAN!

OUR CITY NEEDS GROWTH DUE TO ALL THE
EMPTY HOUSES. WE NEED PEOPLE TO SUPPORT
THE LOCAL BUSINESS' AND NEEDS SUITES
AND COACH HOUSES FOR WORKERS TO LIVE
LOCALLY.

THANKS FOR INVESTING YOUR TIME AND
CAPITAL TO SEE THIS THROUGH A LONG
PROCESS.

[REDACTED]



Name:



Address:



We prefer the APPROVED PLAN FOR
10 houses NOT THE PROPOSED 36

A series of horizontal lines for writing, with a faint, large-scale architectural drawing or map overlaid on the page.

Name:

Address:

My concerns with the new proposal:

1) Entry from Westport only serves $\frac{1}{3}$ of the ^{total} units.
Daffodil Dr. entry will have to take due traffic
from majority of the homes on the property, a ^{very} ^{large} ^{con-}
^{crete} ^{corner}

Question:

Can there be a third entry from Westport or
Can ~~each~~ ^{each} entrances ~~each~~ serve $\frac{1}{2}$ the homes
on the property. $\frac{1}{2}$ coming from Westport + $\frac{1}{2}$ from Daffodil.

2) Water run off during construction onto Daffodil.

3) ~~Can the~~ Where will the construction trucks
come in?

Name:

Address:

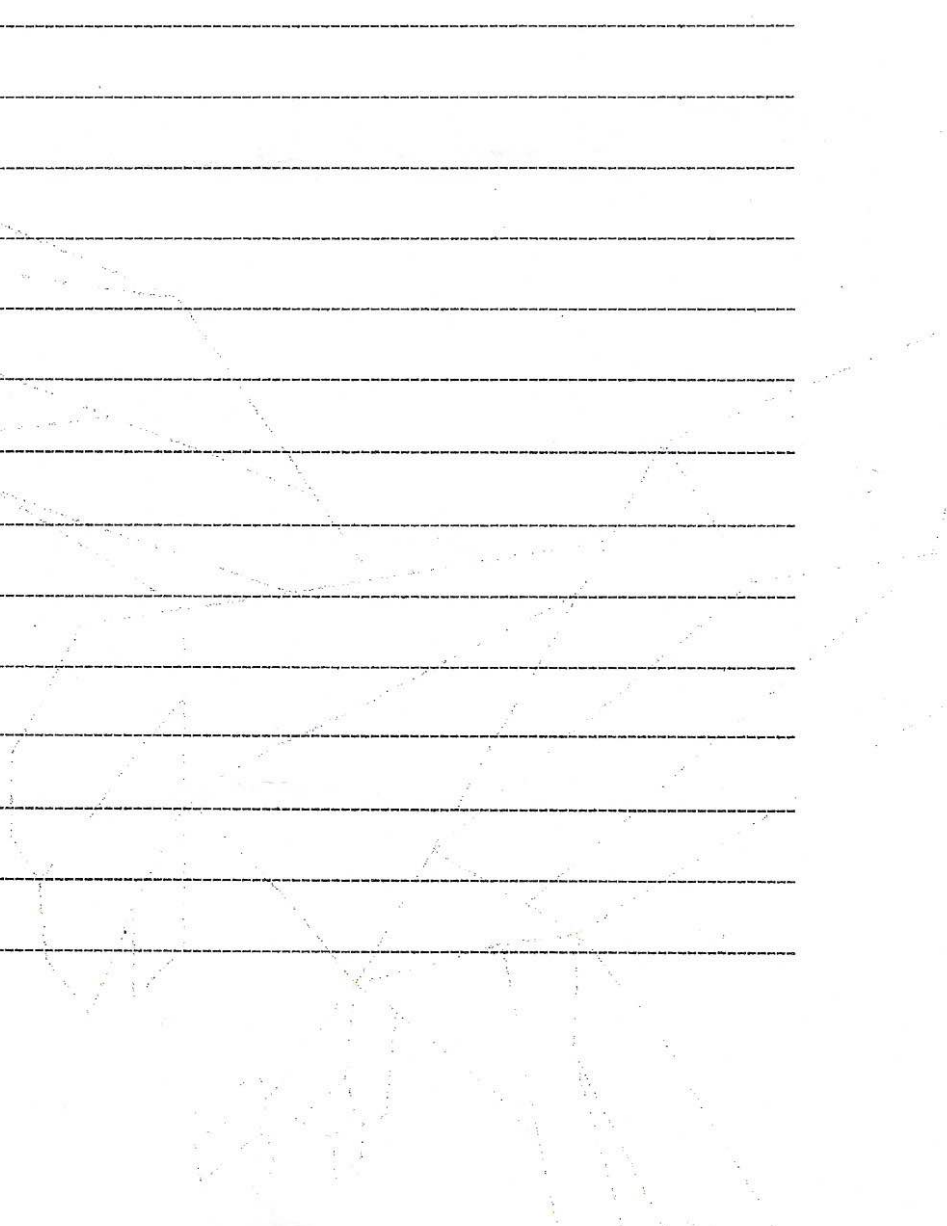
- LIKE THE PROPOSAL & # OF HOMES
- WOULD PREFER TO SEE MAJORITY OF HOMES
ACCESSED OFF WESTPORT VS. DAFFODIL TO REDUCE
TRAFFIC IN CALM NEIGHBOURHOOD & AROUND SCHOOL ZONE,
FASTER ACCESS TO HIGHWAY WOULD BE MORE DESIRABLE
- LIKE HOW WESTPORT IS NOT CONNECTED THROUGH TO DAFFODIL.
- LIKE THE TRAIL + PARK IDEA.
- WOULD SUPPORT PROPOSAL!

Name:

Address:

This sounds great! Thoughtful planning!

Handwriting practice lines consisting of multiple sets of three horizontal lines (top, middle, bottom) for letter height and placement.



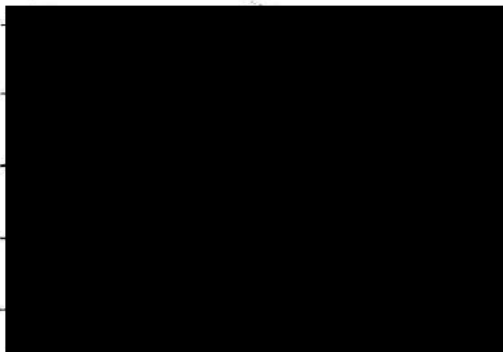
Name:



Address:



Do not agree with Traffic
Design or Density.
All access by car should be off
Westport Rd where 90%
of vehicles are going to or
coming from.



