

# AMBLESIDE SHOPPERS DRUG MART

**DESIGN BRIEF AND SUSTAINABLE FEATURES**

June 06, 2018

To: Lisa Berg,  
Senior Community Planner  
District of West Vancouver

Re: Proposal for Redevelopment at 1583 Marine Drive

The following design brief and sustainable features outline our parameters and rationale for the redevelopment of the existing Shoppers Drug Mart located at 1583 Marine Drive in Ambleside Village and is revised to address the DRC’s concerns from June 19<sup>th</sup> 2014.

Site History

In the 1930’s the site at 1583 Marine Drive was a lumber yard. Safeway then acquired the property and in 1940-41 built the specific use building that we see today. When Safeway moved across the street, this building became occupied by Cunningham Drugs which became Shoppers Drug Mart in 1971. Around 1977 there was a large fire that damaged the building and we believe all the roof trusses were replaced or rebuilt at this time. Currently the site has become contaminated by the dry cleaners to the north and an environmental remediation plan is being developed that will address the current soil conditions and provide protection against future contamination of the new building from the same known source.

The DRC mentioned possible preservation of the façade of the building, but due to the fact that the existing building façade sits on the property line and any new development has a 3 foot setback requirement, we felt that the building would be better preserved through historical panels, located on the east wall of the building in the pedestrian laneway. These panels would contain photos from the West Vancouver archives, as well as information on the architecture of the art deco columns. We have also incorporated the element of 3’s into the façade along marine drive and 16<sup>th</sup> street as well as the concept of banding, which is present along the existing façade of the building, and will be incorporated into the east wall on the laneway with bands of stone and concrete that transition in a gradient from the south, stone, to the north, concrete.

Site Conditions

The site slopes from north to south at a steep angle and is bound by major streets, a laneway and an existing alley/sidewalk. The property line at the north end does connect with the drycleaners, but the existing alley/sidewalk will be maintained. This isolates the building to a site unto itself, as if on an island.

In regard to comparable sites with underground parking, we looked into other examples where underground parking was successful along marine drive. The two main examples of developments with underground parking along the north side of marine Drive are the large development at marine and 17<sup>th</sup> and the IGA at marine and 25<sup>th</sup>. While the 2 sites have similar slopes along the north-south running street, they were not comparable in site shape or size. The large development has a lot size significantly larger than our site and is longer in both length and width. The IGA is a closer comparison to our site. While it has a smaller site depth than the SDM site, their site width is much larger, allowing them a long straight run down to parking. The IGA site also has limited street frontage along 25<sup>th</sup> street, which for their site works since its main street frontage is along marine drive and there is predominantly residential north and west of the IGA site. The SDM site is surrounded by commercial uses on all sides, and as such we are trying to preserve the street frontage along 16<sup>th</sup> close to Marine Drive.

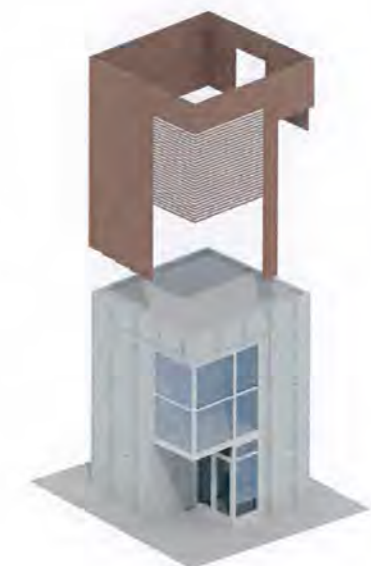
The diagrams below show the sites and their respective sizes.



Operational Requirements and Architectural Response

Shoppers Drug Mart (SDM) was looking for a simple commercial building, with durable materials and low maintenance requirements, to expand their existing Ambleside store location. The major SDM operational requirement that we had to respond to was to provide enough parking to maximize the store area while maintaining a comfortable shopping environment. This led to providing the parking on the rooftop to take advantage of the natural slope of the site. We also needed to have access from the rooftop parking directly into the store, but still within the secured area to limit shop lifting. This brought the vertical transportation to the front of the store along marine drive.

Since this is a corner site, it felt natural to have the tall mass at the hinge point of the site, the west corner, instead of the center or the east side. To address the importance of the corner, we have carved out an entrance at 16th and marine. From the street, this corner



element is made of poured in place concrete which can be seen in the elevator shaft and from the exterior where the façade has been carved out of the mass. The exterior has been treated with a cedar cladding which floats over the concrete to soften the corner, both to the touch and eye. The cedar screens the direct sunlight entering the upper portion with coverage over the glazing. This will screen both the sunlight entering the space during the day and the interior lights leaving the space at night, creating an evening lantern to mark the corner.

The building is predominantly one story and is broken up into bays along the street fronts, with loading on the north side of the building much like the existing condition. To address the façade along marine drive, we view the bays as masses and have broken them up by pushing/pulling the bays from each other following the property line. There are 3 predominant bays, referencing the art deco history, each lowering in height as they move east from the corner tower. 16th street is broken into separate bays, 2 of glazing, and one with vertical plants. When viewed as a mass, the 16th street wall appears to be pulled towards marine drive, and pierces through the tower portion, creating the western bay of the marine drive façade.

The canopies along the street fronts are stepped at each bay and located at similar heights off the ground to pay attention to the natural slope of the site. The bays are glazed along Marine Drive and 16<sup>th</sup> Street where appropriate. Along Marine Drive consideration is given to providing a central entrance and clear views into and out of the building. A second entrance has been carved into the corner element, entering into a lobby along with the elevator. Since the natural slope of the site does not lend itself to an entrance along 16<sup>th</sup> street, priority is given to providing views and natural light into the building.

Both along Marine and 16th Street, existing trees are being retained. Planting will be added as per the Streetscape standards, with a space of 18" between the curb and the edge of planting to allow for car doors and passage of people.

#### Sustainable Features

Demolition of existing building:

Major exterior components are concrete block and heavy timber wood trusses. The concrete block will be crushed up into fill and the wood trusses will be sold off to a wood recycling client. All the store shelving is either sent back to the manufacturer for refurbishment or to a Shoppers Drug Mart warehouse for re-use in other existing stores.

New building construction materials:

Concrete - Since the structure of the building is predominantly concrete, we will be adding approximately 25% fly ash in lieu of cement to the mixture.

Brick - The brick for the building is being sourced from Mutual Materials. Both their Spokane and Gresham Plants fall within 800km of Vancouver where the harvesting and production of the product take place. The clay brick also contains 10-12% consumer recycled clay brick.

Glazing - We will be using low e double glazed windows throughout the store as a minimum. We would like to achieve a better solar heat gain co-efficient than currently required by ASHRAE 90.1 2010.

New building energy use and requirements:

Energy usage - There are two HRV's (Heat recovery ventilators) and high efficiency split system fan coil/heat pump units that have a HSPF (Heating Seasonal Performance Factor) that meets ASHRAE 90.1 2010.

Lighting Exterior - Our exterior lighting will be critical since there are lights on the roof to support the parking. These lights will be downward facing, with timer control to reduce light pollution. We have chosen to use Argo Span-wire LED Area Lighting for the main parking area. For the exterior stairs we will have in step lighting to illuminate all exterior stairs. Foot candle levels at property lines are designed to have minimal off site impact and will be dark sky compliant. The following standards are observed to meet these design criteria: IESNA recommended practices and ASHRAE 90.1-exterior lighting.



Overhead lighting



Step mounted lighting

Lighting Interior - In the sales area we will use LED lights throughout, with daylight sensors to an appropriate distance back from the windows (usually about halfway into the store). In the back end offices we will be using vacancy sensors for the lighting and plugs.

Daylighting - Along marine drive the exterior canopies will act as light shelves to provide as much natural lighting deep into the sales area. Along 16<sup>th</sup> street the interior coolers will act as light shelves. For the stair/elevator tower on the south west corner, there will be exterior louvers to mitigate some of the heat gain.

The proposed building is responding to the SDM operational requirements, the existing conditions of the site, and the Feedback from the DRC. We have responded by looking into underground parking which is addressed in this letter, addressing the importance of the corner of 16th and Marine Drive, breaking up the façade along marine drive, considering the historic aspect of the existing building, and revising the plant selection.

Sincerely,

Andrew Terrett  
Architect, AIBC  
AAA, MRAIC, LEED® AP



**MARINE DR. AND 16TH STREET**  
BIRD'S EYE VIEW



**NORTH WEST CORNER**  
**BIRD'S EYE VIEW**



**MARINE AND 16TH STREET**  
VIEW FROM CROSSWALK



**MARINE DRIVE**  
VIEW FROM STREET



**MARINE DRIVE**  
**VIEW FROM STREET**



**SOUTH EAST CORNER**  
VIEW UP LANEWAY



**MARINE AND 16TH STREET  
MAIN ENTRANCE**



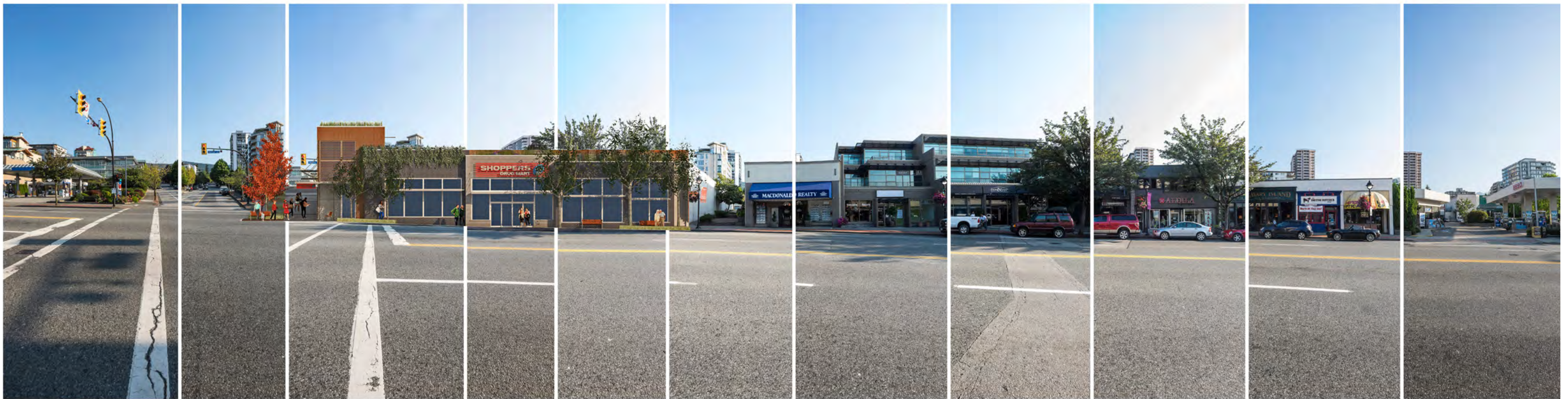
**ROOFTOP PARKING**  
BIRD'S EYE VIEW



**ENTRANCE TO STAIR  
FROM ROOFTOP PARKING**



**EXISTING MARINE DRIVE STREETSCAPE**



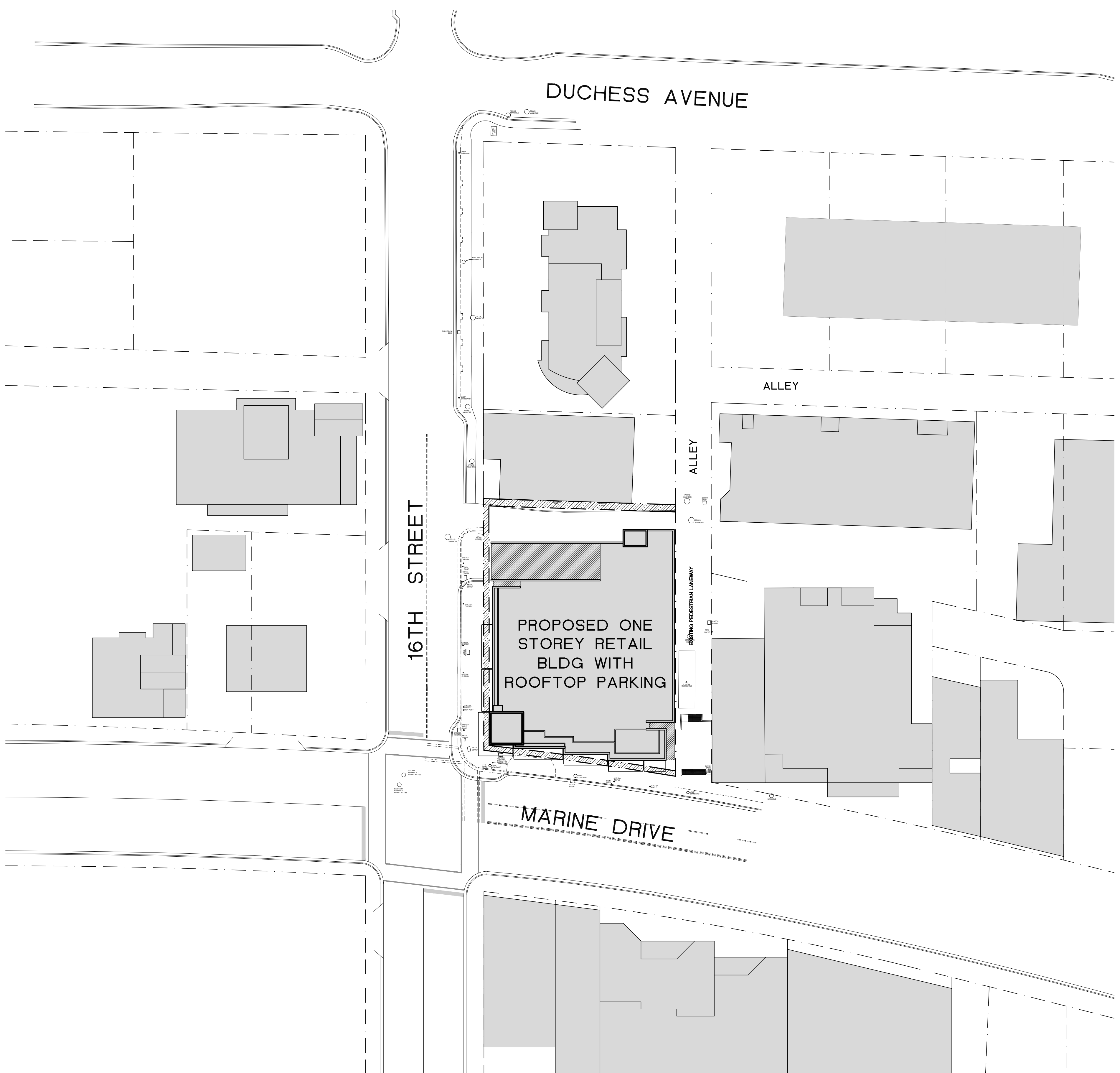
**PROPOSED MARINE DRIVE STREETSCAPE**



**EXISTING MARINE DRIVE ELEVATION  
FROM ACROSS THE STREET**



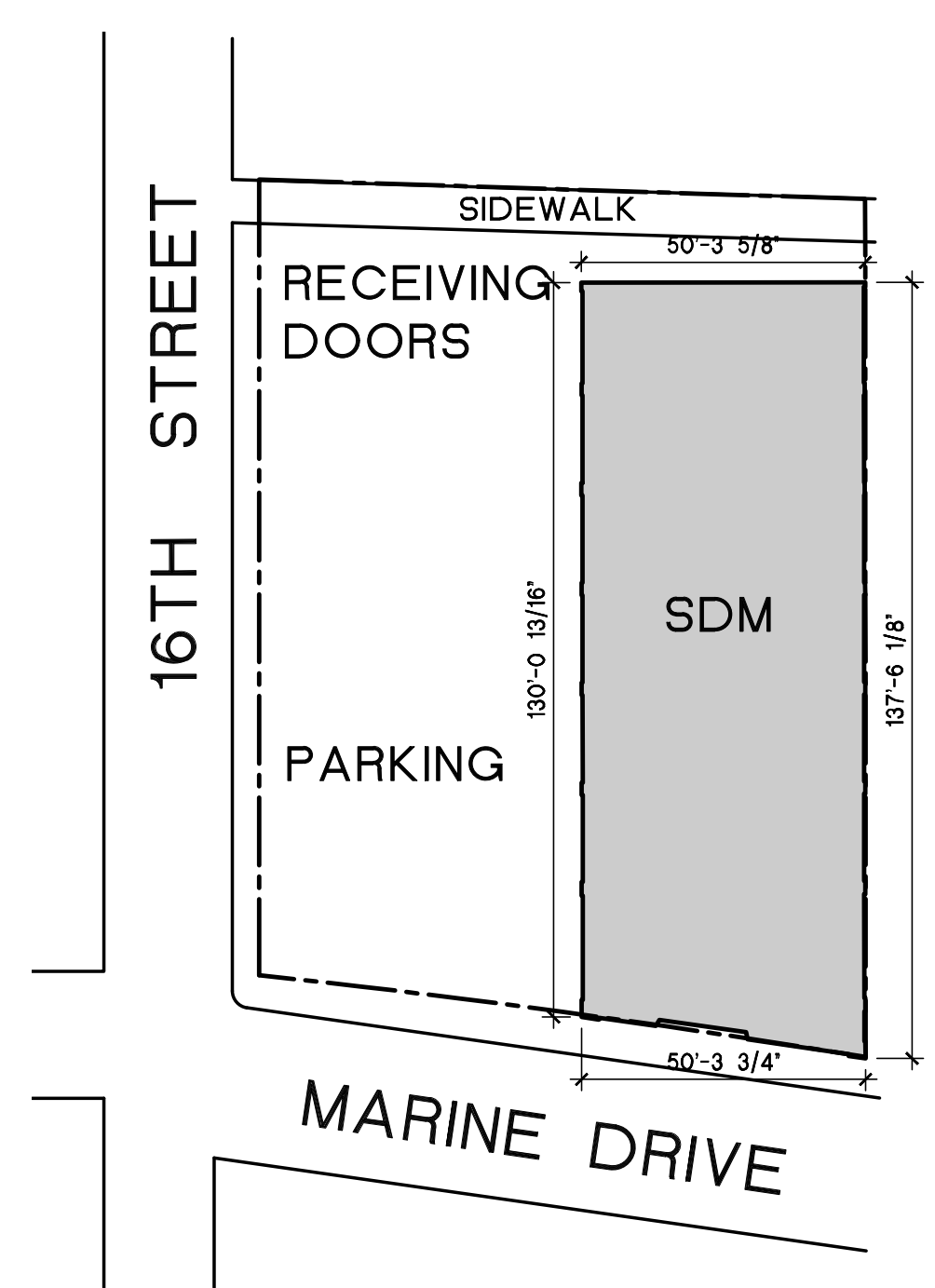
**PROPOSED MARINE DRIVE ELEVATION  
FROM ACROSS THE STREET**



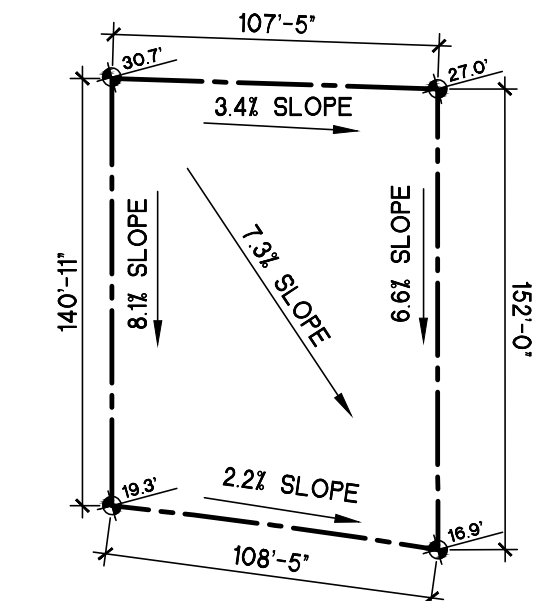
**1**  
A0.1 **CONTEXT PLAN**  
SCALE: 1/32" = 1'-0"

**LIST OF DRAWINGS:**

|                       |      |                                   |                   |    |                             |
|-----------------------|------|-----------------------------------|-------------------|----|-----------------------------|
| <b>ARCHITECTURAL:</b> | A10  | CONTEXT PLAN + ZONING INFORMATION | <b>LANDSCAPE:</b> | L1 | LANDSCAPE PLAN GROUND FLOOR |
|                       | A11  | SITE PLAN                         |                   | L2 | LANDSCAPE PLAN 2ND FLOOR    |
|                       | A12  | SITE DETAILS & SECTIONS           |                   | L3 | DETAILS                     |
|                       | A2.0 | FLOOR PLAN                        |                   | L4 | LANDSCAPE SPECIFICATIONS    |
|                       | A2.1 | ROOF PLAN                         |                   |    |                             |
|                       | A3.0 | ELEVATIONS (SOUTH + NORTH)        |                   |    |                             |
|                       | A3.1 | ELEVATIONS (WEST + EAST)          |                   |    |                             |
|                       | A4.0 | SECTIONS                          |                   |    |                             |
|                       | A4.1 | SECTIONS                          |                   |    |                             |
|                       | A8.0 | DETAILS                           |                   |    |                             |
|                       | A8.1 | DETAILS                           |                   |    |                             |
|                       | A8.2 | DETAILS                           |                   |    |                             |



**2**  
A0.1 **EXISTING BUILDING KEY PLAN**  
SCALE: N.T.S.



**3**  
A0.1 **EXISTING SITE SLOPES**  
SCALE: N.T.S.

**CIVIC ADDRESS**  
1538 MARINE DRIVE  
WEST VANCOUVER, BC  
V7V 1H9

**LEGAL DESCRIPTION**  
LOT 10 AND 11  
BLOCK 1, DISTRICT LOT 237, PLAN 4133  
ZONE: AC-1

**ZONING INFORMATION**  
ZONE: AC1-AMBLESIDE CENTRE ZONE 1

**PERMITTED USES:** RETAIL USE

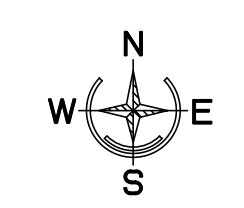
**CONDITIONS OF USE:**  
a) N/A; SECOND STOREY IS STAIR LEADING FROM ROOFTOP PARKING TO GROUND FLOOR RETAIL AREA.  
b) THERE IS NO INCREASE IN FINANCIAL INSTITUTION OR REAL ESTATE OFFICE FOR THIS PROJECT.

**DENSITY:**  
FAR 0.75 (11,722/15,685)  
LOT AREA 15,685 SF (1,457 SM)  
BUILDING FOOTPRINT 12,079 SF (1,122 SM)  
BUILDING AREAS EXCLUDING MECH/ELEC/MACH: 695.9 SF (64.6 SM)  
MAIN FLOOR 11,383 SF (1,058 SM)  
SECOND FLOOR STAIR 339 SF (31 SM)  
GROSS FLOOR AREA 11,722 SF (1,089 SM)

**BUILDING HEIGHT:**  
2 STOREYS 30'-0"

**YARDS:**  
FRONT YARD: 3 FEET  
REAR YARD: 4 FEET  
SIDE YARD: NO SIDE YARD

**PARKING:**  
STANDARD STALLS 17  
HANDICAPPED STALLS 02  
SMALL CAR STALLS 09  
STAFF PARKING 03  
MOTORCYCLE STALLS 01  
TOTAL PARKING STALLS 31  
31 STALLS X 400 SF = 12,400 SF



**EXISTING BUILDING INFORMATION**

|                    |                     |
|--------------------|---------------------|
| EXISTING DENSITY:  |                     |
| FAR                | 0.50 (7,898/15,685) |
| LOT AREA           | 15,685 SF           |
| BUILDING FOOTPRINT | 6,914 SF            |
| BUILDING AREA      |                     |
| MAIN FLOOR         | 6,914 SF (642 SM)   |
| SECOND FLOOR STAIR | 984 SF (91 SM)      |
| GROSS FLOOR AREA   | 7,898 SF (734 SM)   |

**EXISTING PARKING:**

|                        |    |
|------------------------|----|
| STANDARD STALLS        | 20 |
| HANDICAPPED STALLS     | 01 |
| TOTAL EXISTING PARKING | 21 |

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**REVISIONS:**

| rev. | date      | description                                    |
|------|-----------|--|
| 1.   | SEP 18/13 | STARTED DRAWINGS                               |
| 2.   | JAN 17/14 | SUBMITTED FOR DP                               |
| 3.   | APR 24/14 | DISTRIBUTED TO CONSULTANTS FOR REVIEW          |
| 4.   | JUN 12/14 | SUBMITTED FOR DRC                              |
| 5.   | JUL 07/14 | RESUBMIT TO DRC                                |
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| 13.  | MAY 03/18 | ISSUED FOR 90% TENDER                          |
| 14.  | JUNE/18   | RE-ISSUED FOR DP                               |

**SEAL:**

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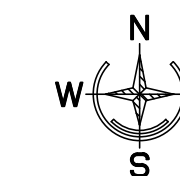
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VANCOUVER, B.C. V6M 2E9  
Tel. (778) 229-4551

**SHOPPERS DRUG MART**  
DESIGN & CONSTRUCTION

**PROJECT:**  
1583 MARINE DR.  
WEST VANCOUVER, B.C.

**SHEET TITLE:**  
CONTEXT PLAN

|             |             |
|-------------|-------------|
| CHECKED BY: | ATA         |
| DRAWN BY:   | AMT AND CL  |
| START DATE: | SEP 18, 13  |
| SCALE:      | AS NOTED    |
| PROJECT NO. | DRAWING NO. |
| 12-2280     | A1.0        |



NOTES:

•OFFSITE SIDEWALKS:  
-REFER TO CIVIL FOR DETAIL  
-REFER TO LANDSCAPE FOR FINISH

•OFFSITE TREES:  
-REFER TO LANDSCAPE

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| 13.  | MAY 03/18 | ISSUED FOR 90% TENDER                          |
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SEAL:

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Tel.(778) 229 - 4551



**SHOPPERS DRUG MART**  
DESIGN & CONSTRUCTION

PROJECT:

1583 MARINE DR.  
WEST VANCOUVER, B.C.

SHEET TITLE:

**SITE PLAN**

CHECKED BY: ATA

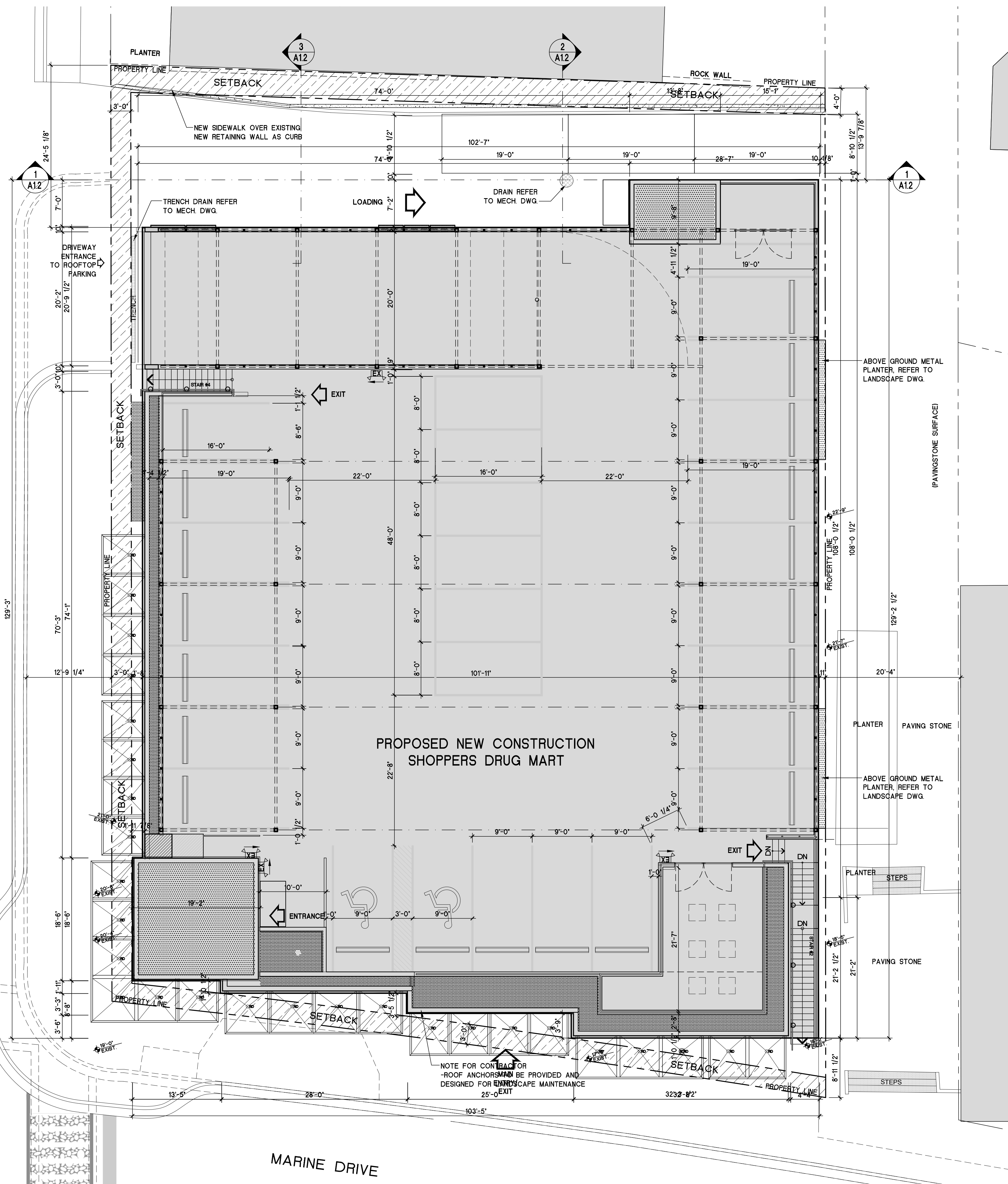
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START DATE: SEP 18, 13

SCALE: AS NOTED

PROJECT NO. DRAWING NO.