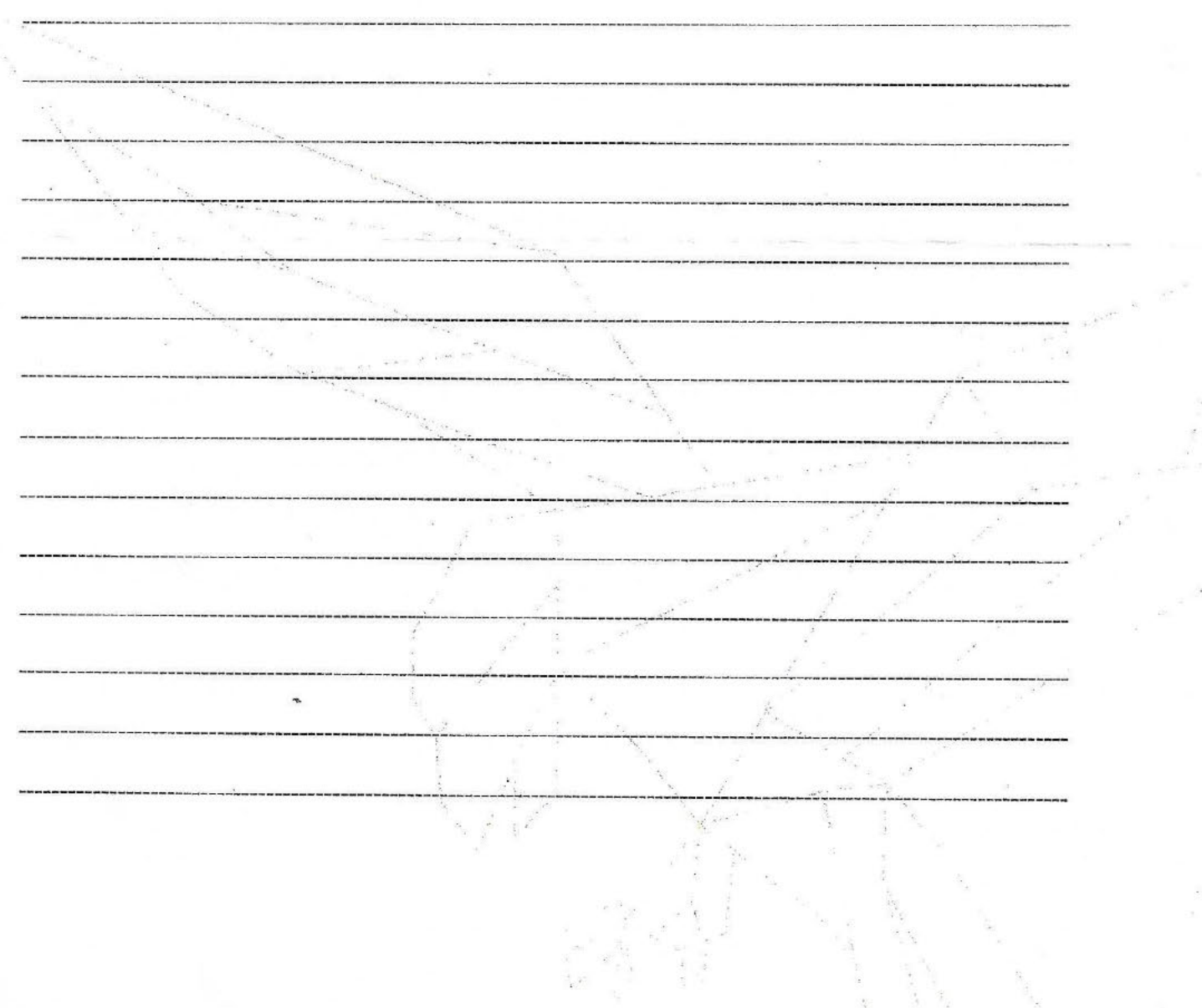
Name:



Address:



THE DEVELOPER NEEDS TO SHOW A COMPARATIVE
PLAN WITH 15-20 SINGLE FAMILY HOMES
PROOF WHY THE CURRENT SCHEME IS BETTER!

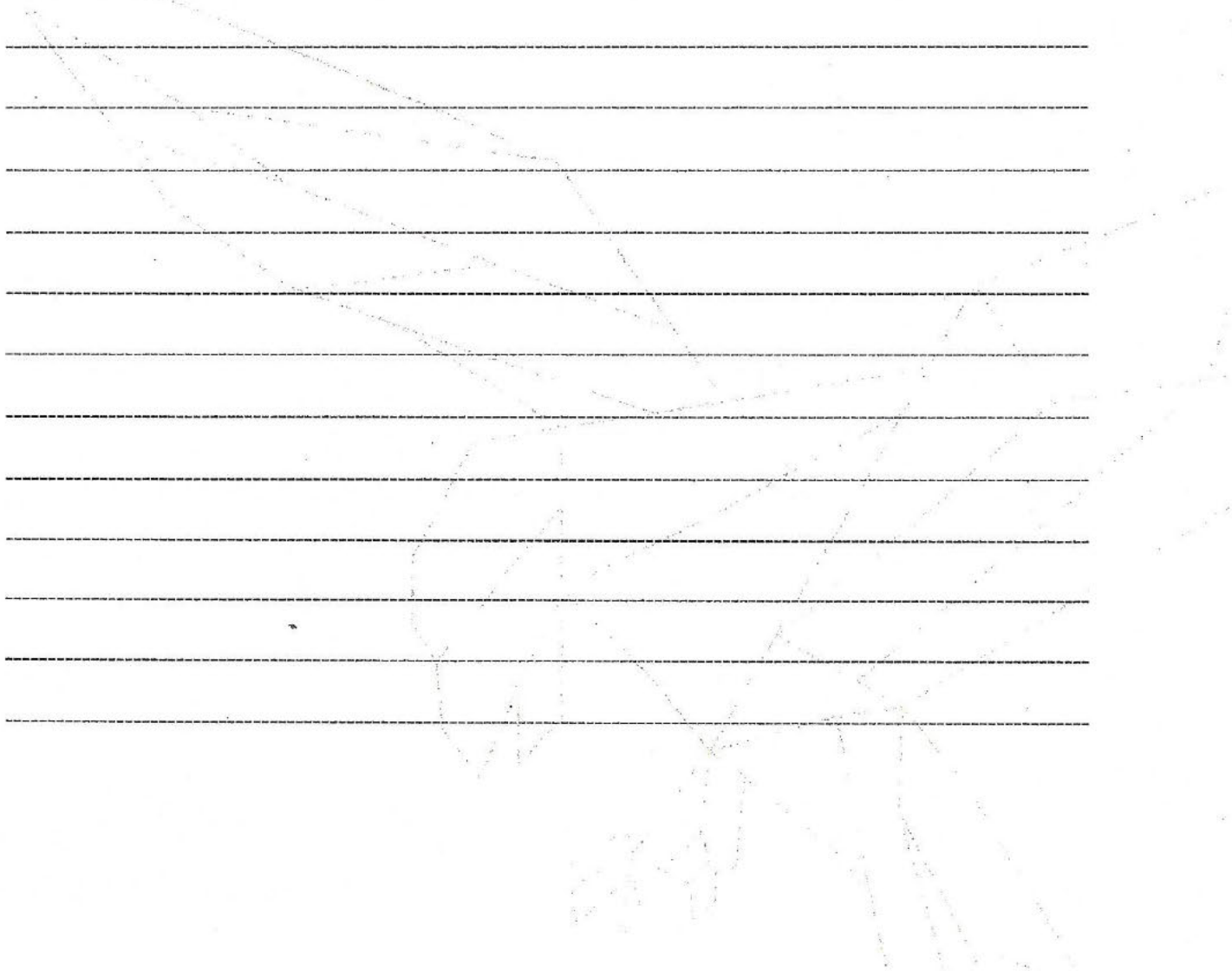


Name:

Address:

Although I would prefer to see Nothing happen,
I am glad that you have Designed it so that
more trees and park can be saved.

I will email Council with similar Statement.



Name:

Address:

you have pivoted well from your first Plan.
Design looks great and you have a
Marginal increase in Density compared to what
it appeared.