12-2280 A1.1



16TH STREET

MARINE DRIVE

PROPOSED NEW CONSTRUCTION  
SHOPPERS DRUG MART

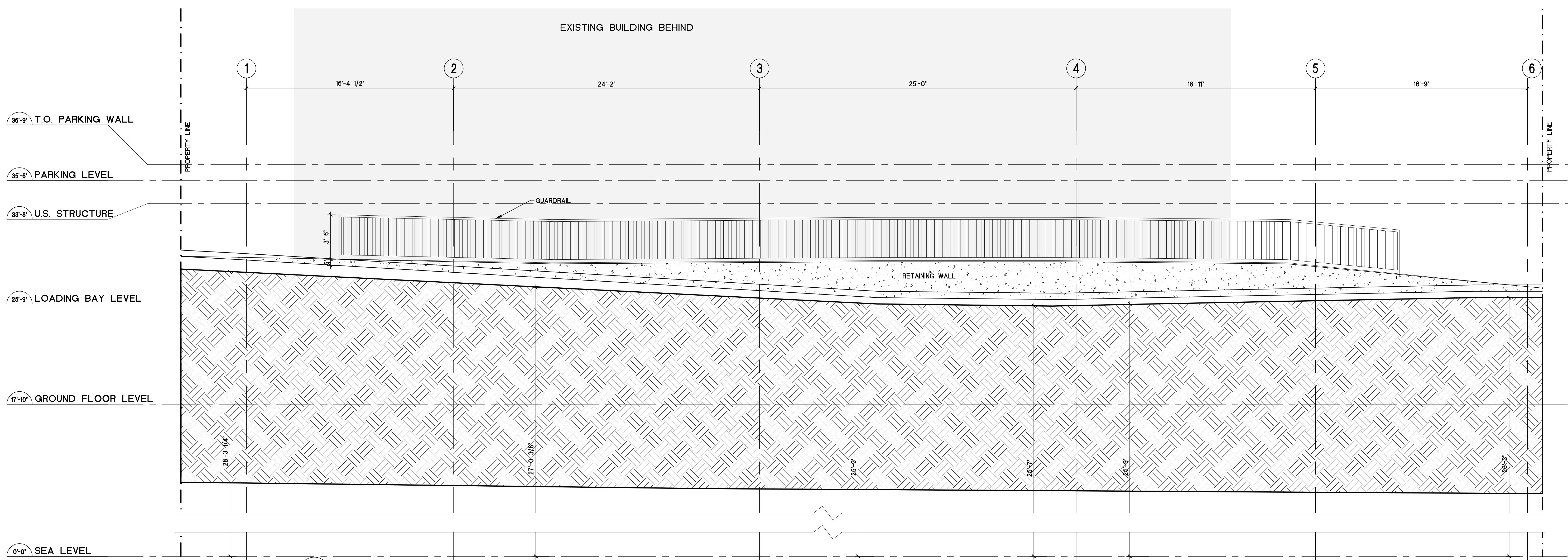
NOTE FOR CONTRACTOR  
-ROOF ANCHORS SHALL BE PROVIDED AND  
DESIGNED FOR ENTRY/SCAPE MAINTENANCE  
25'-0" EXIT

1 SITE PLAN  
A1.1 SCALE: 1/8" = 1'-0"

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**1**  
A12 SITE SECTION DETAIL  
SCALE: 1/4" = 1'-0"

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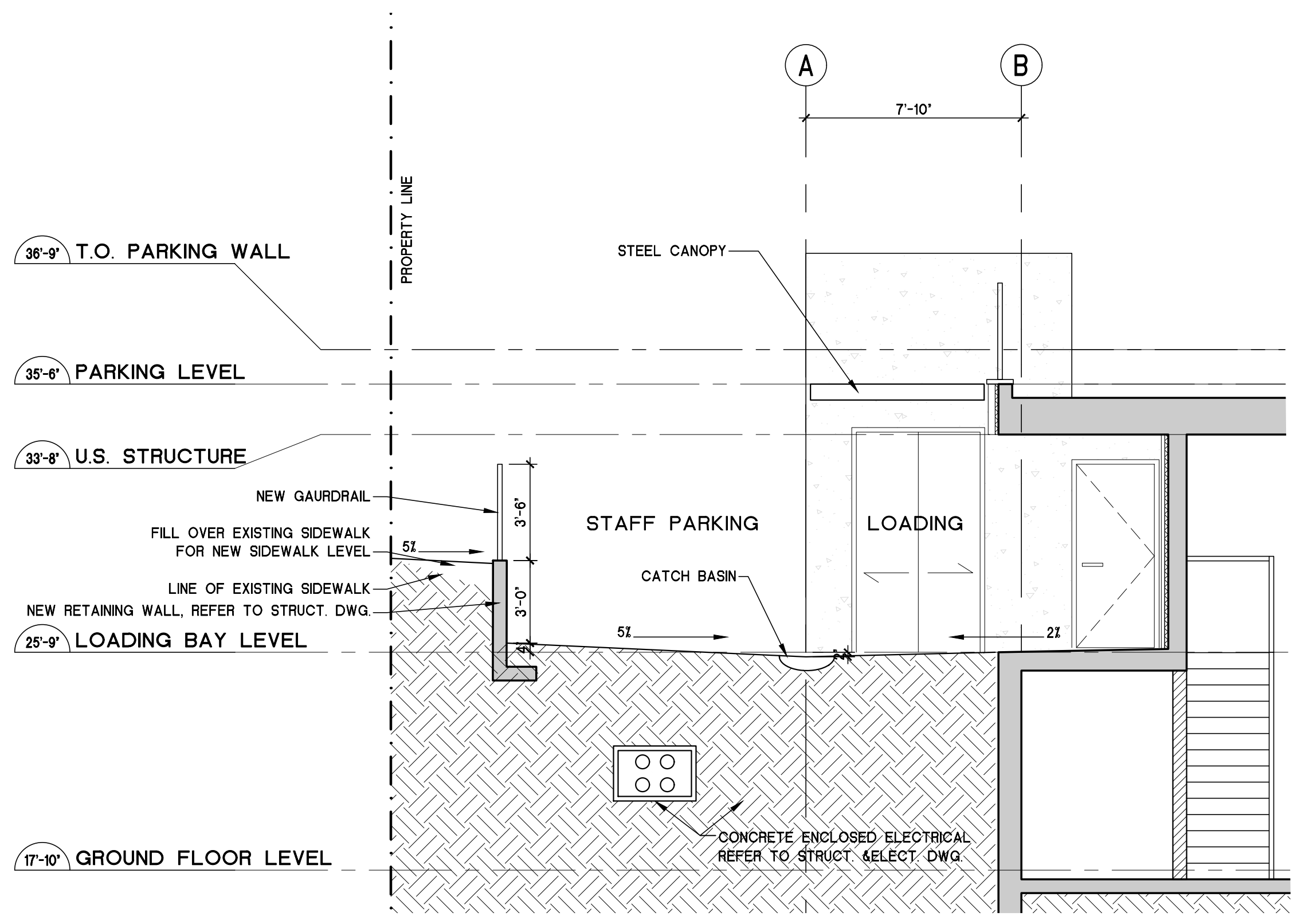
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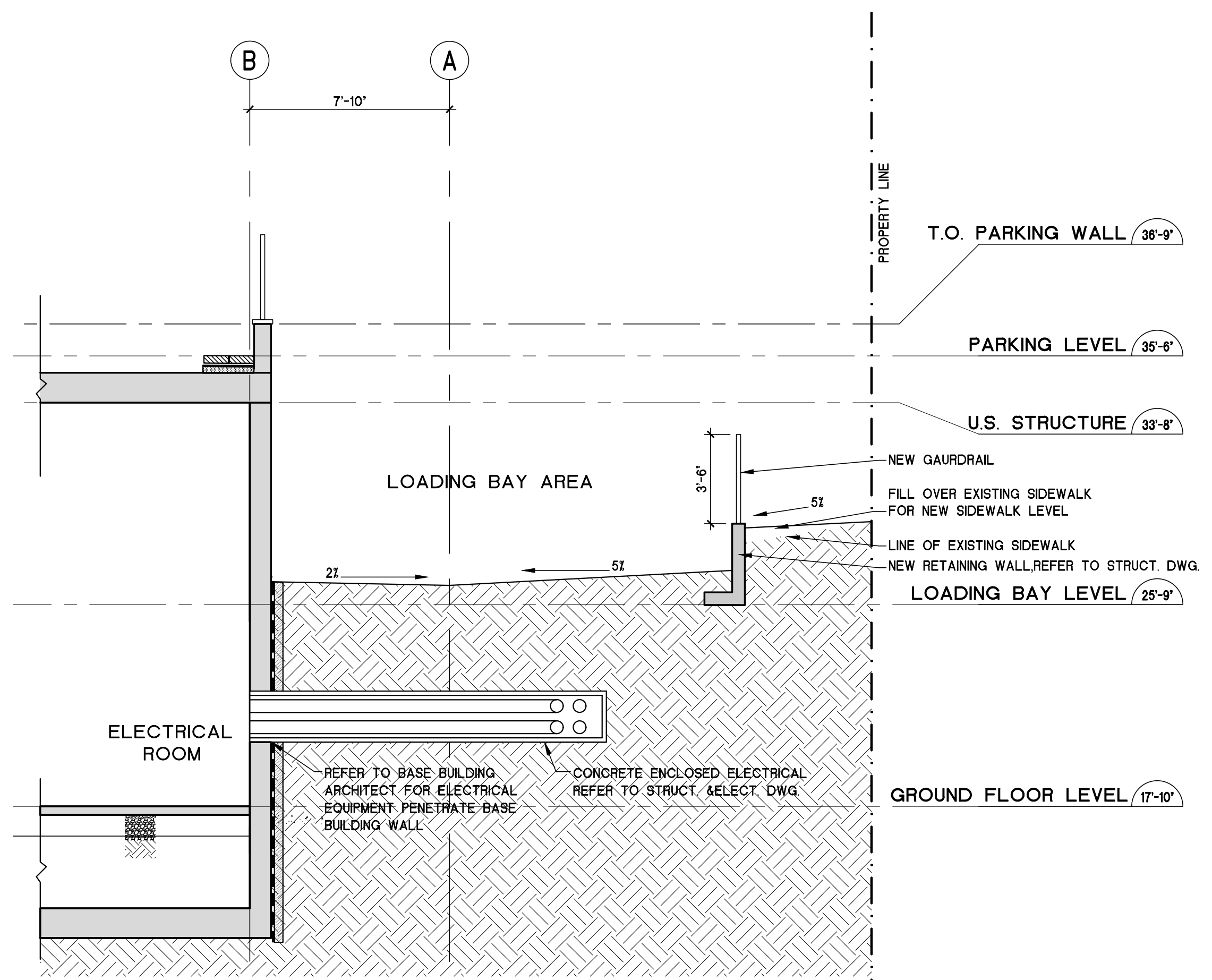
SHEET TITLE:  
**SITE DETAIL  
NORTH SIDEWALK**

CHECKED BY: ATA  
DRAWN BY: AMT AND CL  
START DATE: SEP 18, 13  
SCALE: AS NOTED

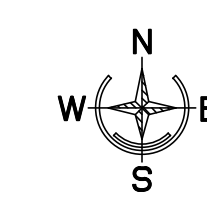
PROJECT NO. 12-2280  
DRAWING NO. A1.2



**2**  
A12 SITE SECTION DETAIL  
SCALE: 1/4" = 1'-0"



**3**  
A12 SITE SECTION DETAIL  
SCALE: 1/4" = 1'-0"



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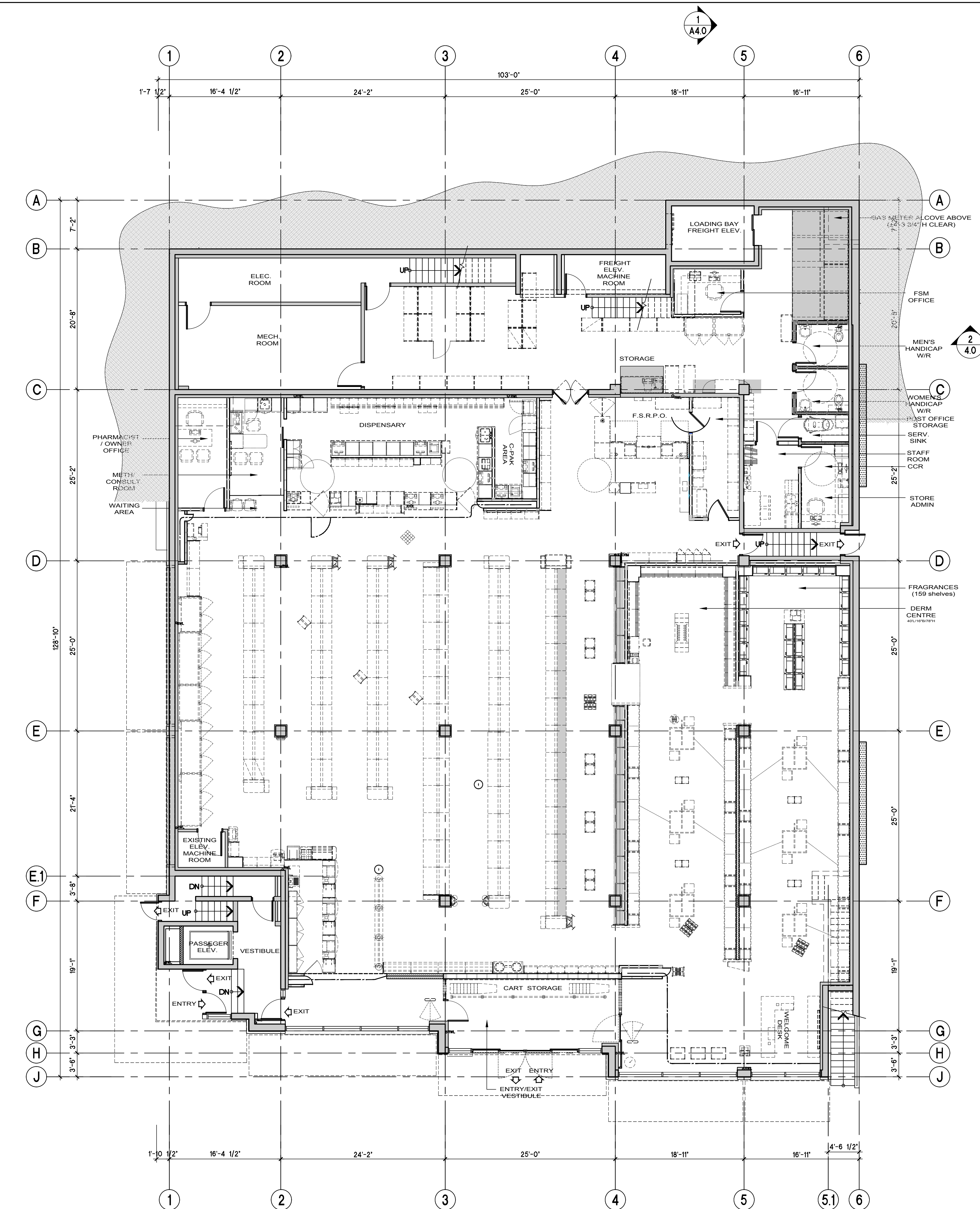
3189 GRANDVIEW HWY.,  
VANCOUVER, B.C., V5M 2E9  
Tel. (778) 229-4551



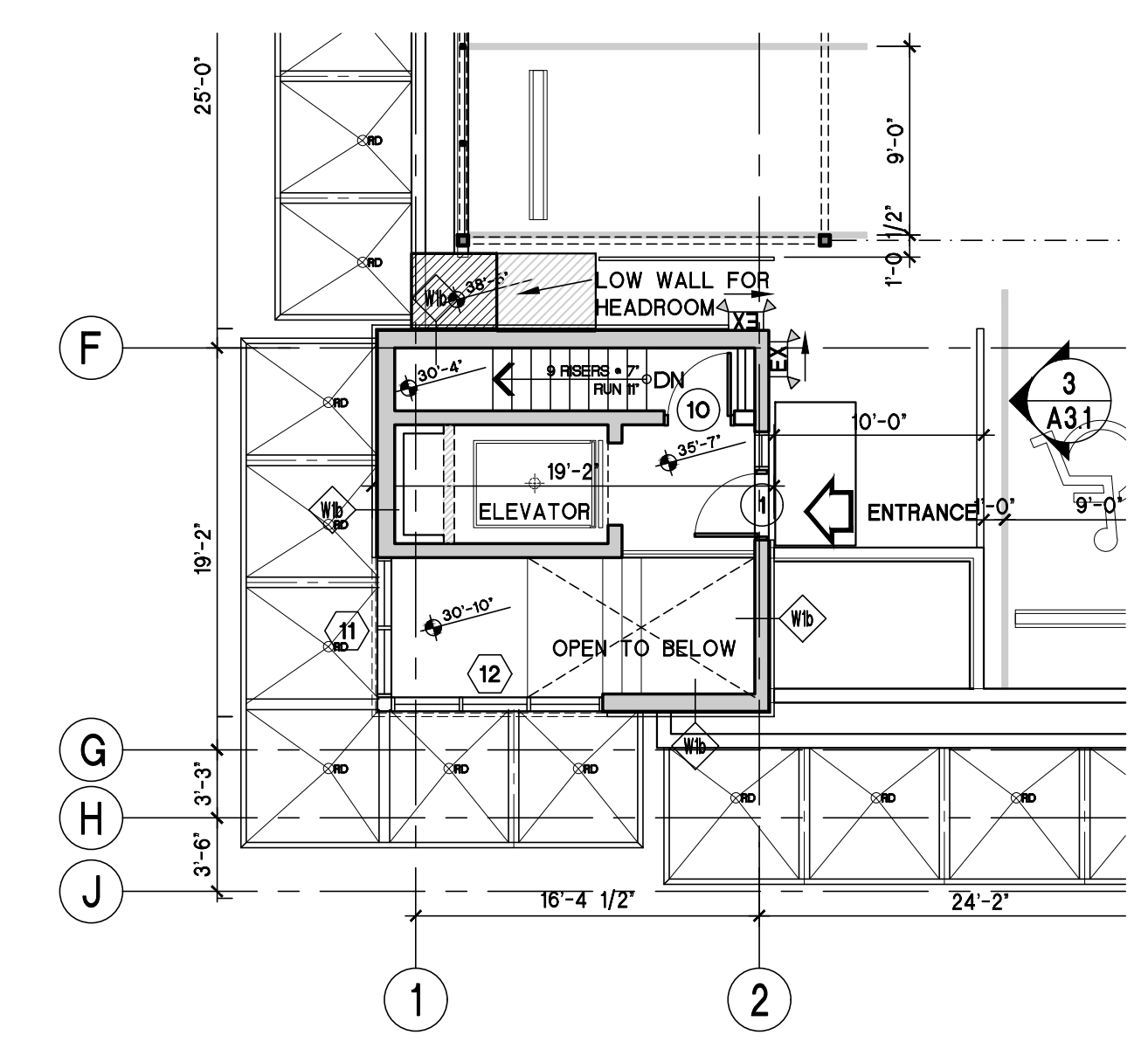
PROJECT:  
**1583 MARINE DR.  
WEST VANCOUVER, B.C.**

SHEET TITLE:  
**GROUND FLOOR PLAN**

|             |             |
|-------------|-------------|
| CHECKED BY: | ATA         |
| DRAWN BY:   | AMT AND CL  |
| START DATE: | SEP 18, 13  |
| SCALE:      | AS NOTED    |
| PROJECT NO. | DRAWING NO. |
| 12-2280     | A2.0        |



1 GROUND FLOOR PLAN  
A2.0 SCALE: 1/8" = 1'-0"



2 ROOF ENTRY FLOOR PLAN  
A2.0 SCALE: 1/8" = 1'-0"

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REVISIONS:

| rev. | date      | description                                    |
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| 5.   | JUL 07/14 | RESUBMIT TO DRC                                |
| 6.   | AUG 15/14 | SUBMIT TO COUNCIL                              |
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| 9.   | NOV 02/16 | ISSUED FOR BP                                  |
| 10.  | OCT 27/17 | RE-ISSUED FOR BP                               |
| 11.  | NOV 15/17 | ISSUED FOR METRO VANCOUVER APPROVAL            |
| 12.  | APR 03/18 | ISSUED FOR CO-ORDINATION TENDER TO CONSULTANTS |
| 13.  | MAY 03/18 | ISSUED FOR 90% TENDER                          |
| 14.  | JUNE/18   | RE-ISSUED FOR DP                               |

SEAL:

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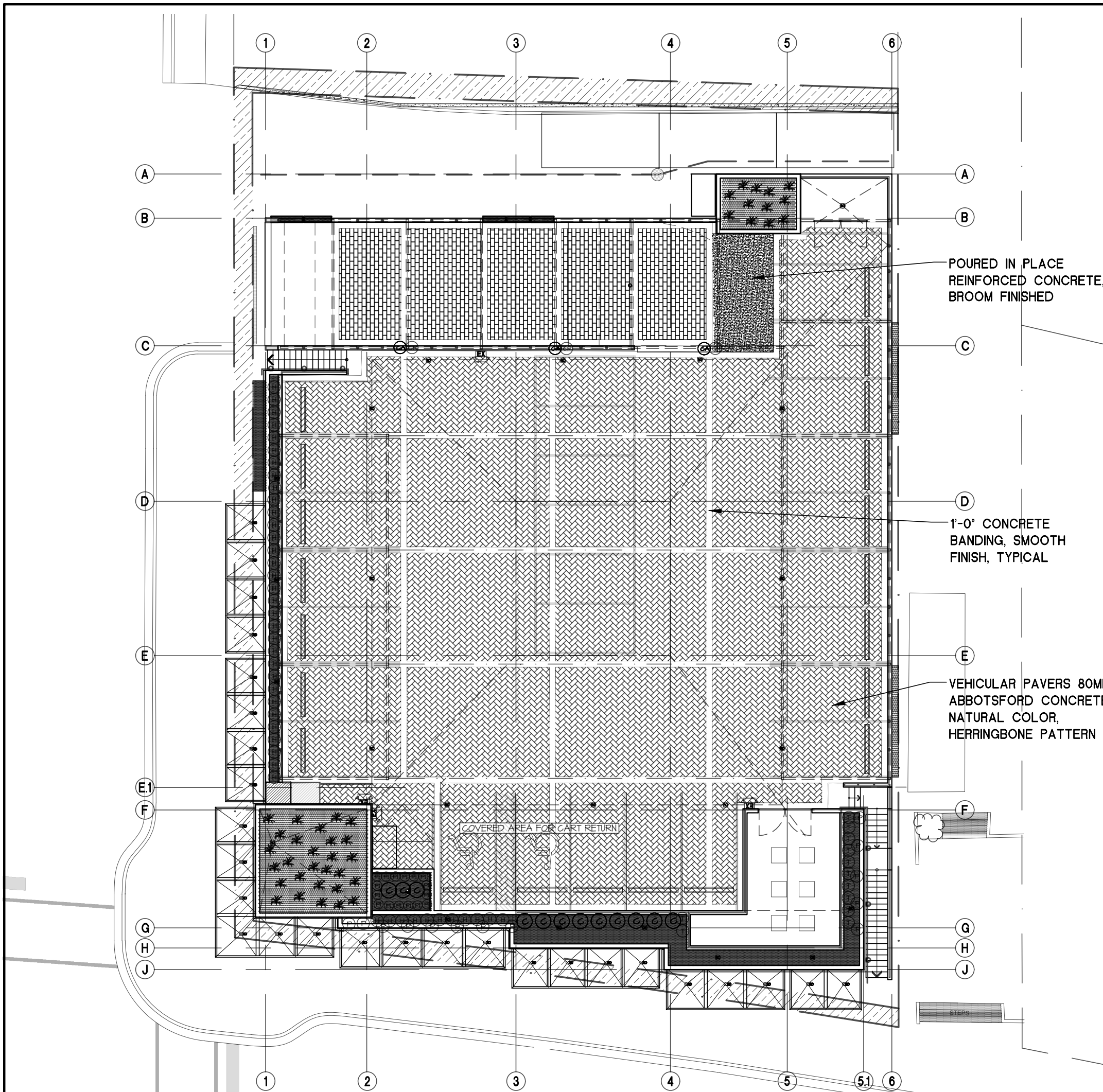


PROJECT:  
**1583 MARINE DR.  
WEST VANCOUVER, B.C.**

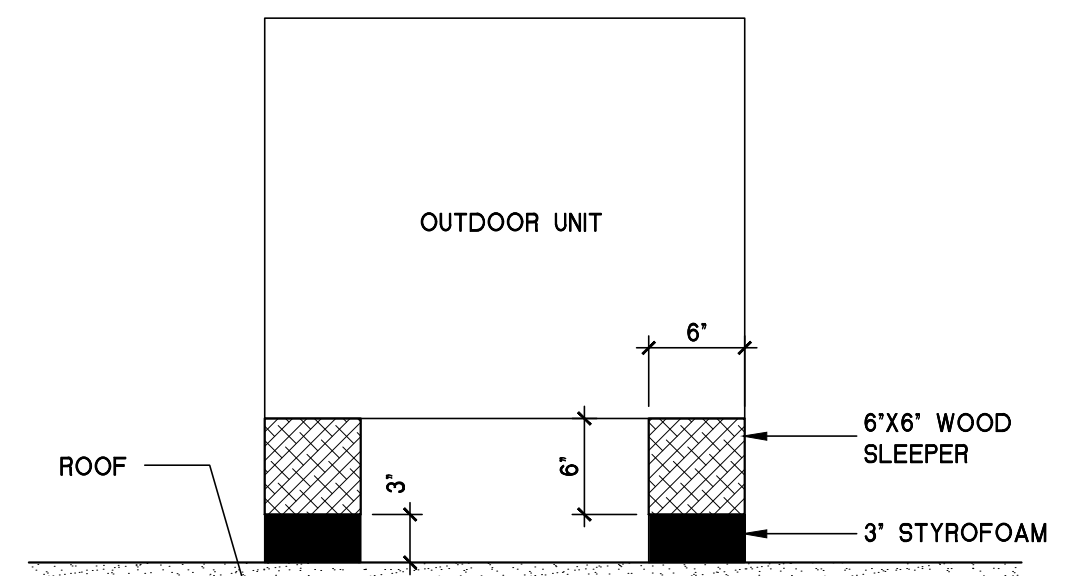
SHEET TITLE:  
**ROOF PLAN**

CHECKED BY: ATA  
DRAWN BY: AMT AND CL  
START DATE: SEP 18, 13  
SCALE: AS NOTED

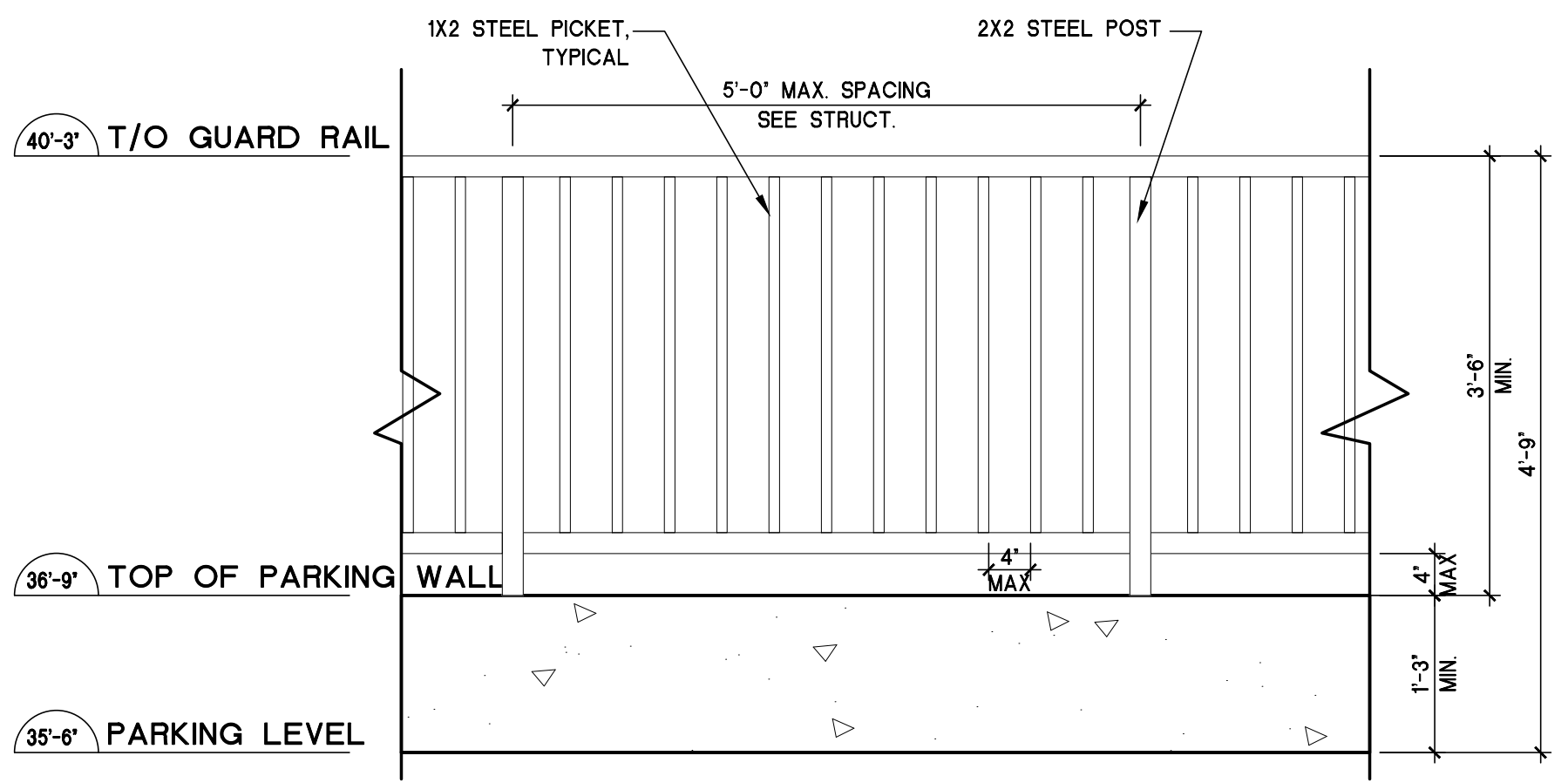
PROJECT NO. 12-2280  
DRAWING NO. A2.1



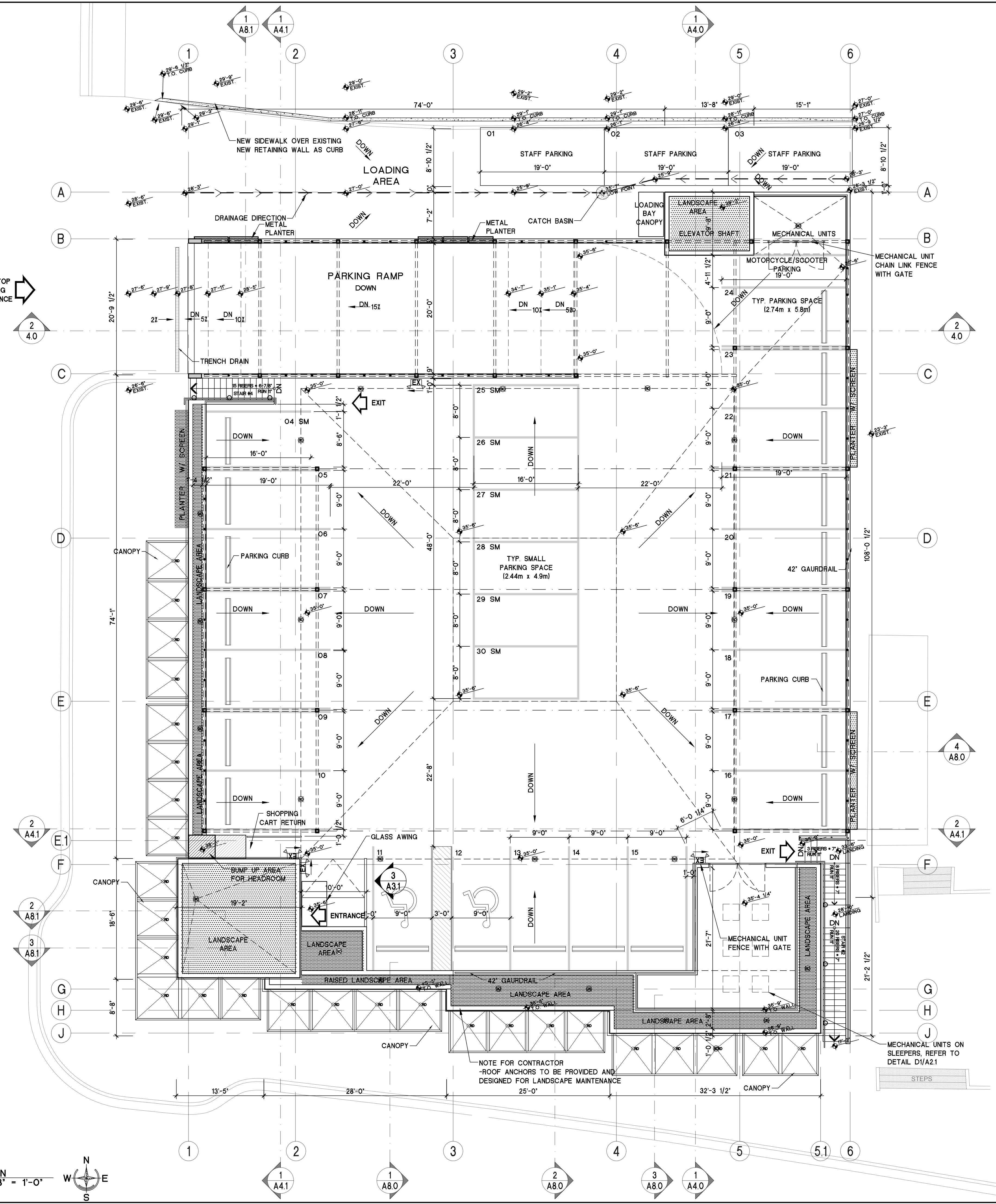
**2** ROOF PAVER PLAN-REFER TO LANDSCAPE DRAWING  
SCALE: 1/16" = 1'-0"