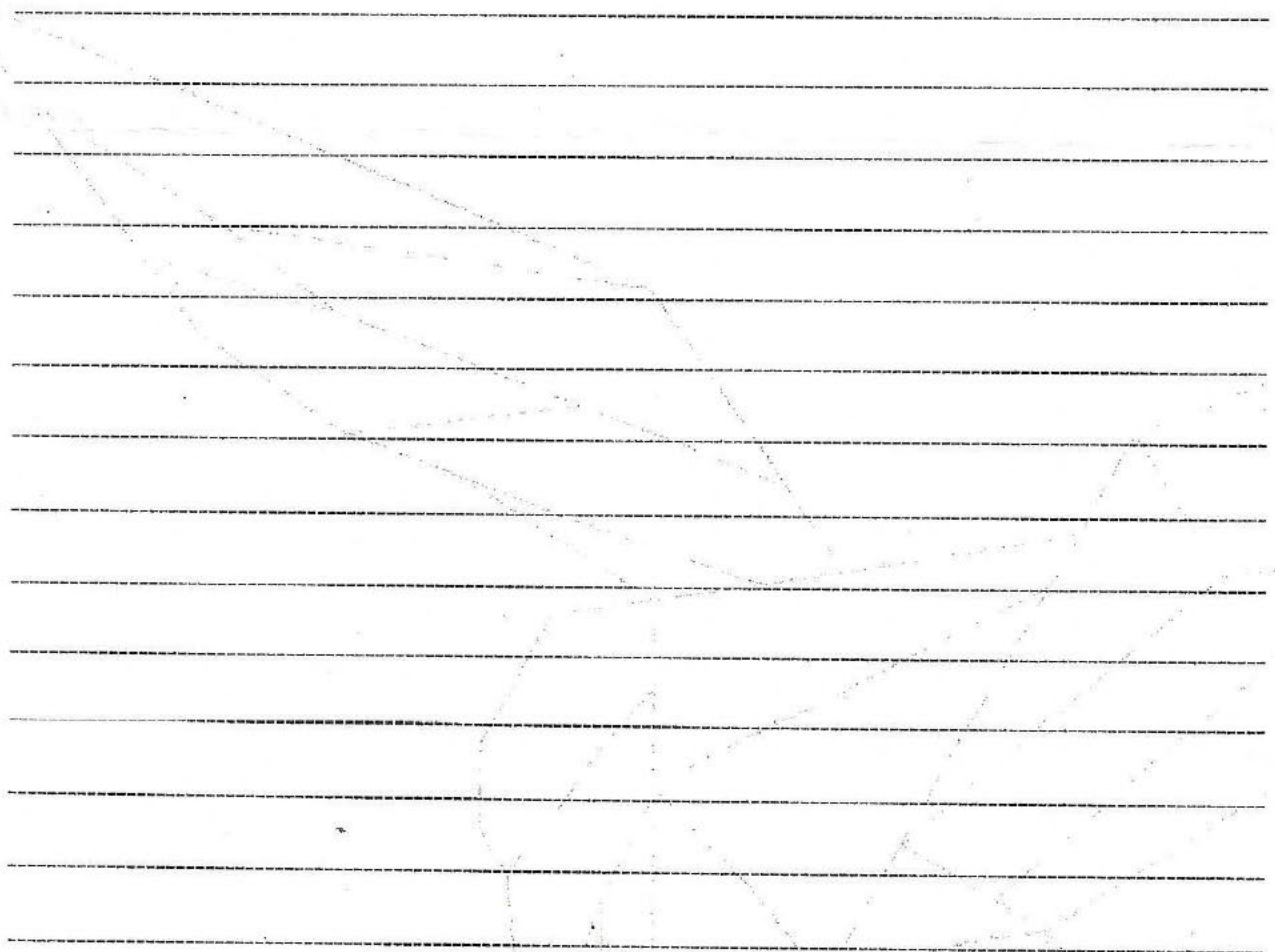
Name:



Address:



I was initially opposed to the project but the changes have made me more enthusiastic. I would like to purchase one of the units!



Appendix B

[REDACTED]

Further to your Zoom meeting of December 10, 2020, I would like to let you know that I appreciate your efforts in the process that you are using to help introduce and educate the residents of West Vancouver to the Aquila Development. Being involved in the development of real estate of any magnitude is always controversial and all time consuming. Your efforts to date and modifications to your original development proposal have been well thought out through your design development process.

[REDACTED] the original proposal to develop 10 single family lots by [REDACTED] in 2017 was a traditional land subdivision that would have involved numerous individuals from developers, construction companies ,architects and engineers resulting in numerous small individual development projects with various degrees of quality in the design and construction. The schedule to complete this type of development would well exceed the time frame you are proposing and the overall quality of the design and construction of the development could have had the potential to not have a comprehensive design aesthetic. Your development proposal to complete the project within a given time frame and your approach to develop a design language, West Coast Modern, that will encompass the entire development is a well conceived concept for the neighbourhood.

I believe the considerations given to the neighbourhood regarding traffic and density are being addressed. As well, with the continued input and development zoning regulations that the District of West Vancouver has set out in their Official Community Plan, the publics interest and neighbourhood concerns will be paramount in the Districts approval process.

I look forward to your development application with the District of West Vancouver.

[REDACTED]

[REDACTED]

[REDACTED]

Schedule C
July 27 2020



Name: [Redacted]

Address: [Redacted]

- Far too big of a development
- Not in character with existing neighborhood
- loss of green space
- space not big enough for that size of development.

[Handwritten lines for notes]



Schedule C
July 27, 2020



Name:



Address:



This area is not built for such density. Other neighborhoods such as Park Royal, Ambleside, Dendron, Horseshoe Bay + new development above highway are designed for development with commercial areas. Just because OCP is to expand doesn't mean all ~~are~~ areas are suited to it.

Name:



Address:



1. Traffic issues - Your "traffic study" lacks correct data, does not consider the fact of various age groups and therefore ~~no~~ clear peak hours. The visibility and speed on Westpark and Marine Drive is already an issue.

Safety is no. 1 (as OCT states) - And lots of ^{cyclists!}

2. Neighbourhood character - you would alter the ~~neighbourhood~~ neighbourhood character,

3. There is no access to stores, walkable access to schools (except Eagle Harbour School)
Transportation is infrequent w. every half an hour buses on Marine Drive,

4. etc,



Name: [REDACTED]

Address: [REDACTED]

GREAT CONCERN OVER DENSITY
+ TRAFFIC.

Name:

[REDACTED]

Address:

[REDACTED]

① too high density → not in keeping
with a) community
b) infrastructure,
c) public transportation
~~②~~ ~~③~~

② reach access is very limited &
is super crowded as it to the Eagle
Harbour Road is very dangerous for
kids/family.

[REDACTED]

Name:

[REDACTED]

Address:

[REDACTED]

Although you have indicated compliance with the OCP, paragraphs 2.14 to 2.17 are specific and this project falls outside (mostly) the guidelines.

We definitely oppose rezoning to multi-residential structures. Your condescending letter indicating that you don't think it's appropriate for "weather" homes was insulting to say the least.

Opposition mounts & Council will hear us.

[REDACTED]

Schedule C
July 27, 2020



Name:



Address:



Concerned about exit onto Westport - limited
visibility + spiders on Westport

A series of horizontal dashed lines for writing, with a faint, large-scale background watermark of an eagle's head and neck.

Name: [REDACTED]

Address: [REDACTED]

Very concerned and will review by
determine how consent concerns will
be inputted and closed for e05.