**D1** REFRIGERATION SLEEPER - FOR NON-SIESMIC ZONES  
SCALE: 1"=1'-0"



**D2** TYPICAL GUARD RAIL DETAIL  
SCALE: 3/4"=1'-0"



**1** ROOF PLAN  
SCALE: 1/8" = 1'-0"

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| 13.  | MAY 03/18 | ISSUED FOR 90% TENDER                          |
| 14.  | JUNE/18   | RE-ISSUED FOR DP                               |

SEAL:

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PROJECT:  
**1583 MARINE DR.  
WEST VANCOUVER, B.C.**

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

CHECKED BY: ATA  
DRAWN BY: AMT AND CL  
START DATE: SEP 18, 13  
SCALE: AS NOTED

PROJECT NO. 12-2280  
DRAWING NO. A3.0

MATERIAL LEGEND

(XX) INDICATES MATERIAL SYMBOL

DIVISION 2 SITE WORK  
21 CONCRETE FINISH

DIVISION 4 MASONRY  
41 COAL CREEK BRICK  
42 PORCELAIN TILE SLATE

DIVISION 5 METALS  
51 METAL GUARD RAIL W/ STAINLESS STEEL 15' MESH BACKING - FINISH TBD  
52 METAL WINDOW SCREEN  
53 METAL SUPPORT CABLES  
54 METAL SCREEN OVER ROOFTOP MECHANICAL  
55 METAL SUPPORT FOR PLANT GROWTH  
56 METAL PLANTER  
57 PLANTER DRAINAGE PIPE

DIVISION 6 WOOD AND PLASTICS  
61 T&G FIR SOFFIT  
62 WOOD WINDOW SCREEN

DIVISION 7 THERMAL AND MOISTURE PROTECTION  
71 ALUMINUM CAP FLASHING

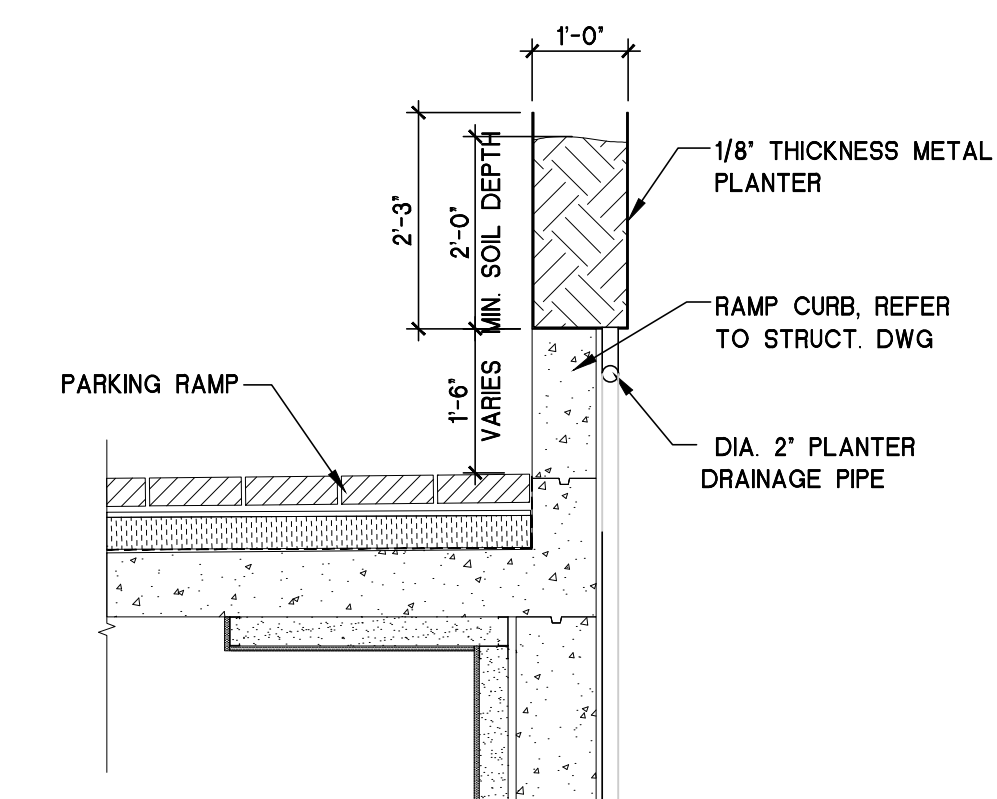
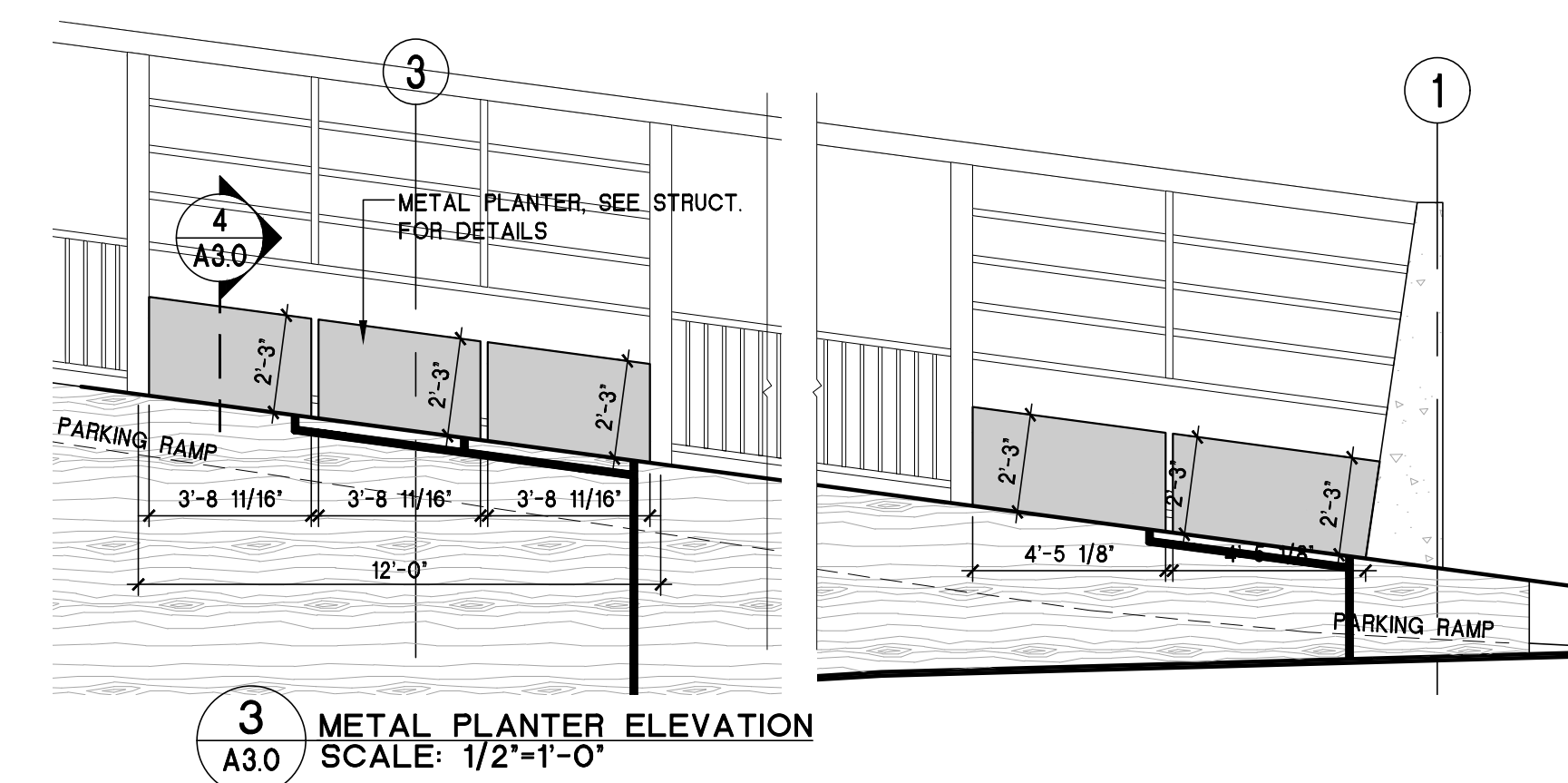
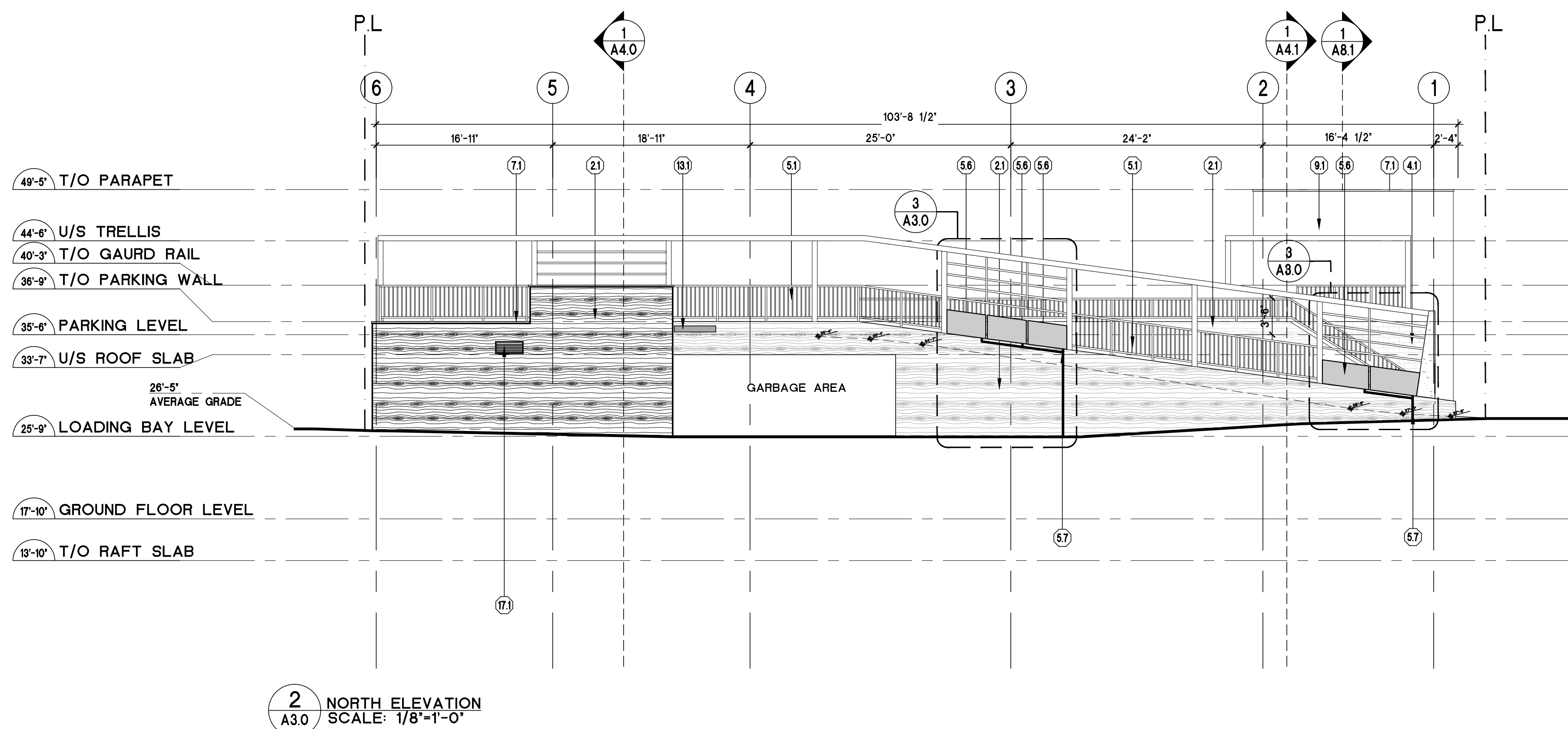
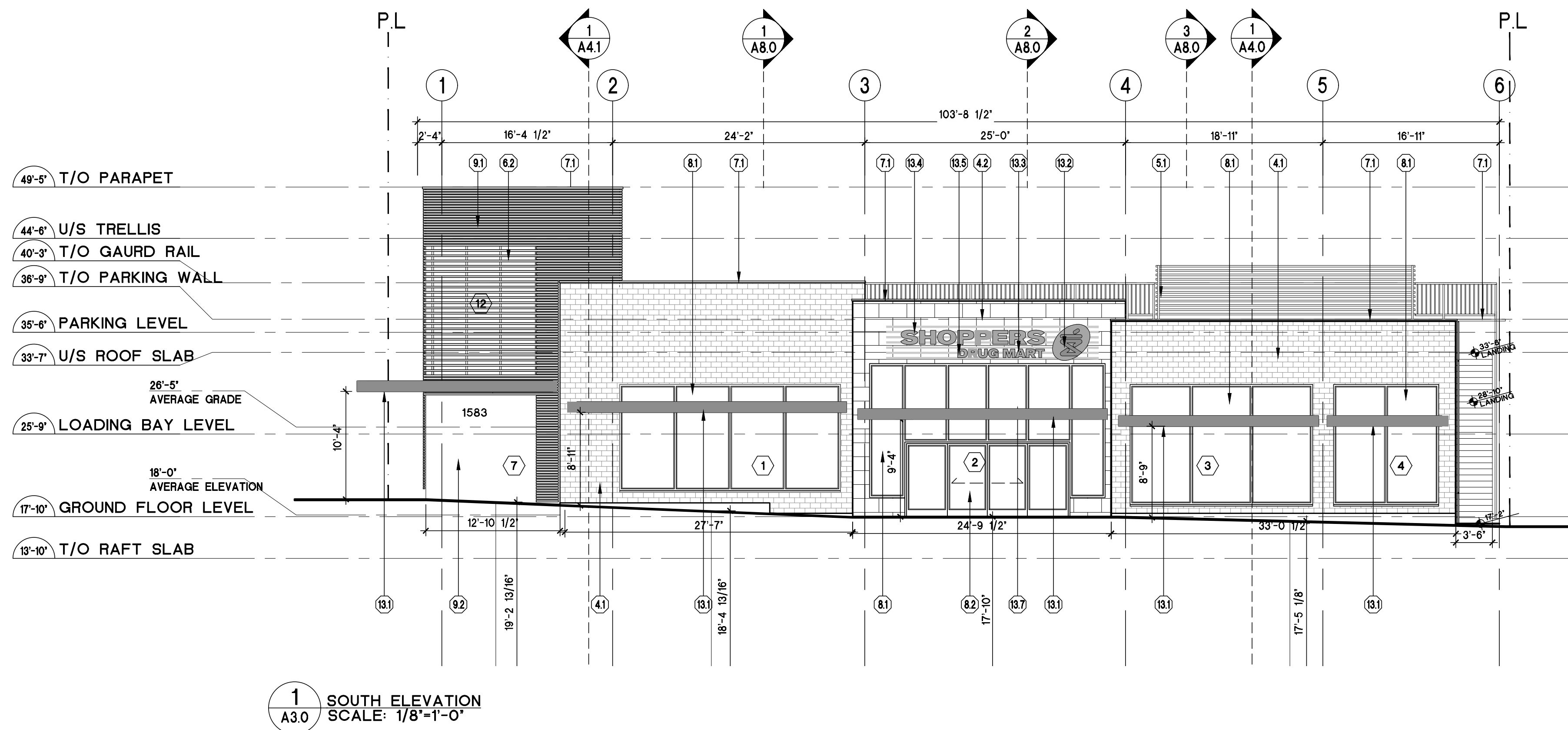
DIVISION 8 DOORS AND WINDOWS  
81 DOUBLE GLAZED WINDOW W/ ALUM. FRAME  
82 DOUBLE GLAZED SLIDING DOOR W/ ALUM. FRAME  
83 STEEL DOOR W/ STEEL FRAME  
84 4'-8"x18'-0" HORIZONTAL SLIDING DOOR W/ STEEL FRAME

DIVISION 9 FINISHES  
91 2"x2' CEDAR STRIPPING  
92 AL13 METAL PANEL - ELEPHANT GRAY

DIVISION 13 SPECIAL CONSTRUCTION  
131 STEEL CANOPY CW/ T&G SOFFIT, ALUM FLASHING TO DRAIN AND LED POT LIGHTS  
132 STYLIZED NON ILLUM. SIGN BOX W/ BLUE FACING & RETURNS W/ WHITE GRAPHICS (SUPPLIED & INSTALLED BY TENANT)  
133 GOOSE NECK LIGHTS FOR SIGN ILLUMINATION  
134 16" H NON ILLUM. INDIV. LETTERS (S) W/ WHITE FACES & RED RETURNS IN CUSTOMIZED FONT MOUNTED ON DECORATIVE BLDG. FEATURE (SUPPLIED & INSTALLED BY TENANT)  
135 10" H NON ILLUM. INDIV. LETTERS (D) W/ WHITE FACES & RED RETURNS IN CUSTOMIZED FONT MOUNTED ON DECORATIVE BLDG. FEATURE (SUPPLIED & INSTALLED BY TENANT)  
136 STEEL FRAME AND SIGNAGE SHOWING MAXIMUM VEHICLE HEIGHT ON ROOF PARKING  
137 LED BAR LIGHT FOR SIGN ILLUMINATION

DIVISION 16 ELECTRICAL & LIGHTING  
161 EXIT SIGN (SEE ELECT. DWG.)  
162 WALL MOUNTED LIGHTING FIXTURE (SEE ELECT. DWG.)