Schedule C
July 27, 2020

Aquila
EAGLE HARBOUR

Name:



Address:



It seems strange to me that particularly at this time, you are putting more people together in a small space -

- Is there a list of those lining outside of W Kan waiting to get into the district?

Name:

[REDACTED]

Address:

[REDACTED]

- Concerned about the volume of cars in the area
- Too much density for the site.
- Realise that some increase in density is needed but 67 units is too much for the community especially when you take into account other developments & increase in density in horse shoe bay.

Name:



Address:



1 Traffic concerns relating to survey

2. Subsequent is way too large for
the country.

3. Access via Daffodil will be a
significant issue given the corner
of Marine Drive

Name:



Address:

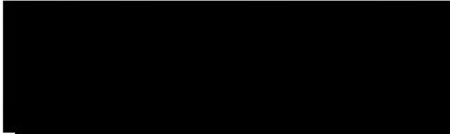


I'm very disappointed to see such
a high density in our lovely neighborhood

This will change the character of the neighborhood

to much traffic

Name:



Address:



My main concern is that this project does not fit into the OCL where it is contemplated that multi-family residences are to be near commercial centres & amenities. EH is not a conducive area as cars required to grocery shop etc. Better to build 10 smaller houses on each ~~of~~ original lots.

Schedule C
July 27, 2020



Name:

Address:

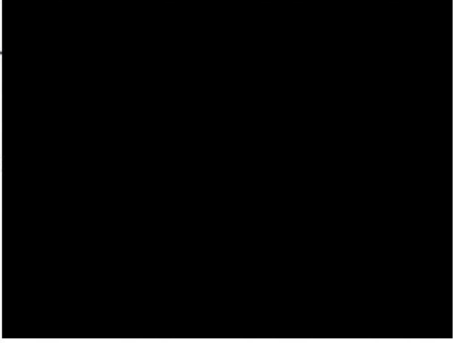


Too dense!

A series of horizontal dashed lines for handwriting practice, with a faint, large-scale grid pattern overlaid on the page.

Name:

Address:



My main concern is around traffic. I saw the numbers on the traffic study. 37 trips during peak for 67 family oriented units WITH swikes seems to me to be a very low estimate. We've lived here for 14 years and know many many families here. Almost everyone we know drives to one or more schools, right during peak and this must be added to likely two working adults of which at least one will drive to work. Add to that yoga and pilates and all that other 'stuff' and you have more than 37. Have you driven westport road in the winter? I don't see it. This is unfortunately a driving community and no place for a development here of this density.

Name:

[REDACTED]

Address:

[REDACTED]

I would like a lock-off suite & private roof top deck.

I am so excited & really want the district to build the missing middle

We are "soon to retire" baby boomers & want something with a lock-off & revenue.

When can I register as a purchaser.

[REDACTED]

Thank you & Good Luck!

Name:

[REDACTED]

Address:

[REDACTED]

The townhouses etc look like a nice option.

My input.

- 2,000 still a good size. I think people can live happily in smaller homes. This is a side thought. but if you want "affordable"?
- 50 parking spots for visitors!! That is a lot of asphalt. The trend is less parking.
- community contribution? subsidize a small bus shuttle to carthel village, Maurice (Eagle Harbour) to Carthel.
- Thanks for habitat rehabilitation. salmon habitat

[REDACTED]

Name:

[REDACTED]

Address:

[REDACTED]

VERY UPSET. WE APPROVED 10
NOT OVER 60

Handwriting practice lines consisting of multiple sets of three horizontal lines (top, middle, bottom) for letter height and placement.

Name:

[Redacted Name]

Address:

[Redacted Address]

Project would be good for local school
But more traffic + local congestion at
beach is a worry

[Empty lined writing area]

Name:



Address:



- fully support the development
- gives our younger community members an opportunity to live where they have been raised and gives more options to those looking to downsize without being forced out of community

Name:



Address:



I would like to see an overview of your property
that includes Daffodil Dr and Lane, Westport Rd
Cranley Dr. as well as the properties that abut the
proposed development (approximate to seek.)

Handwritten notes on lined paper, including a faint map or site plan in the background.

Name:

Address:



- Looks very interesting and we approve
of the proposal.

Handwriting practice lines consisting of multiple sets of three horizontal dashed lines.

Name:



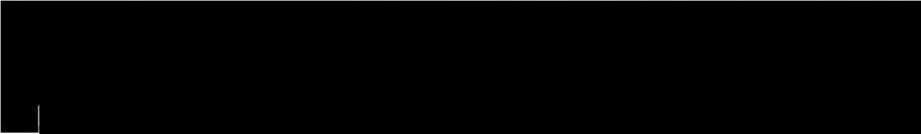
Address:



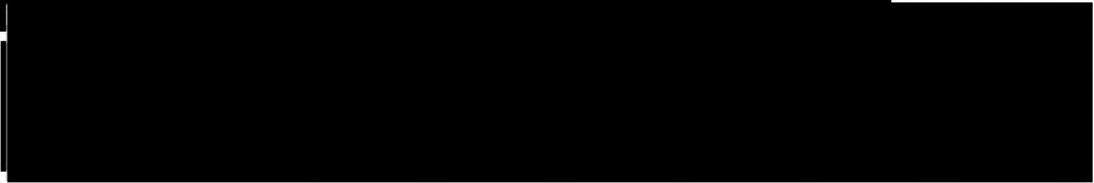
We would appreciate a site visit
when this is possible.

Development of unnamed watercourse
+ possible rearing pools is of
special interest to us as W.V.
Streamkeeper

Name:



Address:



Support The Missing
Missing as you
were devoted into

This area is very
appropriate for dense H,
and the proposed is
well conceived

Good Luck

Name:

Address:

Like

Don't Like

- increased density
- thoughtful design
- green space
- not a throughfare
- safe place for kids (low traffic)
- community access to paths

- traffic impact
- still not really established
- 3 yrs. of noise/disruption

Ideas

- include a small store to reduce # trips to go ~~out~~ out for convenience
- different price (reduction) for fewer parking spaces

Name:

Address:



Good Presentation

↳ Concerned about the rental
sites if the density as presented.

Multiple sets of horizontal dashed lines for writing, with a faint background map or diagram visible.



jamie harper <harps.jamie@gmail.com>

Eagle Harbour Development

[Redacted]

Sat, Jul 18, 2020 at 10:13 AM

We suggest you not spend any more money on changing the approved subdivision plan. pull the plug now because if you don't, we will do our level best to pull the plug for you.

[Redacted]

[Redacted]

Wow, congratulations..... looks like a beautiful, well thought out community, just what we seniors are looking for. What a welcome addition to the Lower Mainland it will be.



Tue, Jul 28, 2020 at 9:45 AM

Comments

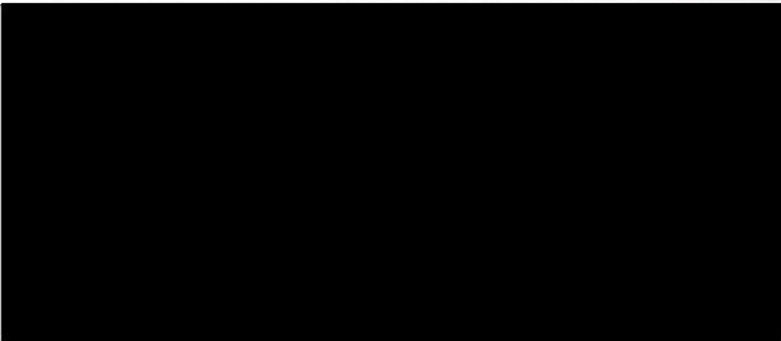
What a gorgeous site plan and beautiful units. Dave and Jamie are an absolute pleasure to work with to find your dream home! Can't wait to move in!



Tue, Jul 28, 2020 at 10:52 AM

Comments

Aquila - Eagle Harbour is a unique development that allows residents access to the amenities near by and ties into the with the natural beauty of the area. The proximity to the beach, yacht club and the proposed endowment lands keep the community feel alive. It allows younger generations to be able to have access to such amenities and move to the area at a more affordable cost than a single detached home. Aquila will be a great addition to Eagle Harbour.

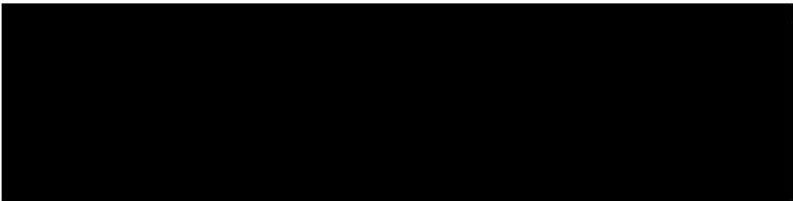


Tue, Jul 28, 2020 at 2:41 PM

Hello,

This NEEDS to happen! My wife is a paramedic and I'm a recently retired RCMP member following a PTSD diagnosis and we have a very young family. I know Stephanie Mitchell our friend and realtor us already reached out. We definitely want a unit. If there's anything we can do to help move this forward we would be willing to do so!

Thanks



Tue, Jul 28, 2020 at 8:43 PM

Comments

Thank you for hosting the information session at Fisherman's Cove. Your vision and family commitment is admirable. As a long time resident of the Eagle Harbour area I'm struggling to understand how this type of density is complementary to our community. I'm trying to keep an open mind, but the existing large lots and country style living has always been one of Eagle Harbour's main attractions. I would like to see the areas zoning remain as is, single family, for future generations. 10 new homes and families would be welcomed warmly.

Mon, Jul 27, 2020 at 8:52 PM

Comments

Unfortunately, I was unable to attend the open house tonight in person but I wanted my strong support of the project to be on record.

My partner and I, are looking to settle down in West Vancouver but the available housing supply is quite limited. We do not have the means to buy a large house but would love for a space larger than a condo. A home that we can grow our family in, entertain our friends and enjoy the beauty that West Vancouver offers. These affordable and well sized homes are a badly needed addition to Eagle Harbour. I urge the community to support a this proposal and development that goes above and beyond to be considerate to the neighbours and provide new homes for young families like mine.

Please let me know how this advances.

Best,

Mon, Jul 27, 2020 at 9:08 PM

Comments

Hi, I'm a young accountant living in Whistler. I'd like to live in West Vancouver some day. The current housing options are limited, and I don't particularly want to live in a condo. Would be interested to know more including pricing. Please keep me posted on the status of the re-zoning. Hopeful that it gets approved. Thanks.

Tue, Jul 28, 2020 at 7:33 AM

Comments

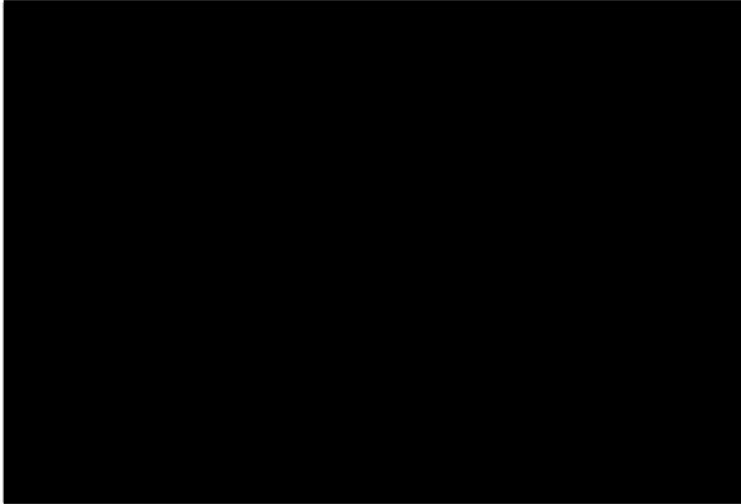
Mon, Jul 27, 2020 at 4:58 PM



Comments

Excited to hear about this project! Props to the developers, this is exactly what West Vancouver needs. The local community and families will greatly benefit from this much needed development!

Mon, Jul 27, 2020 at 5:00 PM



Mon, Jul 27, 2020 at 5:14 PM

Comments

I wanted to express my sincere support for this project. It is about time that some price friendly options become available to our younger population who would very much like to stay in the community where they were raised. i believe the impact on the neighbourhood would be very positive with limited negative effects on nature.

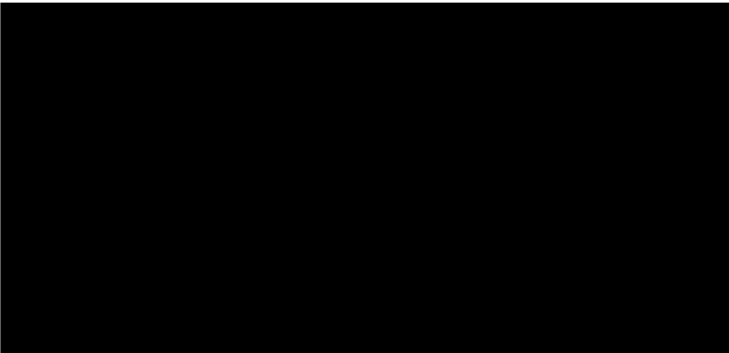
Mon, Jul 27, 2020 at 6:16 PM



Comments

Looks like a development this area really needs! As a resident of West Vancouver I think I speak for my family and many other locals.. we do really need more space for the community to grow and thrive!

Mon, Jul 27, 2020 at 7:27 PM





Mon, Jul 27, 2020 at 11:51 AM

Mon, Jul 27, 2020 at 11:56 AM

Comments

Wow, what a beautiful looking development and a perfect location! This is exactly what West Van needs as the houses get bought and left empty or inhabited by two people. We're losing our community and ability to do business. Looking forward to more details.



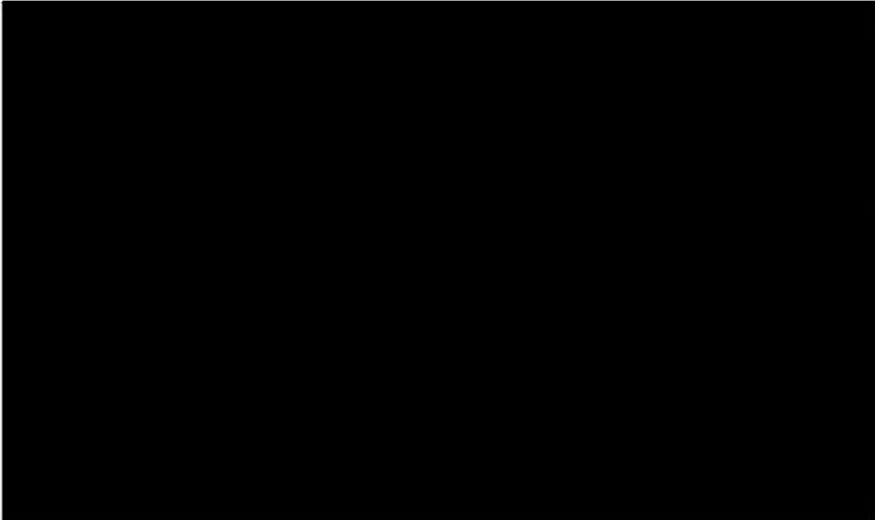
Mon, Jul 27, 2020 at 1:24 PM

Comments

As a first responder I am very excited to see such a beautiful and yet affordable development being built in West Vancouver. I have observed more than one of the Harpers' previous projects and can attest to their strength in attention to detail and professionalism. I am very pleased to know that this specific project will undoubtedly increase the number of first responders and health care professionals living in the West Vancouver area. My family and I specifically, are very excited about this development as it opens doors for us down the road to join the West Vancouver community.