DIVISION 17 MECHANICAL  
17.1 30"x12" LOUVER, REFER TO MECH DWG.  
17.2 24"x12" LOUVER, REFER TO MECH DWG.  
17.3 36"x24" LOUVER, REFER TO MECH DWG.  
17.4 34"x10" LOUVER, REFER TO MECH DWG.  
17.5 36"x12" LOUVER, REFER TO MECH DWG.



4 PLANTER SECTION  
SCALE: 1/2"=1'-0"

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**MATERIAL LEGEND**

(XX) INDICATES MATERIAL SYMBOL

**DIVISION 2 SITE WORK**  
2.1 CONCRETE FINISH

**DIVISION 4 MASONRY**  
4.1 COAL CREEK BRICK  
4.2 PORCELAIN TILE SLATE

**DIVISION 5 METALS**  
5.1 METAL GUARD RAIL W/ STAINLESS STEEL 15' MESH BACKING - FINISH TBD  
5.2 METAL WINDOW SCREEN  
5.3 METAL SUPPORT CABLES  
5.4 METAL SCREEN OVER ROOFTOP MECHANICAL  
5.5 METAL SUPPORT FOR PLANT GROWTH  
5.6 METAL PLANTER  
5.7 PLANTER DRAINAGE PIPE

**DIVISION 6 WOOD AND PLASTICS**  
6.1 TAG FIR SOFFIT  
6.2 WOOD WINDOW SCREEN

**DIVISION 7 THERMAL AND MOISTURE PROTECTION**  
7.1 ALUMINUM CAP FLASHING

**DIVISION 8 DOORS AND WINDOWS**  
8.1 DOUBLE GLAZED WINDOW W/ ALUM. FRAME  
8.2 DOUBLE GLAZED SLIDING DOOR W/ ALUM. FRAME  
8.3 STEEL DOOR W/ STEEL FRAME  
8.4 4'-6"x8'-0" HORIZONTAL SLIDING DOOR W/ STEEL FRAME

**DIVISION 9 FINISHES**  
9.1 2"x2' CEDAR STRIPPING  
9.2 AL13 METAL PANEL - ELEPHANT GRAY

**DIVISION 13 SPECIAL CONSTRUCTION**  
13.1 STEEL CANOPY CW/ TAG SOFFIT, ALUM. FLASHING TO DRAIN AND LED POT LIGHTS  
13.2 STYLIZED NON ILLUM. SIGN BOX W/ BLUE FACING & RETURNS W/ WHITE GRAPHICS (SUPPLIED & INSTALLED BY TENANT)  
13.3 GOOSE NECK LIGHTS FOR SIGN ILLUMINATION  
13.4 16" H NON ILLUM. INDIV. LETTERS ('S') W/ WHITE FACES & RED RETURNS IN CUSTOMIZED FONT MOUNTED ON DECORATIVE BLDG. FEATURE (SUPPLIED & INSTALLED BY TENANT)  
13.5 10" H NON ILLUM. INDIV. LETTERS ('D') W/ WHITE FACES & RED RETURNS IN CUSTOMIZED FONT MOUNTED ON DECORATIVE BLDG. FEATURE (SUPPLIED & INSTALLED BY TENANT)  
13.6 STEEL FRAME AND SIGNAGE SHOWING MAXIMUM VEHICLE HEIGHT ON ROOF PARKING  
13.7 LED BAR LIGHT FOR SIGN ILLUMINATION

**DIVISION 16 ELECTRICAL & LIGHTING**

16.1 EXIT SIGN (SEE ELECT. DWG.)  
16.2 WALL MOUNTED LIGHTING FIXTURE (SEE ELECT. DWG.)

**DIVISION 17 MECHANICAL**

17.1 30"x12" LOUVER, REFER TO MECH. DWG.  
17.2 24"x12" LOUVER, REFER TO MECH. DWG.  
17.3 36"x24" LOUVER, REFER TO MECH. DWG.  
17.4 34"x10" LOUVER, REFER TO MECH. DWG.  
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**SEAL:**

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Tel. (778) 229-4551



**PROJECT:**  
1583 MARINE DR.  
WEST VANCOUVER, B.C.

**SHEET TITLE:**  
EXTERIOR ELEVATIONS

CHECKED BY: ATA

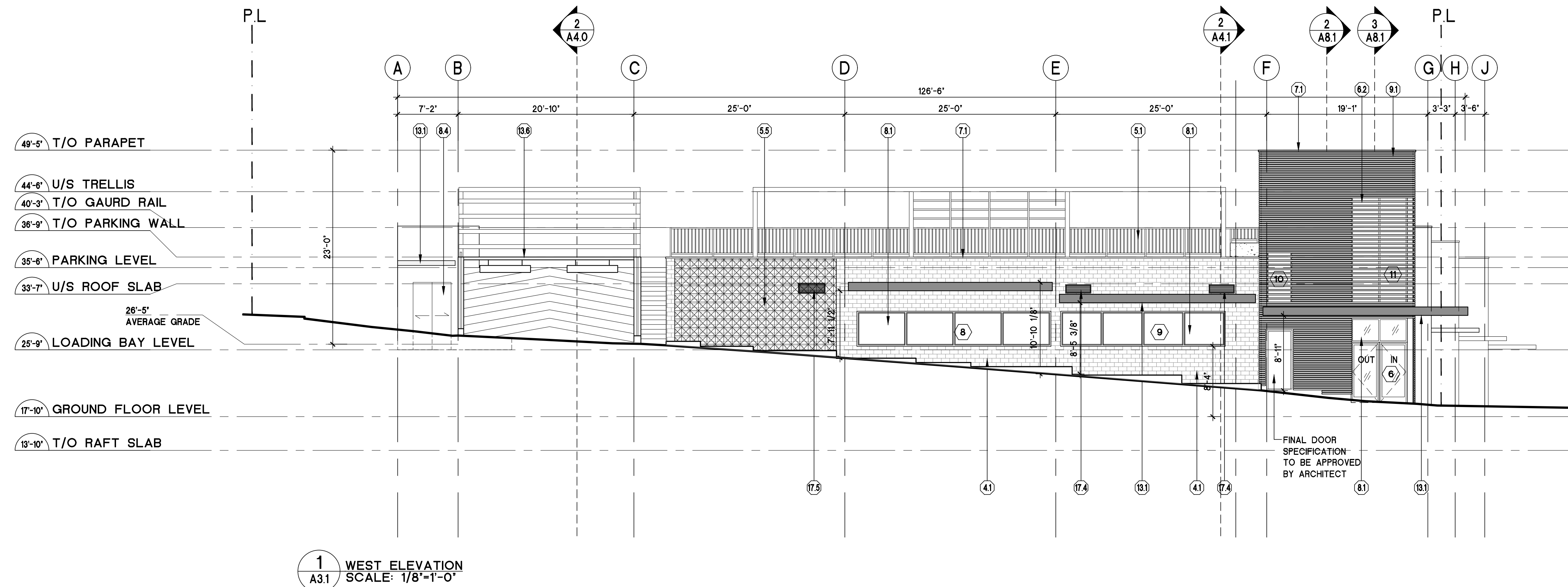
DRAWN BY: AMT AND CL

START DATE: SEP 18, 13

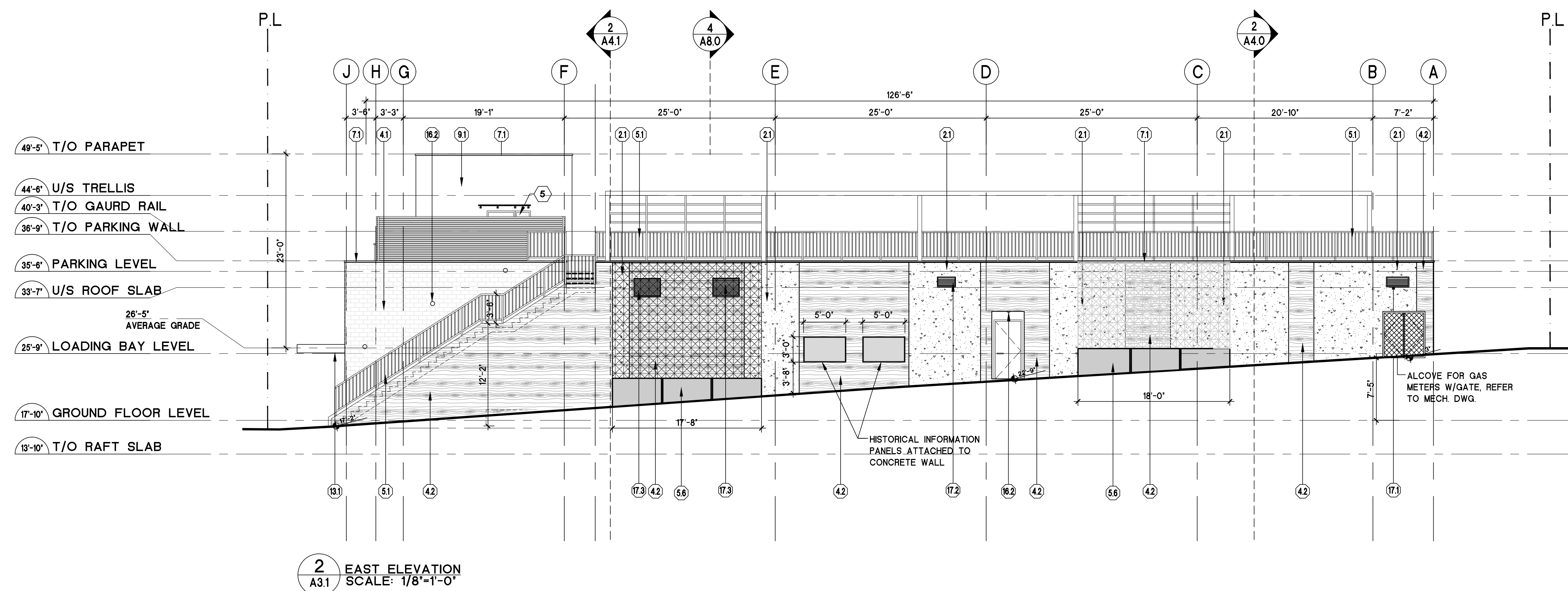
SCALE: AS NOTED

PROJECT NO. DRAWING NO.

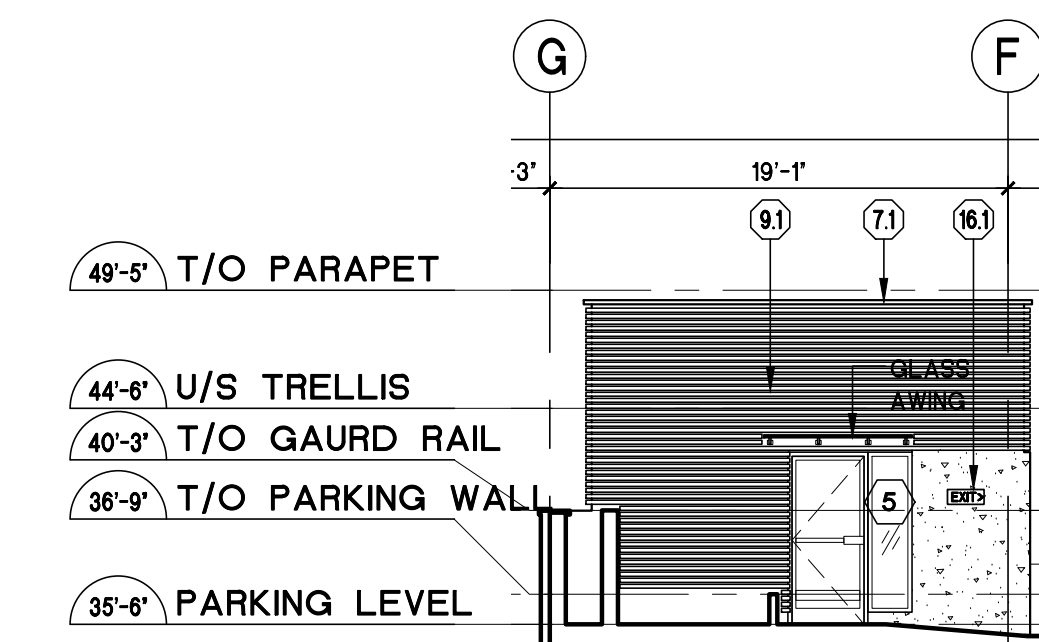
12-2280 A3.1



**1 WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**2 EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**3 PARTIAL EAST ELEVATION**  
SCALE: 1/8"=1'-0"

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PROJECT:  
**1583 MARINE DR.  
WEST VANCOUVER, B.C.**

SHEET TITLE:  
**SECTIONS**

CHECKED BY: ATA

DRAWN BY: AMT AND CL

START DATE: SEP 18, 13

SCALE: AS NOTED

PROJECT NO. DRAWING NO.

12-2280 A4.0

MATERIAL LEGEND

(XX) INDICATES MATERIAL SYMBOL

DIVISION 2 SITE WORK  
21 CONCRETE FINISH

DIVISION 4 MASONRY  
41 COAL CREEK BRICK  
42 PORCELAIN TILE SLATE

DIVISION 5 METALS  
51 METAL GUARD RAIL W/ STAINLESS STEEL 15" MESH BACKING - FINISH TBD  
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54 METAL SCREEN OVER ROOFTOP MECHANICAL  
55 METAL SUPPORT FOR PLANT GROWTH  
56 METAL PLANTER  
57 PLANTER DRAINAGE PIPE

DIVISION 6 WOOD AND PLASTICS  
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62 WOOD WINDOW SCREEN

DIVISION 7 THERMAL AND MOISTURE PROTECTION  
71 ALUMINUM CAP FLASHING

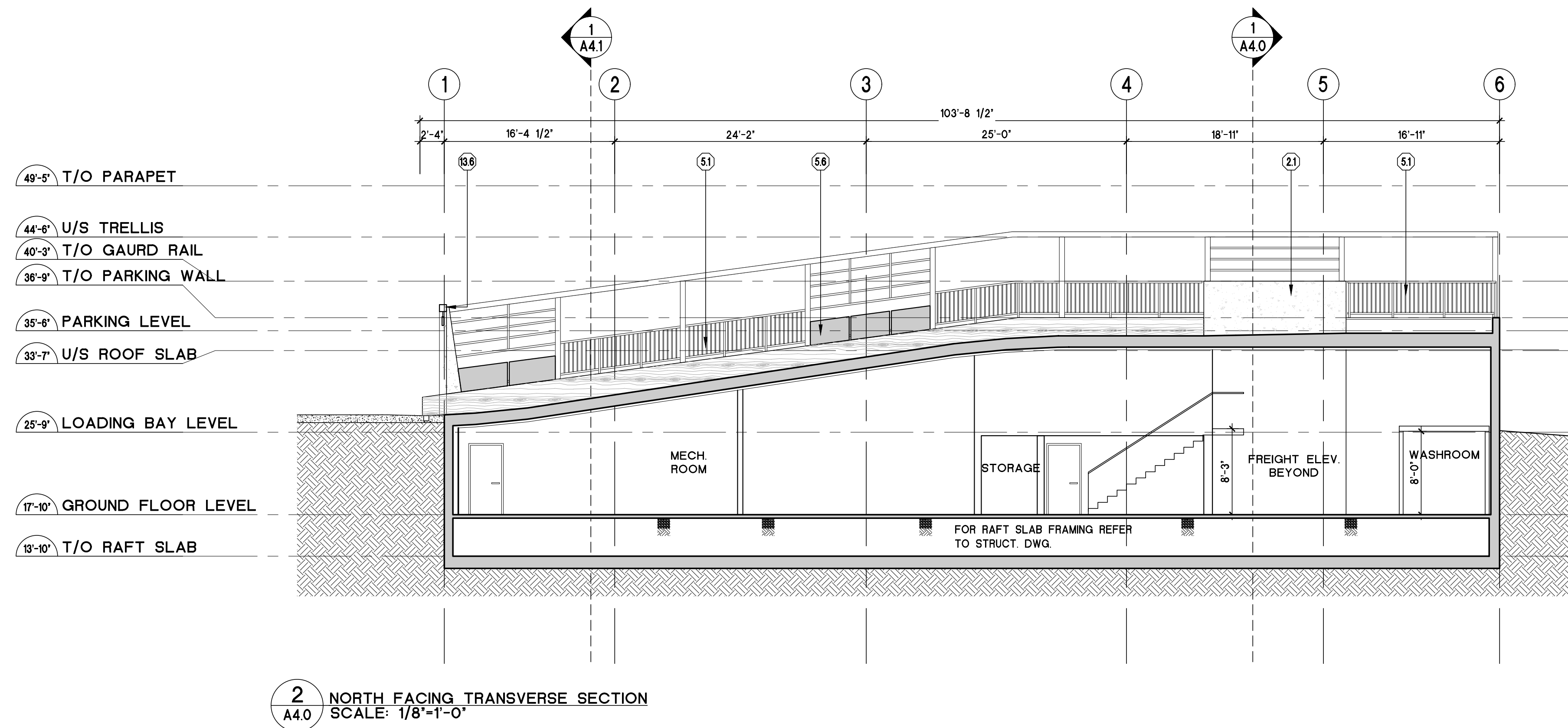
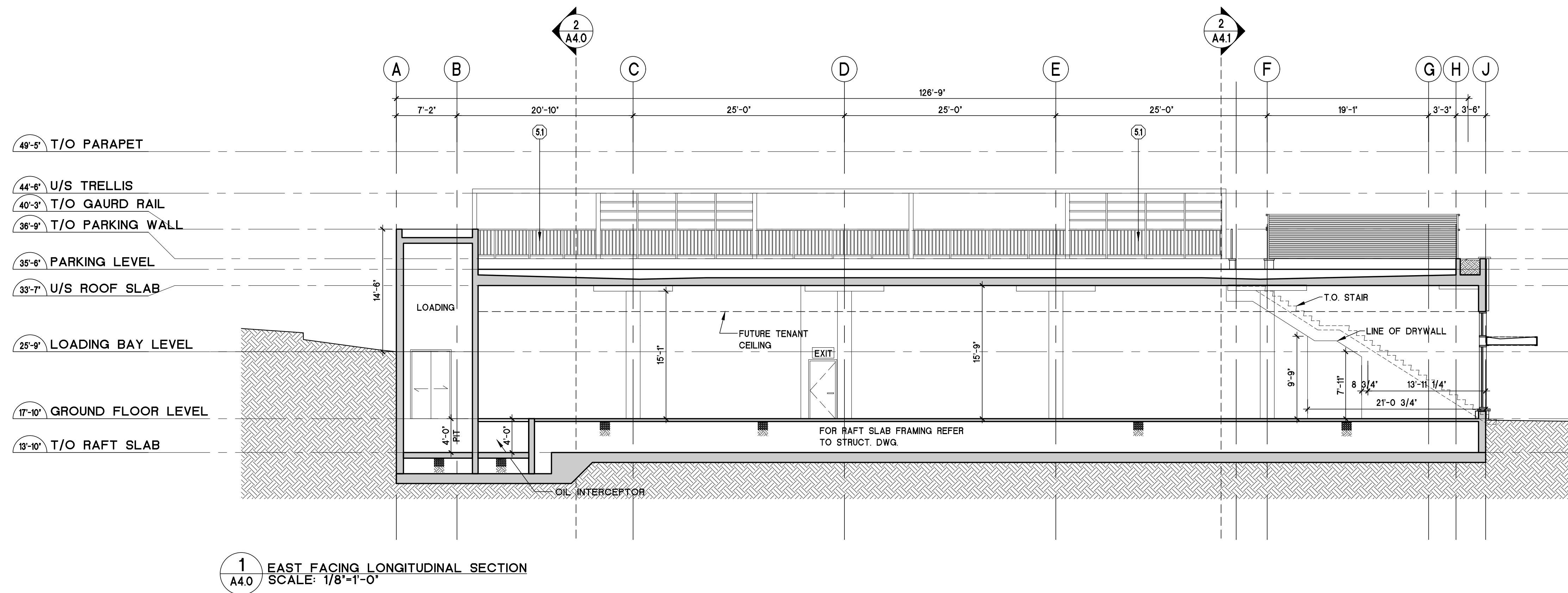
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17.1 30"x12" LOUVER, REFER TO MECH. DWG.  
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- DIVISION 2 SITE WORK**
  - 2.1 CONCRETE FINISH
- DIVISION 4 MASONRY**
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  - 4.2 PORCELAIN TILE SLATE
- DIVISION 5 METALS**
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  - 5.6 METAL PLANTER
  - 5.7 PLANTER DRAINAGE PIPE
- DIVISION 6 WOOD AND PLASTICS**
  - 6.1 T&G FIR SOFFIT
  - 6.2 WOOD WINDOW SCREEN
- DIVISION 7 THERMAL AND MOISTURE PROTECTION**
  - 7.1 ALUMINUM CAP FLASHING
- DIVISION 8 DOORS AND WINDOWS**
  - 8.1 DOUBLE GLAZED WINDOW W/ ALUM. FRAME
  - 8.2 DOUBLE GLAZED SLIDING DOOR W/ ALUM. FRAME
  - 8.3 STEEL DOOR W/ STEEL FRAME
  - 8.4 4'-6"x8'-0" HORIZONTAL SLIDING DOOR W/ STEEL FRAME
- DIVISION 9 FINISHES**
  - 9.1 2"x2" CEDAR STRIPPING
  - 9.2 AL13 METAL PANEL - ELEPHANT GRAY
- DIVISION 13 SPECIAL CONSTRUCTION**
  - 13.1 STEEL CANOPY CW/ T&G SOFFIT, ALUM. FLASHING TO DRAIN AND LED POT LIGHTS
  - 13.2 STYLIZED NON ILLUM. SIGN BOX W/ BLUE FACING & RETURNS W/ WHITE GRAPHICS (SUPPLIED & INSTALLED BY TENANT)
  - 13.3 GOOSE NECK LIGHTS FOR SIGN ILLUMINATION
  - 13.4 16" H NON ILLUM. INDIV. LETTERS (S) W/ WHITE FACES & RED RETURNS IN CUSTOMIZED FONT MOUNTED ON DECORATIVE BLDG. FEATURE (SUPPLIED & INSTALLED BY TENANT)
  - 13.5 10" H NON ILLUM. INDIV. LETTERS (D) W/ WHITE FACES & RED RETURNS IN CUSTOMIZED FONT MOUNTED ON DECORATIVE BLDG. FEATURE (SUPPLIED & INSTALLED BY TENANT)
  - 13.6 STEEL FRAME AND SIGNAGE SHOWING MAXIMUM VEHICLE HEIGHT ON ROOF PARKING
  - 13.7 LED BAR LIGHT FOR SIGN ILLUMINATION
- DIVISION 16 ELECTRICAL & LIGHTING**
  - 16.1 EXIT SIGN (SEE ELECT. DWG.)
  - 16.2 WALL MOUNTED LIGHTING FIXTURE (SEE ELECT. DWG.)
- DIVISION 17 MECHANICAL**
  - 17.1 30"x12" LOUVER, REFER TO MECH. DWG.
  - 17.2 24"x12" LOUVER, REFER TO MECH. DWG.
  - 17.3 36"x24" LOUVER, REFER TO MECH. DWG.
  - 17.4 34"x10" LOUVER, REFER TO MECH. DWG.
  - 17.5 36"x12" LOUVER, REFER TO MECH. DWG.

**REVISIONS:**

| rev. | date      | description                                    |
|------|-----------|--|
| 1.   | SEP 18/13 | STARTED DRAWINGS                               |
| 2.   | JAN 17/14 | SUBMITTED FOR DP                               |
| 3.   | APR 24/14 | DISTRIBUTED TO CONSULTANTS FOR REVIEW          |
| 4.   | JUN 12/14 | SUBMITTED FOR DRC                              |
| 5.   | JUL 07/14 | RESUBMIT TO DRC                                |
| 6.   | AUG 15/14 | SUBMIT TO COUNCIL                              |
| 7.   | JUN 09/16 | INITIAL BP SET ISSUED TO CONSULTANTS           |
| 8.   | JUL 25/16 | SECOND BP SET ISSUED TO CONSULTANTS            |
| 9.   | NOV 02/16 | ISSUED FOR BP                                  |
| 10.  | OCT 27/17 | RE-ISSUED FOR BP                               |
| 11.  | NOV 15/17 | ISSUED FOR METRO VANCOUVER APPROVAL            |
| 12.  | APR 03/18 | ISSUED FOR CO-ORDINATION TENDER TO CONSULTANTS |
| 13.  | MAY 03/18 | ISSUED FOR 90% TENDER                          |
| 14.  | JUNE/18   | RE-ISSUED FOR DP                               |

**SEAL:**

NOTES:  
THE DRAWINGS ARE NOT TO BE SCALED.  
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ALL DRAWINGS, DETAILS AND SPECIFICATIONS ARE TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY SHOPPERS DRUG MART.

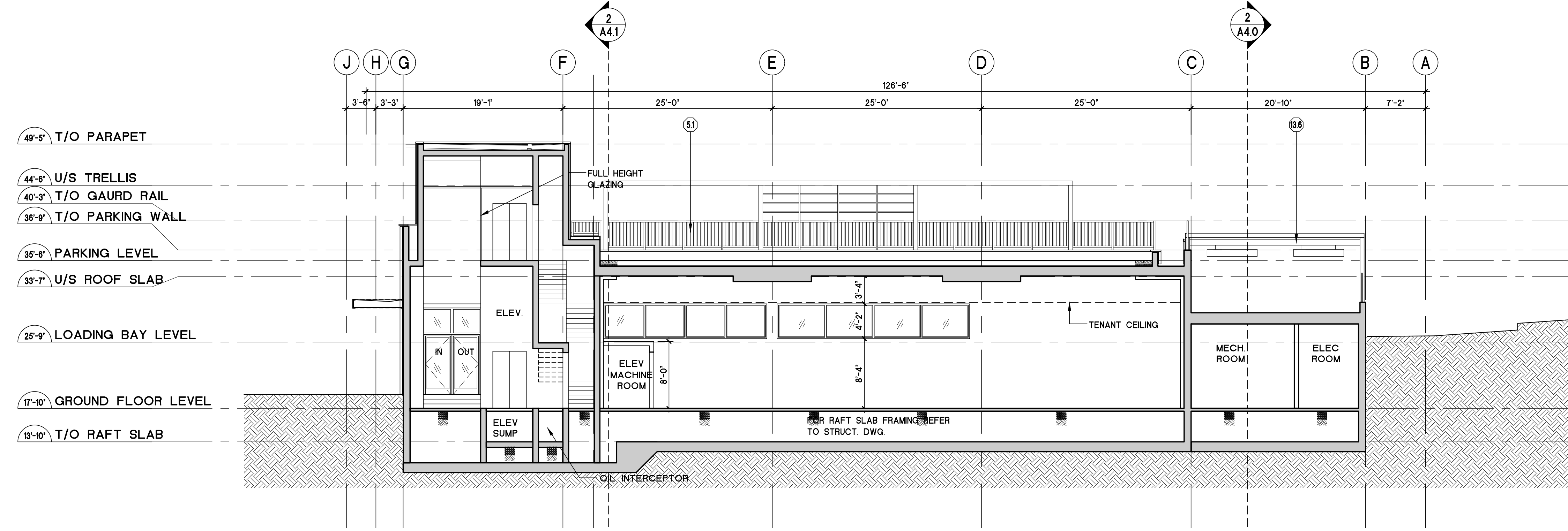
3189 GRANDVIEW HWY.  
VANCOUVER, B.C. V5M 2E9  
Tel.(778) 229 - 4551



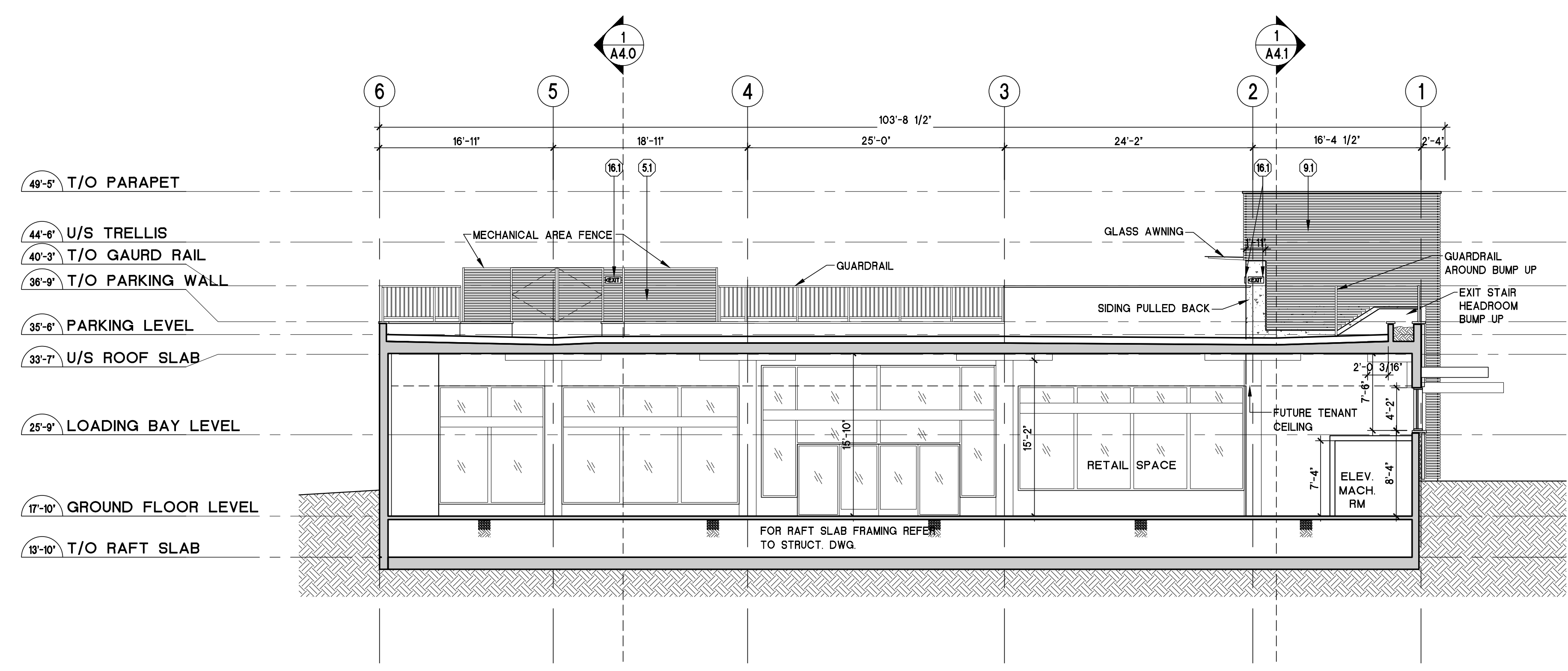
PROJECT:  
**1583 MARINE DR.  
WEST VANCOUVER, B.C.**

SHEET TITLE:  
**SECTIONS**

|                |             |
|----------------|-------------|
| CHECKED BY:    | ATA         |
| DRAWN BY:      | AMT AND CL  |
| START DATE:    | SEP 18, 13  |
| SCALE:         | AS NOTED    |
| PROJECT NO.    | DRAWING NO. |
| <b>12-2280</b> | <b>A4.1</b> |