Mon, Jul 27, 2020 at 1:25 PM

Mon, Jul 27, 2020 at 2:00 PM

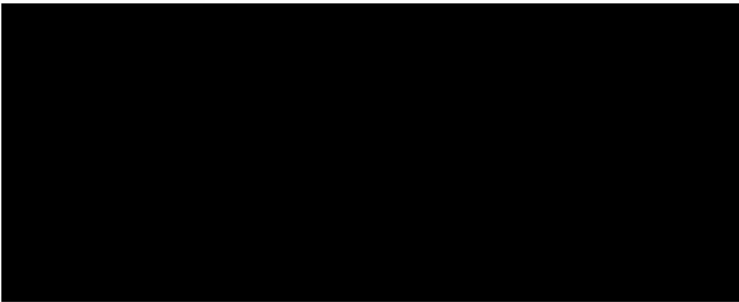


Comments

As a long term resident of the eagle harbour community, I have seen a lot of development in this area that does not uphold the beliefs or values of our community. This refreshing new approach to the development of this area embodies everything we as long term residents value in our tight knit community. As someone who sees them self in this community indefinitely, I strongly advocate this developement coming to fruition.

**Comments**

We are very fortunate to live in such a beautiful place but it is a shame that there are so few options available for younger families in the area. As we all know, affordability in W Van is out of reach for most, and developments like this will hopefully bring a vitality to the neighbourhood that will help all of W Van through more business options and increased tax revenue, resulting in benefits to us all. Good luck with the development and thank you for crafting something that will add greatly to the neighbourhood.



Mon, Jul 27, 2020 at 11:40 AM

Comments

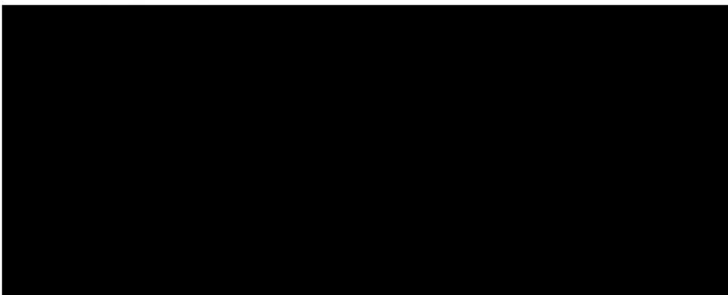
Having grown up in West Vancouver I am so excited at the opportunity to finally be able to afford a property where I can raise my growing family.



Mon, Jul 27, 2020 at 11:40 AM

Comments

This is exactly the kind of future-proof neighbourhood development West Vancouver needs. Looks like your team has put a considerable amount of time and thought into an appropriately scaled and more affordable project for families. If it's possible to share updates of this project as it progresses, that would be great.



Mon, Jul 27, 2020 at 11:51 AM

Comments

My partner and I are so excited about the potential of this development! As a Master's Student I would love to be able to settle myself and my family in West Vancouver in the near future. We're excited about how thoughtful and well designed this project is, along with the stellar reputation that the Harper's have for building quality homes that beautify the area they are in! More accessibly priced housing in West Vancouver will attract families like ours who are eager to become part of the community for the long term!



www.aquilacontact.com

Aquila Contact Form

Tue, Aug 4, 2020 at 9:35 AM

Comments

Aquila sounds perfect for our young family.

- We are a married couple (early 40's) with two young boys that go to pre-school and school in West Van. Our school, community, camps and after-school activities are also all in West Van.

- Grandparents recently moved to Eagle Harbour to help with the kids + childcare.

- We are planning to rent and move into the grandparent's home. We want to put our Lynn Valley condo up for sale to be ready for when we do find an affordable home.

- We are priced out of the housing market in West Van and currently live in Lynn Valley, North Vancouver. We have to commute daily to West Van before heading to work off the North Shore.

- The majority of our community of friends live in West Vancouver and we spend a significant amount of time driving back and forth to North Vancouver.

- We are both locally employed and have good jobs but are priced out of West Van market.

- Husband lived in West Van as a kid before having to move away and has always wanted to return.

Thank you,

- We would love to be able to buy a home in Eagle Harbour near my parents' / kids' grandparents home. It really does take a village and we are struggling with balancing demanding jobs, school/pre-school and after-school activities without reducing commute times and living in the community/municipality where most of these activities are located.

Tue, Aug 4, 2020 at 9:36 AM

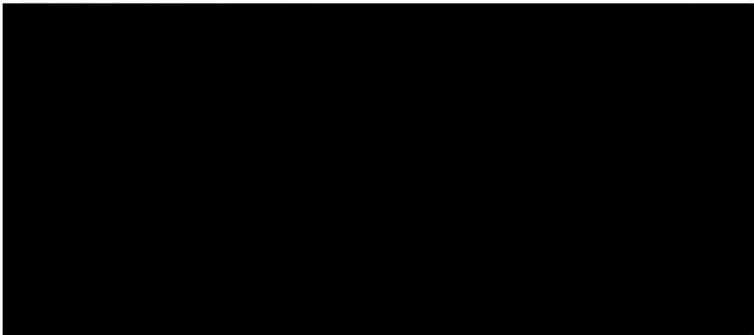


Comments

Aquila sounds perfect for our young family.

- We are a married couple (early 40's) with two young boys that go to pre-school and school in West Van. Our school, community, camps and after-school activities are also all in West Van.
- Grandparents recently moved to Eagle Harbour to help with the kids + childcare.
- We are planning to rent and move into the grandparent's home. We want to put our Lynn Valley condo up for sale to be ready for when we do find an affordable home.
- We are priced out of the housing market in West Van and currently live in Lynn Valley, North Vancouver. We have to commute daily to West Van before heading to work off the North Shore.
- The majority of our community of friends live in West Vancouver and we spend a significant amount of time driving back and forth to North Vancouver.
- We are both locally employed and have good jobs but are priced out of West Van market.
- Husband lived in West Van as a kid before having to move away and has always wanted to return.

Thank you:-)



Tue, Aug 4, 2020 at 1:40 PM

Comments

Finally a project that's affordable in West Van.



Hi,

We are a five people family living in a 3 bedrooms condo in [Folkestone way \(1500 Sq.Ft\)](#), West Vancouver, and we want to upgrade our home. The Aquila project seems perfect for us (Home size and price). Could you inform me, when the presale starts?

Warm Regards



Tue, Jul 28, 2020 at 8:53 PM

Comments

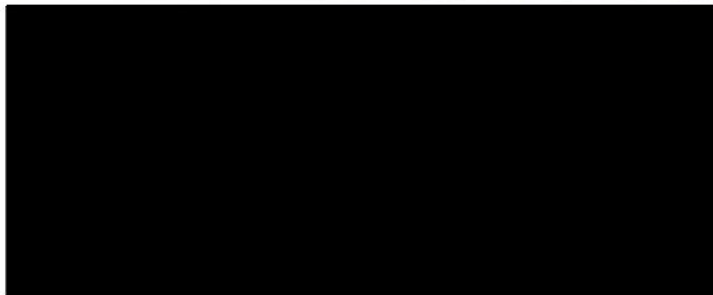
Great project, I live in Ambleside and interested in this project, cheers



Tue, Jul 28, 2020 at 9:30 PM

Comments

As somebody who wishes to move to West Vancouver one day, this is exactly the type of home I am looking for. I strongly support this application. This is much more appropriate than the original plan of mega mansions. Please let me know if there's anything else I can do to help support this proposal.



Tue, Jul 28, 2020 at 10:38 PM

Comments

I live close by, and I love our neighbourhood so if we have change I want it to be well thought out. I'm naturally a bit averse to change. However, I have to admit this development seems to be thoughtful in maintaining green spaces. The style suits our area.

And I believe our community will be more balanced and sustainable if we can diversify the income levels and styles of living options available.

Something like this might even mean a bit more community feel where we could go without heading down to the Bay or Ambleside (eg maybe the restaurant across from Thunderbird would stay in business this time!)

Wed, Jul 29, 2020 at 5:46 AM



Comments

Writing to share support for this development project being proposed. I've spent close to 10 years in the Vancouver area but as a young person found it difficult to really envision a future where I could build my family there due to affordability. West Vancouver and all it has to offer was also always seen in my mind as only for the wealthy despite the appeal of the city. I'm excited to hear about the Aquila development and the role it will play in creating a more diverse and encompassing community that will allow West Vancouver to become home to the next generation.

Wed, Jul 29, 2020 at 11:12 AM



Comments

Hi. We live in Vancouver and are very interested in your project. Is it possible to get on a list for the project? We'd be interested in one of the smaller units and if any have suite potential.

We are not first responders or teachers but multi generational Vancouver residents.

Please let us know if you can sign us up.

Thanks,



Wed, Jul 29, 2020 at 11:54 AM



Comments

This looks very interesting. I love that area. Feel free to keep me posted.



jamie harper <harps.jamie@gmail.com>

Aquila Contact Form

Wed, Jul 22, 2020 at 2:10 PM



Comments

I am a long term resident of West Vancouver of over 50 years and support this development. This development will be perfect for my kids to allow them and their future families to live in the community that they were raised in. It's the type of housing that's missing and needed in West Vancouver.



jamie harper <harps.jamie@gmail.com>

Aquila Contact Form

Fri, Jul 24, 2020 at 2:12 PM



Comments

Eagle Harbour is long overdue for a development designed and geared towards our retirees and young families in West Vancouver. I fully support this development and I look forward to viewing when fully built.



jamie harper <harps.jamie@gmail.com>

Aquila Contact Form

6 messages

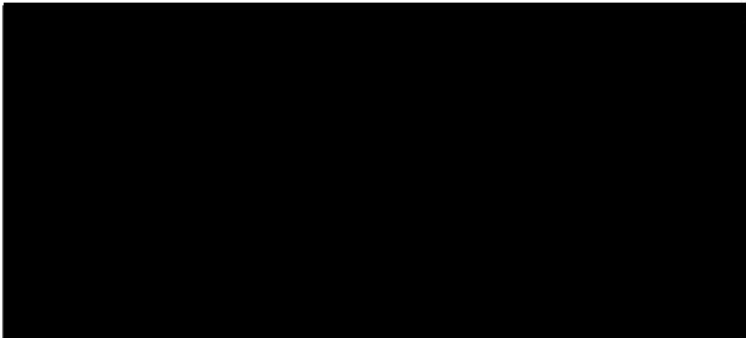
Thu, Jul 16, 2020 at 12:13 PM



Comments

Very upset at this proposal. Adding many more people, cars into this compressed idea will be detrimental to my community. We bought here for a reason, not to be inundated by people and construction. It's already becoming too crowded as non residents are coming in large numbers to the eagle harbour beach, and the Cranley trail (crowds, parking all over the street, bike users when it prohibited, garbage...all increasing). I will do what I can to hopefully help shut down this 67 unit idea.

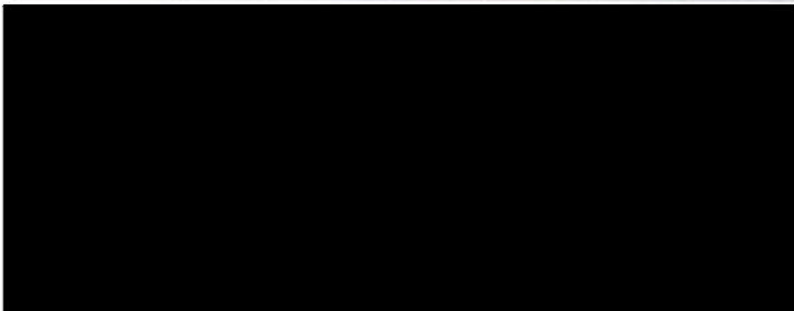
Thu, Jul 16, 2020 at 12:37 PM



Comments

Hi I am a realtor with eXp Realty. I would like to be kept informed on your progress. Looks fantastic!!!

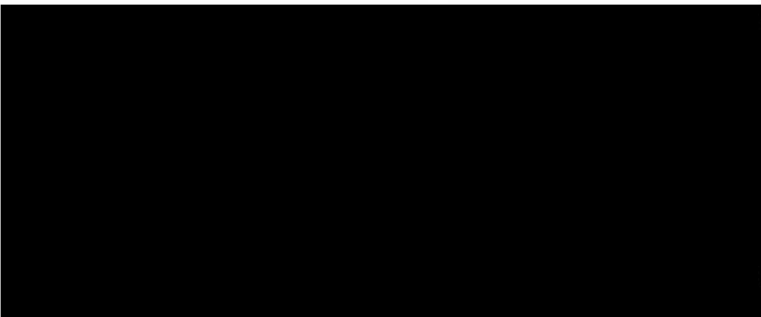
Thu, Jul 16, 2020 at 7:41 PM



Comments

Looks Great!

Fri, Jul 17, 2020 at 6:58 AM





Comments

In a climate of a pandemic how & where will a meeting to discuss plans be held?

We have been residents of EagleHarbour & now Gleneagles for 42years. I can't imagine the traffic increase of 2cars per "household" in an area of a primary school & playground....a playground which our neighborhood enhanced. We have many more concerns & look forward to your reply.

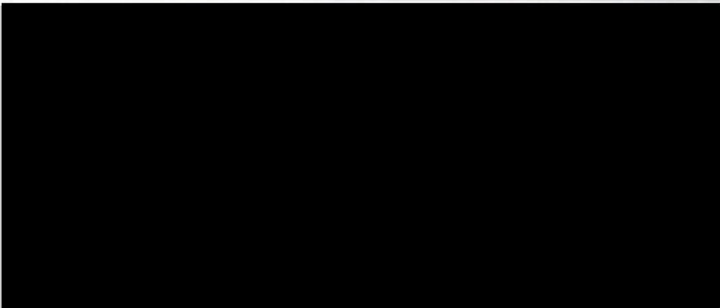


Fri, Jul 17, 2020 at 1:42 PM

Comments


Hello both to Dave and Jamie Harper,
I would like to learn more about your development. The development you are proposing is unique and has fascinating potential. We own and live on a large, flat property on the east side of Eagle Harbour Road and are interested in a all new developments in our area.