**1**  
WEST FACING LONGITUDINAL SECTION  
SCALE: 1/8"=1'-0"



**2**  
SOUTH FACING TRANSVERSE SECTION  
SCALE: 1/8"=1'-0"

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| rev. | date      | description                                    |
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SEAL:

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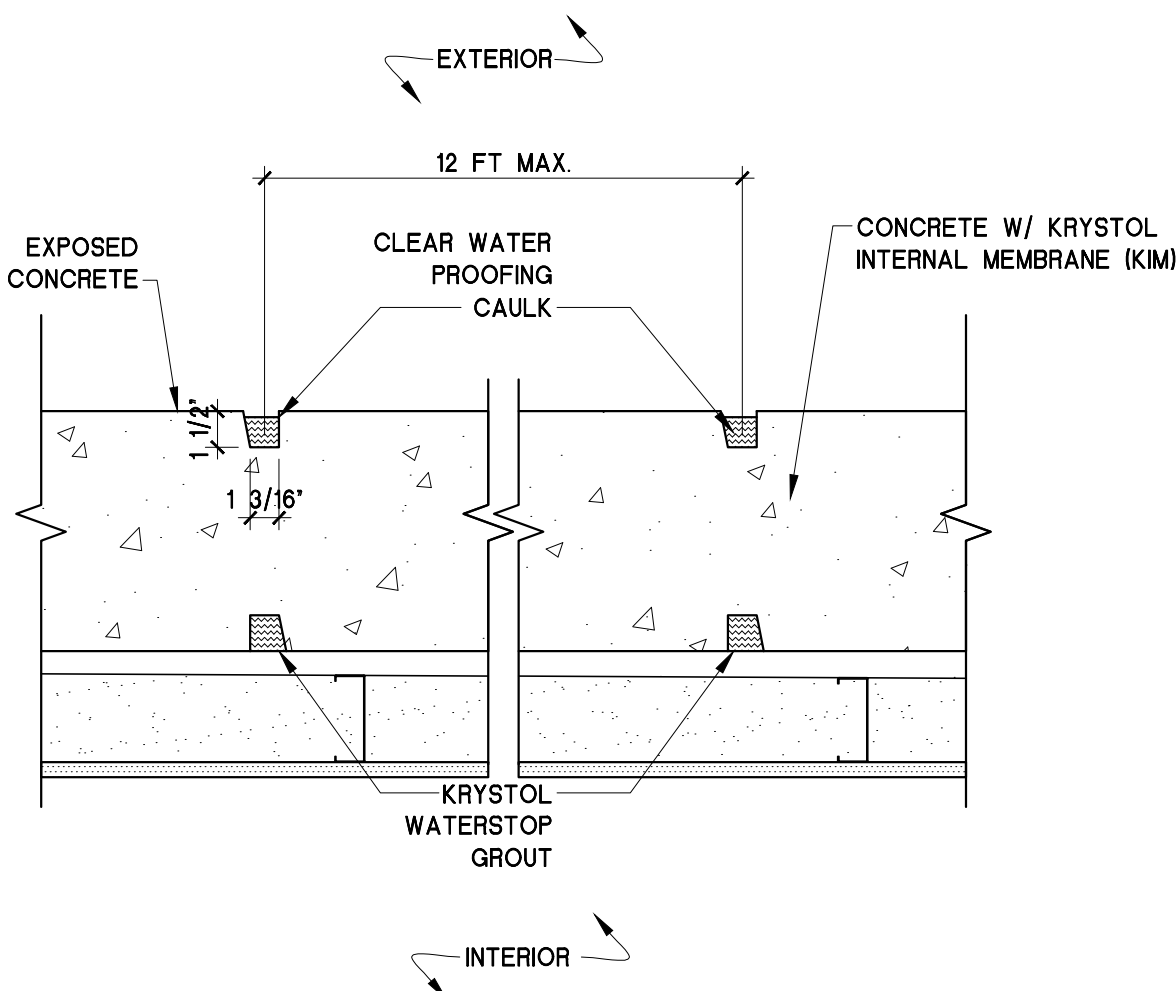
**SHOPPERS DRUG MART**  
DESIGN & CONSTRUCTION

PROJECT:  
**1583 MARINE DR.  
WEST VANCOUVER, B.C.**

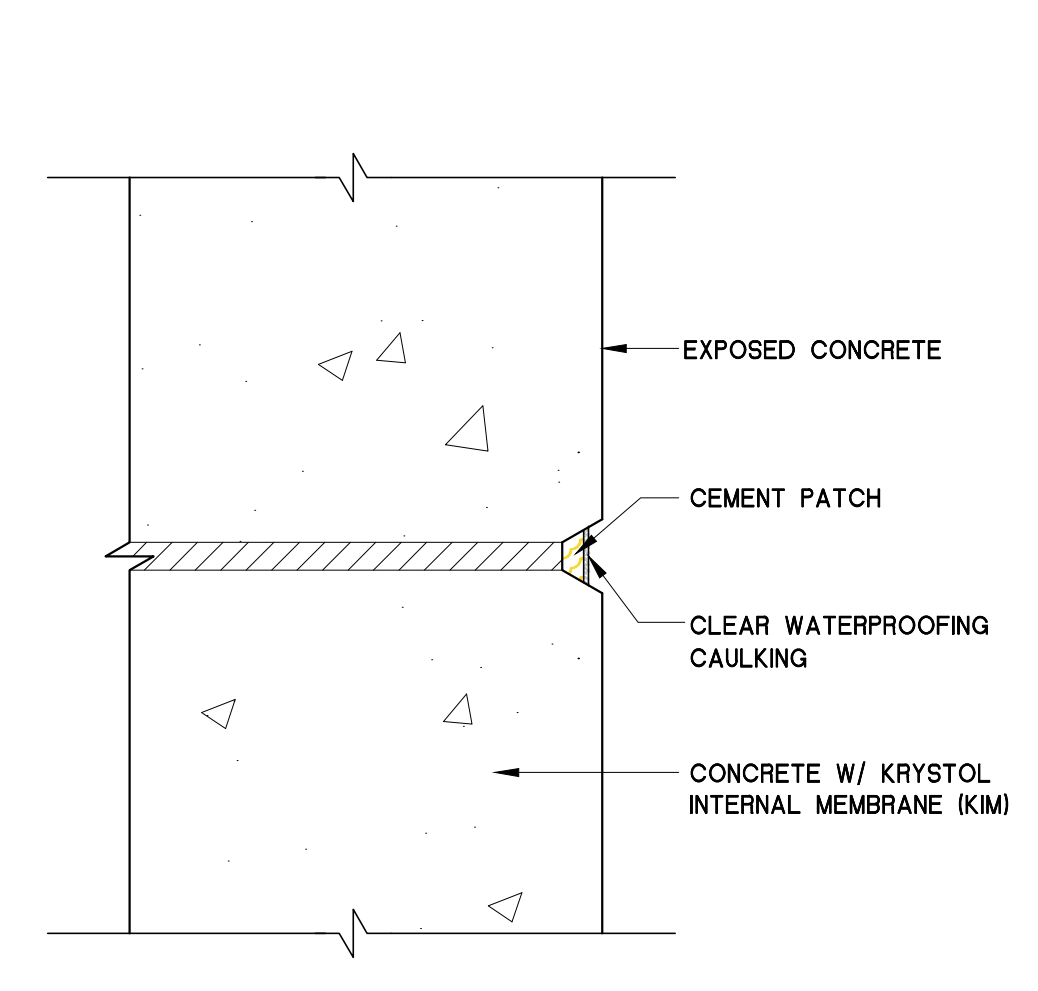
SHEET TITLE:  
**WALL SECTIONS**

CHECKED BY: ATA  
DRAWN BY: AMT AND CL  
START DATE: SEP 18, 13  
SCALE: AS NOTED

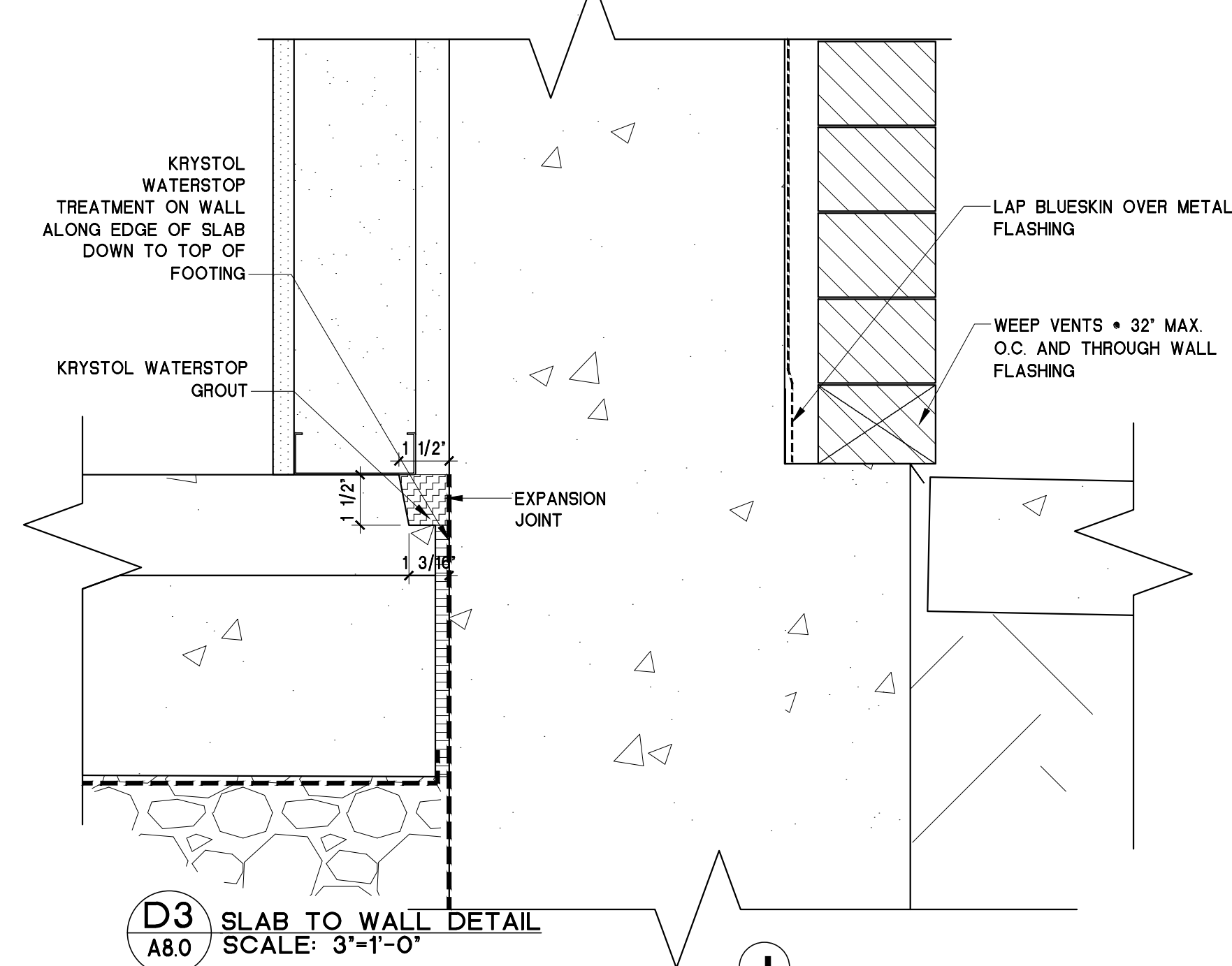
PROJECT NO. DRAWING NO.  
**12-2280 A8.0**



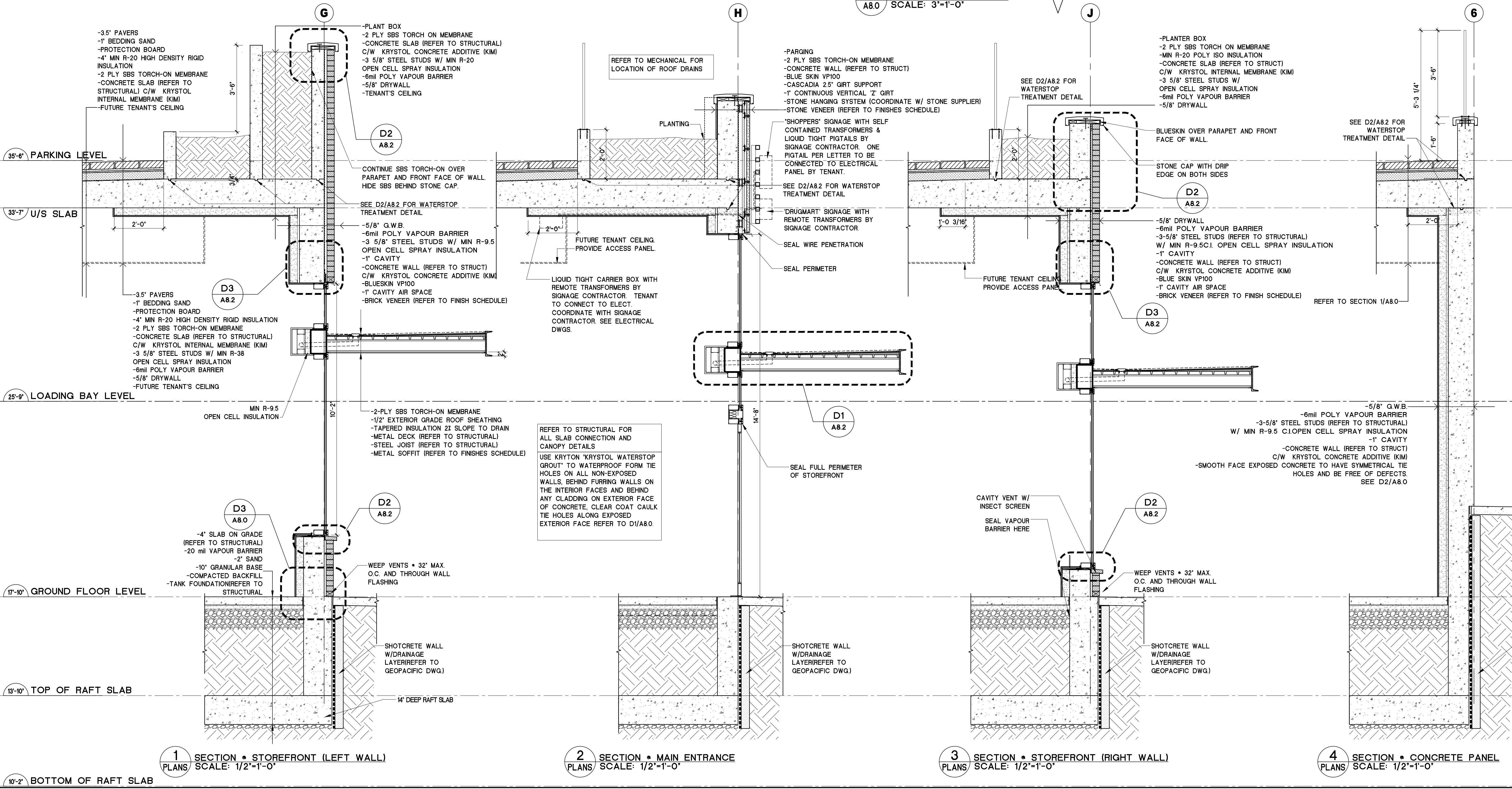
**D1 CONTROL JOINT WALL PLAN DETAIL**  
A8.0 SCALE: 1 1/2'-1'-0"



**D2 CONC. REBAR TIE HOLES**  
A8.0 SCALE: 3'-1'-0"



**D3 SLAB TO WALL DETAIL**  
A8.0 SCALE: 3'-1'-0"



**1 SECTION • STOREFRONT (LEFT WALL)**  
PLANS SCALE: 1/2'-1'-0"

**2 SECTION • MAIN ENTRANCE**  
PLANS SCALE: 1/2'-1'-0"

**3 SECTION • STOREFRONT (RIGHT WALL)**  
PLANS SCALE: 1/2'-1'-0"

**4 SECTION • CONCRETE PANEL**  
PLANS SCALE: 1/2'-1'-0"

10'-2" BOTTOM OF RAFT SLAB