Kind Regards, 



Fri, Jul 17, 2020 at 5:04 PM

Comments

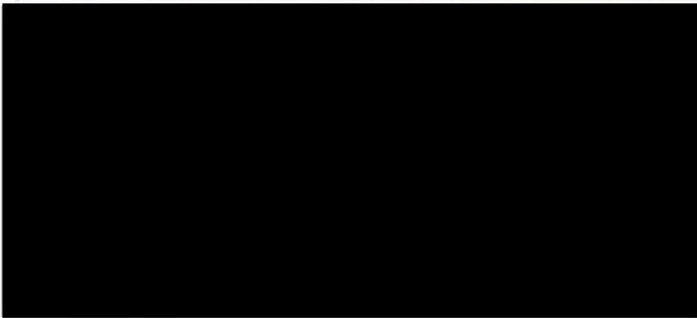
Hi there - We received your information packet in the mail the other day. You mentioned that if we were not comfortable attending the meeting (due to COVID etc), that there would be an opportunity to engage virtually. Could you please let us know how we can attend remotely on the 27th July at 5:30 pm? Thanks very much 



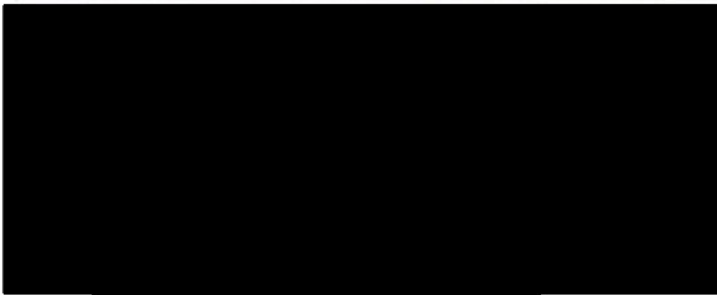
jamie harper <harps.jamie@gmail.com>


Aquila Contact Form

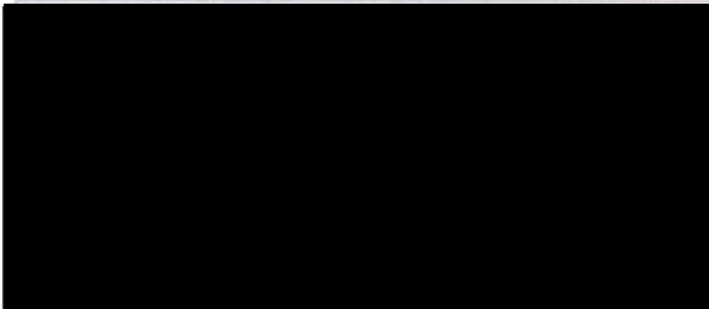
30 messages

Sun, Jul 26, 2020 at 9:56 PM**Comments**

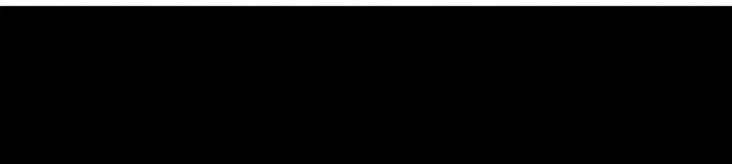
As a young family living on the north shore, it's so nice to see developments like this popping up! Great price point, great location, and the Harper family is wonderful!

Mon, Jul 27, 2020 at 8:52 AM**Comments**

I think this is exactly the type of development needed in WV. I grew up here but have no hope of owning a home in the community unless we see more of this type of development, which adds smaller, space-efficient homes and thoughtfully deployed density, which will enhance the neighborhood, add vibrancy and bring some younger families back into the community. To me, there is no downside, and this development should be encouraged and approved. Kind regards, 

Mon, Jul 27, 2020 at 10:10 AM**Comments**

Amazing idea! I grew up in the area and it would be wonderful to see young families back in the community. Affordable, beautiful housing in a nice neighbourhood. A development like this would support the local community and bring young life back. Can't wait to see this project grow!

Mon, Jul 27, 2020 at 11:11 AM



jamie harper <harps.jamie@gmail.com>

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Wed, Jul 29, 2020 at 2:40 PM



Comments

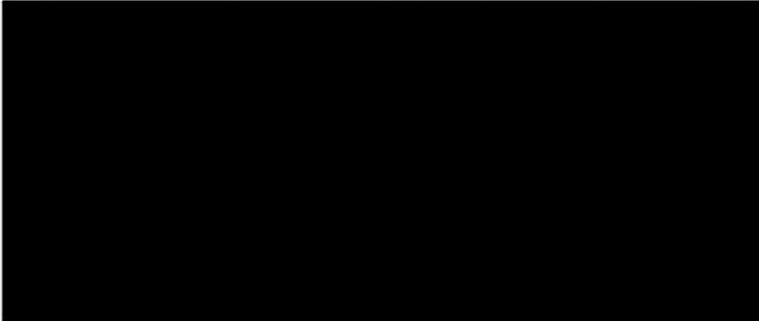
Big fan of this project! This "gentle density" contained within this project is exactly what West Vancouver needs as it grows into the future. The fact that it is switching from 10 high-end single family homes to 6 3-4 bedroom townhouses is exciting and something to be celebrated.



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Thu, Jul 30, 2020 at 8:24 AM



Comments

Eagle Harbour is not a place for multi family and goes against many of the guiding principles of the OCP.

EH is already a family friendly neighbourhood and its residents are passionate about the community.

Any multi family proposal will be met with strong opposition from our neighbourhood. Your initial plan has alienated the community and created a mass of residents against Aquila.

With an entry price point around \$1.7M for a single family house, your avg product for a multifamily with little outdoor space at \$1.5 M will not do well. The price gap is too close. Young families will do what they've already been doing in EH - buy a house. They don't care about new product.

Is this product type attractive to downsizers? - maybe a small % - this will be likely their last real estate purchase - does a downsizer really want to deal with 3-4 flights of stairs? No they don't.

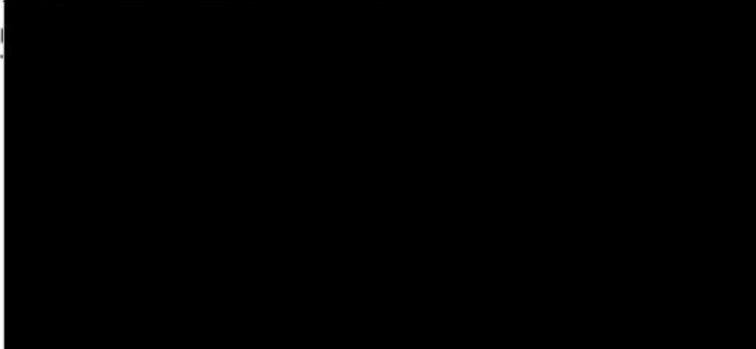
You're better to create smaller lots of single family homes that is in more character of the neighbourhood and what families really want.



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1 message



Sun, Aug 2, 2020 at 1:31 PM

Comments

I support the concept but feel the architecture should be more groundbreaking and remarkable. It should build on the rich architectural heritage established in the mid century and be more revolutionary. I also believe that the community needs and wants a market/cafe combo that is walkable. Think that would get a lot of people on board.